



AGENDA PACKET
VILLAGE OF LAKE ZURICH
Village Board of Trustees Meeting

August 5, 2024
07:00 pm

VILLAGE OF LAKE ZURICH

VILLAGE BOARD OF TRUSTEES MEETING

AUGUST 5, 2024
07:00 PM
AGENDA

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. SWEARING IN FOR NEWLY APPOINTED VILLAGE TRUSTEE

- Advice and Consent to Appoint and Swear In New Village Trustee Jake Marx

4. ROLL CALL

Mayor Thomas Poynton, Trustee Dan Bobrowski, Trustee Mary Beth Euker, Trustee Jake Marx, Trustee William Riley, Trustee Marc Spacone, Trustee Roger Sugrue, Trustee Greg Weider.

5. PRESIDENT'S REPORT/COMMUNITY UPDATE

- **Police Department**

- o Proclamation Honoring Deputy Chief Robert Johnson upon His Retirement from the Village of Lake Zurich after 29 Years of Public Service
- o Promotion of Deputy Police Chief Anthony Grunder
- o Promotion of Police Sergeant Andrew Heer
- o Oath of Office for Police Officer Jeremy Peace

- **Fire Department**

- o Oath of Office for Firefighter-Paramedic James Sawyer
- o Oath of Office for Firefighter-Paramedic Zachary Steinhagen
- o Promotion for Lieutenant Kevin Michehl

6. PUBLIC COMMENT

This is an opportunity for residents to comment briefly on matters included on the agenda and otherwise of interest to the Board of Trustees. Public Comment is limited to 30 minutes total and up to 5 minutes per speaker.

7. CONSENT AGENDA

These titles will be read by the Village Clerk and approved by a single Roll Call Vote. Any item may be pulled from the Consent Agenda for discussion by any Village Trustee.

A. Approval of Minutes from the Village Board Meeting of July 15, 2024

Attachment: [7a.pdf](#)

B. Approval of Semi-Monthly Warrant Register Dated August 5, 2024, Totaling \$1,652,690.54

Attachment: [7b.pdf](#)

C. Ordinance Approving a Fence Variation for 1073 Avery Ridge (Assign Ord. #2024-08-576)

Summary: 1073 Avery Ridge Circle requests a zoning variance from the R-5 single-family residential district to allow the installation of a five-foot tall fence in the corner side yard. The Planning & Zoning Commission held a public hearing on July 18, 2024, to consider the application and voted 4-0 in favor of recommendation of approval.

Attachment: [7c.pdf](#)

D. Ordinance Approving Update to Liquor Code Title 3, Chapter 3, Article B (Assign Ord. #2024-08-577)

Summary: From time-to-time Lake Zurich's Village Code requires updates to memorialize administrative procedures and to keep pace with insurance coverage trends. Section 3-3B-15 requires a surety bond of \$1,000 for annual liquor license applicants that would be forfeited should their license be revoked for cause. Staff is seeking approval from the Village Board to strike section 3-3B-15 and update sections 3-3B-16 as outlined in the proposed Ordinance.

Attachment: [7d.pdf](#)

E. Ordinance Approving a Special Use Permit for Luminescent Detailing at 865 Telser Road (Assign Ord. #2024-08-578)

Summary: Luminescent Detailing, currently located at 904 Donata Court, requests a Special Use Permit to move to a new location at 865 Telser Road to operate an automotive detailing business. The subject property remains within the I-Industrial Zoning District and construction at the new location should be finished before January 1, 2025. The Planning and Zoning Commission held a public hearing on July 17, 2024, voting 6-0 to recommend approval.

Attachment: [7e.pdf](#)

F. Paulus Park Pavilion Rental for Kemco Trucking Company Picnic on August 18, 2024

Summary: Kemco Trucking Company requests approval of the Paulus Park Center State Pavilion on August 18, 2024 from noon to 3 pm. Estimated attendance is 125 people.

Attachment: [7f.pdf](#)

G. Approval of Municipal Contribution Agreement between the Village of Lake Zurich and Botavi Wellness, LLC

Summary: Approval of this agreement would establish a revenue sharing arrangement through which Botavi Wellness, LLC (Bloc Dispensary) would contribute \$4,250 monthly for 24 months to the Village, for a total of \$102,000. Botavi has offered the revenue sharing in consideration of the Village's forbearance through their delays in opening their dispensary as originally proposed. The agreement would be effective starting October 1, 2024 and run through October 2026.

Attachment: [7g.pdf](#)

8. NEW BUSINESS

This agenda item includes matters coming to the Board of Trustees for discussion and possible action.

A. Fiscal Year 2023 Audit Results with Baker Tilley (Trustee Riley)

Summary: State law requires the Village to publish a complete set of financial statements presented in conformity with generally accepted auditing standards by a firm of licensed certified public accountants. The Village has completed the annual audit with Baker Tilly, who has issued an unmodified clean opinion on Village finances for the fiscal year ended December 31, 2023.

Overall, Village finances fared well during Fiscal Year 2023. The General Fund surplus balance increased by \$553,000, bringing the total fund balance to \$14.5 million, of which \$1.7 million are non-spendable. The General Fund unrestricted balance sits at 37% of Fund expenditures as of the end of 2023, a significant accomplishment that allows for top bond ratings and lower interest rates for tax payers. The Village's official General Fund balance target is 40%.

This next part really shows how far Lake Zurich has come in the past decade with financial sustainability. Long-term bonded debt decreased \$1.9 million to a total of \$17.4 million outstanding as of December 31, 2023. Ten years ago, in 2013, this bonded debt was at \$34 million.

For business-type activities related to the Water and Sewer Fund, total net position increased by \$6.4 million, mostly due to water system infrastructure improvements. Net position for the Water and Sewer Fund mostly includes funds invested in capital assets. As municipal infrastructure continues to age, infrastructure improvements will continue to be a large drain of resources for the Water and Sewer Fund.

By the end of 2023, the total net position of the Village as a whole increased by \$14.2 million, compared to a \$9.9 million increase in 2022. Total net position includes all assets and liabilities held by the Village, which includes capital assets that depreciate over time as well as real estate.

Due to the long-term financial planning of the Village coupled with the strength of the local economy and private-sector investment, municipal finances remain on solid footing for the foreseeable future.

Recommended Action: A motion to approve and accept the Comprehensive Annual Financial Report for the fiscal year ended December 31, 2023.

Attachment: [8a.pdf](#)

B. Agreement with FGM Architects for Fire Station Location and Deployment Analysis in the Amount Not-to-Exceed \$55,000 (Trustee Euker)

Summary: The Village 2024 budget includes \$50,000 in the General Fund for a fire station location study. The Village has grown significantly since Fire Station #1 was built in 1980 and this station no longer serves the community's needs.

Village staff recommends a contract with FGM Architects of Oak Brook to independently determine the best location for a future Fire Station #1 headquarters facility to replace the current station at 321 South Buesching Road.

FGM Architects, in partnership with consultants at Advanced Selections, will spend six to seven months performing deep-level mapping of demographics and service areas overlaid with incident data and call volume. At the end of this project, the Village will have a solid plan for a future station location, architectural site diagramming, and an approximate building size.

Recommended Action: A motion to approve an agreement with FGM Architects for a fire station location and deployment analysis in the amount not-to-exceed \$55,000.

Attachment: [8b.pdf](#)

C. Ordinance Amending Title 3, Chapter 2, Section 18 of the Village of Lake Zurich Municipal Code to Regulate Tobacco Dealers and Smoke Shops and Ban such Establishments from Selling Products Containing Delta-8 THC and Kratom (Assign Ord. #2024-08-579) (Trustee Spacone)

Summary: Unregulated cannabis-related products containing Delta-8 and Kratom are being sold in Lake Zurich at establishments that sell traditional liquor or tobacco products. There are concerns over retailers selling such products without any governmental oversight or safety controls.

An ordinance creating mandatory tobacco retail licensing in Lake Zurich is now proposed that would effectively ban the sale of unregulated Delta-8 and Kratom products from Lake Zurich establishments, using a layered approach through the end of 2024 with a total ban starting on January 1, 2025.

A local ban on such products would come with an economic impact, harming the revenue of small businesses such as gas stations and smoke shops that have a heavier reliance on these products to generate revenue compared to larger big-box stores.

If approved, the proposed Ordinance would immediately ban the sale of Delta-8 and Kratom products to anybody in Lake Zurich under the age of 21 and businesses would be prohibited from placing any additional orders of Delta-8 or Kratom products.

Starting on January 1, 2025, all Lake Zurich businesses wishing to sell traditional tobacco or vaping products would be required to obtain from the Village a \$200 tobacco retail license and would be prohibited from selling any Delta-8 or Kratom products.

Recommended Action: A motion to approve Ordinance #2024-08-579 Amending Title 3, Chapter 2, Section 18 of the Village of Lake Zurich Municipal Code to Regulate Tobacco Dealers and Smoke Shops and Ban such Establishments from Selling Products Containing Delta-8 THC and Kratom.

Attachment: [8c.pdf](#)

D. Authorization to Waive the Competitive Bid Process and Approve Replacement of Orchard Lift Station Pump in the Amount Not-to-Exceed \$26,138. (Trustee Spacone)

Summary: The Orchard Lift Station is an essential duplex facility of the Village's sanitary sewer collection system that serves the Rand Road and Route 22 commercial/retail corridor along with several residential subdivisions. Recently, one of the Orchard Lift Station pumps failed during normal operations. The failed pump was sent to Metropolitan pump Company to diagnosis which has indicated that it is more economical to place the pump than repair it. Metropolitan Pump Company has provided a proposal for \$26,138 for a new Hydromatic pump. This is an unanticipated expenditure in the FY 2024 budget however there are offsetting savings from the sanitary sewer infrastructure improvements to cover this expense.

Staff is recommending the competitive bid process be waived in an effort to expedite the replacement of the pump and return it to service as quickly as possible.

Recommended Action: A motion to approve an agreement with Metropolitan Pump Company for emergency repairs at the Orchard Lift Station in the amount not-to-exceed \$26,138.

Attachment: [8d.pdf](#)

E. Ordinance Approving a Special Use Permit for Dutchess Cannabis Dispensary at 909 South Rand Road (Assign Ord. #2024-08-580) (Trustee Marx)

Summary: Rubino Ventures, with the consent of property owner JAS Management, request a Special Use Permit to operate a cannabis dispensary business at 909 South Rand Road. The current building is vacant with plans in the works to demolish the existing structure and redevelop the site with a new 3,500 square foot building with 25 parking spaces. No request for zoning relief are being requested by the applicant. The Planning and Zoning Commission held a public hearing on this request on July 18, 2024, voting 4-0 to recommend approval.

Recommended Action: A motion to approve Ordinance #2024-08-580 approving a Special Use Permit for Dutchess Cannabis Dispensary at 909 South Rand Road.

Attachment: [8e.pdf](#)

9. TRUSTEE REPORTS

10. VILLAGE STAFF REPORTS

11. ADJOURNMENT

The next regularly scheduled Village Board meeting is on Monday, August 19, 2024.

The Village of Lake Zurich is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations so that they can observe and participate in this meeting, or who have questions regarding the accessibility of the meeting or the Village's facilities, should contact the Village's ADA Coordinator at 847.438.5141 (TDD 847.438.2349) promptly to allow the Village to make reasonable accommodations for those individuals.

**UNAPPROVED MINUTES
VILLAGE OF LAKE ZURICH
Board of Trustees
70 East Main Street**



Monday, July 15, 2024 7:00 p.m.

1. **CALL TO ORDER** by Village Manager Ray Keller at 7.00pm.
2. **ROLL CALL:** Trustee Mary Beth Euker, Trustee William Riley, Trustee Marc Spacone, Trustee Roger Sugrue, Trustee Greg Weider. Mayor Thomas Poynton and Trustee Dan Bobrowski were absent and excused. Also in attendance: Village Manager Ray Keller, Asst. Village Manager Michael Duebner, Village Atty. Michele Niermann, Finance Dir. Amy Sparkowski, Management Services Dir. Kyle Kordell, Police Chief Steve Husak, Public Works Dir. Mike Brown.
Appointment of a chairperson
Motion was made by Trustee Euker, seconded by Trustee Riley, to appoint Trustee Spacone as the temporary chairperson.
AYES: 5 Trustees Euker, Riley, Spacone, Sugrue, Weider.
NAYS: 0
ABSENT: 1 Trustee Bobrowski.
MOTION CARRIED. VOICE VOTE
3. **PLEDGE OF ALLEGIANCE**
4. **PUBLIC COMMENT**
There were none.
5. **PRESIDENT'S REPORT / COMMUNITY UPDATE**
There was no report.
6. **CONSENT AGENDA**
 - A. **Approval of Minutes from the Village Board Meeting of July 1, 2024**
 - B. **Approval of Semi-Monthly Warrant Register Dated July 15, 2024, Totaling \$ 875,827.29**
 - C. **Special Event Request for the Lighthouse Housing Alliance at Paulus Park on September 7, 2024**
Summary: The Park and Recreation Department offers facilities to host special events for our community in alignment with the Village's Strategic Goal to enhance community image through special events. The Lighthouse Housing Alliance have requested a special event at Paulus Park this September for a Scavenger Hunt Family Fun Event. Staff and the Park and Recreation Advisory Board recommend accepting the external special event request for FY24.

Village of Lake Zurich Board of Trustees Regular Meeting, Monday July 15th, 2024.

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D. Agreement with Teryl Properties for the Shared Use and Maintenance of the Village Hall Property at 70 East Main Street and Teryl Property at 52 East Main Street

Summary: The Village, American Legion, and Teryl Properties first undertook a shared use and maintenance agreement in 2018 for the parking lot and pedestrian alley that serves the three properties. The Village now intends to enter into separate agreements with Teryl Properties and the American Legion for the shared use and maintenance of their respective properties. At this time, only the agreement between the Village and Teryl Properties is being presented for consideration. Both parties have reviewed the provisions of the ten-year agreement and have agreed to their respective obligations. Staff recommends that the Village Board approve the Shared Use and Maintenance Agreement.

Recommended Action: A motion was made by Trustee Euker, seconded by Trustee Riley, to approve the Consent Agenda as presented.

AYES: 5 Trustees Euker, Riley, Spacone, Sugrue, Weider.

NAYS: 0

ABSENT: 1 Trustee Bobrowski.

MOTION CARRIED.

7. NEW BUSINESS

A. Agreement with A Jules Construction for The Lakeside Promenade Improvements in the Amount Not-to-Exceed \$586,647.78

Summary: The FY 2024 Budget includes \$250,00 in the Capital Investment Fund allocated for Village wide Beautification and \$1,200,000 for the streambank stabilization project at Buffalo Creek. The Lake Zurich Promenade is a focal point of the community, providing a scenic and recreational space for residents and visitors. The Promenade was originally installed in 2002/03 as a public amenity for residents to enjoy the lakefront property and is due for maintenance & aesthetic repairs. The Village had budgeted \$250,000 for beautification in the capital fund, which is being supplemented by the savings from the Buffalo Creek streambank project (\$494,000) for which the Village received a grant from DCEO.

Competitive bidding was conducted with a bid opening held on July 2, 2024 yielding four bids. Staff have reviewed bids with a recommendation to award a contract to A Jules Construction in the amount not-to-exceed \$586,647.78.

Public Works Dir. Brown described the project.

Recommended Action: A motion was made by Trustee Riley, seconded by Trustee Sugrue, to approve an agreement with A Jules Construction for the Lakeside Promenade Improvements in the amount not-to-exceed \$586,647.78.

AYES: 5 Trustees Euker, Riley, Spacone, Sugrue, Weider.

NAYS: 0

ABSENT: 1 Trustee Bobrowski.

MOTION CARRIED.

B. Agreement with Chicagoland Paving for Parking Lot Improvements in the Amount Not-to-Exceed \$1,086,750.00

Village of Lake Zurich Board of Trustees Regular Meeting. Monday July 15th, 2024. 2

Summary: The FY 2024 Budget includes \$1,300,000 in the Capital Investment Fund for pavement rehabilitation and improvements for the Village's parking lots, walking paths, and sport courts at Staples, Sonoma, and Paulus Parks. The proposed project consists of rehabilitation of asphalt parking lots, access drives, sports courts, and walking paths. The bid process opened on July 2, 2024 yielding five bids. Staff have reviewed bids with a recommendation to award a contract with Chicagoland Paving in the amount of \$945,000 with a total project budget not-to-exceed \$1,086,750.

Public Works Dir. Brown answered the Board's questions on the project.

Recommended Action: A motion was made by Trustee Weider, seconded by Trustee Euker, to approve an agreement with Chicagoland Paving for Parking Lot Improvements in the amount not-to-exceed \$1,086,750.

AYES: 5 Trustees Euker, Riley, Spacone, Sugrue, Weider.

NAYS: 0

ABSENT: 1 Trustee Bobrowski.

MOTION CARRIED.

8. **TRUSTEE REPORTS**

Trustee Euker reported that Cricket Theatre has four shows being presented in July and early August. Pippin shows are July 25 & 26; Aristocats shows are July 27 & 28; The Addams Family are August 1 & 2 and Mary Poppins Jr. shows are August 3 & 4, all are at Lake Zurich High School Performing Arts Centre.

9. **VILLAGE STAFF REPORTS**

There were none.

10. **ADJOURNMENT**

Motion to adjourn the meeting was made by Trustee Euker, seconded by Trustee Riley.

AYES: 5 Trustees Euker, Riley, Spacone, Sugrue, Weider.

NAYS: 0

ABSENT: 1 Trustee Bobrowski.

MOTION CARRIED.

The meeting was adjourned at 7.12pm.

Respectfully submitted: Kathleen Johnson, Village Clerk.

Approved by:

Mayor Thomas M. Poynton

Date

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<i>Item</i>	<i>GL Number</i>	<i>GL Desc</i>	<i>Invoice Description</i>	<i>Amount</i>
Fund 101 GENERAL				
Dept 00000				
1	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - MINI NINJA WARRIORS	78.00
2	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - JAZZ V	14.44
3	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - HIP HOPJR	10.60
4	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - PEE WEE TENNIS	65.00
5	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - BALLET & TAP I	12.70
6	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - HIP HOP I	27.09
7	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - TUTU TOTS	7.27
8	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - HIP HOP I	10.60
9	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - LBP BALLET I	20.49
10	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - SOCCER 101	10.60
11	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - IMPULSE JUNIOR	12.04
12	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - BALLET & TAP I	10.60
13	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - BALLET TAP II	10.60
14	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - HIP HOP I	21.20
15	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - BALLET & TAP I	12.70
16	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - BALLET & TAP I	10.60
17	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - PAULUS PARK BEACH FIELD TRIP	585.00
18	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - BALLET & TAP III	12.70
19	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - JAZZ IV	282.00
20	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - BALLET & TAP II	12.70
21	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - TUTU TOTS	8.73
22	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - LBP PRE-BALLET A	58.50
23	101-00000-21203	RECREATION CREDIT PAYABLE	REF PRG CXL - FACILITY RENTAL	135.00
24	101-00000-22501	ER - UNDISTRIBUTED LIFE INS	IPBC INSURANCE COVERAGE - JUL 2024	485.47
25	101-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BCE24-0010 - 890 S RAND RD	1,578.80
26	101-00000-25201	BUILDING PERMIT DEPOSITS	BD PYMNT REF #PB23-1379 - 635 OAKWOOD	272.00
27	101-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BCE24-0007 - 1191/1195 HONEY L	1,800.00
Total For Dept 00000				5,565.43

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<i>Item</i>	<i>GL Number</i>	<i>GL Desc</i>	<i>Invoice Description</i>	<i>Amount</i>
Dept 11006 LEGISLATIVE MAYOR & BOARD				
1	101-11006-54302	PUBLIC RELATIONS	TRUSTEE RECOGNITION AWARD	74.95
2	101-11006-54303	LEGAL NOTICE/PUBLISHING	TREASURER REPORT AD #2153930	905.62
		Total For Dept 11006 LEGISLATIVE MAYOR & BOARD		980.57
Dept 12001 VILLAGE ADMIN ADMINISTRATION				
1	101-12001-51652	TRAINING AND MEETINGS	2024 ICMA CONFERENCE	505.00
2	101-12001-51654	MEMBERSHIPS & SUBSCRIP	ICMA ANNUAL DUES - KELLER	1,200.00
3	101-12001-53206	POSTAGE & SHIPPING	SHIPPING CHARGES - BURLING BANK	46.68
		Total For Dept 12001 VILLAGE ADMIN ADMINISTRATION		1,751.68
Dept 12120 VILLAGE ADMIN HUMAN RESOURCES				
1	101-12120-51654	MEMBERSHIPS & SUBSCRIP	HR RESOURCE MEMBERSHIP	264.00
2	101-12120-51655	EMPLOYEE RECOGNITION	REIMB: BEACH TOWELS, CABANA BEACH	83.52
3	101-12120-54305	EMPLOYEE EXAMS	EMPLOYMENT SCREENINGS	736.00
		Total For Dept 12120 VILLAGE ADMIN HUMAN RESOURCES		1,083.52
Dept 12180 VILLAGE ADMIN ECONOMIC DEVELOPMENT				
1	101-12180-53211	OTHER SUPPLIES	ICSC CENTRAL NAVY PIER REG	950.00
		Total For Dept 12180 VILLAGE ADMIN ECONOMIC DEVELOPMENT		950.00
Dept 13001 FINANCE ADMINISTRATION				
1	101-13001-51652	TRAINING AND MEETINGS	REIMB - GFOA CONFERENCE 2024	883.64
2	101-13001-52111	OTHER PROFESSIONAL SVCS	ACTUARIAL REPORTS 2024- PUBLIC SAFETY PENSIONS	15,208.00
3	101-13001-52111	OTHER PROFESSIONAL SVCS	TAX EXTENSION - 2023 EAV	5.00
4	101-13001-52111	OTHER PROFESSIONAL SVCS	CONTINUING DISCLOSURE SERVICES	1,000.00
5	101-13001-52112	PROFESSIONAL ACCOUNTING	FISCAL AUDIT 2023	7,425.00
6	101-13001-52112	PROFESSIONAL ACCOUNTING	FISCAL AUDIT 2023	4,665.00
		Total For Dept 13001 FINANCE ADMINISTRATION		29,186.64

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<i>Item</i>	<i>GL Number</i>	<i>GL Desc</i>	<i>Invoice Description</i>	<i>Amount</i>
Dept 17001 TECHNOLOGY ADMINISTRATION				
1	101-17001-52111	OTHER PROFESSIONAL SVCS	DOMAIN NAME RENEWAL	19.99
2	101-17001-52111	OTHER PROFESSIONAL SVCS	SUPPORT AGMT 2024 - AUG	2,095.60
3	101-17001-52111	OTHER PROFESSIONAL SVCS	VIRTUAL MACHINES BS SERIES - JUL	17.75
4	101-17001-52111	OTHER PROFESSIONAL SVCS	MS CLOUD SERVICES - JUN	101.24
5	101-17001-52704	MAINT-EQUIPMENT	REC COPIES - 4/01/24 - 6/30/24	4,006.22
6	101-17001-53205	COMPUTER SUPPLIES	HP 4240/4250/4350 LASER TONER	138.00
7	101-17001-56601	CAPITAL LEASE	FIRE & CS - COPIER LEASE	119.50
Total For Dept 17001 TECHNOLOGY ADMINISTRATION				6,498.30
Dept 24001 POLICE ADMINISTRATION				
1	101-24001-51652	TRAINING AND MEETINGS	JOHNSON ITOA TRAINING REFUND	(125.00)
2	101-24001-51654	MEMBERSHIPS & SUBSCRIP	GAFFNEY IACP MEMBERSHIP	18.93
3	101-24001-51655	EMPLOYEE RECOGNITION	RETIREMENT PLAQUE	171.95
4	101-24001-52111	OTHER PROFESSIONAL SVCS	RED LIGHT CAMERA FEE	3,870.00
5	101-24001-53208	OFFICE SUPPLIES	RECORDS NOTEBOOKS	24.89
6	101-24001-53208	OFFICE SUPPLIES	RECORDS POST IT NOTES	19.96
7	101-24001-53208	OFFICE SUPPLIES	REIMB: RECEIPT BOOK	19.41
8	101-24001-53211	OTHER SUPPLIES	STATE OF ILLINOIS FLAG	42.00
9	101-24001-53401	CUSTODIAL SUPPLIES	CARBINE OPTIC BATTERIES	51.10
10	101-24001-53407	EQUIP MAINT PART&SUPPLIE	REIMB: AXON DOCK MOUNT MATERIAL	37.44
Total For Dept 24001 POLICE ADMINISTRATION				4,130.68
Dept 24210 POLICE OPERATIONS				
1	101-24210-52111	OTHER PROFESSIONAL SVCS	ANIMAL CONTROL SERVICES	70.00
2	101-24210-52111	OTHER PROFESSIONAL SVCS	STARCOM - JULY	2,760.00
3	101-24210-52111	OTHER PROFESSIONAL SVCS	EOC STARCOM ANNUAL FEE	120.00
4	101-24210-53209	UNIFORMS	MARINE UNIT HATS	260.00
5	101-24210-53209	UNIFORMS	REIMB: PANTS	58.00
6	101-24210-53209	UNIFORMS	REMB: PATCH REPLACEMENT - REESE	30.00
7	101-24210-53211	OTHER SUPPLIES	CARBINE OPTIC BATTERIES	201.76

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<i>Item</i>	<i>GL Number</i>	<i>GL Desc</i>	<i>Invoice Description</i>	<i>Amount</i>
8	101-24210-53211	OTHER SUPPLIES	PRISONER MEAL	9.77
9	101-24210-54305	EMPLOYEE EXAMS	POLYGRAPH SERVICES - MYHRA, KIERL, ROBERTACCIO	525.00
		Total For Dept 24210 POLICE OPERATIONS		4,034.53
		Dept 24230 POLICE CRIME PREVENTION		
1	101-24230-52111	OTHER PROFESSIONAL SVCS	CREDIT CHECKS	80.00
2	101-24230-53211	OTHER SUPPLIES	COMPLIANCE CHECKS GIFT CARD	50.00
		Total For Dept 24230 POLICE CRIME PREVENTION		130.00
		Dept 24240 POLICE INTERGOVERNMENTAL		
1	101-24240-51654	MEMBERSHIPS & SUBSCRIP	ILEAS ANNUAL DUES	120.00
		Total For Dept 24240 POLICE INTERGOVERNMENTAL		120.00
		Dept 25001 FIRE ADMINISTRATION		
1	101-25001-52111	OTHER PROFESSIONAL SVCS	SUPPORT AGMT 2024 - AUG	1,128.40
2	101-25001-53204	CELL PHONES & PAGERS	ICLOUD 50BG STORAGE - JUL	0.99
3	101-25001-53208	OFFICE SUPPLIES	BINDERS	35.43
4	101-25001-53208	OFFICE SUPPLIES	FILTERS	16.79
5	101-25001-53208	OFFICE SUPPLIES	MARKERS, CLIPS	11.78
6	101-25001-53209	UNIFORMS	BOOTS - CHRISTOPHERSON	107.96
7	101-25001-53209	UNIFORMS	BOOTS - PENKAVA	195.00
8	101-25001-53209	UNIFORMS	BOOTS - REID	195.00
9	101-25001-53209	UNIFORMS	BOOTS - KAMMIN	195.00
10	101-25001-53209	UNIFORMS	BOOTS - ROWE	195.00
11	101-25001-53209	UNIFORMS	CAP, SHIRTS, SHORTS, NAMEPLATE - SAWYER	128.50
12	101-25001-53209	UNIFORMS	NAMEPLATE, CAP, SHIRTS, SHORTS - STEINHAGEN	128.50
13	101-25001-53209	UNIFORMS	PANTS, SHIRTS, BELT - BOOTH	472.00
14	101-25001-53210	SMALL TOOLS & EQUIP	FLASHLIGHTS	345.45
15	101-25001-53211	OTHER SUPPLIES	DETERGENT	36.98
16	101-25001-53211	OTHER SUPPLIES	FOIL, TOWELS, DETERGENT, CLEANER, REHAB SUPPLIES	162.79
17	101-25001-53211	OTHER SUPPLIES	TOWELS, TISSUE, CLEANER, REHAB SUPPLIES	419.53

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18	101-25001-53211	OTHER SUPPLIES	TOWELS, DETERGENT, CLEANER	117.43
19	101-25001-53211	OTHER SUPPLIES	CLEANER	91.52
20	101-25001-54305	EMPLOYEE EXAMS	BACKGROUND CHECKS A/C #06431	226.00
21	101-25001-54305	EMPLOYEE EXAMS	BACKGROUND CHECKS A/C #06431	56.50
22	101-25001-56601	CAPITAL LEASE	FIRE & CS - COPIER LEASE	119.50
		Total For Dept 25001 FIRE ADMINISTRATION		4,386.05
Dept 25320 FIRE FIRE SUPPRESSION				
1	101-25320-51652	TRAINING AND MEETINGS	PER DIEM - FIREMANSHIP CONFERENCE	153.25
2	101-25320-51652	TRAINING AND MEETINGS	INSTRUC BOOKS -COMMAND TACTICAL SOG	185.14
3	101-25320-51652	TRAINING AND MEETINGS	TRENCH TECH CLASS-MABAS	1,424.60
4	101-25320-51652	TRAINING AND MEETINGS	PER DIEM - IFSI EXPLORER	81.75
5	101-25320-51652	TRAINING AND MEETINGS	VMO CLASS INSTRUC PLATFORM, BOOK	181.09
6	101-25320-51652	TRAINING AND MEETINGS	PER DIEM - IFSI EXPLORER	81.75
7	101-25320-51652	TRAINING AND MEETINGS	STRENGTH & CONDITIONING SESSIONS - JUN	200.00
8	101-25320-52111	OTHER PROFESSIONAL SVCS	FIRE STARCOM FEES - 2024	2,206.00
9	101-25320-53209	UNIFORMS	PASSPORT TAGS	44.65
10	101-25320-53209	UNIFORMS	PPE GEAR BAGS	629.93
11	101-25320-53209	UNIFORMS	IDENTIFICATION TAGS	98.00
12	101-25320-53209	UNIFORMS	14 CLASSIC & 14 PASSPORT	938.00
13	101-25320-53211	OTHER SUPPLIES	RESCUE TASK FORCE IDENTIFICATION WRIST BANDS	41.25
14	101-25320-53211	OTHER SUPPLIES	EXTENDED SCENE SUPPLIES - DONUTS, COFFEE, BAGELS	97.85
15	101-25320-53211	OTHER SUPPLIES	EXTENDED SCENE SUPPLIES - SANDWICHES	306.85
16	101-25320-53211	OTHER SUPPLIES	FOIL, TOWELS, DETERGENT, CLEANER, REHAB SUPPLIES	12.99
17	101-25320-53211	OTHER SUPPLIES	TOWELS, TISSUE, CLEANER, REHAB SUPPLIES	25.98
		Total For Dept 25320 FIRE FIRE SUPPRESSION		6,709.08
Dept 25330 FIRE EMS				
1	101-25330-51651	LICENSING/CERTIFICATIONS	REIMB: PARAMEDIC LICENSE	40.00
2	101-25330-51651	LICENSING/CERTIFICATIONS	REIMB: PARAMEDIC LICENSE	40.00
3	101-25330-51652	TRAINING AND MEETINGS	IN-STATION 3RD QTR CORRECT, 4TH QTR	4,365.00

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4	101-25330-52111	OTHER PROFESSIONAL SVCS	AMBULANCE FEES - MAY	2,208.73
5	101-25330-52111	OTHER PROFESSIONAL SVCS	AMBULANCE FEES - JUN	3,204.85
6	101-25330-53211	OTHER SUPPLIES	OXYGEN RENTAL	70.87
7	101-25330-53211	OTHER SUPPLIES	CLIPPERS, DISPOSABLE CLIPPERS	502.96
		Total For Dept 25330 FIRE EMS		10,432.41
		Dept 25340 FIRE SPECIAL RESCUE		
1	101-25340-51652	TRAINING AND MEETINGS	TRENCH TECH CLASS-MABAS	655.40
2	101-25340-53209	UNIFORMS	3M GAS/VAPOR CARTRIDGES	1,019.66
3	101-25340-55254	MACHINERY & EQUIPMENT	AIR CART FOR SRT TRAILER	4,461.93
		Total For Dept 25340 FIRE SPECIAL RESCUE		6,136.99
		Dept 25350 FIRE FIRE PREVENTION BUREAU		
1	101-25350-53211	OTHER SUPPLIES	FILTERS	83.97
		Total For Dept 25350 FIRE FIRE PREVENTION BUREAU		83.97
		Dept 28001 COMMUNITY DEVELOPMENT ADMINISTRATION		
1	101-28001-51651	LICENSING/CERTIFICATIONS	NOTARY COURSE - GERLING	49.00
2	101-28001-51654	MEMBERSHIPS & SUBSCRIP	ICC MEMBERSHIP - MEYER	160.00
3	101-28001-52111	OTHER PROFESSIONAL SVCS	JUNE 2024 BUILDING SERVICES	10,124.69
4	101-28001-52604	SWEEPING & MOWING	VIOLATION MOW - JUL	151.80
		Total For Dept 28001 COMMUNITY DEVELOPMENT ADMINISTRATION		10,485.49
		Dept 36001 PUBLIC WORKS ADMINISTRATION		
1	101-36001-51652	TRAINING AND MEETINGS	PWX 2024	190.47
2	101-36001-51652	TRAINING AND MEETINGS	APWA LB JUN MEETING	33.85
3	101-36001-52111	OTHER PROFESSIONAL SVCS	UNIFORMS/MATS 07/18	32.76
4	101-36001-52111	OTHER PROFESSIONAL SVCS	UNIFORMS/MATS 07/11	32.76
5	101-36001-52111	OTHER PROFESSIONAL SVCS	UNIFORMS/MATS 07/25	32.76
6	101-36001-52113	ENGR/ARCHITECTURAL	ADA TRANSITION PLAN ACCESS AUDITS	1,954.53
7	101-36001-52113	ENGR/ARCHITECTURAL	ADA TRANSITION PLAN ACCESS AUDITS	19,291.72
8	101-36001-52113	ENGR/ARCHITECTURAL	ADA TRANSITION PLAN ACCESS AUDITS	10,575.63

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9	101-36001-52603	LAKE/WATER QUALITY MGMT	WHITE OAK POND TREAT	239.98
10	101-36001-52603	LAKE/WATER QUALITY MGMT	2024 NATURAL AREA MAINT SSA 13	1,300.00
11	101-36001-52603	LAKE/WATER QUALITY MGMT	NPDES DUES	1,000.00
12	101-36001-52605	MOSQUITO ABATEMENT	MOSQUITO CONTROL 2024	11,566.25
13	101-36001-52701	MAINT-BLDGS & GROUNDS	FIRE STA #1 PEST CONTROL - JUL	75.45
14	101-36001-52701	MAINT-BLDGS & GROUNDS	FIRE STA #1 PEST CONTROL	60.00
15	101-36001-52701	MAINT-BLDGS & GROUNDS	VILLAGE HALL PEST CONTROL - JUL	75.00
16	101-36001-52701	MAINT-BLDGS & GROUNDS	UNIFORMS/MATS 07/18	55.75
17	101-36001-52701	MAINT-BLDGS & GROUNDS	UNIFORMS/MATS 07/11	91.79
18	101-36001-52701	MAINT-BLDGS & GROUNDS	UNIFORMS/MATS 07/25	55.75
19	101-36001-52701	MAINT-BLDGS & GROUNDS	CLEANING SERVICES - JUL	5,716.85
20	101-36001-52701	MAINT-BLDGS & GROUNDS	DOOR REPLACEMENTS PW FACILITY	17,403.00
21	101-36001-52701	MAINT-BLDGS & GROUNDS	FAID TESTING WITNESS	377.50
22	101-36001-52701	MAINT-BLDGS & GROUNDS	FD HVAC KITCHEN-BUNK A/C	630.67
23	101-36001-52701	MAINT-BLDGS & GROUNDS	HAZARD TREE STUMP GRINDING	725.00
24	101-36001-52701	MAINT-BLDGS & GROUNDS	505 ANNUAL INSPECTION	950.00
25	101-36001-52702	MAINT-LAWN & LANDSCAPING	2024 MOWING CONTRACT	1,631.20
26	101-36001-52704	MAINT-EQUIPMENT	MAINTENANCE OF FIRE EXTINGUISHERS - FD	385.36
27	101-36001-53208	OFFICE SUPPLIES	RUBBERBANDS, PAPER, CALCULATOR	368.50
28	101-36001-53209	UNIFORMS	PPE UNIFORMS SS	42.50
29	101-36001-53209	UNIFORMS	PPE UNIFORMS SS	1,551.00
30	101-36001-53209	UNIFORMS	PPE BOOTS - HARTMANN	35.09
31	101-36001-53209	UNIFORMS	PPE SHIRTS	96.92
32	101-36001-53209	UNIFORMS	PPE HELMET	555.88
33	101-36001-53211	OTHER SUPPLIES	EV CHARGE CARD	8.00
34	101-36001-53211	OTHER SUPPLIES	PLUG HOSE	243.90
35	101-36001-53211	OTHER SUPPLIES	MANHOLE REPAIR	73.09
36	101-36001-53211	OTHER SUPPLIES	SCAFFOLD RAILS	176.00
37	101-36001-53211	OTHER SUPPLIES	CONES	488.24
38	101-36001-53211	OTHER SUPPLIES	505 FIRST AID	279.49
39	101-36001-53401	CUSTODIAL SUPPLIES	DEGREASER, DAMPRID, VINYL NUMBERS	24.32

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40	101-36001-53401	CUSTODIAL SUPPLIES	TISSUE, TOWELS, BAGS	992.64
41	101-36001-53403	LANDSCAPING SUPPLIES	SEED	250.00
42	101-36001-53403	LANDSCAPING SUPPLIES	TOPSOIL #5590	75.00
43	101-36001-53405	BLDG & GROUNDS SUPPLIES	AP SIGNS	18.90
44	101-36001-53405	BLDG & GROUNDS SUPPLIES	TAPE	35.19
45	101-36001-53405	BLDG & GROUNDS SUPPLIES	B-BALL NETS	173.20
46	101-36001-53405	BLDG & GROUNDS SUPPLIES	AUTHORIZED PERSONNEL	19.90
47	101-36001-53405	BLDG & GROUNDS SUPPLIES	PAINT	69.87
48	101-36001-53405	BLDG & GROUNDS SUPPLIES	BUILDING SUPPLIES	290.46
49	101-36001-53405	BLDG & GROUNDS SUPPLIES	SEALANT	103.74
50	101-36001-53405	BLDG & GROUNDS SUPPLIES	TARP MOUNTING	162.75
51	101-36001-53405	BLDG & GROUNDS SUPPLIES	PAINT	119.76
52	101-36001-53405	BLDG & GROUNDS SUPPLIES	WASHERS	5.07
53	101-36001-53405	BLDG & GROUNDS SUPPLIES	MOUNTING HARDWARE	29.99
54	101-36001-53405	BLDG & GROUNDS SUPPLIES	505 PAINT	344.36
55	101-36001-53405	BLDG & GROUNDS SUPPLIES	505 PAINT	107.62
56	101-36001-53405	BLDG & GROUNDS SUPPLIES	505 PAINT	129.67
57	101-36001-53405	BLDG & GROUNDS SUPPLIES	505 PAINT	274.04
58	101-36001-53405	BLDG & GROUNDS SUPPLIES	FD PAINT	49.56
59	101-36001-53405	BLDG & GROUNDS SUPPLIES	505 PAINT	179.45
60	101-36001-53405	BLDG & GROUNDS SUPPLIES	ADDRESS SIGNS	68.43
61	101-36001-53405	BLDG & GROUNDS SUPPLIES	CREDIT TAX	(7.53)
62	101-36001-53405	BLDG & GROUNDS SUPPLIES	EXIT SIGNS	25.49
63	101-36001-53405	BLDG & GROUNDS SUPPLIES	SHELVES	812.74
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				82,757.26
Dept 36420 PUBLIC WORKS PARK MAINTENANCE				
1	101-36420-52701	MAINT-BLDGS & GROUNDS	STAPLES PARK RAIL - BALANCE	1,900.00
2	101-36420-52701	MAINT-BLDGS & GROUNDS	BUFFALO CREEK TRAPS	50.00
3	101-36420-52701	MAINT-BLDGS & GROUNDS	UNIFORMS/MATS 07/11	116.38
4	101-36420-52701	MAINT-BLDGS & GROUNDS	CLEANING SERVICES - JUL	7,444.31

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5	101-36420-52701	MAINT-BLDGS & GROUNDS	CHALET COIL	85.00
6	101-36420-52701	MAINT-BLDGS & GROUNDS	BARN BATTERY REPLACE	110.56
7	101-36420-52701	MAINT-BLDGS & GROUNDS	BARN ANNUAL INSPECTION	950.00
8	101-36420-52702	MAINT-LAWN & LANDSCAPING	2024 MOWING CONTRACT	5,655.67
9	101-36420-53202	NATURAL GAS	125 N OLD RAND RD	64.21
10	101-36420-53210	SMALL TOOLS & EQUIP	BUILDING SUPPLIES	159.00
11	101-36420-53211	OTHER SUPPLIES	FENCING	113.42
12	101-36420-53401	CUSTODIAL SUPPLIES	SOAP	64.80
13	101-36420-53401	CUSTODIAL SUPPLIES	TISSUE, TOWELS, BAGS	718.00
14	101-36420-53401	CUSTODIAL SUPPLIES	DISPENSERS	105.84
15	101-36420-53403	LANDSCAPING SUPPLIES	BUILDING SUPPLIES	43.94
16	101-36420-53403	LANDSCAPING SUPPLIES	BLADES, NAILS, SNAP KNIFE	52.85
17	101-36420-53405	BLDG & GROUND MAINT SUPP	TEST KITS	58.87
18	101-36420-53405	BLDG & GROUND MAINT SUPP	PANIC BATTERIES	11.78
19	101-36420-53405	BLDG & GROUND MAINT SUPP	BC ALARM BATTERIES	19.99
20	101-36420-53405	BLDG & GROUND MAINT SUPP	TAPE	53.81
21	101-36420-53405	BLDG & GROUND MAINT SUPP	B-BALL NETS	362.14
22	101-36420-53405	BLDG & GROUND MAINT SUPP	TOWELS, PRIMER	39.92
23	101-36420-53405	BLDG & GROUND MAINT SUPP	FUSES	15.54
24	101-36420-53405	BLDG & GROUND MAINT SUPP	HYDRAULIC CEMENT	25.45
25	101-36420-53405	BLDG & GROUND MAINT SUPP	LEVELING SAND	32.82
26	101-36420-53405	BLDG & GROUND MAINT SUPP	CONCESSION ICE MAKER REPAIR	169.33
27	101-36420-53405	BLDG & GROUND MAINT SUPP	BUFFALO CREEK SHELF BRACKETS	10.17
28	101-36420-53405	BLDG & GROUND MAINT SUPP	WIBIT REPAIR	116.00
29	101-36420-53405	BLDG & GROUND MAINT SUPP	BUILDING SUPPLIES	58.52
30	101-36420-53405	BLDG & GROUND MAINT SUPP	WATER TANK FITTINGS	41.30
31	101-36420-53405	BLDG & GROUND MAINT SUPP	WATER TANK FITTINGS	54.57
32	101-36420-53405	BLDG & GROUND MAINT SUPP	SAND, LOCK PINS, TIE OUT STAKES	117.89
33	101-36420-53405	BLDG & GROUND MAINT SUPP	PRIMER, VALVE RESPIRATORS	86.71
34	101-36420-53405	BLDG & GROUND MAINT SUPP	BEACH SIGNS	128.05
35	101-36420-53405	BLDG & GROUND MAINT SUPP	TARP	667.14

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36	101-36420-53405	BLDG & GROUND MAINT SUPP	BEACH FLAG HOLDERS	264.00
37	101-36420-54306	EQUIPMENT RENTAL	CHESTNUT PORT-O-POTTY DAMAGE	150.00
38	101-36420-53407	EQUIP MAINT PART&SUPPLIE	B-BALL NETS	79.00
Total For Dept 36420 PUBLIC WORKS PARK MAINTENANCE				20,196.98
Dept 36471 PUBLIC WORKS FLEET SERVICES				
1	101-36471-52111	OTHER PROFESSIONAL SVCS	UNIFORMS/MATS 07/18	32.32
2	101-36471-52111	OTHER PROFESSIONAL SVCS	UNIFORMS/MATS 07/11	32.32
3	101-36471-52111	OTHER PROFESSIONAL SVCS	UNIFORMS/MATS 07/25	32.32
4	101-36471-52111	OTHER PROFESSIONAL SVCS	PUMP TEST 210	350.00
5	101-36471-52111	OTHER PROFESSIONAL SVCS	PUMP TEST 215	850.00
6	101-36471-52111	OTHER PROFESSIONAL SVCS	PUMP TEST 211	350.00
7	101-36471-52111	OTHER PROFESSIONAL SVCS	PUMP TEST 214	350.00
8	101-36471-52111	OTHER PROFESSIONAL SVCS	PLATE RENEWAL 122	154.40
9	101-36471-52701	MAINT-BLDGS & GROUNDS	ANNUAL FUEL SYSTEM TESTING	2,464.00
10	101-36471-52703	MAINT-VEHICLES	ALIGNMENT 119	142.14
11	101-36471-52703	MAINT-VEHICLES	ALIGNMENT 435	143.69
12	101-36471-52703	MAINT-VEHICLES	HYDRAULIC REPAIR	4,498.57
13	101-36471-52703	MAINT-VEHICLES	OSHA TESTING 439	1,724.56
14	101-36471-53209	UNIFORMS	BOOT INSOLES	49.05
15	101-36471-53210	SMALL TOOLS & EQUIP	DESCALER	183.96
16	101-36471-53210	SMALL TOOLS & EQUIP	UPS SYSTEM	128.74
17	101-36471-53211	OTHER SUPPLIES	WELDING GAS	234.15
18	101-36471-53211	OTHER SUPPLIES	HYDRAULIC HOSE	656.03
19	101-36471-53406	AUTO PARTS & SUPPLIES	SPOT LIGHT	79.95
20	101-36471-53406	AUTO PARTS & SUPPLIES	ANTENNA	149.52
21	101-36471-53406	AUTO PARTS & SUPPLIES	TRAILER WHEEL CHOCKS	417.03
22	101-36471-53406	AUTO PARTS & SUPPLIES	A/C MODULE 246	692.32
23	101-36471-53406	AUTO PARTS & SUPPLIES	CREDIT - WARRANTY RETURN	(304.78)
24	101-36471-53406	AUTO PARTS & SUPPLIES	BATTERY	148.39
25	101-36471-53406	AUTO PARTS & SUPPLIES	HUB CAP 247	83.58

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26	101-36471-53406	AUTO PARTS & SUPPLIES	SEAL 247	96.88
27	101-36471-53406	AUTO PARTS & SUPPLIES	FILTERS	113.55
28	101-36471-53406	AUTO PARTS & SUPPLIES	BATTERY	445.17
29	101-36471-53406	AUTO PARTS & SUPPLIES	CREDIT - CORE RETURN	(18.00)
30	101-36471-53406	AUTO PARTS & SUPPLIES	CREDIT - CORE RETURN	(18.00)
31	101-36471-53406	AUTO PARTS & SUPPLIES	BATTERY	148.39
32	101-36471-53406	AUTO PARTS & SUPPLIES	SPOT BULB	7.01
33	101-36471-53406	AUTO PARTS & SUPPLIES	BULB	32.98
34	101-36471-53406	AUTO PARTS & SUPPLIES	TIE ROD	155.23
35	101-36471-53406	AUTO PARTS & SUPPLIES	TIRES	1,655.00
36	101-36471-53406	AUTO PARTS & SUPPLIES	TENSIONER	505.00
37	101-36471-53406	AUTO PARTS & SUPPLIES	TENSIONER	445.90
38	101-36471-53406	AUTO PARTS & SUPPLIES	CREDIT - TENSIONER RETURN	(505.00)
39	101-36471-53406	AUTO PARTS & SUPPLIES	ANTENNAS	214.66
40	101-36471-53406	AUTO PARTS & SUPPLIES	CREDIT - TAX	(14.98)
41	101-36471-53406	AUTO PARTS & SUPPLIES	SPOT LIGHT HANDLE	84.66
42	101-36471-53406	AUTO PARTS & SUPPLIES	SPOT HANDLE	84.66
43	101-36471-53406	AUTO PARTS & SUPPLIES	CREDIT - PARTS RETURN	(11.88)
44	101-36471-53406	AUTO PARTS & SUPPLIES	NUT	7.68
45	101-36471-53406	AUTO PARTS & SUPPLIES	OIL TUBE	96.52
46	101-36471-53406	AUTO PARTS & SUPPLIES	TUBE	120.96
47	101-36471-53407	EQUIP MAINT PART&SUPPLIE	STEEL	40.00
48	101-36471-53407	EQUIP MAINT PART&SUPPLIE	POWER WASHER PARTS	156.10
49	101-36471-53407	EQUIP MAINT PART&SUPPLIE	DIXIE TIRE TUBE	6.69
50	101-36471-53407	EQUIP MAINT PART&SUPPLIE	WHEEL CHOCK	45.98
51	101-36471-53407	EQUIP MAINT PART&SUPPLIE	AIR FILTER	101.98
52	101-36471-53407	EQUIP MAINT PART&SUPPLIE	PUMP REPAIR KIT	77.00
53	101-36471-53407	EQUIP MAINT PART&SUPPLIE	WHEEL CHOCK CHAIN	28.76
54	101-36471-53407	EQUIP MAINT PART&SUPPLIE	TRAILER WHEEL CHOCKS	275.04
55	101-36471-53407	EQUIP MAINT PART&SUPPLIE	SAW PARTS	64.96
56	101-36471-53407	EQUIP MAINT PART&SUPPLIE	SAW BARS	154.95

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57	101-36471-53407	EQUIP MAINT PART&SUPPLIE	SEAL KIT	110.81
58	101-36471-53407	EQUIP MAINT PART&SUPPLIE	TARP STRAPS	39.99
59	101-36471-53407	EQUIP MAINT PART&SUPPLIE	CREDIT - CORE RETURN	(27.00)
60	101-36471-53407	EQUIP MAINT PART&SUPPLIE	BATTERY	166.03
61	101-36471-53407	EQUIP MAINT PART&SUPPLIE	FILTER	14.21
62	101-36471-53407	EQUIP MAINT PART&SUPPLIE	FILTERS	78.80
63	101-36471-53407	EQUIP MAINT PART&SUPPLIE	SPARK PLUGS	24.12
64	101-36471-53407	EQUIP MAINT PART&SUPPLIE	WINCH CABLE 251	342.96
65	101-36471-53415	FUELS	DIESEL & FUEL #1843251	9,375.00
66	101-36471-53415	FUELS	DIESEL & FUEL #1843252	4,282.20
67	101-36471-53418	LUBRICANTS & FLUIDS	OIL	88.00
68	101-36471-53418	LUBRICANTS & FLUIDS	OIL	20.97
69	101-36471-53418	LUBRICANTS & FLUIDS	OIL	26.30
Total For Dept 36471 PUBLIC WORKS FLEET SERVICES				32,782.50
Dept 67001 RECREATION ADMINISTRATION				
1	101-67001-51654	MEMBERSHIPS & SUBSCRIP	SEASONAL SCHEDULER SUBSCRIPTION	24.95
2	101-67001-53207	PRINTING-STATIONERY/FORM	FALL WINTER BROCHURE PRINTING	5,817.09
3	101-67001-53211	OTHER SUPPLIES	FOLDING CHAIRS	184.28
4	101-67001-53212	PROGRAM SUPPLIES	MEMORIAL PLAQUE	534.22
Total For Dept 67001 RECREATION ADMINISTRATION				6,560.54
Dept 67935 RECREATION DANCE				
1	101-67935-52115	RECREATION PROGRAM SERVICE	LESSON PLANS	75.00
2	101-67935-53211	OTHER SUPPLIES	ACRO CERTIFICATION	539.58
3	101-67935-53212	PROGRAM SUPPLIES	PATCHES	35.78
4	101-67935-53212	PROGRAM SUPPLIES	IMPULSE TROPHIES	120.27
5	101-67935-53212	PROGRAM SUPPLIES	DANCE COMP DEPOSIT	518.50
Total For Dept 67935 RECREATION DANCE				1,289.13

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Item	GL Number	GL Desc	Invoice Description	Amount
Dept 67945 RECREATION YOUTH PROGRAMS				
1	101-67945-52115	RECREATION PROGRAM SERVICE	COMIC BOOK - JUN/JUL 7 PARTICIPANTS	529.20
		Total For Dept 67945 RECREATION YOUTH PROGRAMS		529.20
Dept 67960 RECREATION CAMPS				
1	101-67960-52115	RECREATION PROGRAM SERVICE	CAMP CEDAR FIELD TRIP- BOWLING	149.85
2	101-67960-52115	RECREATION PROGRAM SERVICE	CAMPDOCS SUBSCRIPTION - AUG	275.00
3	101-67960-52115	RECREATION PROGRAM SERVICE	CAMP CEDAR FIELD TRIP RAINBOW FALLS	350.00
4	101-67960-52115	RECREATION PROGRAM SERVICE	CAMP CEDAR FIELD TRIP- MISH MASH ADVENTURES	400.00
5	101-67960-52115	RECREATION PROGRAM SERVICE	JUNE 2024 HOT SHOTS SPORTS CAMPS	840.00
6	101-67960-52115	RECREATION PROGRAM SERVICE	CAMP CEDAR FIELD TRIP WHEELING WATER PARK	200.00
7	101-67960-52115	RECREATION PROGRAM SERVICE	CAMP CEDAR FIELD TRIP WHEELING WATER PARK	446.00
8	101-67960-53212	PROGRAM SUPPLIES	SUNSCREEN, SIDEWALK CHALK, BALLOONS, STICKERS, PLATES	172.24
9	101-67960-53212	PROGRAM SUPPLIES	PAPER	33.97
10	101-67960-53212	PROGRAM SUPPLIES	TOY FOOD	186.77
11	101-67960-53212	PROGRAM SUPPLIES	FOLDING CHAIRS	17.76
12	101-67960-53212	PROGRAM SUPPLIES	DIGITAL CLOCK	25.19
13	101-67960-53212	PROGRAM SUPPLIES	WRISTBANDS	25.96
14	101-67960-53212	PROGRAM SUPPLIES	SUNSCREEN	27.12
15	101-67960-53212	PROGRAM SUPPLIES	ICE PACKS	71.41
16	101-67960-53212	PROGRAM SUPPLIES	POOL NOODLES, HULA HOOPS	27.00
17	101-67960-53212	PROGRAM SUPPLIES	PIZZA , WINGS	241.56
18	101-67960-53212	PROGRAM SUPPLIES	BOARD GAMES, CARD GAMES, PLAYGROUND BALLS	211.49
19	101-67960-53212	PROGRAM SUPPLIES	PICTURES	7.13
		Total For Dept 67960 RECREATION CAMPS		3,708.45
Dept 67970 RECREATION AQUATICS				
1	101-67970-51651	LICENSING/CERTIFICATIONS	LIFEGUARD CERTIFICATIONS	690.00
2	101-67970-51651	LICENSING/CERTIFICATIONS	LG RECERT CERTIFICATIONS	368.00
3	101-67970-53211	OTHER SUPPLIES	BACKBOARD STRAPS	113.48
4	101-67970-53211	OTHER SUPPLIES	PH & CHLORINE TEST KIT	236.83

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5	101-67970-53211	OTHER SUPPLIES	BACKBOARD HEAD IMMOBILIZERS	133.27
6	101-67970-53211	OTHER SUPPLIES	SWIM LESSON TOYS, FLOATIES, ETC.	219.69
7	101-67970-53211	OTHER SUPPLIES	ICE BREAKER BALL	58.82
8	101-67970-53211	OTHER SUPPLIES	PLAYING CARDS	19.98
9	101-67970-53211	OTHER SUPPLIES	FILE CABINET FOR BREEZEWALD	117.54
10	101-67970-53211	OTHER SUPPLIES	WALL CLOCK	29.99
11	101-67970-53211	OTHER SUPPLIES	JUMBO BIG BAGS FOR STORAGE	46.15
12	101-67970-53211	OTHER SUPPLIES	INFLATABLE PLAYGROUND BALLS	337.94
13	101-67970-53211	OTHER SUPPLIES	ORIENTATION - CANDY	70.26
14	101-67970-53211	OTHER SUPPLIES	ORIENTATION PIZZA	374.59
15	101-67970-53211	OTHER SUPPLIES	SIGNAGE	537.29
16	101-67970-53414	CHEMICALS	MURIATIC ACID	274.65
17	101-67970-53414	CHEMICALS	MURIATIC ACID	113.88
Total For Dept 67970 RECREATION AQUATICS				3,742.36
Total For Fund 101 GENERAL				244,231.76
Fund 202 MOTOR FUEL TAX				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
1	202-36001-52701	MAINT-BLDGS & GROUNDS	2024 MOWING CONTRACT	824.82
2	202-36001-53201	ELECTRICITY	STREETLIGHT ELECTRIC	13,509.87
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				14,334.69
Total For Fund 202 MOTOR FUEL TAX				14,334.69
Fund 207 SPECIAL EVENTS FUND				
Dept 00000				
1	207-00000-22501	ER - UNDISTRIBUTED LIFE INS	IPBC INSURANCE COVERAGE - JUL	2.79
Total For Dept 00000				2.79
Dept 67600 RECREATION SPECIAL EVENTS ADMIN				
1	207-67600-53212	PROGRAM SUPPLIES	ZIP TIES	9.87
Total For Dept 67600 RECREATION SPECIAL EVENTS ADMIN				9.87

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Dept 67603 RECREATION FARMERS MARKET				
1	207-67603-52115	RECREATION PROGRAM SERV	FARMERS MARKET BAND 08/09	150.00
2	207-67603-52115	RECREATION PROGRAM SERV	FARMERS MARKET BAND - 8/16	150.00
3	207-67603-53212	PROGRAM SUPPLIES	COLLAPSIBLE WAGON	69.99
Total For Dept 67603 RECREATION FARMERS MARKET				369.99
Dept 67699 RECREATION MISC SPECIAL EVENTS				
1	207-67699-52115	RECREATION PROGRAM SERV	LIVE AT THE LAKE MICROPHONE RENTAL	225.00
2	207-67699-53212	PROGRAM SUPPLIES	WRISTBANDS	48.65
3	207-67699-53212	PROGRAM SUPPLIES	ELSA WIG	18.68
4	207-67699-53212	PROGRAM SUPPLIES	LIVE AT THE LAKE - SNACKS, SODA	118.11
5	207-67699-53212	PROGRAM SUPPLIES	BOBBERS, LURES - FISHING DERBY	434.40
6	207-67699-53212	PROGRAM SUPPLIES	FISHING DERBY - WORMS, NIGHTCRAWLERS	43.86
Total For Dept 67699 RECREATION MISC SPECIAL EVENTS				888.70
Total For Fund 207 SPECIAL EVENTS FUND				1,271.35
Fund 210 TIF #1				
Dept 10490 GENERAL GOVERNMENT TIF				
1	210-10490-52112	PROFESSIONAL ACCOUNTING	FISCAL AUDIT 2023	1,250.00
Total For Dept 10490 GENERAL GOVERNMENT TIF				1,250.00
Total For Fund 210 TIF #1				1,250.00
Fund 214 TIF #2 DOWNTOWN				
Dept 10490 GENERAL GOVERNMENT TIF				
1	214-10490-52112	PROFESSIONAL ACCOUNTING	FISCAL AUDIT 2023	1,250.00
2	214-10490-52201	VILLAGE ATTORNEY	TIF DISTRICT LEGAL REVIEWS	115.00
Total For Dept 10490 GENERAL GOVERNMENT TIF				1,365.00
Total For Fund 214 TIF #2 DOWNTOWN				1,365.00

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Fund 216 TIF #3 WEST SIDE				
Dept 10490 GENERAL GOVERNMENT TIF				
1	216-10490-52112	PROFESSIONAL ACCOUNTING	FISCAL AUDIT 2023	1,250.00
		Total For Dept 10490 GENERAL GOVERNMENT TIF		1,250.00
Total For Fund 216 TIF #3 WEST SIDE				1,250.00
Fund 227 DISPATCH CENTER				
Dept 00000				
1	227-00000-22501	ER - UNDISTRIBUTED LIFE INS	IPBC INSURANCE COVERAGE - JUL	49.73
		Total For Dept 00000		49.73
Dept 24220 POLICE DISPATCH				
1	227-24220-53210	SMALL TOOLS & EQUIP	DISPATCH CHAIR CYLINDER	20.99
		Total For Dept 24220 POLICE DISPATCH		20.99
Total For Fund 227 DISPATCH CENTER				70.72
Fund 401 VILLAGE CAPITAL PROJECTS				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
1	401-36001-55252	BLDG & BLDG IMPROVEMENTS	PW ROOF/WINDOW REPLACEMENT	45,000.10
2	401-36001-55252	BLDG & BLDG IMPROVEMENTS	MULTI-SITE PHASE III	3,000.00
3	401-36001-55252	BLDG & BLDG IMPROVEMENTS	MULTI-SITE PHASE III	4,900.00
4	401-36001-55252	BLDG & BLDG IMPROVEMENTS	MULTI-SITE PHASE III	2,500.00
5	401-36001-55252	BLDG & BLDG IMPROVEMENTS	P.O. BUFFALO CREEK FACILITY FLOORING	12,373.20
6	401-36001-55252	BLDG & BLDG IMPROVEMENTS	GUN RANGE HVAC ENGINEERING	6,011.00
		Total For Dept 36001 PUBLIC WORKS ADMINISTRATION		73,784.30
Total For Fund 401 VILLAGE CAPITAL PROJECTS				73,784.30

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Fund 405 NHR CAPITAL PROJECTS				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
1	405-36001-55253	INFRASTRUCTURE IMPROVEMT	2024 INFRASTRUCTURE	189,083.66
		Total For Dept 36001 PUBLIC WORKS ADMINISTRATION		189,083.66
Total For Fund 405 NHR CAPITAL PROJECTS				189,083.66
Fund 501 WATER & SEWER				
Dept 00000				
1	501-00000-22501	ER - UNDISTRIBUTED LIFE INS	IPBC INSURANCE COVERAGE - JUL	53.77
		Total For Dept 00000		53.77
Dept 36001 PUBLIC WORKS ADMINISTRATION				
1	501-36001-51652	TRAINING AND MEETINGS	PWX 2024	190.48
2	501-36001-52111	OTHER PROFESSIONAL SVCS	UNIFORMS/MATS 07/18	30.55
3	501-36001-52111	OTHER PROFESSIONAL SVCS	UNIFORMS/MATS 07/11	30.55
4	501-36001-52111	OTHER PROFESSIONAL SVCS	UNIFORMS/MATS 07/25	30.55
5	501-36001-53203	TELEPHONE & DATA SVCS	ANALOG LINES - JUL	161.60
6	501-36001-53209	UNIFORMS	PPE UNIFORMS SS	42.50
7	501-36001-53209	UNIFORMS	PPE UNIFORMS SS	1,551.00
8	501-36001-53209	UNIFORMS	RAINWEAR - WHITE, WINDHAUSER	530.00
9	501-36001-53209	UNIFORMS	RAINWEAR - ABBOTT, BROWN, HOLUB, SIKORSKI,	1,545.00
10	501-36001-53209	UNIFORMS	RAINWEAR - FITCH, WIERER, STEFKA, REUSCH.	575.00
		Total For Dept 36001 PUBLIC WORKS ADMINISTRATION		4,687.23
Dept 36530 PUBLIC WORKS WATER BILLING				
1	501-36530-52112	PROFESSIONAL ACCOUNTING	FISCAL AUDIT 2023	825.00
2	501-36530-52112	PROFESSIONAL ACCOUNTING	FISCAL AUDIT 2023	135.00
		Total For Dept 36530 PUBLIC WORKS WATER BILLING		960.00

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Dept 36550 PUBLIC WORKS WATER SERVICE				
1	501-36550-52113	ENGR/ARCHITECTURAL	LAKE MICHIGAN SUPPLY ROUTE STUDY	24,757.47
2	501-36550-52113	ENGR/ARCHITECTURAL	LZ SUPPLY STUDY ASSESSMENT	7,690.57
3	501-36550-52606	SYSTEM(S) INSPECTIONS	ANNUAL FIRE EXTINGUISHER INSPECT/MAINT FACILITIES	673.92
4	501-36550-52701	MAINT-BLDGS & GROUNDS	2024 MOWING CONTRACT	162.96
5	501-36550-53202	NATURAL GAS	NATURAL GAS - WELL #12	47.28
6	501-36550-53202	NATURAL GAS	NATURAL GAS - WELL #7	151.23
7	501-36550-53202	NATURAL GAS	NATURAL GAS - WELL #8	150.50
8	501-36550-53202	NATURAL GAS	NATURAL GAS - WELL #9	48.30
9	501-36550-53211	OTHER SUPPLIES	NUTS & BOLTS/WELL 12 CHECK VALVE	26.34
10	501-36550-53211	OTHER SUPPLIES	BOLTS FOR WELL 12 PUMP OFF FITTINGS	75.24
11	501-36550-53211	OTHER SUPPLIES	HARDWARE/WELL 12 PUMP OFF HYDRANT	81.84
12	501-36550-53211	OTHER SUPPLIES	CLOW HYDRANT REPAIR PARTS	1,020.00
13	501-36550-53403	LANDSCAPING SUPPLIES	TOPSOIL #233995, 233994 7/1	180.00
14	501-36550-53410	METERS PARTS & SUPPLIES	HYDRANT METER BACKFLOW PREVENTER	634.95
15	501-36550-53410	METERS PARTS & SUPPLIES	HYDRANT METER BACKFLOW PREVENTER	453.95
16	501-36550-53410	METERS PARTS & SUPPLIES	HYDRANT METER FITTING (SWIVEL ADAPTER	145.70
17	501-36550-53413	DISTRIBUTION SYS REPAIR	WATER MAIN VALVE (REPAIR) HARDWARE	247.50
18	501-36550-53414	CHEMICALS	BULK WTR COND SALT - WELL #9	2,994.82
19	501-36550-53414	CHEMICALS	BULK WTR COND SALT - WELL #8	2,816.72
20	501-36550-53414	CHEMICALS	BULK WTR COND SALT - WELL #10	2,992.08
21	501-36550-53414	CHEMICALS	CHLORINE	2,250.00
22	501-36550-54306	EQUIPMENT RENTAL	JACK RENTAL FOR WELL 12/CHECK VALVE	85.10
23	501-36550-55253	INFRASTRUCTURE IMPROVEMT	2024 INFRASTRUCTURE	682,909.96
Total For Dept 36550 PUBLIC WORKS WATER SERVICE				730,596.43
Dept 36560 PUBLIC WORKS SEWER SERVICE				
1	501-36560-52111	OTHER PROFESSIONAL SVCS	METROCLOUD DATA MONITORING/LIFT STATIONS	585.00
2	501-36560-52111	OTHER PROFESSIONAL SVCS	HYDROGEN SULFIDE REDUCTION PROGRAM QUENTIN/NW PUMP STATIONS	5,306.00
3	501-36560-52710	MAINT-INST & SCADA	ANNUAL CALIBRATION OF PUMP & LIFT STATION FLOW METERS	5,265.00
4	501-36560-53201	ELECTRICITY	ELECTRICITY/VACUUM PRIMING STRUCTURES	30.74

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5	501-36560-53201	ELECTRICITY	ELECTRICITY/SANITARY FLOW CONTROL	100.73
6	501-36560-53210	SMALL TOOLS & EQUIP	SPECIALTY TOOLS (SEWER CLEANING)	1,103.87
		Total For Dept 36560 PUBLIC WORKS SEWER SERVICE		12,391.34
		Total For Fund 501 WATER & SEWER		748,688.77
		Fund 601 MEDICAL INSURANCE		
		Dept 10001 GENERAL GOVERNMENT ADMINISTRATION		
1	601-10001-52340	MEDICAL ADMIN FEE	FSA PLAN - JUL	115.72
2	601-10001-52340	MEDICAL ADMIN FEE	COBRA PLAN - JUL	108.80
3	601-10001-52341	HEALTH INS. FIXED COSTS	IPBC INSURANCE COVERAGE - JUL	265,801.65
		Total For Dept 10001 GENERAL GOVERNMENT ADMINISTRATION		266,026.17
		Total For Fund 601 MEDICAL INSURANCE		266,026.17
		Fund 603 RISK MANAGEMENT		
		Dept 00000		
1	603-00000-22501	ER - UNDISTRIBUTED LIFE INS	IPBC INSURANCE COVERAGE - JUL	1.72
		Total For Dept 00000		1.72
		Total For Fund 603 RISK MANAGEMENT		1.72
		Fund 615 EQUIPMENT REPLACEMENT		
		Dept 10001 GENERAL GOVERNMENT ADMINISTRATION		
1	615-10001-55254	MACHINERY & EQUIPMENT	8G SWITCH	77.79
		Total For Dept 10001 GENERAL GOVERNMENT ADMINISTRATION		77.79
		Dept 36001 PUBLIC WORKS ADMINISTRATION		
1	615-36001-55261	VEHICLES - POLICE	2025 FORD PIU EQUIPMENT QUOTE #74375	15,476.21
2	615-36001-55261	VEHICLES - POLICE	2025 FORD PIU EQUIPMENT	7,325.97
3	615-36001-55263	VEHICLES - PUBLIC WORKS	WHEEL CHOCK	404.88

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4	615-36001-55263	VEHICLES - PUBLIC WORKS	HANDLIGHT 350	105.08
5	615-36001-55263	VEHICLES - PUBLIC WORKS	CUPFONE 350	36.95
		Total For Dept 36001 PUBLIC WORKS ADMINISTRATION		23,349.09
		Total For Fund 615 EQUIPMENT REPLACEMENT		23,426.88
Fund 710 PERFORMANCE ESCROW				
Dept 00000				
1	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0249 - 23 CRESCENT RD	500.00
2	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0179 - 24 CRESCENT RD	500.00
3	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0127 - 345 STONE AVE	300.00
4	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0159 - 1212 THORNDAL LN	500.00
5	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0229 - 1159 STANTON RD	500.00
6	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0234 - 1564 CORAL REEF	500.00
7	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0175 - 360 HIDDEN CREEK	500.00
8	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0248 - 380 WATERFORD	300.00
9	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0218 - 466 NEWBERRY CT	500.00
10	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0281 - 736 HUNTINGTON CT	500.00
11	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0285 - 14 PINE AVE	500.00
12	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0168 - 588 CORTLAND DR	500.00
13	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0258 - 600 ERIC CT	500.00
14	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0004 - 1161 BERKSHIRE	105.00
15	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0288 - 1005 BETTY DR	500.00
16	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0292 - 185 PEBBLE CREEK	500.00
17	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0298 - 1183 STRATFORD LN	500.00
18	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0272 - 1066 CORMAR DR	500.00
19	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0286 - 1161 BERKSHIRE LN	500.00
20	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0210 - 1202 BRISTOL TRL	500.00
21	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0213 - 1215 TRACIE DR	500.00
22	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0228 - 770 BURR OAK DR	500.00
23	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0135 - 9 NEWGATE CT	500.00

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24	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0181 - 562 CORTLAND DR	500.00
25	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0009 - 635 OAKWOOD	155.00
26	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD23-0392 - 605 CORTLAND DR	105.00
27	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0226 - 312 DENBERRY DR	500.00
28	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD24-0240 - 245 DENBERRY DR	300.00
29	710-00000-25201	BUILDING PERMIT DEPOSITS	BOND REF #BBD23-0415 - 1435 CHESWICK LN	105.00
		Total For Dept 00000		12,370.00
		Dept 17001 TECHNOLOGY ADMINISTRATION		
1	710-17001-53214	PEG CABLE EXPENSE	PEG CHANNEL CONFIGURATION FILES	2.99
2	710-17001-53214	PEG CABLE EXPENSE	MEDIA CREW - JUL 2024	112.50
		Total For Dept 17001 TECHNOLOGY ADMINISTRATION		115.49
		Total For Fund 710 PERFORMANCE ESCROW		12,485.49
		Fund 720 PAYROLL CLEARING		
		Dept 00000		
1	720-00000-22253	IMRF W/H	PR DEDUCTIONS - JUNE	51,444.34
2	720-00000-22253	IMRF W/H	PR DEDUCTIONS - MARCH	94.59
3	720-00000-22253	IMRF W/H	PR DEDUCTIONS - APRIL	189.17
4	720-00000-22253	IMRF W/H	PR DEDUCTIONS - MAY	189.17
5	720-00000-22301	DENTAL / VISION BENEFITS	DENTAL INSURANCE - JUL	12,898.84
6	720-00000-22301	DENTAL / VISION BENEFITS	VISION INSURANCE - JUL	2,242.31
7	720-00000-22403	AFLAC PLANS PAYABLE	AFLAC INSURANCE PREMIUM - JUN	5,931.98
8	720-00000-22404	SUPPLEMENTAL LIFE INS PAYABLE	IPBC INSURANCE COVERAGE - JUL	2,103.18
9	720-00000-22404	SUPPLEMENTAL LIFE INS PAYABLE	GROUP LIFE INSURANCE - AUG	172.00
		Total For Dept 00000		75,265.58
		Total For Fund 720 PAYROLL CLEARING		75,265.58

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Fund 731 SSA #8 HEATHERLEIGH SUBDV				
Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				
1	731-10099-52604	SWEEPING & MOWING	2024 MOWING CONTRACT	81.15
		Total For Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY		81.15
Total For Fund 731 SSA #8 HEATHERLEIGH SUBDV				81.15
Fund 734 SSA #11 LZ PINES SUBDV				
Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				
1	734-10099-52604	SWEEPING & MOWING	2024 MOWING CONTRACT	3.49
		Total For Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY		3.49
Total For Fund 734 SSA #11 LZ PINES SUBDV				3.49
Fund 735 SSA #13 CONVENTRY CRK SUB				
Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				
1	735-10099-52604	SWEEPING & MOWING	2024 MOWING CONTRACT	69.81
		Total For Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY		69.81
Total For Fund 735 SSA #13 CONVENTRY CRK SUB				69.81

VILLAGE OF LAKE ZURICH
WARRANT REPORT - 08/5/2024
\$1,652,690.54

Page 23 of 23

<i>Item</i>	<i>GL Number</i>	<i>GL Desc</i>	<i>Invoice Description</i>	<i>Amount</i>
Fund Totals:				
			Fund 101 GENERAL	244,231.76
			Fund 202 MOTOR FUEL TAX	14,334.69
			Fund 207 SPECIAL EVENTS FUND	1,271.35
			Fund 210 TIF #1	1,250.00
			Fund 214 TIF #2 DOWNTOWN	1,365.00
			Fund 216 TIF #3 WEST SIDE	1,250.00
			Fund 227 DISPATCH CENTER	70.72
			Fund 401 VILLAGE CAPITAL PROJECTS	73,784.30
			Fund 405 NHR CAPITAL PROJECTS	189,083.66
			Fund 501 WATER & SEWER	748,688.77
			Fund 601 MEDICAL INSURANCE	266,026.17
			Fund 603 RISK MANAGEMENT	1.72
			Fund 615 EQUIPMENT REPLACEMENT	23,426.88
			Fund 710 PERFORMANCE ESCROW	12,485.49
			Fund 720 PAYROLL CLEARING	75,265.58
			Fund 731 SSA #8 HEATHERLEIGH SUBDV	81.15
			Fund 734 SSA #11 LZ PINES SUBDV	3.49
			Fund 735 SSA #13 CONVENTRY CRK SUB	69.81
				<u><u>\$ 1,652,690.54</u></u>



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

Phone (847) 540-1696
Fax (847) 726-2182
LakeZurich.org

MEMORANDUM

Date: August 5, 2024
To: Ray Keller, Village Manager *PK*
From: Sarosh Saher, Community Development Director
CC: Colleen McCauley, Village Planner
Mary Meyer, Building Services Supervisor
Re: Zoning Application for a Variation – 1073 Avery Ridge Circle
Patrick and Kelly Kraus

AGENDA ITEM

7C

Issue

Mr. Patrick and Ms. Kelly Kraus (the “Applicants” and “Owners”), have filed a zoning application for the property at 1073 Avery Ridge Circle (the “Subject Property”). Specifically, the Applicants are seeking:

- A Variation from Zoning Code Section 8-11-1-F-1, Maximum Fence Heights: Corner Side Yards: Three Feet (3’), to authorize a 2-foot increase above the maximum permitted by the Zoning Ordinance, to allow for a five (5) foot high fence in the Corner Side Yard of the Subject Property under the current R-5 Zoning.

2014-2019 Strategic Plan. This agenda item is consistent with the following objectives under Goal #2 – Development:

- Become more business friendly and customer oriented.

Analysis

The Subject Property is located within the Village’s R-5 Single-family Residential District that provides for single-family homes. The R-5 zoning district only permits three-foot (3’) high fences in the front or corner side yards. A five-foot (5’) fence or higher privacy fence needs to be located behind the setback line from any front, or corner side lot line. In the case of the Subject Property, a five-foot (5’) fence must be located 30 feet back from the corner side lot line according the bulk requirements of the code. The Applicant is proposing a five-foot (5’) high fence that will begin at the northwest corner of the home, extend 34 feet to the sidewalk’s edge, then extend along the

Variation – 1073 Avery Ridge Circle
August 5, 2024

western edge of the property to the rear of the property and will then connect to an existing neighboring 5-foot-high fence. The fence would continue 25 feet to the northeast corner of the home to close in the rear yard.

The Applicant is proposing to install a 5-foot-tall aluminum ornamental fence to improve the safety of his children and pets.

The Planning and Zoning Commission (PZC) held a public hearing on July 18, 2024 to consider the application and voted 4-0 in favor of recommending approval of the variation to allow for the construction of the fence. No additional conditions were added other than those initially recommended by staff, and no further additional changes were required of the applicant. The video stream from the PZC meeting can be accessed via the link:

<https://play.champds.com/lakezurichil/event/130>

A detailed evaluation and summary of the project can be found in the Staff Report that was provided to the Planning and Zoning Commission, which is a part of the attached Ordinance.

Recommendation

The Planning and Zoning Commission opened the public hearing on July 17, 2024 but due to time constraints continued the hearing to July 18, 2024. At their meeting on July 18, 2024, the PZC recommended approval of the variation incorporating the conditions for approval provided by staff in its report with no further conditions.

Staff therefore recommends approval of the attached ordinance, with its specific attachments based on the following conditions for approval that are contained within said ordinance:

1. Substantial conformance with the following documentation submitted as part of the application and subject to revisions required by Village Staff, Village Engineer, and any applicable governmental agencies:
 - a. Zoning Application dated May 13, 2024, prepared by the Applicant Patrick Kraus, homeowner of 1073 Avery Ridge Circle; and Cover Letter.
 - b. Exhibit A: Legal Description of the Subject Property.
 - c. Plat of Survey provided by Patrick Kraus.
 - d. Letters of Consent from neighbors dated June 14, 2024.
 - e. Fence proposal prepared by Patrick Kraus, dated May 13, 2024.
2. As further mitigation for construction of the fence, the applicant shall agree not to further reduce the setback of the fence in the corner yard or increase its height beyond what is being proposed.
3. The fence and its construction shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich

Variation – 1073 Avery Ridge Circle
August 5, 2024

- Approval Ordinance including the following exhibits
 - Exhibit A – Legal description of the subject property
 - Exhibit B – July 17, 2023 staff report and planning and zoning commission final recommendation/conditions and its referenced exhibits

VILLAGE OF LAKE ZURICH



ORDINANCE NO. 2024-08-576

**AN ORDINANCE GRANTING A VARIATION RELIEF FROM THE
MAXIMUM FENCE HEIGHT REQUIREMENTS IN THE CORNER SIDE
YARD**

1073 Avery Ridge Circle

WHEREAS, Patrick and Kelly Kraus are the applicants and owners ("Applicant") for a variation for the property at 1073 Avery Ridge Circle, said property legally described in Exhibit A hereto ("Subject Property"):

WHEREAS, Applicant has filed zoning application PZC 2024-09, dated May 13, 2024, (the "Application") seeking the grant and approval of the following for the Subject Property:

- A Variation from Zoning Code Section 8-11-1-F-1, Maximum Fence Heights: Corner Side Yards: Three Feet (3'), to authorize a 2-foot increase above the maximum permitted by the Zoning Ordinance, to allow for a five (5) foot high fence in the Corner Side Yard of the Subject Property under the current R-5 Zoning.

WHEREAS, the Applicant seeks this variation under Chapter 17 of the Zoning Code of the Village of Lake Zurich for the Subject Property, said Subject Property currently within the Village's R-5 Single Family Residential Zoning District; and

WHEREAS, in compliance with the law, and the requirements of the Village of Lake Zurich Zoning Code, notice was published on July 1, 2024, in *The Daily Herald*, and the Village posted a public hearing sign on the Subject Property on June 28, 2024, both the newspaper and sign notices informing the public of a public hearing to be held before the Lake Zurich Planning and Zoning Commission ("PZC") on July 17, 2024, to consider the Application for this requested zoning relief; and

WHEREAS, the PZC opened the required public hearing on July 17, 2024, but continued the public hearing on July 18, 2024 due to time constraints; and

WHEREAS, the Applicant presented the Application to the PZC at the continued public hearing on July 18, 2024; and

WHEREAS, the PZC received and considered the STAFF REPORT dated July 17, 2024, addressing the request for a variation to construct the proposed fence which will exceed the maximum allowable height in the corner side yard; and considered all information presented by the Applicant, and the applicable factors required under of the Zoning Code; and, after the conclusion of the public hearing, the PZC recommended that the Board of Trustees approve the zoning relief and approval requested in this Application, with no additional conditions of approval, except those set forth hereinafter; and

WHEREAS, the President and Board of Trustees of the Village of Lake Zurich met on August 5, 2024, and considered the findings and recommendations of the PZC, including the STAFF REPORT dated July 17, 2023, consisting of 9 pages, including final findings and recommendations of the PZC with no additional conditions, said required zoning standards, findings and recommendations attached hereto as Exhibit B and having considered all of the facts and circumstances affecting the Application and these approvals, the President and Board of Trustees have determined that the applicable standards related to this zoning approval under the Village Zoning Code, Title 9, Chapter 17, have been met.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: ADOPTION AND INCORPORATION OF RECITALS. The foregoing recitals, findings, recommendations, exhibits and plans are incorporated herein as findings and requirements of the President and Board of Trustees, and all Exhibits referenced herein are made a part of and incorporated into this Ordinance and related approvals, except as otherwise provided below.

SECTION 2: GRANT OF VARIATION. The President and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and the provisions of Chapter 17 authorizing such variations and the standards for such variations of the Lake Zurich Zoning Code, hereby grant the following approval for the requested variation to allow for the construction of a fence, as shown and provided in the STAFF REPORT dated July 17, 2023, and Planning and Zoning Commission findings and recommendation, all consisting of 9 pages:

- A variation from Chapter 11 of Title 8 of the Lake Zurich Municipal Code entitled “Building Regulations;” Section 8-11-1-F-1, “Maximum Fence Heights: Front and Corner Side Yards,” which establishes the maximum allowable structure height of three (3) feet for the construction of fences within Corner Side Yards, in accordance with the standards for the grant of a variation set forth at Chapter 17 of the Zoning Code, Section 9-17-4, entitled “Standards for Variation”, to authorize the requested variation to increase the allowable height of the fence by two (2) feet to allow for a five (5) foot high fence in the Corner Side Yard.

SECTION 3: FINDINGS IN SUPPORT OF APPROVAL OF VARIATION. The findings, conditions and recommendations of the Planning and Zoning Commission as set forth in the STAFF REPORT dated July 17, 2024, and Planning and Zoning Commission recommendation, all consisting of 9 pages, are hereby accepted as the Board's own and shall be made a part of the official record for the Application and this grant of approval and subject to the following conditions for approval:

1. Substantial conformance with the following documentation submitted as part of the application and subject to revisions required by Village Staff, Village Engineer, and any applicable governmental agencies:
 - a. Zoning Application dated May 13, 2024, prepared by the Applicant Patrick Kraus, homeowner of 1073 Avery Ridge Circle; and Cover Letter.
 - b. Exhibit A: Legal Description of the Subject Property.
 - c. Plat of Survey provided by Patrick Kraus.
 - d. Letters of Consent from neighbors dated June 14, 2024.
 - e. Fence proposal prepared by Patrick Kraus, dated May 13, 2024.
2. As further mitigation for construction of the fence, the applicant shall agree not to further reduce the setback of the fence in the corner yard or increase its height beyond what is being proposed.
3. The fence and its construction shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

SECTION 4: COMPLIANCE WITH ORDINANCE AND ALL CODES. Except as otherwise specifically provided in writing in advance by the Village, no work may be commenced on the Subject Property pursuant to the approvals granted in this Ordinance until all conditions precedent of this Ordinance to such work have been fulfilled and after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.

SECTION 5: SEVERABILITY. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 6: CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 7: EFFECTIVE DATE. This Ordinance shall be in full force and effect upon its passage and approval, as provided by law.

PASSED THIS _____ day of _____, 2024.

Ayes:

Nays:

Absent:

Abstain:

APPROVED this ____ day of _____, 2024.

ATTEST:

Mayor Tom Poynton

Village Clerk
Kathleen Johnson

EXHIBIT A

Legal description of the Subject Property

LOT 21 IN AVERY RIDGE, BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 12, 2020 AS DOCUMENT 7683272, IN LAKE COUNTY, ILLINOIS.

Common Street Address: 1073 Avery Ridge Circle

Property Index Number (PIN): 14-09-309-004

EXHIBIT B

July 17, 2024 staff report and planning and zoning commission
recommendation/conditions consisting of 9 total pages and accompanying Exhibits



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

(847) 540-1696
Fax (847) 726-2182
LakeZurich.org

APPLICATION PZC 2024-09
PZC Meeting Date: July 17, 2024

AGENDA ITEM 4.B

STAFF REPORT

To: Chairperson Stratman and Members of the Planning & Zoning Commission

From: Sarosh Saher, Community Development Director

CC: Colleen McCauley, Village Planner
Mary Meyer, Building Services Supervisor

Date: July 17, 2024

Re: PZC 2024-09 – Zoning Application for a Corner Side Yard Fence Variation
1073 Avery Ridge Circle

SUBJECT

Mr. Patrick and Ms. Kelly Kraus (the “Applicant” and “Owner”) request a Variation from Zoning Code Section 8-11-1-F-1, Maximum Fence Heights: Front and Corner Side Yards: Three Feet (3’) to allow for the construction of a five-foot (5’) high fence within the required corner side yard setback at the property commonly known as 1073 Avery Ridge Circle, legally described in Exhibit A attached hereto (the “Subject Property”). The property is located within the Avery Ridge Subdivision.

GENERAL INFORMATION

Requested Action: Variation of Maximum Fence Height in Corner Side Yard

Current Zoning: R-5 Single Family Residential District

Current Use: Single Family Home

Property Location: 1073 Avery Ridge Circle

Applicant and Owner: Mr. Patrick and Ms. Kelly Kraus

Staff Coordinator: Colleen McCauley, Village Planner

Staff Report
APPLICATION PZC 2024-09

Community Development Department
PZC Meeting Date: July 17, 2024

LIST OF EXHIBITS

- A. Legal Description
- B. Public Meeting Sign
- C. Site Photos
- D. Aerial Map
- E. Zoning Map
- F. Parcel Map
- G. Development Application and Attachments
- H. Development Review Comments

BACKGROUND

Mr. Patrick and Ms. Kelly Kraus (the “Applicant” and “Owner”) are the owners of the property located at 1073 Avery Ridge Circle, and legally described in Exhibit A attached hereto (the “Subject Property”). The Applicant filed an application with the Village of Lake Zurich received on May 18, 2024 (the “Application”) seeking:

- A Variation from Zoning Code Section 8-11-1-F-1, Maximum Fence Heights: Front and Corner Side Yards: Three Feet (3’)

The Subject Property is located within the Village’s R-5 Single-family Residential District that provides for single-family homes. The R-5 zoning district only permits three-foot (3’) high fences in the front or corner side yards. A five-foot (5’) fence or higher privacy fence needs to be located behind the setback line from any front, or corner lot line. In the case of the Subject Property, a five-foot (5’) fence must be located 30 feet back from the corner side lot line according the bulk requirements of the code. The Applicant is proposing a five-foot (5’) high fence that will begin at the northwest corner of the home, extend 34 feet to the sidewalk’s edge, then extend along the western edge of the property to the rear of the property and will then connect to an existing neighboring 5-foot-high fence. The fence would continue 25 feet to the northeast corner of the home to close in the rear yard.

The Applicant is proposing to install a 5-foot-tall aluminum ornamental fence to improve the safety of his children and pets.

The Applicant will obtain the clearance from all utility companies to install the fence in his corner side yard prior to construction. There are no Village utility easement requirements or grade concerns that would prevent a fence from being constructed in the western portion of this lot. The Applicant has obtained the consent of the owners of the two adjacent neighbors for the construction of the higher fence.

Pursuant to public notice published on July 1, 2024, in the Daily Herald, a public hearing has been scheduled with the Lake Zurich Planning & Zoning Commission for July 17, 2024, to consider the Application. On June 28, 2024, the Village posted a public hearing sign on the Subject Property (Exhibit B).

Staff Report
APPLICATION PZC 2024-09

Community Development Department
PZC Meeting Date: July 17, 2024

Staff offers the following additional information:

- A. Courtesy Review.** Due to the low impact of this project, courtesy review was not recommended.
- B. Zoning History.** The property is located within the Avery Ridge Subdivision on Lot 21, which was recorded on August 12, 2020 in Lake County and is zoned within the R-5 Single Family Residential District. The home was built in October of 2021.
- C. Surrounding Land Use and Zoning.** The subject property is zoned within the R-5 Single Family Residential District. All surrounding properties are zoned within the R-5 Single Family Residential District and are improved with residences within Avery Ridge's Subdivision which developed in the early 2020s.
- D. Trend of Development.** The residence at 1073 Avery Ridge was constructed in 2021. It is a two-story home and is similar to the other homes in the subdivision that were also constructed in the early 2020s.
- E. Zoning District.** The zoning code provides for four (4) zoning districts for single-family residential development. The single-family districts provide for a limited range of single-family detached housing densities consistent with the village's established single-family residential neighborhoods. The R-5 district allows for somewhat higher density residential use and smaller lot sizes.

Taken as a whole, the residential district regulations are intended to preserve established neighborhoods and encourage new residential development, but only in a manner consistent with the overall character of the village.

GENERAL FINDINGS

Staff of the Community Development Department's development review team has evaluated the development against the various standards and provisions of the Lake Zurich Municipal Code and offers findings on the following specific sections of the Code.

9-17-4: STANDARDS FOR VARIATIONS.

- A. General Standard:** No variation shall be granted pursuant to this chapter unless the applicant shall establish that carrying out the strict letter of the provisions of this zoning code would create a particular hardship or a practical difficulty. Such a showing shall require proof that the variation being sought satisfies each of the standards set forth in this section.

Staff Response: Standard met. Applicant has shown proof that there is a practical difficulty in constructing the fence in compliance with the provisions of the current zoning code. The proposed fence is restricted in location due to the corner side yard

Staff Report
APPLICATION PZC 2024-09

Community Development Department
PZC Meeting Date: July 17, 2024

dimensions and setbacks. The variation being sought will provide utility to the yard and satisfy each of the standards set forth in this section.

- B. Unique Physical Condition: The subject property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use or structure, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

Staff Response: Standard met. Lot 21 of the Avery Ridge Subdivision is on a corner side lot and is relatively the same size as the neighboring properties. The lot being situated on the corner limits the amount of property that can be enclosed by a 5-foot high fence. The corner side yard setback is 30 feet, which would reduce the yard by 30%. The Applicant is therefore requesting a variation to construct a higher fence within the corner side yard setback and give the yard the necessary width to make it a usable space.

- C. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this zoning code, for which no compensation was paid.

Staff Response: Standard met. The unique or extraordinary physical condition was not the result of any action of the property owner, rather a result of the design and configuration of the original developer.

- D. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variation is sought would deprive the owner of the subject property of substantial rights commonly enjoyed by owners of other lots subject to the same provision.

Staff Response: Standard met. The Applicant is requesting a five-foot high fence to surround the rear yard of his property. Denying the fence to be built would deny the property owner the opportunity to safely enjoy the entire outdoor area (rear yard) offered to other residents.

- E. Not Merely Special Privilege: The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.

Staff Report
APPLICATION PZC 2024-09

Community Development Department
PZC Meeting Date: July 17, 2024

Staff Response: Standard met. The hardship does not involve the inability of the owner to enjoy any special privilege in using the property. Granting the variation will allow the current owner to enjoy the fenced in outdoor space that is traditional and customary to the enjoyment and use of a residential property.

- F. Code and Plan Purposes: The variation would not result in a use or development of the subject property that would be not in harmony with the general and specific purposes for which this zoning code and the provision from which a variation is sought were enacted or the general purpose and intent of the official comprehensive plan.

Staff Response: Standard met. Granting the variation would not change the residential use of the Subject Property. The location and design of the home, the fence and other accessory structures will continue to remain in harmony with the residential purpose of the zoning code and comprehensive plan.

- G. Essential Character of the Area: The variation would not result in a use or development on the subject property that:

1. Detrimental to Enjoyment: Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or

Staff Response: Standard met. If the Applicant is granted the requested variation, it will not create a negative effect on public welfare, enjoyment, development, or value of property.

2. Light and Air: Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or

Staff Response: Standard met. Granting of the variation would have no effect on the supply of light and air to the subject property or those properties in the vicinity, as the Applicants only wish to construct a fence within the corner side yard of the property.

3. Congestion: Would substantially increase congestion in the public streets due to traffic or parking; or

Staff Response: Not Applicable. Granting of the variation would not affect any congestion due to traffic or parking as the land use or density of the property is not being altered. The Avery Ridge Subdivision has one entrance and exit point for the 34-home community and the Subject Property is located towards the rear of the subdivision.

4. Flood or Fire: Would unduly increase the danger of flood or fire; or

Staff Report
APPLICATION PZC 2024-09

Community Development Department
PZC Meeting Date: July 17, 2024

Staff Response: Standard met. The proposed fence is not a solid fence and will therefore not increase any risk of flood or fire. The fence is proposed to be built to modern standards of the building and zoning code, and will not impede the drainage flow on the property.

5. **Tax Public Facilities:** Would unduly tax public utilities and facilities in the area; or

Staff Response: Standard met. No utilities are proposed to be connected to the proposed fence. Granting of the variation would therefore not cause the property to unduly tax public utilities or facilities in the area since its function would not change.

6. **Endangerment:** Would endanger the public health or safety.

Staff Response: Standard met. The proposed variation would not affect the public's health, safety or welfare.

- H. **No Other Remedy:** There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property.

Staff Response: Standard partially met. The fence is only being constructed in the proposed location to give the rear yard the desired utility.

However, the height of the fence is not at the minimum adjustment that the property owner could apply to give the fenced-in portion of the yard a reasonable level of functionality – namely:

- **that a lower fence (3-foot) can be constructed at the same location within the corner side yard and still allow the rear yard to be functional.**
- **A 5-foot fence can be constructed at the 30-foot setback line where it is allowed.**

However, the design of the proposed fence is in conformance with the Avery Ridge Subdivision standards. The homeowner's association has strict guidelines regarding fence type, style, and height to maintain proper aesthetics and uniformity in the 34-home community. The proposed fence would connect to an adjacent neighbor's existing fence of the same height and style. There are no 3-foot-high fences in the neighborhood at this time. Additionally, the proposed five-foot-high fence is due to the Applicant's desire to maximize safety for his pets and children.

Further, the following measures or existing features serve as justification of the variation being requested:

1. **The fence is proposed as an open aluminum ornamental fence with a high level of transparency. The design will mitigate the barrier effect of the**

Staff Report
APPLICATION PZC 2024-09

Community Development Department
PZC Meeting Date: July 17, 2024

fence along the street.

- 2. The owners of the adjacent properties have not objected to the construction of the fence as proposed and have all submitted letters of support.**

Staff therefore recommends approval of the variation, despite the partial compliance with this standard.

RECOMMENDATION

The recommendation of the Planning and Zoning Commission should be based on the standards included in the following Sections of the Lake Zurich Municipal Code:

- Section 9-17-4: Standards for Variations

Section 9-17-5 entitled “Variation less than requested” provides the PZC with the option of granting a variation less than or different from that requested when the record supports the applicant's right to some relief but not to the relief requested.

Based on the review of the standards for approval which have been met with the exception of Standard H, staff recommends that the Planning and Zoning Commission make these standards a part of the official record of the Application.

Further, based on the existing conditions and mitigation proposed by the owner as further described in the staff response to Standard H, Staff of the Community Development Department recommends the approval of PZC 2024-09, subject to the following conditions:

1. Substantial conformance with the following documentation submitted as part of the application and subject to revisions required by Village Staff, Village Engineer, and any applicable governmental agencies:
 - a. Zoning Application dated May 13, 2024, prepared by the Applicant Patrick Kraus, homeowner of 1073 Avery Ridge Circle; and Cover Letter.
 - b. Exhibit A: Legal Description of the Subject Property.
 - c. Plat of Survey provided by Patrick Kraus.
 - d. Letters of Consent from neighbors dated June 14, 2024.
 - e. Fence proposal prepared by Patrick Kraus, dated May 13, 2024.
2. As further mitigation for construction of the fence, the applicant shall agree not to further reduce the setback of the fence in the corner yard or increase its height beyond what is being proposed.
3. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

Staff Report
APPLICATION PZC 2024-09

Community Development Department
PZC Meeting Date: July 17, 2024

Respectfully submitted,

Colleen McCauley, Village Planner

Staff Report
APPLICATION PZC 2024-09

Community Development Department
PZC Meeting Date: July 17, 2024

**LAKE ZURICH PLANNING & ZONING COMMISSION
FINAL FINDINGS & RECOMMENDATIONS**

**1073 AVERY RIDGE CIRCLE
JULY 17, 2023**

The Planning & Zoning Commission recommends approval of Application **PZC 2024-09**, and the Planning & Zoning Commission adopts the findings as contained within the Staff Report dated **July 17, 2024** for this Application and subject to any changes or approval conditions as listed below:

1. Substantial conformance with the following documentation submitted as part of the application and subject to revisions required by Village Staff, Village Engineer, and any applicable governmental agencies:
 - a. Zoning Application dated May 13, 2024, prepared by the Applicant Patrick Kraus, homeowner of 1073 Avery Ridge Circle; and Cover Letter.
 - b. Exhibit A: Legal Description of the Subject Property.
 - c. Plat of Survey provided by Patrick Kraus.
 - d. Letters of Consent from neighbors dated June 14, 2024.
 - e. Fence proposal prepared by Patrick Kraus, dated May 13, 2024.
2. As further mitigation for construction of the fence, the applicant shall agree not to further reduce the setback of the fence in the corner yard or increase its height beyond what is being proposed.
3. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

- ☒ Without any further additions, changes, modifications and/or approval conditions.
- ☐ With the following additions, changes, modifications and/or approval conditions:



Planning & Zoning Commission Chairman

Staff Report
APPLICATION PZC 2024-09

Community Development Department
PZC Meeting Date: July 17, 2024

EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY

LOT 21 IN AVERY RIDGE, BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 12, 2020 AS DOCUMENT 7683272, IN LAKE COUNTY, ILLINOIS.

Common Street Address: 1073 Avery Ridge Circle
Property Index Number (PIN): 14-09-309-004

Staff Report
APPLICATION PZC 2024-09

Community Development Department
PZC Meeting Date: July 17, 2024

EXHIBIT B

PUBLIC HEARING SIGNS PRESENT AT SUBJECT PROPERTY







1073 Avery Ridge Circle

Fence Variation



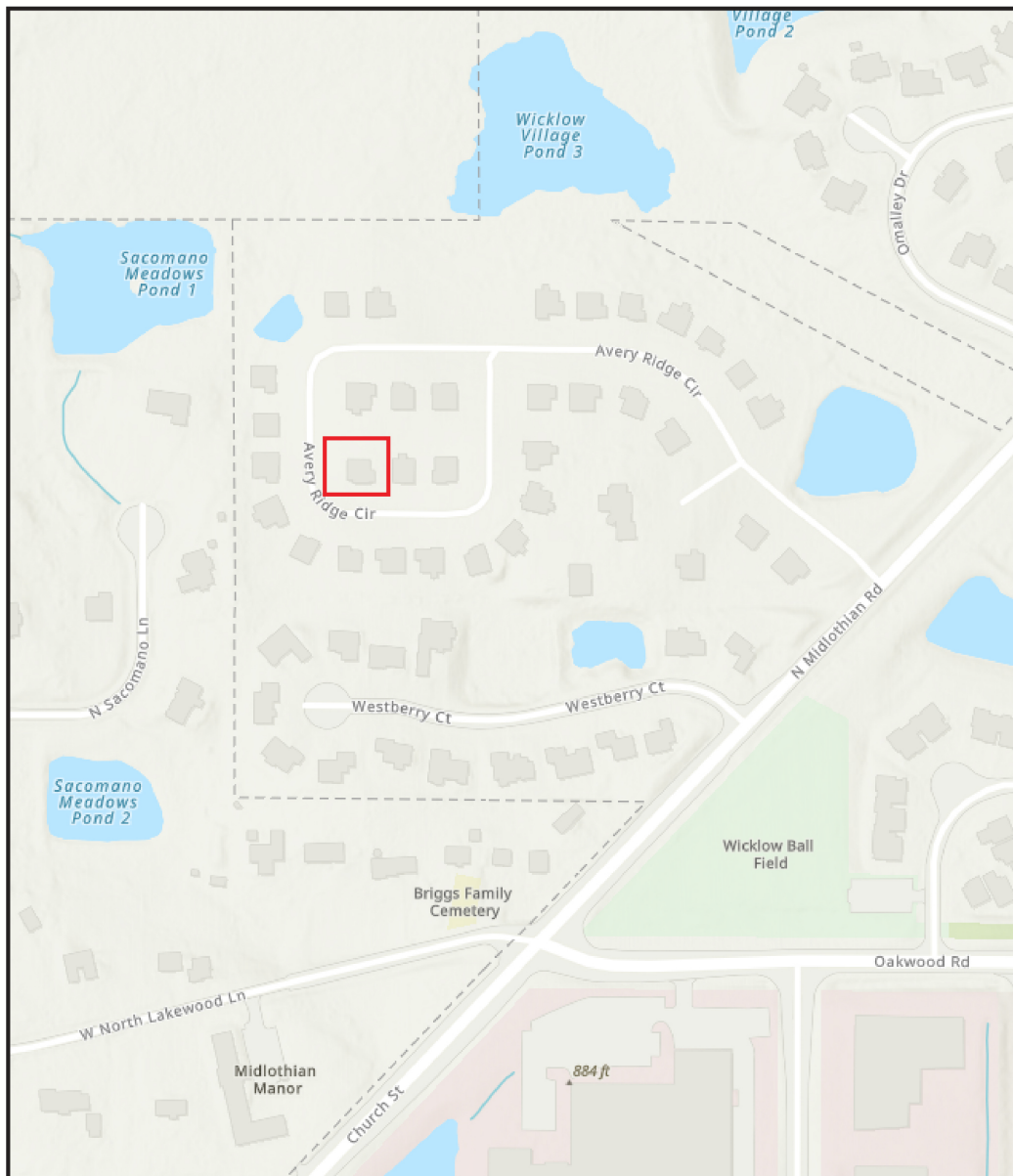
0 50 100 200 feet


-  Subject Property
-  Tax Parcels



1073 Avery Ridge Circle

Fence Variation

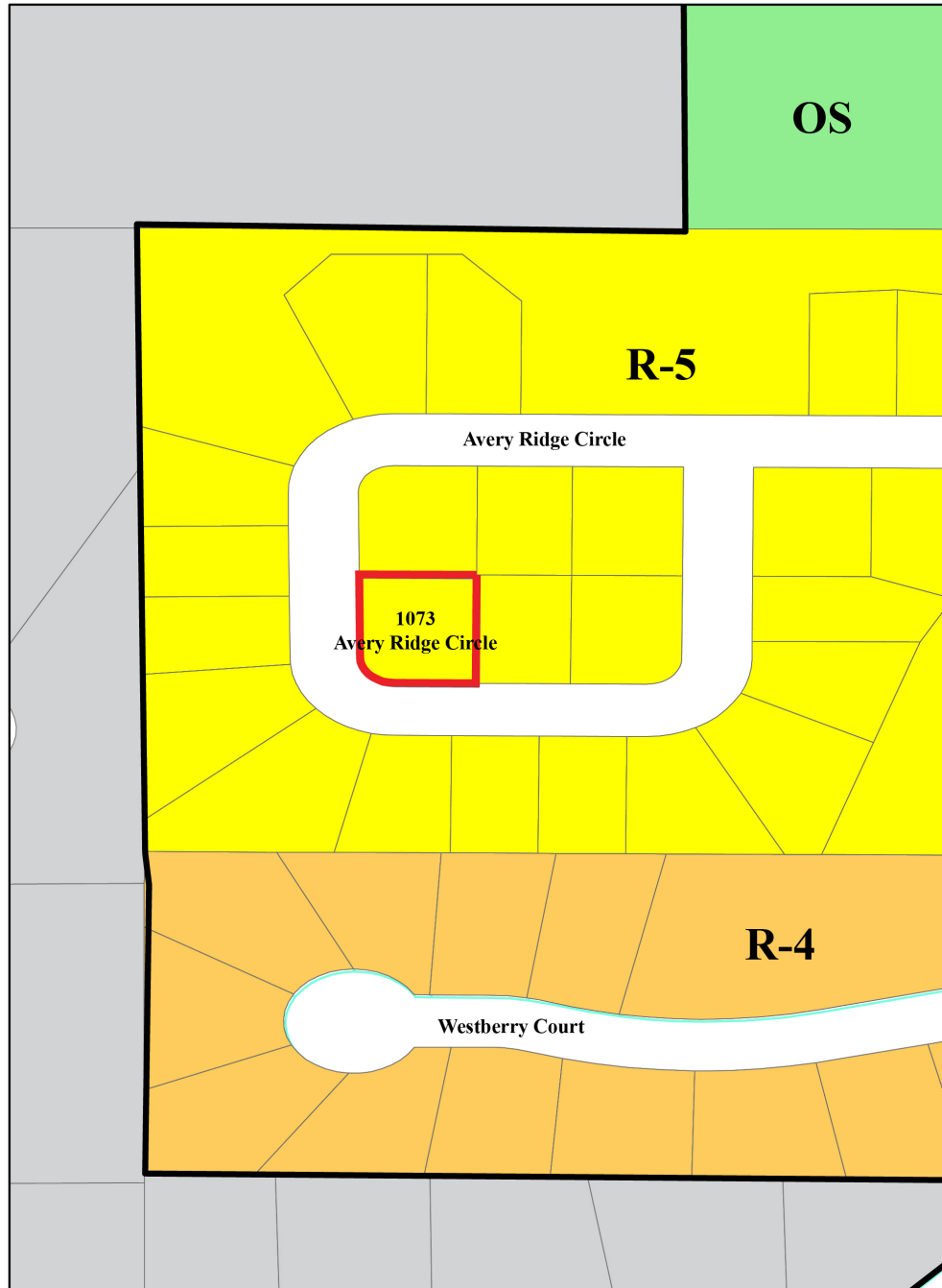


 Subject Property



1073 Avery Ridge Circle

Fence Variation



0 50 100 200 feet



Subject Property



R-5



Open Space



R-4



Outside Village Boundary

**VILLAGE OF LAKE ZURICH
NOTICE OF PUBLIC HEARING**

PUBLIC NOTICE IS HEREBY GIVEN to all persons that the Village of Lake Zurich Planning & Zoning Commission shall conduct a public hearing on **July 17, 2024**, at 7:00 P.M. in the Board Room of the Lake Zurich Village Hall, 70 East Main Street, Lake Zurich, Illinois for the purpose of considering a zoning application filed with the Village requesting approval for a Variation to allow for the installation of a five foot residential fence at the property whose common street address and property index number (PIN) are stated below. A copy of the application and the Zoning Code are on file with, and available for public inspection during regular Village business hours in the Lake Zurich Community Services Department.

Common Street Address: **1075 Avery Ridge Road**
Property Index Number (PIN): **14-09-309-004**

At said public hearing, the Planning & Zoning Commission shall accept all testimony and evidence pertaining to said application and shall consider any and all possible zoning actions, including the granting of any necessary special use permits, variations, other special approvals, or amendments to the text of the Zoning Code that may be necessary or convenient to permit development of the proposed type of the described property. All interested persons are invited to attend and be heard.

Orlando Stratman
Chairperson, Planning & Zoning Commission
Published in Daily Herald June 29, 2024 (4617170)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Lake County Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Lake County DAILY HERALD**. That said **Lake County DAILY HERALD** is a secular newspaper, published in Libertyville, Lake County, State of Illinois, and has been in general circulation daily throughout Lake County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Lake County DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 06/29/2024 in said **Lake County DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY



Designee of the Publisher of the Daily Herald

Control # 4617170



Variation of Maximum Fence Height in Corner Side Yard

Summary:

Mr. Patrick and Ms. Kelly Kraus (the “Applicants” and “Owners”), are the owners of the property located at 1073 Avery Ridge Circle, and legal owners of the property request a variation of the maximum fence height in corner side yard.

The Applicants are proposing to install a 5-foot-tall aluminum ornamental fence which would attach to their neighbors existing 5-foot-tall aluminum ornamental fence.

The variation request would provide:

- Increased safety for their four children ages nine, six, and one-year-old twins.
- Proper containment and safety for pets (large dog breed).
- Uniformity and proper aesthetics throughout the neighborhood.
 - Avery Ridge HOA mandates black wrought iron or aluminum fence
 - No three-foot (3') fences currently exist within the neighborhood.
- Full utilization of backyard
 - Side yard is 35 feet of 100-foot total rear lot line
 - 35-foot setback would reduce backyard space by 35%

Owners have obtained the consent of two adjoining neighbors for the construction of the higher fence.

Precedence exists at corner lot 1051 Avery Ridge Circle.

There is no impact on traffic or congestion. The 34-home community is one way in, one way out and property is located in rear corner of subdivision.

Included documents:

- Adjoining neighbor consent
- Pictures of property
- Aerial photo of property and neighborhood
- 2 Plat of survey
- Original Permit Application
- Title
- Fence Proposal and Contract

To: Planning & Zoning Commission of Lake Zurich

Regarding:

Fence Setback Variance

1073 Avery Ridge Circle

Lake Zurich, IL 60047

I am writing to request a fence variation for my single-family home located at 1073 Avery Ridge Circle, Lake Zurich, IL. The current zoning rules would require a setback of 35 feet which would reduce my backyard by 35%. I respectfully request to install an aluminum ornamental fence measuring a height of five feet which would attach to my neighbors existing fence of the same height and style. I have already received permission from my neighbor to attach to their existing fence.

Furthermore, I have secured signed documentation from both my interior and rear-adjointing neighbors, indicating their lack of objection to my proposal of a five-foot fence, and the relevant documentation is included with this request.

My family and I have resided in this home since it's construction in October of 2021. I live at the residence with my wife, and four children, ages nine, six, and one-year-old twins.

The primary motivation behind my request is the safety of our children. Given that we have one-year-old twins, we wish to enclose our full backyard to allow them to explore safely. We also wish to install a five-foot fence to safely enclose pets.

In addition, our HOA has strict guidelines regarding the fence type and style to maintain proper aesthetic appeal and uniformity of our 34-home community. Presently, there are no existing three-foot fences within the community, and attaching one of that height would not only be aesthetically displeasing but also reduce its effectiveness.

There is currently precedence at the corner lot of 1051 Avery Ridge Circle which supports our request. Importantly, the proposed fence type allows for full visibility of the yard, sidewalk, and street, ensuring there is no impact on traffic or congestion in our 34-home community which only has one entrance and exit point. Our property is located in the rear corner of the subdivision.

Thank you for your time and consideration in reviewing this request.

Respectfully,

Patrick Kraus

815-341-0208

Pkraus40@gmail.com

Letter of Consent From Adjoining Neighbors

I, Ryan Pullano, am the legal owner of property located at 1059 Avery Ridge Circle, Lake Zurich, IL, which is an adjoining property to the petitioner's address (1073 Avery Ridge Circle, Lake Zurich, IL). I am aware that a variation to install a five-foot aluminum ornamental fence is being applied for at the subject property. I have reviewed the plans as presented to me by the property owners for the proposed fence installation project.

I have NO OBJECTION to granting my consent for their request for a five-foot fence installation.

RP
Neighbor Signature

6/13/24
Date

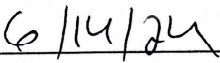
Letter of Consent From Adjoining Neighbors

I, Mike Pantis, am the legal owner of property located at 1077 Avery Ridge Circle, Lake Zurich, IL, which is an adjoining property to the petitioner's address (1073 Avery Ridge Circle, Lake Zurich, IL). I am aware that a variation to install a five-foot aluminum ornamental fence is being applied for at the subject property. I have reviewed the plans as presented to me by the property owners for the proposed fence installation project.

I have NO OBJECTION to granting my consent for their request for a five-foot fence installation.



Neighbor Signature



Date



Front Corner of home with side yard facing Avery Ridge Circle



Sideyard



Backyard 1



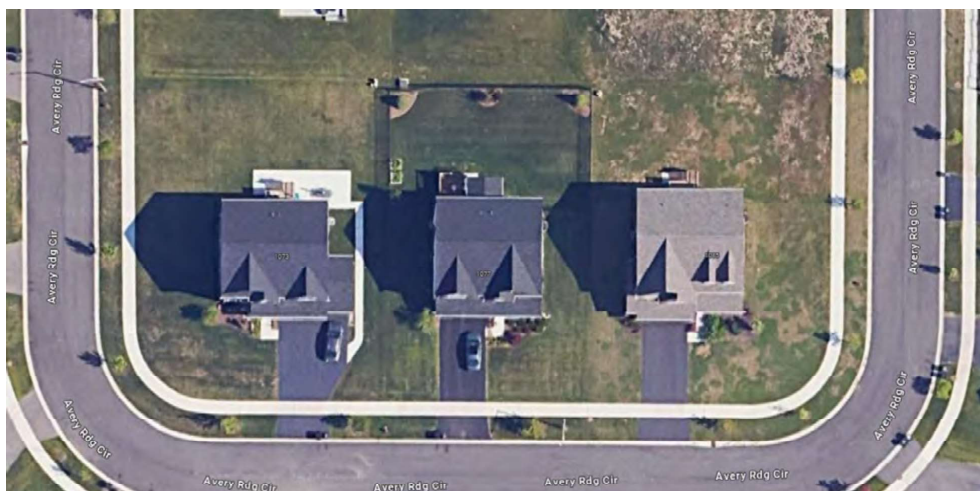
Backyard 2



Backyard 3



Aerial photo of subdivision – red indicates property

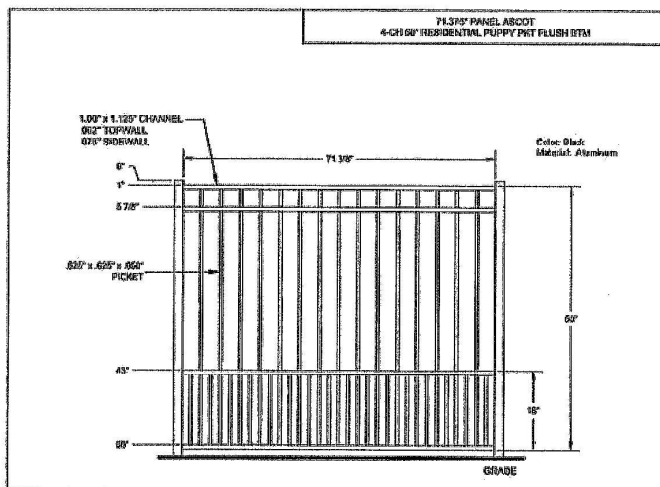


Aerial photo of property

**EXHIBIT D TO
DECLARATION FOR AVERY RIDGE**

Fence Specifications

1. Black wrought iron or aluminum.
2. Height to comply with municipal codes, but not exceeding five (5) feet in height from the finished grade of the lot as approved by the Municipality.
3. Style as set forth in the depiction below. Note that the depiction includes the "puppy picket" feature which is optional.



D-I

**Community Development Department**

505 Telser Road
 Lake Zurich, IL 60047
 P: (847) 540-1696 F: (847) 726-2182
 www.LakeZurich.org
 Permits@LakeZurich.org

Permit ApplicationDate of Application 5/13/24**Project Information**Property Address: 1073 Avery Ridge CircleType of Project: Fence InstallationBusiness Name: The North Fence

(For commercial/industrial applications only)

Owner's Name/Address: Patrick Kraus
(If different from above)Owner's Phone: 815-341-0208Value of proposed construction/improvements: \$ 8,260Owner's Email: pkraus40@gmail.com**Description of Work**Install 210 of 5h Black Aluminum Fence with 2 single gates**Contractor Information**

Contractors are required to be registered with the Village of Lake Zurich. Please refer to the Contractor Registration Application.

General Contractor: Maglio GonzalezPhone: 847-563-0093Address: 1701 IL RT 120 MchenryE-mail: Thenorthfence@gmail.com

Other Contractor: _____ Type: _____

Phone: _____

Address: _____

E-mail: _____

Other Contractor: _____ Type: _____

Phone: _____

Address: _____

E-mail: _____

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Printed Applicant Name: Maglio GonzalezPhone: 847-563-0093Applicant Signature: maglio gonzalezOwner or Contractor ☒ Contractor
(Please Select One)Property Owner Signature: PKR 1a

Application must be signed by the property owner. A signed letter of authorization/contract from the property owner must be submitted with the application in lieu of signature on application.


Director of Building and Zoning Signature: _____

Date: _____

Lake Zurich Fence Permit

Attachment to Adjoining Fence Permission:

This is to advise that I, Mike Ranters of 1077 Avery Ridge Circle permits my neighbor, Patrick Kraus of 1073 Avery Ridge Circle, to attach their fence to our existing fence.

 5/17/24

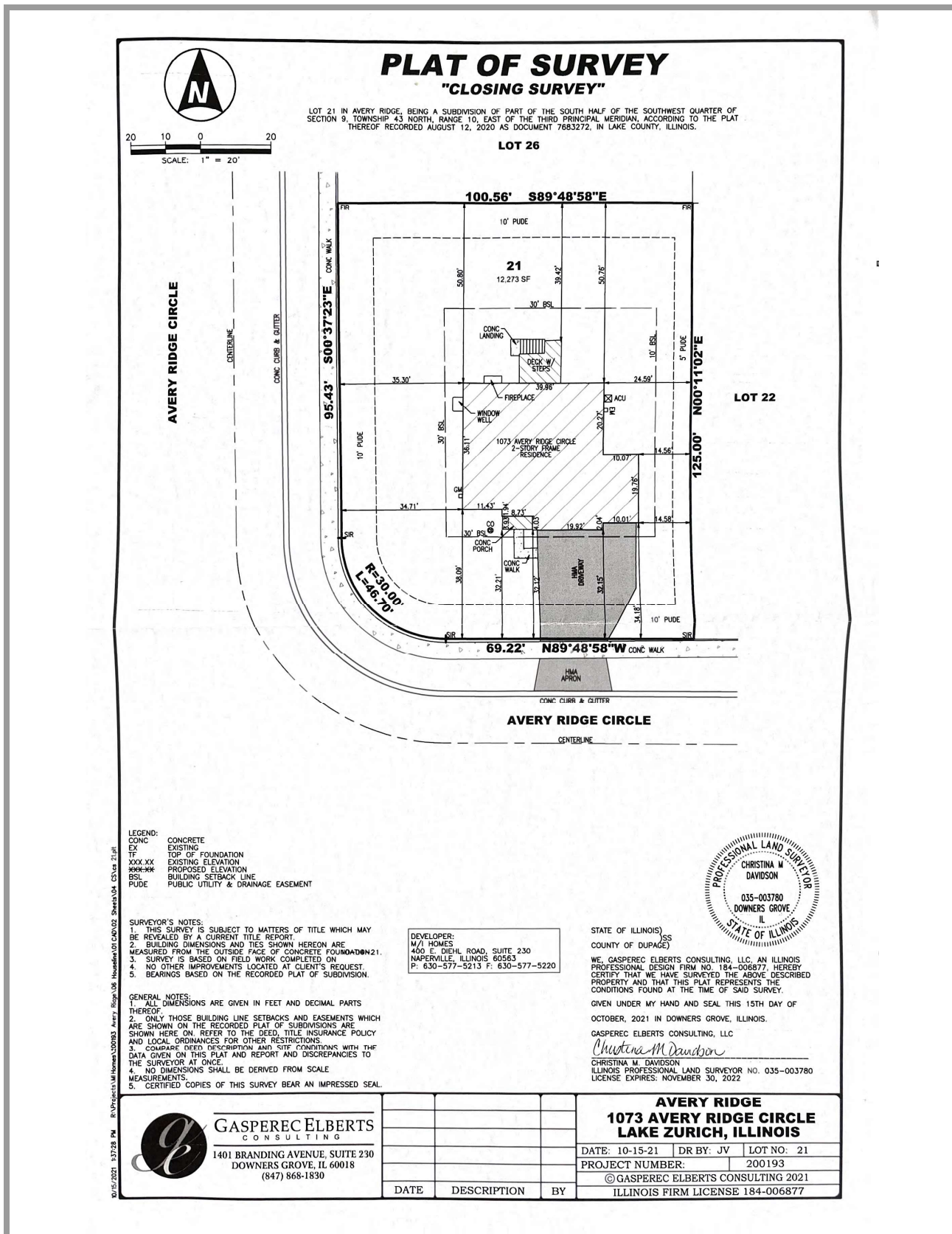
Signature

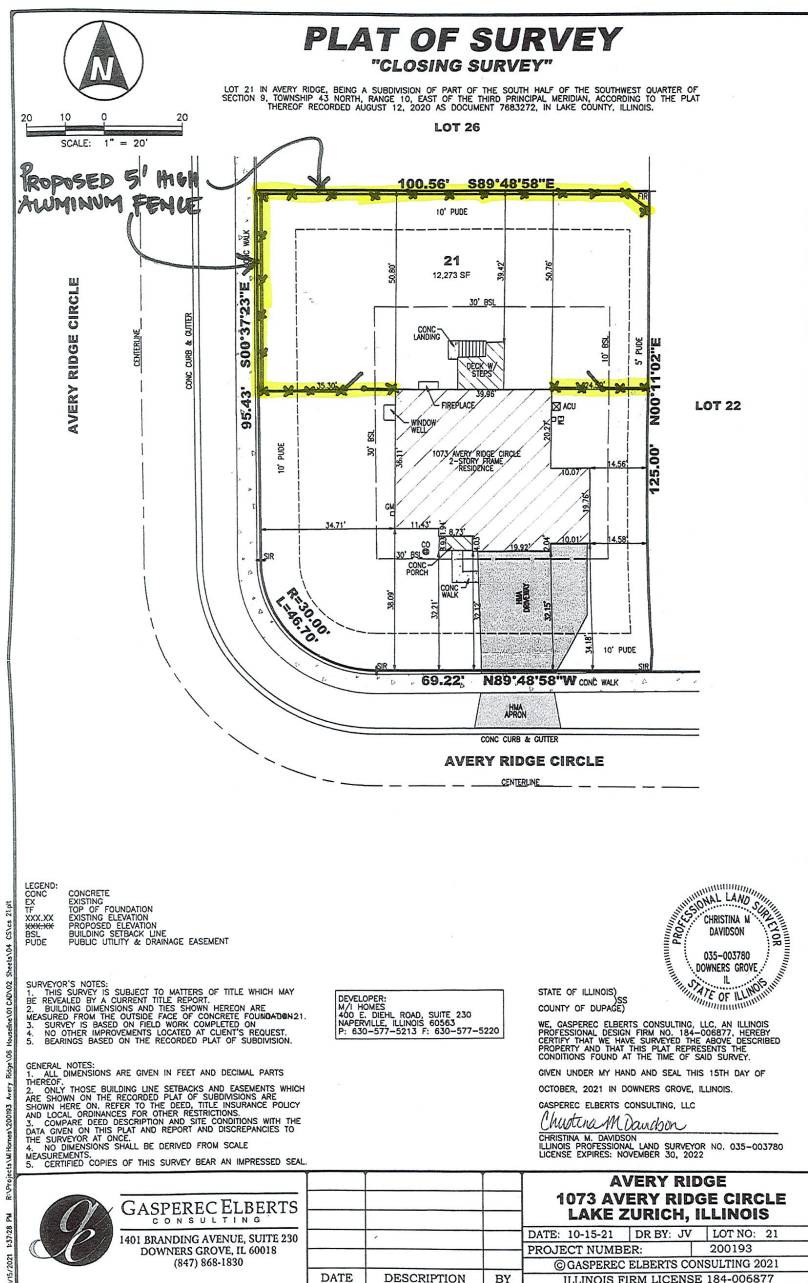
Mike Ranters

Print Name

1077 Avery Ridge Cir, Lake Zurich, IL 60047

Print Your Address







At the Heart of Community

Locations

*The proper location of the fence is the responsibility of the homeowner and contractor. All fences shall be wholly within lot lines. End posts are required within your lot line.

*Attachment to an adjoining fence requires written permission from the owner of the fence.

*Fence heights shall not exceed 5 feet in any zoning lot, except that fence height shall not exceed 3 ft in any front or corner side yard.

*Privacy screening may not be erected in any required yard setback, nor exceed 6 ft in height, and 50 linear ft in total length. See Zoning Code for special requirements for certain properties adjacent to main roads.

*Rear yard fences that abut certain rights-of-way can be 6 ft high and shall be of natural color wood; stockade fences are not permitted. Certain subdivisions are restricted to specific fence types and heights.

Costs

Residential

\$22.00 Plan Review Fee

\$45.00 Permit Fee

Commercial

\$55.00 Plan Review Fee

\$115.00 Permit Fee

Fences

Residential & Commercial Fences
Dog Runs



Materials

****NO barbed wire, razor wire, or similar material is allowed. Electrically charged fences are prohibited.****

Rules & Restrictions

*The finished side of all fences shall face away from the owner's property.

*All support posts must be set in concrete or compacted gravel to a minimum depth of 30 inches.

*Chain link and wire fabric fences shall be a minimum of 11 gauge in residential districts and not permitted in corner or side yard and 9 gauge in all other zoning districts. No wire fence may be erected in any required front yard.

*Every fence shall be constructed to resist a horizontal wind pressure of not less than 35 pounds per square foot, in addition to other normal forces.

*No advertising signs are allowed on fences.

*Dog runs shall be located behind the rear building line and maintain a minimum 10 ft side yard and 10 ft rear yard setback.

*Contact utility company prior to boxing out fence around utility. Owner is responsible for maintaining their property even if utility area is boxed out.

*Call J.U.L.I.E. (800-892-0123) before digging.

Note:

*If an inspector needs to return more than once for the same phase of any required inspection, a \$85.00 residential re-inspection fee, or a \$170.00 commercial re-inspection fee, will be required to be paid before the re-inspection takes place.

What to Submit

*Completed application.

*2 copies of a Certified Plat of Survey with lines drawn or highlighted to show the precise location of where you are proposing to erect the fence.

*A signed contract or scope of work that includes the description of the proposed fence, including material, style, and height.

Inspections

*Inspections are scheduled for A.M. or P.M. Monday through Friday with 48 hours advance notice at 847-540-1696. Call before 1:00 P.M. two business days before you want your inspection. Same day re-inspections are not available.

*Pre-pour inspection-after postholes are dug and prior to setting posts. **A string line must be installed along the property line to show the proposed fence line and must be maintained until inspections are completed.**

*Final inspection. In some cases an engineering final may be required.

I have read and reviewed these requirements.

Signature of Applicant

Date

Address

[Signature]

6/18/24

1073 Avery Ridge Cir
Lake Zurich, IL 60047

SPECIAL WARRANTY DEED
ILLINOIS STATUTORY
LIMITED LIABILITY COMPANY

FIRST AMERICAN TITLE
FILE # 3112764

Preparer File: 3112764-Kraus
FATIC No.: GF-1012814

THE GRANTOR, M/I Homes of Chicago, LLC, a limited liability company created and existing under and by virtue of the laws of the State of DE and duly authorized to transact business in the state of IL, for and in consideration of Ten and 00/100 Dollars, and other good and valuable consideration, in hand paid, and pursuant to authority given by the Managers of said limited liability company, CONVEY(S) and WARRANT(S) to Patrick Kraus and Kelly Kraus, husband and wife, as tenants by the entirety, of 12 S. Winston Drive, Palatine, IL 60074 of the County of Cook, the following described Real Estate situated in the County of Lake in the State of Illinois, to wit:

See Exhibit "A" attached hereto and made a part hereof

SUBJECT TO: Covenants, conditions and restrictions of record; Private, public and utility easements and roads and highways; Party wall rights and agreements; General taxes for the year 2021 and subsequent years

Grantor, for itself and its successors and assigns, hereby covenants and represents that it has not done, or suffered to be done, anything whereby the premises hereby conveyed is, or may be, in any manner encumbered or charged, except as recited herein, and that it will warrant and defend the premises against all persons lawfully claiming by, through or under the grantor.

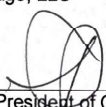
Permanent Real Estate Index Number(s): 14-09-300-005-underlying 14-09-309-004-new

Address(es) of Real Estate: 1073 Avery Ridge Circle
Lake Zurich, Illinois 60047

In Witness Whereof, said party of the first part has caused its corporate seal to be hereunto affixed, and has caused its name to be signed to these presents by its Vice President of Operations, this:

21st day of October, 2021.

M/I Homes of Chicago, LLC

By: 
Brian Potvin, Vice President of Operations



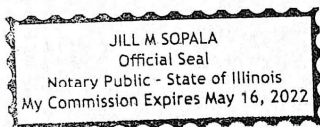
First American
Title Insurance Company

Special Warranty Deed - LLC

STATE OF ILLINOIS, COUNTY OF DUPAGE

I, the undersigned, a Notary Public in and for said County and State aforesaid, DO HEREBY CERTIFY, that Brian Potvin, personally known to me to be the Vice President of Operations of the M/I Homes of Chicago, LLC, and personally known to me to be the same person(s) whose name(s) are subscribed to the forgoing instrument, appeared before me this day in person and severally acknowledged that as such Brian Potvin signed and delivered the said instrument, pursuant to authority given by the Managers of said limited liability company, as their free and voluntary act, and as the free and voluntary act and deed of said limited liability company, for the uses and purposes therein set forth.

Given under my hand and official seal this 21st day of October, 2021.



Jill M. Sopala
Notary Public

Prepared by: Rachel Bedore
M/I Homes of Chicago, LLC
400 E. Diehl Road Suite 230
Naperville, IL 60563

Mail to:
Patrick and Kelly Kraus
1073 Avery Ridge Circle
Lake Zurich, IL 60047

Name and Address of Taxpayer:
Patrick and Kelly Kraus
1073 Avery Ridge Circle
Lake Zurich, IL 60047



First American
Title Insurance Company

Special Warranty Deed - LLC

Exhibit "A" – Legal Description

LOT 21 IN AVERY RIDGE, BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 12, 2020 AS DOCUMENT 7683272, IN LAKE COUNTY, ILLINOIS. !



*First American
Title Insurance Company*

Special Warranty Deed - LLC



DocuSign Envelope ID: 3856C42A-489C-48BB-A453-8EBDE2D2D0F5

Avery Ridge HOA Board Review**Proposal:**

Patrick Kraus (applicant and owner) of the property located at 1073 Avery Ridge Circle, requests board approval to install a five-foot (5') fence which would attach to their neighbors existing five-foot fence at 1077 Avery Ridge Circle.

Patrick has already received written approval from Michael Rantis, owner of 1077 Avery Ridge Circle, which was included in the permit application to Lake Zurich.

Patrick requests a five-foot fence, opposed to the three-foot fence Lake Zurich Zoning recommends for the following reasons:

A five-foot fence would:

- Maintain uniformity and aesthetics in the neighborhood as there are no three-foot fences currently in the neighborhood. Patrick's fence would match his neighbors existing five-foot fence.
- Allow for full and safe utilization of their entire backyard for his children.
- Ensure that pets are safely contained within yard.

The HOA Board of Avery Ridge approves Patrick's request to install a five-foot fence at 1073 Avery Ridge Circle that would adhere to the Avery Ridge HOA fence requirements.

DocuSigned by:

Ryan Pullano

1EE59A95117F4D0

6/13/2024

Signature (Avery Ridge HOA Board – Ryan Pullano)

Date

DocuSigned by:

Nancy Wroblewski

C85A48C72A8E4D9

6/26/2024

Signature (Avery Ridge HOA Board – Nancy Wroblewski)

Date

DocuSigned by:

Giuseppe R Ray

5AE6C1B26571421

6/26/2024

Signature (Avery Ridge HOA Board – Joe Ray)

Date

**AFFIDAVIT OF TITLE
COVENANT AND WARRANTY**

Exhibit "A" – Legal Description

LOT 21 IN AVERY RIDGE, BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF THE SOUTHWEST
QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN,
ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 12, 2020 AS DOCUMENT 7683272, IN LAKE
COUNTY, ILLINOIS.



*First American
Title Insurance Company*

Affidavit of Title - Corporation

Bill of Sale

Preparer File: 3112764-Kraus

FATIC No.: GF-1012814

Seller, M/I Homes of Chicago, LLC, a corporation of DE having its' principal place of business at 400 E. Diehl Road, Suite 230, Naperville, IL 60563, in consideration of Ten and 00/100 Dollars and other good and valuable consideration, receipt whereof is hereby acknowledged, does hereby sell, assign, transfer and set over to Buyer, Patrick Kraus and Kelly Kraus, of the Village of Palatine, Cook County, IL, the following described personal property located on the premises commonly known as 1073 Avery Ridge Circle, Lake Zurich, Illinois 60047, to-wit:

All heating, electrical and plumbing systems, together with the following items of personal property:

All items of personal property listed on real estate sales contract dated 02/08/2021; Indoor carpeting; Electric, plumbing and other attached fixtures as installed; Appliances

Seller hereby represents and warrants to Buyer that Seller is the absolute owner of said property, that said property is free and clear of all liens, charges and encumbrances, and that Seller has full right, power and authority to sell said personal property and to make this bill of sale. All warranties of quality, fitness, and merchantability are hereby excluded.

If this bill of sale is signed by more than one person, all persons so signing shall be jointly and severally bound hereby.

IN WITNESS WHEREOF, Seller has signed and sealed this bill of sale at Lake Zurich, Illinois

this 21st day of October 20 21

M/I Homes of Chicago, LLC

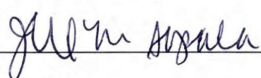


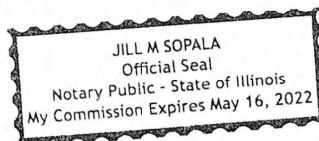
Brian Potvin, Vice President of Operations

I, the undersigned, a Notary Public in and for said County and State aforesaid, DO HEREBY CERTIFY, that Brian Potvin, personally known to me to be the Vice President of Operations of the M/I Homes of Chicago, LLC to be the same person(s) whose name(s) are subscribed to the forgoing instrument, appeared before me this day in person and severally acknowledged that as such they signed and delivered the said instrument and caused the corporate seal of said corporation to be affixed thereto, pursuant to authority given by the Board of Directors of said corporation, as their free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth

Given under my hand and notarial seal

this 21st day of October 20 21


Notary Public



First American
Title Insurance Company

Bill of Sale - Corporation

The North Fence Inc
1701 IL 120 McHenry, IL 60051
(847) 563-0093
info@thenorthfenceil.com
www.thenorthfenceil.com



Proposal # 2400

Date: 5-9-2024

Phone: 815-341-0208

Customer: Patrick Kraus

Email: Pkraus40@gmail.com

Address: 1073 Avery Ridge Circle City: Lake Zurich State: IL Zip: 60047

# OF FEET	HEIGHT	NOTES
219'	5'	Install 219' of 5' h Black Aluminum Fence UAF-200 with 2 single Gates by Ultra. Set Posts 36" in concrete. Lifetime Warranty from Manufacturer.
PERMIT	GATES	
<input checked="" type="checkbox"/> YES - <input type="checkbox"/> NO	2	
FENCE REMOVAL	DIRT REMOVAL	
<input type="checkbox"/> YES - <input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES - <input type="checkbox"/> NO	
CONCRETE	TRIM BUSHES	
<input checked="" type="checkbox"/> 36" - <input type="checkbox"/> 42"	<input type="checkbox"/> YES - <input checked="" type="checkbox"/> NO	
WOOD		
POSTMASTER	<input type="checkbox"/> YES - <input type="checkbox"/> NO	
STYLE		
WOOD GRADE	<input type="checkbox"/> #1 - <input type="checkbox"/> #2	
POSTS	<input type="checkbox"/> 4" x 4" <input type="checkbox"/> 6" x 6"	
SPACING		
CHAIN LINK		
MATERIAL	Aluminum	
COLOR	Black	
POST SPACING	<input type="checkbox"/> 6' - <input type="checkbox"/> 8' - <input type="checkbox"/> 10'	
TOP RAIL	<input type="checkbox"/> 1-3/8" <input type="checkbox"/> 1-5/8"	
LINE POST	<input type="checkbox"/> 1-5/8" - <input type="checkbox"/> 2"	
END POST	<input type="checkbox"/> 2-3/8" - <input type="checkbox"/> 3"	
CORNER POST	<input type="checkbox"/> 2-3/8" - <input type="checkbox"/> 3"	
WALK GATE POST	<input type="checkbox"/> 2-3/8" - <input type="checkbox"/> 3"	
DRIVE GATE POST	<input type="checkbox"/> 2-3/8" - <input type="checkbox"/> 3"	
GATE FRAMES	<input type="checkbox"/> 1-3/8" <input type="checkbox"/> 1-5/8"	
		TOTAL: \$8,584.00 DOWN: \$4,292.00 BALANCE: \$4,292.00

1. All prices quotes are valid for 30 days from the date of this Proposal. 2. If any additional work is requested after execution of the Proposal, any such additional charges will be added as a change order to this Proposal. Any request for changes to the scope of work shall be made in writing with signed acceptance by authorized personnel from The North Fence Inc. 3. The price quoted above does not include the cost of any permits if required by local ordinances. Customer agrees to secure and pay for any such permits. 4. Installation of the fence will follow the nature contours of the grade of the property unless otherwise noted in this Proposal. 5. It is customer's responsibility to locate any underground cable, electric, gas or other utilities as well as provide a final plot plan/survey of the property. Customer is responsible for all costs of repairs if an unmarked, underground line is damaged during installation of the fence. The North Fence Inc shall not be held responsible in any manner whatsoever for any unmarked, underground utility lines. Customer shall indemnify and hold The North Fence Inc harmless from any and all claims arising from an inaccurate survey of said property or the location of the property line and all claims for personal injury, property damage or trespass arising therefrom. 6. Customer is responsible to obtain any approvals from the Homeowner's Association, if applicable. 7. All material and labor are guaranteed for one year from final completion. Any gates will have a labor warranty of 60 days from date of completion. 8. This Proposal constitutes the final agreement concerning the installation of the fence referred to herein, and supersedes all prior agreements and understandings, verbal or otherwise. 9. Customer agrees to pay all collection costs, including reasonable attorneys' fees. Any amount not paid when due shall accrue interest at the rate of 1 1/2% per month until paid. Customer is hereby advised that The North Fence Inc has mechanic's lien rights under the Illinois Mechanic's Lien Act if payment is not made in a timely manner. 10. The North Fence Inc shall not be liable for any direct, incidental or consequential damages including penalties of any kind for any delays in completion of the work or for any other claim arising out of strikes, floods, fire, accidents or any other causes beyond its control. The North Fence Inc liability to the Customer is limited to any liability created by the gross negligence or intentional conduct of The North Fence Inc, its employees or subcontractors. 11. The North Fence Inc shall maintain insurance coverage and limits in amounts as determined by The North Fence Inc. Upon request, The North Fence Inc will provide customer with a certificate of insurance naming the customer as additional insured. 12. In the event Customer elects to use a credit card for payment, Customer authorizes The North Fence to debit the credit card upon completion of the work.

Customer Signature

Date

☐ Cash - ☐ Credit Card (3% Fee) - ☐ E-Check
Payment Method



At the Heart of Community

OFFICE OF THE VILLAGE MANAGER

70 East Main Street
Lake Zurich, Illinois 60047

(847) 438-5141
LakeZurich.org

Date: July 28, 2024
To: Ray Keller, Village Manager *RK*
From: Michael Duebner, Assistant Village Manager
Subject: Update to Liquor Code Title 3 Chapter 3 Article B

AGENDITEM

7D

Issue: From time-to-time Lake Zurich's Municipal Code requires updates to memorialize administrative procedures and to keep pace with insurance coverage trends.

Analysis: In reviewing the present Municipal Code's sections as it applies to liquor licenses, two sections are out of date with current business practices. Section 3-3B-15 requires a surety bond of \$1,000 for annual liquor license applicants that would be forfeited should their license be revoked for cause. Staff is not aware of an applicant having to meet this requirement is recommending that section of the code be stricken.

3-3B-15: BOND REQUIRED:

~~Before any license may be issued, the applicant shall furnish a surety bond in the amount of one thousand dollars (\$1,000.00) to the Village. Such bond shall be forfeited automatically on revocation of the license for which the bond was furnished if revocation was for cause. This bond shall not be required for any special Class F, G, or G-1 license. (Ord. 2016-12-168, 12-5-2016)~~

Section 3-3B-16 lists insurance requirements that while they are minimums, are inadequate for today's business environment. In reviewing various liquor license holder policies, most are in excess of the updated liability minimums.

3-3B-16: INSURANCE REQUIRED:

~~Before any license may be issued, the applicant shall furnish a certificate by an insurance company authorized to do business in the State certifying that the applicant has an insurance policy in force for the full period for which the license is to be issued that provides general liability coverage in the amounts of at least one five hundred thousand dollars (\$1500,000.00) for injury or death to any one person and three hundred thousand one million dollars (\$31,000,000.00) per occurrence, and one five~~

hundred ~~fifty~~ thousand dollars (\$1500,000.00) per occurrence and ~~one~~ five hundred ~~fifty~~ thousand dollars (\$1500,000.00) aggregate for damage to property, and that provides dramshop liability coverage at least to the maximum amount recoverable under applicable Illinois Statutes, as such may be amended from time to time. (Ord. 2016-12-168, 12-5-2016)

Recommendation: Staff is seeking approval from the Village Board to strike section 3-3B-15 and update sections 3-3B-16 as outlined and resequencing the remaining sections.

Attachment: Ordinance 24-



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

Phone (847) 540-1696
Fax (847) 726-2182
LakeZurich.org

MEMORANDUM

Date: August 5, 2024

To: Ray Keller, Village Manager *PK*

From: Sarosh Saher, Community Development Director

CC: Colleen McCauley, Village Planner
Mary Meyer, Building Services Supervisor

**Re: Zoning Application for a Special Use Permit – 865 Telser Road
High-End Automotive Detailing – Luminescent Detailing**

AGENDA ITEM

37

Issue

Mr. Frank Travaglio of Luminescent Detailing, (the “Applicant”), has filed a zoning application for the property at 865 Telser Road (the “Subject Property”). Specifically, the applicant is seeking:

- Special Use Permit to operate a High-End Automotive Paint Protection (Ceramic Coating, Paint Protection Film) classified as “Top, Body, and Upholstery Repair Shops and Paint Shops” – SIC #7532 which falls under the major group “Automotive Repair, Services, and Parking” – SIC #75

Village Strategic Plan. This agenda item is consistent with the following objectives under Goal #2 Development:

- Expand the Village’s role as a major regional economic hub in Lake County.
- Become more Business Friendly

Analysis

The Subject Property is located within the Village’s I Industrial Zoning District. The four-tenant building is approximately 42,558 square feet, with Unit 160 being 16,688 square feet. The front portion of the unit is about 1,000 square feet and consists of restrooms and office spaces. The remaining rear portion of the unit is where the cars will be detailed.

Mr. Frank Travaglio received a Special Use Permit in June of 2019 to operate his business at 904 Donata Court. He operated his business at that location for five years. The owner of the tenant space, Mr. Anthony Palella, is expanding his business and now needs the additional room where

Special Use Permit – Luminescent Detailing at 865 Telser Road
August 5, 2024

Luminescent is located. Mr. Frank Travaglio has the opportunity to sign a new lease at the Subject Property, 865 Telser Road. The unit he plans on moving into is currently under construction, but will be available before January 1, 2025. The proposed location is one mile away from the current location.

The hours of operation for Luminescent Detailing are Monday through Friday 9:00 a.m. - 5:30 p.m. by appointment only.

The Planning and Zoning Commission (PZC) held a public hearing on July 17, 2024 to consider the application and voted 6-0 to recommend approval of the special use. The video stream from the PZC meeting can be accessed via the link:
<https://play.champds.com/lakezurichil/event/129>

A detailed evaluation and summary of the project can be found in the Staff Report that was provided to the Planning and Zoning Commission, which is made a part of the attached Ordinance.

Recommendation

At their meeting on July 17, 2022, the Planning and Zoning Commission recommended approval of the Special Use Permit incorporating the conditions for approval provided by staff in its report.

Staff therefore recommends approval of the attached ordinance, with its specific attachments based on the following conditions for approval that are contained within said ordinance:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application, Cover Letter, and background information dated June 17, 2024, and prepared by Mr. Frank Travaglio.
 - b. Exhibit A: Legal Description of the Subject Property.
 - c. Plat of Survey dated December 19, 2011, and last revised on December 22, 2011, prepared by Chamberlin Masse Land Surveyors, and submitted by Mr. Frank Travaglio, of Luminescent Detailing.
 - d. Overall Site Plan Sheet 5 of 12 prepared by Schmitt Engineering dated December 29, 2023 and last updated on May 13, 2024.
2. The Special Use Permit is granted to allow Luminescent Detailing to operate a high-end automotive detailing (ceramic coating, paint protection film) business. The business is only permitted the incidental washing of vehicles as it applies to the processes of high-end automotive detailing (ceramic coating, paint protection film). These vehicles shall only be washed within the enclosed tenant space and in conjunction with the triple basin water treatment system.

Special Use Permit – Luminescent Detailing at 865 Telser Road
August 5, 2024

3. All processes and operations related to the proposed land use related to high-end automotive detailing (ceramic coating, paint protection film) will be conducted wholly within the enclosed building.
 4. The special use constituting this high-end automotive detailing (ceramic coating, paint protection film) facility is Luminescent Detailing operated by Mr. Frank Travaglio; and shall be located within the industrial tenant space, Unit 160, within 865 Telser Road as depicted on the Overall Site Plan Sheet 5 of 12 prepared by Schmitt Engineering dated December 29, 2023 and last updated on May 13, 2024, and shall expire if the land use and company requesting this special use cease operating within the Tenant Space.
 5. The Applicant shall install the Triple Basin Wastewater Treatment System prior to beginning any operations at the Subject Property and prior to the receipt of a Final Certificate of Occupancy.
 6. The improvements, operation and use of the Tenant Space shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.
- Approval Ordinance including the following exhibits
 - Exhibit A – Legal description of the Subject Property
 - Exhibit B – July 17, 2023 staff report and planning and zoning commission recommendation/conditions and exhibits

ORDINANCE NO. 2024-08-578**AN ORDINANCE APPROVING A SPECIAL USE PERMIT**

Luminescent Detailing – 865 Telser Road, Unit 160

WHEREAS, Frank Travaglio of Luminescent Detailing is the applicant (the “Applicant”) for a special use permit for the industrial tenant space for use of a high-end automotive detailing business offering ceramic coating and paint protection film installation services, as depicted on the site and floor plans set forth hereinafter, (the “Tenant Space”) said space, Unit 160 located within that property at 865 Telser Road (the “Subject Property”), legally described in Exhibit A hereto; and

WHEREAS, the Applicant has filed zoning application PZC 2024-10, dated June 17, 2024 (the “Application”) attached hereto as Exhibit B, seeking the approval of the following:

- Special Use Permit to operate a High-End Automotive Paint Protection (Ceramic Coating, Paint Protection Film) classified as “Top, Body, and Upholstery Repair Shops and Paint Shops” – SIC #7532 which falls under the major group “Automotive Repair, Services, and Parking” – SIC #75.

WHEREAS, the current zoning of the Subject Property is the Village’s I Industrial Zoning District; and

WHEREAS, the Tenant Space that the Applicant proposes to occupy is an approximately 16,688 square-foot portion of the existing 42,558 square-foot industrial building on the Subject Property to accommodate said high-end automotive detailing on the Subject Property, as depicted on the site and floor plans set forth hereinafter; and

WHEREAS, in compliance with the law, and the requirements of the Village of Lake Zurich Zoning Code, notice was published on June 29, 2024, in The Daily Herald, and the Village of Lake Zurich posted a public hearings sign on the Subject Property on June 28, 2024, both the newspaper and sign notices informing the public of a public hearing to be held before the Lake Zurich Planning and Zoning Commission (the “PZC”) on July 17, 2024, to consider the Application for this requested zoning authority and approval; and

WHEREAS, the PZC opened the public hearing on July 17, 2024 and considered the findings, conditions and recommendations as set forth in the staff report dated July 17, 2024, (the “STAFF REPORT”) which was provided to the PZC for the meeting, addressing the request for approval of said Special Use Permit; and considered all information presented by the Applicant, and the applicable factors required under of the Zoning Code; and, after the conclusion of the public hearing, the PZC recommended that the Board of Trustees of the Village of Lake Zurich grant the special use approval requested in this Application, subject to those conditions of approval recommended by Village staff in said STAFF REPORT; and

WHEREAS, the Mayor and Board of Trustees of the Village of Lake Zurich met on August 5, 2024, and considered the findings and recommendations of the PZC, including the STAFF REPORT dated July 17, 2024, all consisting of 10 pages, and said required zoning standards, findings and recommendations attached hereto as Exhibit B and having considered all of the facts and circumstances regarding the Application and these recommended approvals, the Mayor and Board of Trustees have determined that the applicable standards for this special use approval have been met.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: ADOPTION AND INCORPORATION OF RECITALS. The foregoing recitals, findings, recommendations, exhibits and plans are incorporated herein as findings and requirements of the Mayor and Board of Trustees, and Exhibits referenced herein are made a part of and incorporated into this Ordinance and related approval, except as otherwise provided below.

SECTION 2: GRANT OF SPECIAL USE PERMIT. The Mayor and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Chapter 6 providing for and governing special uses in the I Industrial Zoning District of the Village (Section 9-6-3) and Chapter 19 (Sections 9-19-3 through 9-19-5) of Title 9 establishing those standards to be met for the grant of a special use permit in the Lake Zurich Municipal Code, hereby grant the following approval, and adopt the final findings and recommendations of the PZC, as shown and provided in the STAFF REPORT dated July 17, 2024, all consisting of 10 pages, attached hereto as Exhibit B:

A Special Use Permit to operate a High-End Automotive Paint Protection (Ceramic Coating, Paint Protection Film) classified as “Top, Body, and Upholstery Repair Shops and Paint Shops” – SIC #7532 which falls under the major group “Automotive Repair, Services, and Parking” – SIC #75 in the Tenant Space, said Tenant Space designated as Unit 160 located within the building at 865 Telser Road and subject to the following conditions for approval:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:

- a. Zoning Application, Cover Letter, and background information dated June 17, 2024, and prepared by Mr. Frank Travaglio.
 - b. Exhibit A: Legal Description of the Subject Property.
 - c. Plat of Survey dated December 19, 2011, and last revised on December 22, 2011, prepared by Chamberlin Masse Land Surveyors, and submitted by Mr. Frank Travaglio, of Luminescent Detailing.
 - d. Overall Site Plan Sheet 5 of 12 prepared by Schmitt Engineering dated December 29, 2023 and last updated on May 13, 2024.
2. The Special Use Permit is granted to allow Luminescent Detailing to operate a high-end automotive detailing (ceramic coating, paint protection film) business. The business is only permitted the incidental washing of vehicles as it applies to the processes of high-end automotive detailing (ceramic coating, paint protection film). These vehicles shall only be washed within the enclosed tenant space and in conjunction with the triple basin water treatment system.
 3. All processes and operations related to the proposed land use related to high-end automotive detailing (ceramic coating, paint protection film) will be conducted wholly within the enclosed building.
 4. The special use constituting this high-end automotive detailing (ceramic coating, paint protection film) facility is Luminescent Detailing operated by Mr. Frank Travaglio; and shall be located within the industrial tenant space, Unit 160, within 865 Telser Road as depicted on the Overall Site Plan Sheet 5 of 12 prepared by Schmitt Engineering dated December 29, 2023 and last updated on May 13, 2024, and shall expire if the land use and company requesting this special use cease operating within the Tenant Space.
 5. The Applicant shall install the Triple Basin Wastewater Treatment System prior to beginning any operations at the Subject Property and prior to the receipt of a Final Certificate of Occupancy.
 6. The improvements, operation and use of the Tenant Space shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

SECTION 3: FINDINGS IN SUPPORT OF APPROVAL OF GRANT OF SPECIAL USE PERMITS. The findings, conditions and recommendations as set forth in the STAFF REPORT dated July 17, 2024, and the PZC recommendations, all consisting of 10 pages, along with the filings provided to the PZC, regarding the applicable standards of Chapter 6 (Section 9-6-3) and Chapter 19 (Sections 9-19-3 through 9-19-5) of Title 9 governing zoning of the Lake Zurich Municipal Code, are hereby accepted as the Board's own, are incorporated herein by this reference and shall be made a part of the official record for the Application.

SECTION 4: SEVERABILITY. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 5: CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 6: EFFECTIVE DATE. This Ordinance shall be in full force and effect upon its passage and approval, as provided by law.

PASSED THIS _____ day of _____, 2024.

Ayes:

Nays:

Absent:

Abstain:

APPROVED this _____ day of _____, 2024.

Mayor Tom Poynton

ATTEST:

Village Clerk
Kathleen Johnson

EXHIBIT A

Legal description of Subject Property

LOT 2 IN THE ASTOR SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 17, 2007 AS DOCUMENT 6247624 IN LAKE COUNTY, ILLINOIS.

Common Street Address: 865 Telser Road
Property Index Number (PIN): 14-09-405-015

EXHIBIT B

July 17, 2024 staff report and
PZC recommendation and conditions and accompanying exhibits
submitted by Applicant



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

(847) 540-1696
Fax (847) 726-2182
LakeZurich.org

APPLICATION PZC 2024-10
PZC Hearing Date: July 17, 2024

AGENDA ITEM 4.C

STAFF REPORT

To: Chairperson Stratman and Members of the Planning & Zoning Commission

From: Sarosh Saher, Community Development Director

CC: Colleen McCauley, Village Planner
Mary Meyer, Building Services Supervisor

Date: July 17, 2024

Re: PZC 2024-10:– High-End Automotive Detailing Business Special Use Permit
865 Telser Road, Unit 160 – Luminescent Detailing

SUBJECT

Mr. Frank Travaglio of Luminescent Detailing, (the “Applicant”), with the consent of Zen Properties, LLC, represented by Mr. Zenny Kukich (the “Owner”), requests a Special Use Permit to operate a high-end automotive detailing (ceramic coating, paint protection film) business at the property commonly known as 865 Telser Road and legally described in Exhibit A attached hereto (the “Subject Property”).

The Applicant currently operates his business within an industrial condominium at 904 Donata Court and obtained a Special Use Permit to establish at that location in 2019.

GENERAL INFORMATION

Requested Action: Special Use Permit

Current Zoning: I Industrial District

Proposed Uses: High-End Automotive Detailing

Property Location: 865 Telser Road, Unit 160

Applicant: Frank Travaglio, Luminescent Detailing

Staff Report
APPLICATION PZC 2024-10

Community Development Department
PZC Hearing Date: July 17 2024

Owner: Zenny Kukich (Zen Properties, LLC)

Staff Coordinator: Colleen McCauley, Village Planner

LIST OF EXHIBITS

- A. Legal Description
- B. Public Hearing Sign
- C. Site Photos
- D. Aerial Map
- E. Zoning Map
- F. Parcel Map
- G. Development Application and Attachments
- H. Development Review Comments

BACKGROUND

Mr. Frank Travaglio of Luminescent Detailing (the “Applicant”), is applying with the permission of the owner of the property, Zenny Kukich, for approval of a Special Use Permit to operate a high-end automotive detailing (ceramic coating, paint protection film) business, to be located at 865 Telser Road, and legally described in Exhibit A attached hereto (the “Subject Property”). The Applicant filed an application with the Village of Lake Zurich received on June 19, 2024 (the “Application”) seeking:

- Special Use Permit to operate a High-End Automotive Paint Protection (Ceramic Coating, Paint Protection Film) classified as “Top, Body, and Upholstery Repair Shops and Paint Shops” – SIC #7532 which falls under the major group “Automotive Repair, Services, and Parking” – SIC #75.

The Subject Property is located within the Village’s I Industrial Zoning District. The four-tenant building is approximately 42,558 square feet, with Unit 160 being 16,688 square feet. The front portion of the unit is about 1,000 square feet and consists of restrooms and office spaces. The remaining rear portion of the unit is where the cars will be detailed.

Mr. Frank Travaglio applied and received a Special Use Permit in June of 2019 to operate his business at 904 Donata Court. He operated his business at that location for five years. The property owner, Mr. Anthony Palella, is expanding his business and now needs the additional room where Luminescent is located. Mr. Frank Travaglio has the opportunity to sign a new lease at the Subject Property, 865 Telser Road. The unit he plans on moving into will have finished construction before January 1, 2025. The proposed location is one mile away from the current location.

Luminescent specializes in automotive detailing, paint correction, ceramic coating, window tinting and paint protection film installation. The paint correction, ceramic coating and paint protection

Staff Report
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film installation process will not require additional venting or air exchange systems due to the application method and low noxious odor impact. Vehicles are washed and rinsed in preparation for paint protection film or coating. These services use chemicals such as rinses, waxes and other detergents, so the newly constructed rental space will be equipped with a triple basin. This will capture the wastewater and ensure that these contaminants do not enter the stormwater system.

The hours of operation for Luminescent Detailing are Monday through Friday 9:00 a.m. - 5:30 p.m. by appointment only.

Pursuant to public notice published on June 29, 2024, in the Daily Herald, a public hearing has been scheduled with the Lake Zurich Planning & Zoning Commission for July 17, 2024, to consider the Application. On June 28, 2024 the Village posted a public hearing sign on the Subject Property (Exhibit B).

Staff offers the following additional information:

- A. Courtesy Review.** Due to the low impact, and that the Applicant is already operating the business in the industrial park, courtesy review was not recommended.
- B. Zoning History.** The property is located on Lot 2 in the Astor Subdivision and is zoned within the I Industrial District. The subdivision was recorded on September 17, 2007. The lot has sat vacant until earlier this year. Construction has begun for the 42,558 square-foot industrial building.
- C. Surrounding Land Use and Zoning.** The subject property is located on Telser Road at the north end of the Industrial Park. The areas surrounding the Subject Property to the south and to the east are zoned within the I Industrial District. The surrounding properties to the north and west are across the Elgin, Joliet and Eastern Railway and are zoned within the OS Open Space and R-5 Single Family Residential Zoning Districts.
- D. Trend of Development.** The subject property is located within the thriving Lake Zurich Corporate and Industrial Park in the northeast quadrant of the Village. The access to major state highways, a strong industrial park community, room for potential growth and development, all position the Subject Property in a desirable location for many industrial-oriented businesses.
- E. Zoning District.** The I Industrial district is intended to provide for a range of nuisance free manufacturing, warehousing, transportation, wholesaling, and industrial uses that are compatible with the suburban residential character of the village. The industrial district is also meant to accommodate certain professional offices and similar uses that may provide services to the industrial users and are compatible with the industrial character of the district. It is the goal of these regulations to provide and preserve an area within the village for industrial uses that create employment and economic benefits for the village and the industrial district.

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Community Development Department
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The Land Use Classification related to the current and proposed uses is listed in the zoning code as “Automotive repair, services, and parking (75).” As described in the Standard Industrial Classification Manual, “This major group includes establishments primarily engaged in furnishing automotive repair, rental, leasing, and parking services to the general public. Similar facilities owned and operated by concerns for their own use and not for the general public are treated as auxiliary establishments.”

This is a broad classification of land uses and includes, among others, “Top, Body, and Upholstery Repair Shops and Paint Shops” – SIC 7532” and “Carwashes SIC 7542.” Further, the broad-based classification as represented in the village zoning codes does not specifically prohibit any sub-classifications and as a result, carwashes may be applied for and considered for a Special Use Permit. Detailing, washing, waxing and polishing, among others, are processes that are included under the industry group “Carwashes SIC 7542.”

GENERAL FINDINGS

Staff has evaluated the requested Special Use Permit individually for the current and proposed operations of the business and has provided its recommendations as such. Staff offers findings and recommendation on specific sections of the Code, in particular, provided recommendations and conditions on how the proposed operations can be conducted in compliance with the Standards for Special Use Permits.

9-19-3: STANDARDS FOR SPECIAL USE PERMITS.

Staff has reviewed the application and found that the proposal will continue to remain in substantial conformance with the standards for Special Use Permits as outlined below.

A. General Standards: No special use permit shall be recommended or granted unless the applicant shall establish substantial conformance with the following:

1. Zoning Code and Plan Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this zoning code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the official comprehensive plan.

Staff Response: Standard met. The development will continue to remain in substantial conformance with the purpose and intent of the I Industrial District, and the land use designation of the adopted Comprehensive Plan.

2. No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

Staff Response: Standard met. The proposed land use is consistent with other uses within the Industrial Park. The use has been in operation at another

Staff Report
APPLICATION PZC 2024-10

Community Development Department
PZC Hearing Date: July 17 2024

location within the Industrial Park for the past five years and has not demonstrated any adverse impact on adjacent properties or the character of the area.

3. No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

Staff Response: Standard met. The land use will be operated entirely within the enclosed building on the property. All parking will be accommodated on the property. Based on the frequency of customers to the proposed business, there is sufficient parking to accommodate the clients and employees on the property without interfering with the use, development and operations of adjacent properties.

4. Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

Staff Response: Standard met. upon completion of the development, the Subject Property will be served adequately by essential public facilities and services such as streets, utilities, drainage and other municipal services.

To accommodate the operation of the proposed land use requiring the washing of cars, the Applicant proposes to install a triple basin waste water treatment system to allow for the waste water to be discharged into the sanitary system rather than into the storm sewer system. The Applicant/Owner will be required to apply for a sewer connection permit with the Lake County Public Works Department.

5. No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through the surrounding streets.

Staff Response: Standard met. Luminescent Detailing will have minimal associated traffic attributed to this business.

Parking is in conformance with the requirements of the zoning code. The property is designed with adequate parking to accommodate the parking demand for the various types of uses in the Industrial Park.

6. No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Staff Report
APPLICATION PZC 2024-10

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Staff Response: Standard met. The proposed use will not result in the destruction or removal of any natural features. The proposed use would be conducted entirely within the building, once fully constructed, on the lot within the Astor Subdivision.

7. Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

Staff Response: Standard met. This request for a Special Use Permit is to establish high-end automotive detailing (ceramic coating, paint protection film) with the incidental washing of cars to prepare them for the primary process being requested for approval. The installation of the triple basin will prevent any adverse impacts from contaminated water runoff. The proposed component will be established in accordance with the standards and codes, thereby meeting this standard of the Special Use Permit.

8. Positive Effect. The proposed special use creating a positive effect for the zoning district, its purpose, and adjacent properties shall be placed before the benefits of the petitioner.

Staff Response: Standard met. The proposed land use will continue to uphold the established character of the Industrial Park, and will allow an existing business to remain within the Village of Lake Zurich.

- B. Special Standards for Specified Special Uses. When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district, a permit for such use in such district shall not be recommended or granted unless the applicant shall establish compliance with such special standards.

Staff Response: Not applicable. There are no special zoning standards applicable to the proposed land uses related to High-End Automotive Detailing (Ceramic Coating, Paint Protection Film) classified as “Top, Body, and Upholstery Repair Shops and Paint Shops SIC 7532” or “Carwashes SIC 7542” which falls under the major group “Automotive Repair, Services, and Parking SIC 75.”

- C. Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Board of Trustees shall consider:
 1. Benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Staff Report
APPLICATION PZC 2024-10

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Staff Response: Standard met. The business will provide a convenient location for a unique service within the community.

2. Alternative Locations. Whether the purposes of the zoning code can be met by the location of the proposed use and development in some other area or zoning district that may be more appropriate than the proposed site.

Staff Response: Standard met. The use currently operated within the industrial tenant space at 904 Donata Court and could continue to remain there based on its current approval of a Special Use Permit. However, it has been asked to vacate that space to the proposed location on the Subject Property.

There is no evidence that the proposed location at the Subject Property is inappropriate for the proposed land use, so an alternative location would not be any more appropriate than the proposed location. Automotive Service is allowed as a Special Use within the I Industrial District.

3. Mitigation of Adverse Impacts. Whether all steps possible have been taken to minimize any substantial or undue adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

4. **Staff Response: Standard met. The warehouse building has been designed to prevent any undue adverse effect on itself or on surrounding property in relation to its location, design and operation.**

RECOMMENDATION

The recommendation of the Planning and Zoning Commission should be based on the standards included in the following Sections of the Lake Zurich Municipal Code:

- Section 9-19-3: Standards for Special Use Permits

Based on the review of staff, the standards for approval have been met and therefore staff recommends that the Planning and Zoning Commission make these standards a part of the official record of the Application.

Staff of the Community Development Department therefore recommends the approval of Application PZC 2024-10, subject to the following conditions:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application, Cover Letter, and background information dated June 17, 2024, and prepared by Mr. Frank Travaglio.

Staff Report
APPLICATION PZC 2024-10

Community Development Department
PZC Hearing Date: July 17 2024

- b. Exhibit A: Legal Description of the Subject Property.
 - c. Plat of Survey dated December 19, 2011, and last revised on December 22, 2011, prepared by Chamberlin Masse Land Surveyors, and submitted by Mr. Frank Travaglio, of Luminescent Detailing.
 - d. Overall Site Plan Sheet 5 of 12 prepared by Schmitt Engineering dated December 29, 2023 and last updated on May 13, 2024.
2. The Special Use Permit is granted to allow Luminescent Detailing to operate a high-end automotive detailing (ceramic coating, paint protection film) business. The business is only permitted the incidental washing of vehicles as it applies to the processes of high-end automotive detailing (ceramic coating, paint protection film). These vehicles shall only be washed within the enclosed tenant space and in conjunction with the triple basin water treatment system.
 3. All processes and operations related to the proposed land use related to high-end automotive detailing (ceramic coating, paint protection film) will be conducted wholly within the enclosed building.
 4. The special use constituting this high-end automotive detailing (ceramic coating, paint protection film) facility is Luminescent Detailing operated by Mr. Frank Travaglio; and shall be located within the industrial tenant space, unit 160, within 865 Telser Road as depicted on the Overall Site Plan Sheet 5 of 12 prepared by Schmitt Engineering dated December 29, 2023 and last updated on May 13, 2024, and shall expire if the land use and company requesting this special use cease operating at the property.
 5. The Applicant shall install the Triple Basin Wastewater Treatment System prior to beginning any operations at the property and prior to the receipt of a Final Certificate of Occupancy.
 6. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

Respectfully Submitted,

Colleen McCauley, Village Planner

Staff Report
APPLICATION PZC 2024-10

Community Development Department
PZC Hearing Date: July 17 2024

LAKE ZURICH PLANNING & ZONING COMMISSION
FINAL FINDINGS & RECOMMENDATIONS

865 Telser Road
July 17, 2024

The Planning & Zoning Commission recommends approval of Application **PZC 2024-10**, and the Planning & Zoning Commission adopts the findings as contained within the Staff Report dated **July 17, 2024** for this Application and subject to any changes or approval conditions as listed below:

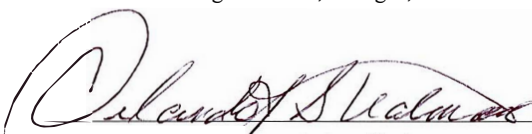
1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application, Cover Letter, and background information dated June 17, 2024, and prepared by Mr. Frank Travaglio.
 - b. Exhibit A: Legal Description of the Subject Property.
 - c. Plat of Survey dated December 19, 2011, and last revised on December 22, 2011, prepared by Chamberlin Masse Land Surveyors, and submitted by Mr. Frank Travaglio, of Luminescent Detailing.
 - d. Overall Site Plan Sheet 5 of 12 prepared by Schmitt Engineering dated December 29, 2023 and last updated on May 13, 2024.
2. The Special Use Permit is granted to allow Luminescent Detailing to operate a high-end automotive detailing (ceramic coating, paint protection film) business. The business is only permitted the incidental washing of vehicles as it applies to the processes of high-end automotive detailing (ceramic coating, paint protection film). These vehicles shall only be washed within the enclosed tenant space and in conjunction with the triple basin water treatment system.
3. All processes and operations related to the proposed land use related to high-end automotive detailing (ceramic coating, paint protection film) will be conducted wholly within the enclosed building.
4. The special use constituting this high-end automotive detailing (ceramic coating, paint protection film) facility is Luminescent Detailing operated by Mr. Frank Travaglio; and shall be located within the industrial tenant space, unit 160, within 865 Telser Road as depicted on the Overall Site Plan Sheet 5 of 12 prepared by Schmitt Engineering dated December 29, 2023 and last updated on May 13, 2024, and shall expire if the land use and company requesting this special use cease operating at the property.
5. The Applicant shall install the Triple Basin Wastewater Treatment System prior to beginning any operations at the property and prior to the receipt of a Final Certificate of Occupancy.

Staff Report
APPLICATION PZC 2024-10

Community Development Department
PZC Hearing Date: July 17 2024

6. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

- ☒ Without any further additions, changes, modifications and/or approval conditions.
☐ With the following additions, changes, modifications and/or approval conditions:

A handwritten signature in dark ink, appearing to read "Charles J. Steiner", is written over a horizontal line.

Planning & Zoning Commission Chairman

Staff Report
APPLICATION PZC 2024-10

Community Development Department
PZC Hearing Date: July 17 2024

EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY

LOT 2 IN THE ASTOR SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 17, 2007 AS DOCUMENT 6247624 IN LAKE COUNTY, ILLINOIS.

Common Street Address: 865 Telser Road
Property Index Number (PIN): 14-09-405-015

Staff Report
APPLICATION PZC 2024-10

Community Development Department
PZC Hearing Date: July 17 2024

EXHIBIT B

PUBLIC HEARING SIGNS PRESENT AT SUBJECT PROPERTY





865 Telser Road

Special Use Permit



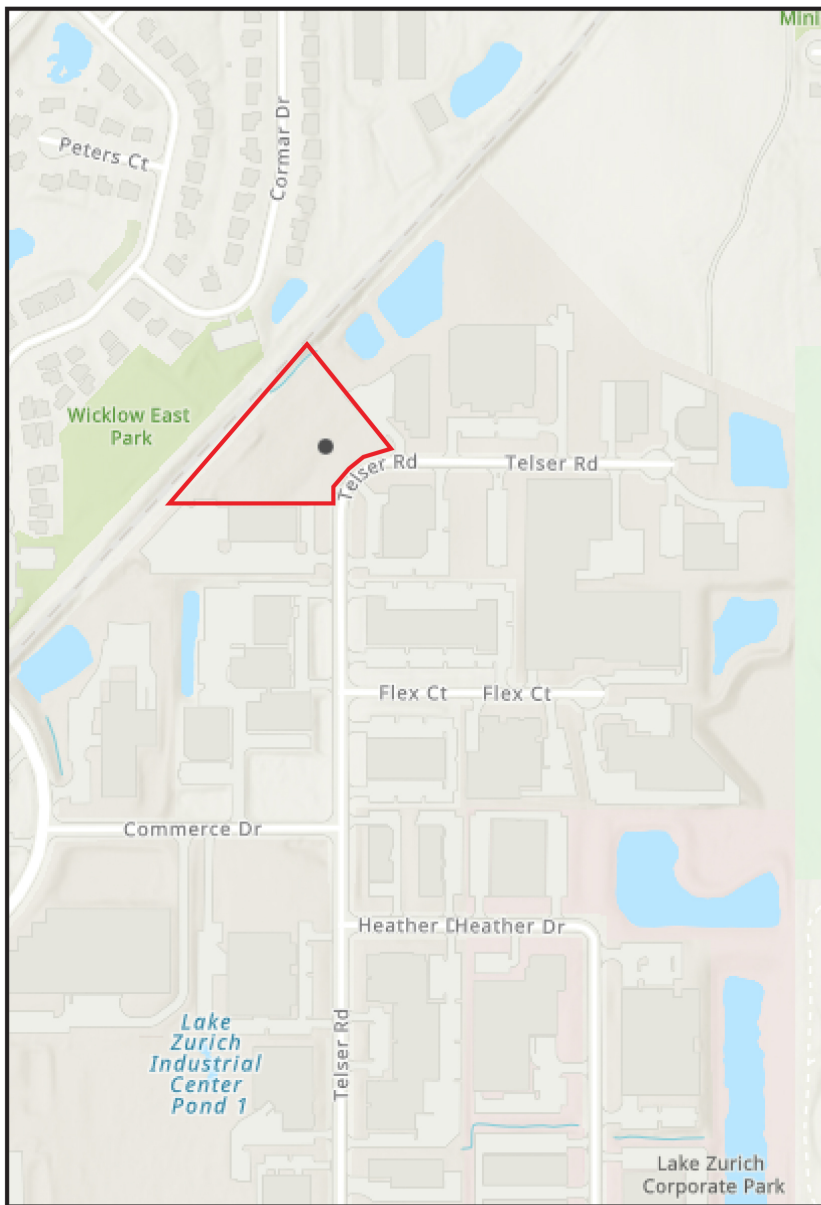
0 50 100 200 feet


- Subject Property
- Tax Parcels

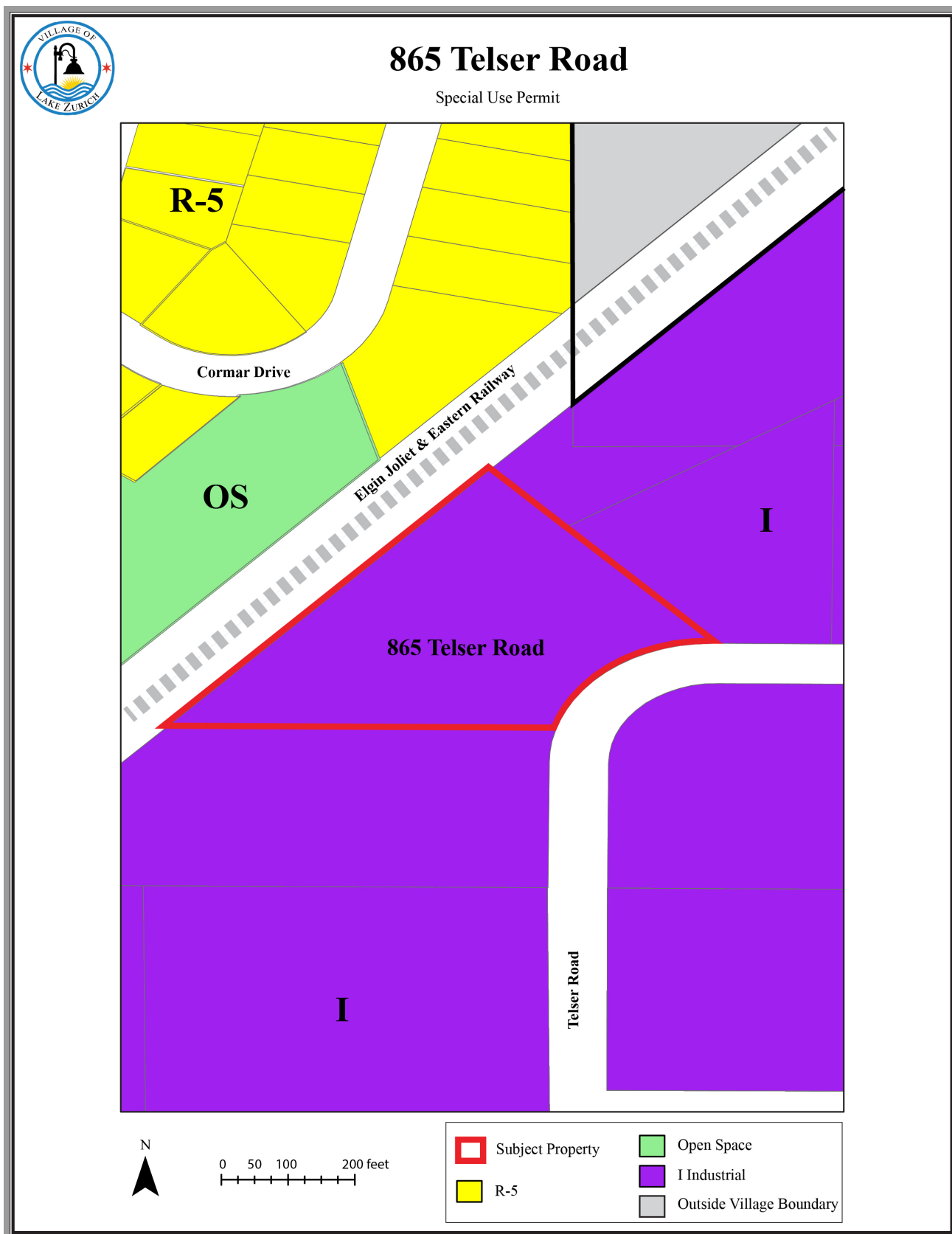


865 Telser Road

Special Use Permit



 Subject Property



**VILLAGE OF LAKE ZURICH
NOTICE OF PUBLIC HEARING**

PUBLIC NOTICE IS HEREBY GIVEN to all persons that the Village of Lake Zurich Planning & Zoning Commission shall conduct a public hearing on **July 17, 2024**, at 7:00 P.M. in the Board Room of the Lake Zurich Village Hall, 70 East Main Street, Lake Zurich, Illinois for the purpose of considering a zoning application filed with the Village requesting approval for a Special Use Permit to allow for an automotive detailing business, at the property whose common street address and property index number (PIN) are stated below. A copy of the application and the Zoning Code are on file with, and available for public inspection during regular Village business hours in the Lake Zurich Community Services Department.

Common Street Address: **865 Telser Road**
Property Index Number (PIN): **14-09-405-015**

At said public hearing, the Planning & Zoning Commission shall accept all testimony and evidence pertaining to said application and shall consider any and all possible zoning actions, including the granting of any necessary special use permits, variations, other special approvals, or amendments to the text of the Zoning Code that may be necessary or convenient to permit development of the proposed type of the described property. All interested persons are invited to attend and be heard.

Orlando Stratman
Chairperson, Planning & Zoning Commission
Published in Daily Herald June 29, 2024 (4617172)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Lake County Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Lake County DAILY HERALD**. That said **Lake County DAILY HERALD** is a secular newspaper, published in Libertyville, Lake County, State of Illinois, and has been in general circulation daily throughout Lake County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Lake County DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 06/29/2024 in said **Lake County DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY



Designee of the Publisher of the Daily Herald

Control # 4617172





LUMINESCENT DETAILING

www.lumidetaling.com
(847)-250-9090
info@lumidetaling.com

June 17, 2024

The Mayor and Board of Trustees
Of the Village of Lake Zurich
Lake County, Illinois

Dear Mayor Poynton & Board of Trustees,

I have had the pleasure of now operating my business in Lake Zurich for approximately 5 years, since Spring 2019. My business consists of providing products to high end vehicles such as ceramic coatings, paint protection film, and protection window tint. These services have attracted the most passionate car collectors from all the surrounding areas and have exposed them to Lake Zurich.

I have been operating my business for the past five years, it has been located at 904 Donata Court, Lake Zurich, IL. The owner of the unit that I have been leasing from, Mr. Anthony Palella, A&L Ventures LLC, is looking to expand his business which is located next door. Anthony Palella has written a letter of recommendation that is included in this submission.

I have the opportunity to lease a similar unit that is currently being built at 865 Telser Road, Unit 160, Lake Zurich, IL 60047. The unit is anticipated to be completed come January 1, 2025 and will include a triple basin that was required in my current business. This new unit is approximately a mile away from my current location and will make for a smooth transition.

Mayor Poynton & Board of Trustees, I thank you in advance for your consideration and look forward to remaining within Lake Zurich for many years to come.

Sincerely,

Frank Travaglio
CEO/President

904 Donata Court, Lake Zurich, Illinois 60047, United States



IND Distribution

ind-distribution.com

(847)963-4520

June 17, 2024

The Mayor and Board of Trustees
Of the Village of Lake Zurich
Lake County, Illinois

To Whom It May Concern,

I am writing to provide a strong recommendation for Frank Travaglio, who has been an exemplary tenant in my property. Due to the rapid growth of my business, I now need to occupy the space Frank has been leasing from me. This decision is in no way a reflection of Frank's tenancy but purely a necessity for my expanding operations.

Frank has consistently demonstrated himself to be a reliable and responsible tenant. He has always paid his rent and maintained the property in excellent condition. Throughout his lease, Frank has caused no issues or disturbances.

Moreover, Frank has shown great respect for the property and the terms of the lease agreement. His cooperative and understanding nature has made the leasing process smooth and straightforward. He has proven to be a person of integrity and reliability.

I have no doubt that Frank will be an asset to any property he chooses to rent in the future. Should you require any further information, please feel free to contact me.

Sincerely,

Anthony Palella
A&L Ventures LLC

A handwritten signature in black ink, appearing to read "A. Palella", with a long, sweeping horizontal line extending to the right.

908 Donata Ct, Lake Zurich, IL 60047, United States



ZONING APPLICATION

Community Development Department
505 Telser Rd.
Lake Zurich, IL 60047
Phone: (847) 540-1696
Fax: (847) 540-1769

(Please Type or Print)

1. Address of Subject Property: 865 TELSER 405015ROAD, UNIT 160, LAKE ZURICH, IL 60047
2. Please attach complete legal description
3. Property Identification number(s): 1409405015
4. Owner of record is: ZEN PROPERTIES, LLC Phone: 8479700364
E-Mail ZKUKICH@GMAIL.COM Address: 505 OAKWOOD ROAD, SUITE 120, LAKE ZURICH, IL
5. Applicant is (if different from owner): LUMINESCENT DETAILING Phone: 8472509090
E-Mail LUMIDETAILING@GMAIL.COM Address: 904 DONATA COURT, LAKE ZURICH, IL 60047
6. Applicant's interest in the property (owner, agent, realtor, etc.): TENANT
7. All existing uses and improvements on the property are: OFFICE/WAREHOUSE
8. The proposed uses on the property are: HIGH END AUTOMOTIVE DETAIL
(CERAMIC COATING, PAINT PROTECTION FILM)
9. List any covenants, conditions, or restrictions concerning the use, type of improvements, setbacks, area, or height requirements placed on the Subject Property and now of record and the date of expiration of said restrictions:
N/A
10. Describe any contract or agreement of any nature relevant to the sale or disposal of the Subject Property:
N/A
11. For applications requiring a public hearing, please attach a list which contains the PIN, owner, and owner's mailing address of all properties located within 250 feet (excluding all Public Right-of-Ways) of the Subject Property.

THE APPLICANT'S SIGNATURE BELOW INDICATES THE INFORMATION CONTAINED IN THIS APPLICATION AND ON ANY ACCOMPANYING DOCUMENTS IS TRUE AND CORRECT.
THE APPLICANT ALSO ACKNOWLEDGES IF THE CONSULTANT EXPENSES EXCEED THE INITIAL ESCROW DEPOSIT, THE APPLICANT WILL REIMBURSE THE ACCOUNT IMMEDIATELY.

Frank Travaglio
(Name of applicant)

[Signature]
(Signature of applicant)

Subscribed and sworn to before me this 19th day of June, 2024.

[Signature]
(Notary Public)

My Commission Expires _____

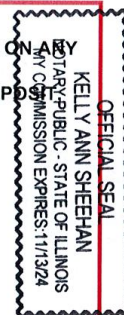
ZENNY KUKICH
(Name of Owner, if different)

[Signature]
(Signature of Owner, if different)

Subscribed and sworn to before me this 19th day of June, 2024.

[Signature]
(Notary Public)

My Commission Expires 11/13/2024



Please indicate what zoning relief your application requires. For assistance, please contact Staff.

☐ Zoning Code **Map** Amendment to change zoning of Subject Property from ____ to ____

☐ Zoning Code **Text** Amendment to amend the following section(s) of the Zoning Code _____

(See Section 18-103 of the Lake Zurich Zoning Code for specific standards. If a specific parcel is the subject of this amendment, then provide the additional information listed in Section 18-103C.)

☒ Special Use Permit/Amendment for CERAMIC COATING, PAINT PROTECTION FILM

(See Section 19-103 of the Lake Zurich Zoning Code for specific standards.)

☐ Planned Unit Development/Major Adjustment/Amendment

(Planned Unit Developments are a distinct category of special use and are intended to create a more desirable environment than through strict application of the zoning and subdivision regulations. See Section 22-105 of the Lake Zurich Zoning Code for specific standards. Please list all the 'modifications' requested in the cover letter.)

☐ Variation for _____

(See Section 17-104 of the Lake Zurich Zoning Code for specific standards. Please indicate what your specific hardships are in the cover letter.)

☐ Modification to the Land Development Code (includes retaining walls more than 2 feet in height)

(See Section 10-6-18 of the Land Development Code for specific standards.)

☐ Preliminary Plat of Subdivision

☐ Final Plat of Subdivision or Amendment to Plat of Subdivision

(See Sections 10-5-2 and 10-5-9 of the Land Development Code for specific standards.)

☐ Site Plan Approval/Major Adjustment/Amendment

(See Section 20-103 of the Lake Zurich Zoning Code for specific standards.)

☐ Exterior Appearance Approval or Amendment

(See Section 21-103 of the Lake Zurich Zoning Code for specific standards.)

APPLICATION TO ANNEX CERTAIN TERRITORY

All land annexed to the Village is classified automatically after such annexation in the R-1\2 Single Family Residential District. The owner must file an application for a Zoning Map amendment if he or she desires a different zoning classification for the Subject Property.

☐ Petition to Annex Certain Territory (Please complete attached petition)

☐ Application to Annex Certain Territory

COMPREHENSIVE PLAN APPLICATION

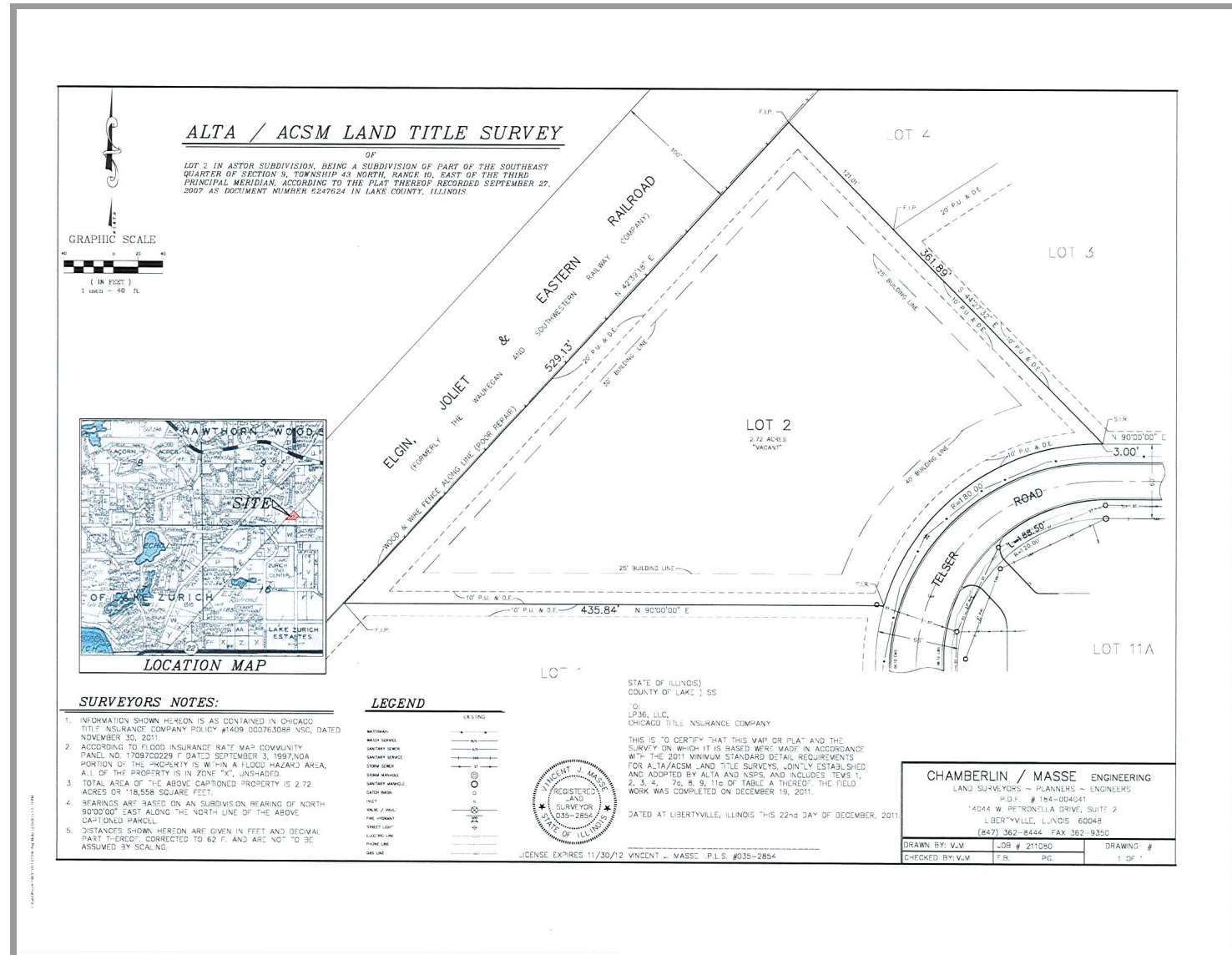
☐ Comprehensive Plan **Map** Amendment for _____

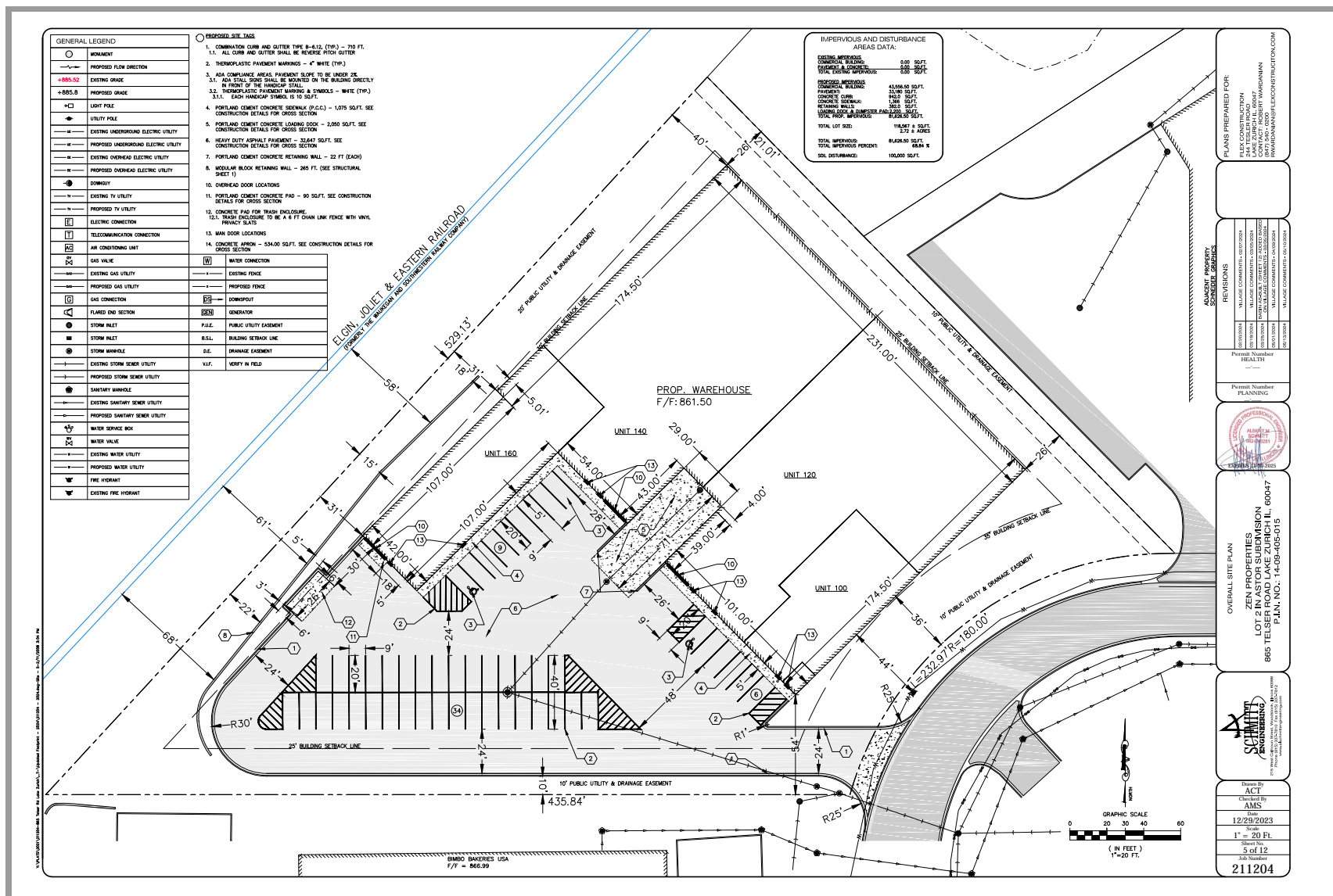
☐ Comprehensive Plan **Text** Amendment for _____

LEGAL DESCRIPTION

COMMON ADDRESS: 865 TELSER ROAD
LAKE ZURICH, IL 60047

LOT 2 IN THE ASTOR SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER
OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN
ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 17, 2007 AS DOCUMENT 6247624 IN
LAKE COUNTY, ILLINOIS.





SUBJECT PROPERTY: 865 Telser Road, Unit 160, Lake Zurich, IL

PROPERTY OWNERS WITHIN 250 OF SUBJECT PROPERTY:

1409405007

MAKAL, LLC
885 TELSER ROAD
LAKE ZURICH, IL

1409405006

ASTOR OWNERS ASSOCIATION
P.O. BOX 518
LAKE ZURICH, IL 60047

1409405008

905 TELSER, LLC
905 TELSER ROAD
LAKE ZURICH, IL 60047

1409405016

EXETER 845 TELSER, LP
845 TELSER ROAD
LAKE ZURICH, IL 60047
TAX BILL ADDRESS: 100 W. MATSONFORD, SUITE 250
WAYNE, PA 19087-4558

1409405019

TELSER HOLDINGS, LLC
850 TELSER ROAD
LAKE ZURICH, IL 60047
TAX BILL ADDRESS: 11205 LAKESHORE DRIVE
UNIT 13
LAKE GENEVA, WI 53147

1409405020

LP36, LLC
1200 FLEX COURT
LAKE ZURICH, IL 60047

1409402630

VILLAGE OF LAKE ZURICH
910 MARCH STREET
LAKE ZURICH, IL 60047

1409402029

WICKLOW VILLAGE HOA
50 COMMERCE DRIVE, SUITE 110
SCHAUMBURG, IL 60173

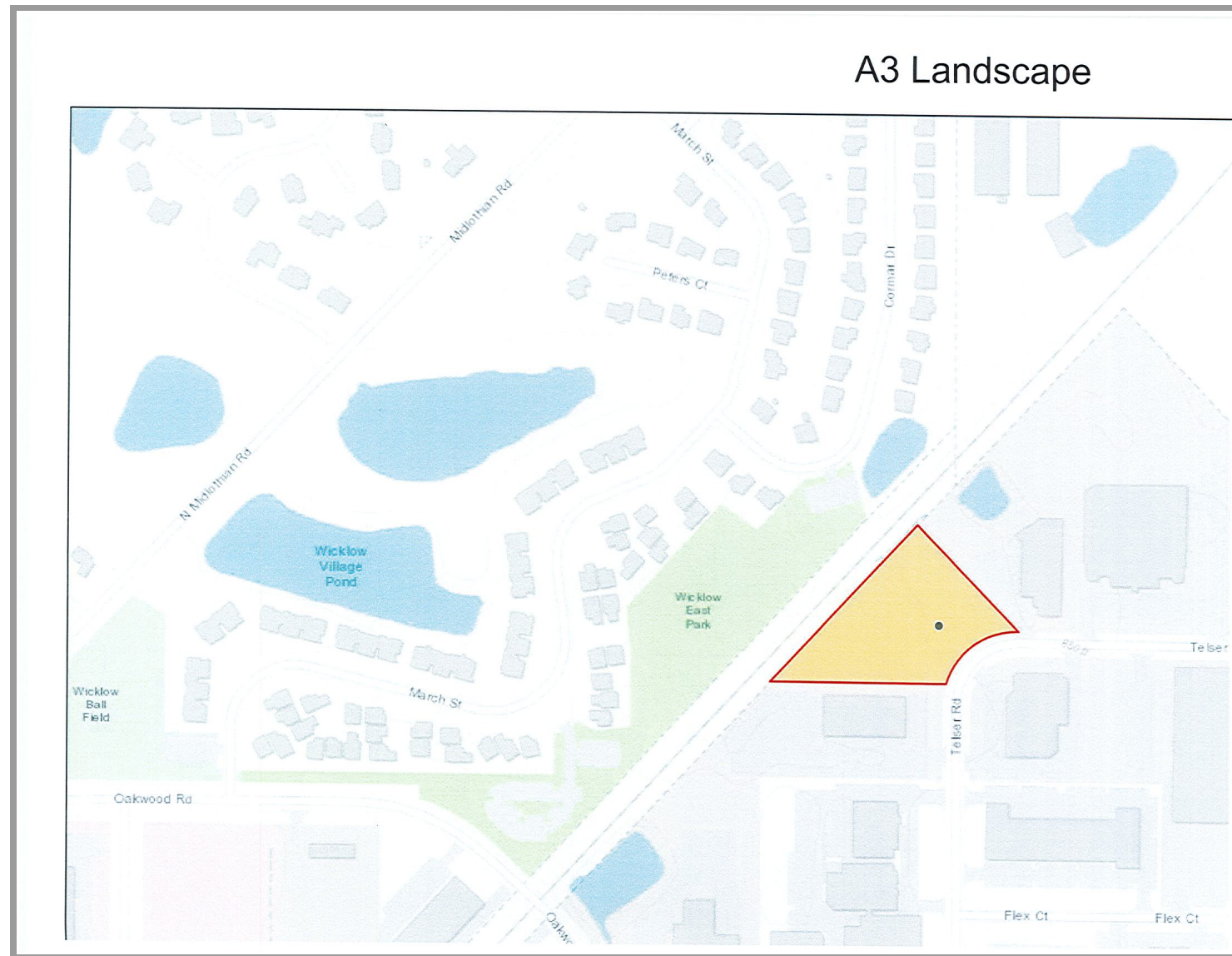
1416200076

1416200074

1416200075

1415200079

SUMKA ASSOCIATION
P.O. BOX 518
LAKE ZURICH, IL 60047



From: [Mike Hilt](#)
To: [Sarosh Saher](#)
Subject: [External Sender] Special Use Permit - 865 Telser Rd
Date: Monday, July 15, 2024 12:10:47 PM

Good afternoon Sarosh:

I hope this email finds you well.

Could you please read into the record at the July 17, 2024 meeting of the Planning & Zoning Commission the below statement for the special use permit at 865 Telser Rd? If you choose to forward this email to the Committee members prior to the meeting that would be acceptable as well.

Best regards..... Mike Hilt

Dear members of the Planning and Zoning Commission and Village Staff:

On behalf of the Lake Zurich Industrial Council I am writing you to express our support for Mr. Frank Travaglio of Luminescent Detailing Company in his request for a special use permit at 865 Telser Road, Unit 160.

Luminescent Detailing Company has been operating at 904 Donata CT. for many years and has been a good business, and good neighbor, in our Industrial District. Mr. Travaglio has grown his business and now he needs more space to handle the additional volume of car detailing.

The Lake Zurich Industrial Council is pleased that Luminescent Detailing Company has chosen to remain in Lake Zurich and expand his business here. We hope that the Planning and Zoning Commission will approve his request for a special use permit at 865 Telser Rd.

Sincerely,

Michael Hilt
President – Lake Zurich Industrial Council

*At the Heart of Community*

PARK AND RECREATION DEPARTMENT

200 South Rand Road
Lake Zurich, Illinois 60047(847) 438-5146
LakeZurich.org

MEMORANDUM

Date: August 5, 2024
To: Ray Keller, Village Manager *PK*
From: Bonnie Caputo, Recreation Director
Subject: Park and Recreation Pavilion Event Request FY24

AGENDA ITEM

7F

Issue:

According to Special Events guidelines, private events requiring only Park/Facility use with attendance over 100 must be reviewed and approved by the Park and Recreation Advisory Board and then the Village Board of Trustees.

Analysis:

Below is a summary of the pavilion event requests the Park and Recreation Department is requesting approval for FY24:

Event	Date(s) and Time(s)	Location	Estimated Attendance
Kemco Trucking	8/18/24	Paulus Park Center	125
Company Picnic	12pm-3pm	Stage Pavilion	

Recommendation:

Staff recommends accepting the above applicant request to utilize Paulus Park property.

w/Attachments: Pavilion Reservation Application

PAULUS PARK PAVILION & FIELD

PLEASE NOTE, PICNIC TABLES ARE ONLY AVAILABLE AT PAULUS PARK DRIVING IN OUR PARKS IS STRICTLY PROHIBITED FOR ANY REASON
Completed forms can be emailed to askparkrec@lakezurich.org

PAVILION RENTALS

- ☐ Woodland Trails Pavilion - 200 S. Rand Rd
- ☐ Playground Pavilion - 200 S. Rand Rd
- ☒ Center Stage Pavilion - 200 S. Rand Rd
- ☐ Lakeside Pavilion - 200 S. Rand Rd
- ☐ Paulus Park Stage - 200 S. Rand Rd

1 Rental Date 08-18-24 ☒ S ☐ M ☐ T ☐ W ☐ T ☐ F ☐ S

Arrival 12:00 Departure 3:00

2 Contact Annie McCoy

Cell 847-804-8127 Home _____

3 Street Address 41 Lakeview Pl

City Lake Zurich, IL 60047

4 E-Mail Address amccoy@kemcotrucking.com

Date of Birth 04/06/1995

5 Purpose of Rental Company Picnic

6 Expected Attendance 125 (give or take)

Will Alcohol Be Served? ☒ Yes ☐ No (If yes, see policy 13)

* Lake Zurich Residents Only: It is not permissible for Non-Residents to secure a liquor license.

7 Please describe any material, literature or equipment you will supply for your group:

8 Americans with Disabilities Act Special Needs:

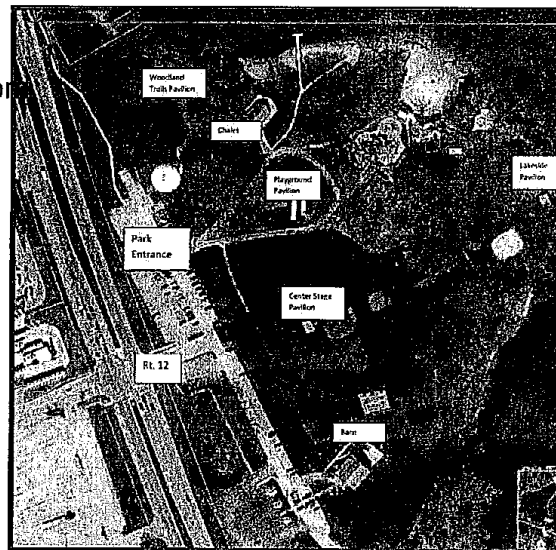
☐ Yes ☒ No (If so, please specify)

9 Will there be an admission charge/donation?

☐ Yes ☒ No (If so, how much and why?)

FIELD RENTALS

- ☐ Braemar Park - 608 Chesterfield Ln
- ☐ Bristol Trails Park - 1130 Bristol Trails Rd
- ☐ Buffalo Creek Park - 675 Old Mill Grove Rd
- ☐ Chestnut Corners/Hunters Creek - 1235 Pheasant Ridge Dr
- ☐ Countryside East Soccer - 683 Old Mill Grove
- ☐ Countryside West Soccer - 1200 Deerpath
- ☐ Manor Park - 5 Miller Rd
- ☐ Old Mill Grove Park - 285 Old Mill Grove
- ☐ Orchards Park - 567 Lawrence
- ☐ Staples Park - 510 Red Bridge Rd
- ☐ Wicklow Ball Field - 815 March Street
- ☐ Wicklow West Park - 1154 O'Malley Street
- ☐ Zurites Park - 71 Pleasant



WILL YOU BE USING SPECIAL EQUIPMENT?

☒ Yes ☐ No (If so, please specify) possible propane grill, possible bouncy house

The Village does not supply special equipment. You must request permission & obtain a certificate of insurance naming Village of Lake Zurich as an additional insured to use special equipment on Village property. The use of generators and other noisy equipment is prohibited. Water is not available at any of the parks. **TENT PERMITS/FEEs ARE APPLICABLE**

FACILITY RENTAL POLICIES

Please read all Shelter and Field Policies before submitting application

1. The Lake Zurich Park and Recreation Department reserves the right to cancel any reservation for the use of an athletic field if it is needed for the use of a Lake Zurich affiliated youth or adult league. The Lake Zurich Park and Recreation Department shall endeavor a 72 hour notice in the event a reservation is required to be canceled.
2. Reservations are on a first-come, first-served basis. Applications are accepted in January for the current year only. No reservations are taken over the phone. Availability may be checked by calling 847-438-5146 x1. No dates can be reserved until the park usage application has been submitted, paid in full and approved by the Recreation Director. Sheltered pavilions include 5 picnic tables at Paulus Park shelters only. Any additional picnic tables needed must be brought in or you can use any unused picnic tables around the park. All other parks, please stop out to your site prior to the rental as no additional tables will be brought out.
3. The applicant is required to be at least 21 years of age and must remain on-site at all times during the use period. The renter must produce their receipt upon request by Police or Park and Recreation personnel and shall be responsible for the conduct of their group and maintenance clean-up at the end of their rental. Please note that if you should have any issues at the shelter rental (outside of business hours Monday-Friday), please keep the beach phone number of 847-540-5067 on hand as a manager can help to assist you on the weekends (June-July).
4. The Village of Lake Zurich needs to approve all equipment used on Village property. Certificate of insurances are needed for tents, catering and any special equipment brought onto Village property. This certificate of insurance must be for at least \$1,000,000 coverage in commercial general liability insuring the Village of Lake Zurich as additional insured and yourself. Please note that additional equipment approved to be used at your rental that needs to be staked down into the ground requires the applicant to contact JULIE (Call 811 OR 1-800-892-0123 to place a local request) for locates (may require you to be on site for locate of your shelter site).
5. Fires are only permitted in the shelter grill. Bonfires are not allowed in the park or on the beach. Charcoal is only to be used in the grills provided at the shelter. Gas and propane grills are allowed. The grills base must be at least 24 inches from the surface on which it rests; grills are not permitted on picnic tables. Coals must be thoroughly extinguished, cooled and disposed of in disposal receptacles NOT garbage cans. All fires must be carefully supervised and extinguished before the group leaves the site.
6. All Village of Lake Zurich park rules apply to rentals. No fireworks allowed at any time. No vehicles are allowed in any of our parks (park pathways, grass, etc.) except for the parking lots. Driving through the park even down to your shelter is prohibited (all supplies for your rental including catering, tables, chairs, grills, etc. must be brought down by hand). Smoking is not permitted in the Village of Lake Zurich facilities. All trash and garbage must be placed in appropriate receptacles. No glass of any kind is allowed on park grounds.
7. For parks near the water, swimming is only allowed in the designated beach areas when a lifeguard is on duty. Group swim information can be obtained at the office.
8. Fishing is allowed on Lake Zurich. Anyone over 15 years old requires an Illinois fishing license.
9. Loudspeakers, public address systems, musical instruments, bands or amplified equipment are not allowed without the permission of the Park and Recreation Department.
10. Any violation of the park rules and regulations, Park and Recreation or Village ordinances, shall be just cause for immediately revoking the reservation and may be cause for future denial for use of shelter. This includes area being cleaned up at the end of the event.
11. Groups with youth under the age of 18 must have one adult over age 21 for every 10 youths. Any group which does not have adequate supervision or fails to maintain discipline will be asked to leave.
12. Proof of liability insurance may be required by the Village of Lake Zurich. Organized athletic leagues renting the fields will be required to provide the Village of Lake Zurich with a copy of their certificate of insurance, a league schedule and a copy of the team roster (if applicable) prior to league play. Payment of fees must be made prior to any scheduled league games.

- 13.** No alcoholic beverages of any kind are permitted in the facilities or on the grounds unless you have approval from the Recreation Director and meet the following requirements **(LAKE ZURICH RESIDENTS ONLY)**:
- a) pay a non-refundable fee per event to allow your party to be added to the Village of Lake Zurich's insurance policy as an additional insured or see section b below.
 - b) by providing a Certificate of Insurance. This Certificate must be for \$2,000,000 Host Liquor Liability with the Village of Lake Zurich added as an additional insured through the homeowner's or renter's insurance.
 - c) by providing your local liquor license from Village Hall, 70 E. Main Street (\$50). Your reservation form will indicate whether alcohol is permitted or not. If underage drinking is going on, staff will be required to contact the police.
 - d) further information on obtaining a liquor license can be found at lakezurich.org/liquor. Please note that alcohol is prohibited on Village beaches.
-
- 14.** Renter must begin their party set up at their scheduled reservation time. Place all refuse in garbage cans prior to your reserved ending time as no additional clean up time is allowed. Each Paulus Park shelters have 5 picnic tables – Any additional tables needed must be brought in or you can use any unused picnic tables around the park.
-
- 15.** Only certain parks have restroom facilities or portable toilets during the summer season. Paulus and Breezewald parks have indoor restroom facilities on the park property (on a locked timer opened dawn to dusk).
-
- 16.** Leashed dogs are welcome to use park pathways, except as posted for special events or conditions. Please care for your pet: A \$250 fine will be assessed for individuals who do not clean up after their dog. A \$500 fine will be assessed for dogs that are off leash. Please refrain from feeding wildlife.
-
- 17.** Any custodial service required over and above the group's normal clean-up will be charged at the rate of \$25 per hour.
-
- 18.** In an emergency, please call the non-emergency police at 847-438-2349 or 911. If your shelter rental is during the week from 8:30am-4pm and you experience any issues you need assistance with, please contact the Barn at 847-438-5146. If your rental is on the weekend and you need assistance, you may contact the Beach Manager as early as 10am (during regular season hours or 12pm for pre/post season hours) at 847-540-5067 for assistance.
-
- 19.** In the event of inclement weather (lightning, thunder, etc.), reservations will be given a full refund or transferred to an alternate date. No rain dates can be made in advance. The Village of Lake Zurich reserves the right to cancel athletic field reservations in the event of wet weather conditions that could result in damage to turf areas. Any rescheduled reservations **MUST** be cleared through the Park & Recreation department to avoid conflicts.

CANCELATION POLICY

If you need to cancel your rental, please contact us immediately. Cancellations made within 15 days of the rental date will receive the full amount of the rental fee refunded less a 10% service charge (minimum \$5, maximum \$15) with a full refund of your deposit. If a cancellation is made with less than 15 days notice, the Park and Recreation Department will retain the rental fee and refund; this includes reservations made less than 15 days from the rental date.

RENTAL CATEGORIES & HOURLY RATES

R = Resident NR = Non-Resident CR = Civic Resident CNR = Civic Non-Resident

	R	NR	CR	CNR
Shelter Rental under 100 people	\$90/day	\$125/day	\$45/day	\$62.50/day
Shelter Rental over 100 people	\$120/day	\$175/day	\$60/day	\$87.50/day
Field Rentals (up to 3 hours)	\$50/day	\$70/day	\$25/day	\$40/day

- Shelter rentals for 100+ people require both Park Advisory Board and Village Board approval.

- Events such as weddings, races, etc. may be subject to park use fees which vary from \$400-\$600 per day.

*At the Heart of Community*

OFFICE OF THE VILLAGE MANAGER

70 East Main Street
Lake Zurich, Illinois 60047(847) 438-5141
LakeZurich.org**MEMORANDUM**

Date: July 31, 2024
To: Mayor Tom Poynton
Village Board of Trustees
From: Ray Keller, Village Manager *RK*
Subject: **Botavi Wellness, LLC revenue sharing agreement**

Issue: Approval of this agreement would establish a revenue sharing arrangement between the Village and Botavi Wellness, LLC (Bloc dispensary) for a 24-month period starting October 1, 2024.

Village Strategic Plan: This agenda item is consistent with Village's Strategic Goal "Development," Objective G "Continue Route 12 Development."

Background: In November 2021, the Village Board approved a special use permit for Bloc/Nirvana to open a cannabis dispensary at 676 S. Rand Rd. at the site of the former TGIF restaurant. In November 2023, the applicant had not made progress toward opening their dispensary, risking the expiration of the special use permit. At their request, the Village extended the expiration of the special use permit for a six-month period, subject to conditions, at the end of which the applicant once again requested additional time.

Pursuant to the Village Code, the Village Manager provisionally extended the special use permit expiration on a weekly basis, with progress memorialized by twice-weekly status updates and ongoing inspections by the Community Development Department. The construction phase is now nearing completion, with temporary occupancy likely to be granted before the board meeting. Botavi anticipates their store opening for business by the Labor Day weekend, subject to receiving their final approval from the State of Illinois.

The Village had anticipated that the dispensary would generate significant sales taxes to support the community's services and projects, which the Village forewent due to the Botavi's delays over the past two years. Botavi has offered a revenue sharing arrangement in recognition of the Village's willingness to work with them through this process. Through the provided agreement, the Village will receive \$4,250 monthly for 24 months starting on October 1, 2024, for a total of \$102,000 over the two-year period. This amount is in addition to the sales taxes to be generated by the dispensary, which were previously projected at approximately \$250,000-\$300,000 annually.

Recommendation: Staff recommend approval of the revenue sharing agreement between the Village of Lake Zurich and Botavi Wellness, LLC.

AGENDA ITEM

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MUNICIPAL CONTRIBUTION AGREEMENT**BETWEEN THE VILLAGE OF LAKE ZURICH AND BOTAVI WELLNESS, LLC**

THIS AGREEMENT, made and entered into by and between the Village of Lake Zurich, an Illinois municipal corporation ("Municipality"), and Botavi Wellness, LLC ("Licensee"), an Illinois Limited Liability Company.

RECITALS

WHEREAS, Licensee may dispense cannabis provided such operation meets those certain criteria and standards as set forth in State statute, code of regulations and local ordinances; and

WHEREAS, Licensee has located a retail operation within the Municipal boundaries of Municipality which Licensee covenants will satisfy the requirements of State statute and code of regulations; and

WHEREAS, Licensee has exceeded the time period allowed by Village Code for the completion of its final plan and related site work pursuant to its conditional use permit and has requested several extensions of time to complete such work; and

WHEREAS, the dispensary operation as planned is in compliance with the zoning ordinance of the Municipality; and

WHEREAS, Municipality and Licensee do not expect that the operations of Licensee should require any additional public service but both desire that Municipality be compensated for having reviewed this matter in full and for providing normal and necessary police protection services or required public service that may arise in the future as a result of the operations of Licensee; and

WHEREAS, it is in the best interests of Licensee and Municipality enter into this Agreement.

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NOW THEREFORE, in consideration of the mutual promises and agreements of, the receipt and sufficiency of which is mutually acknowledged, the parties do hereby covenant and agree as follows:

1. Periodic Payments. Licensee agrees to pay to Municipality payments of \$4,250.00 per month for the Term of this Agreement, for a total of twenty-four (24) months as described below.
2. Term. Contingent upon receiving a special use permit extension to October 1, 2024, the term of this Agreement shall commence as October 1, 2024 and shall be effective through October 1, 2026 (24-months).
3. No Third Party Beneficiary. This Agreement is intended to be solely between Licensee and Municipality. Nothing in this Agreement accords any third party any legal or equitable rights whatsoever which may be enforced by any nonparty to this Agreement.
4. Amendment. This agreement may be amended only by the written agreement of both of the parties hereto.
5. Enforcement. This Agreement shall be governed by the laws of the State of Illinois. Any act by either party in violation of this Agreement shall be remedied by the courts of the State of Illinois. This Agreement is intended to provide both parties with the right and standing to seek any available legal or equitable remedy to enforce or seek damages for the breach of this Agreement.
6. Binding Effect. The parties agree that this Agreement shall be binding upon all parties, as well as their respective heirs, successors and assigns.
7. Entire Agreement. This Agreement represents the entire integrated agreement between the parties with regards to revenue sharing and supersedes all prior negotiations, representations or agreements, either written or oral dealing with revenue sharing in Lake Zurich.
8. Severability. In the event that any portion of this Agreement is invalidated or held unenforceable by a court of competent jurisdiction, the other provisions of this Agreement will remain in full force and effect. Any provision of this Agreement held invalid or unenforceable only in part or degree will remain in full force and effect to the extent not held invalid or unenforceable.

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9. Non-discrimination. In the performance of the obligations under this Agreement, the Parties agree not to discriminate against any employee or applicant because of race, religion, marital status, age, color, sex, handicap, national origin ancestry, income level, source of income, arrest record, less than honorable discharge, physical appearance, sexual orientation, political beliefs, or student status. The Parties further agree not to discriminate against any subcontractor or person who offers to subcontract under this Agreement because of race, religion, color, age, disability, sex, or national origin.

10. Effective Date. This Agreement shall take effect on October 1, 2024.

IN WITNESS WHEREOF, the parties hereto have caused the execution of this Agreement by authority of their respective governing bodies effective as of the date when all parties hereto have affixed their respective signatures.

Municipality: Village of Lake Zurich, Illinois

By: _____

Its: _____

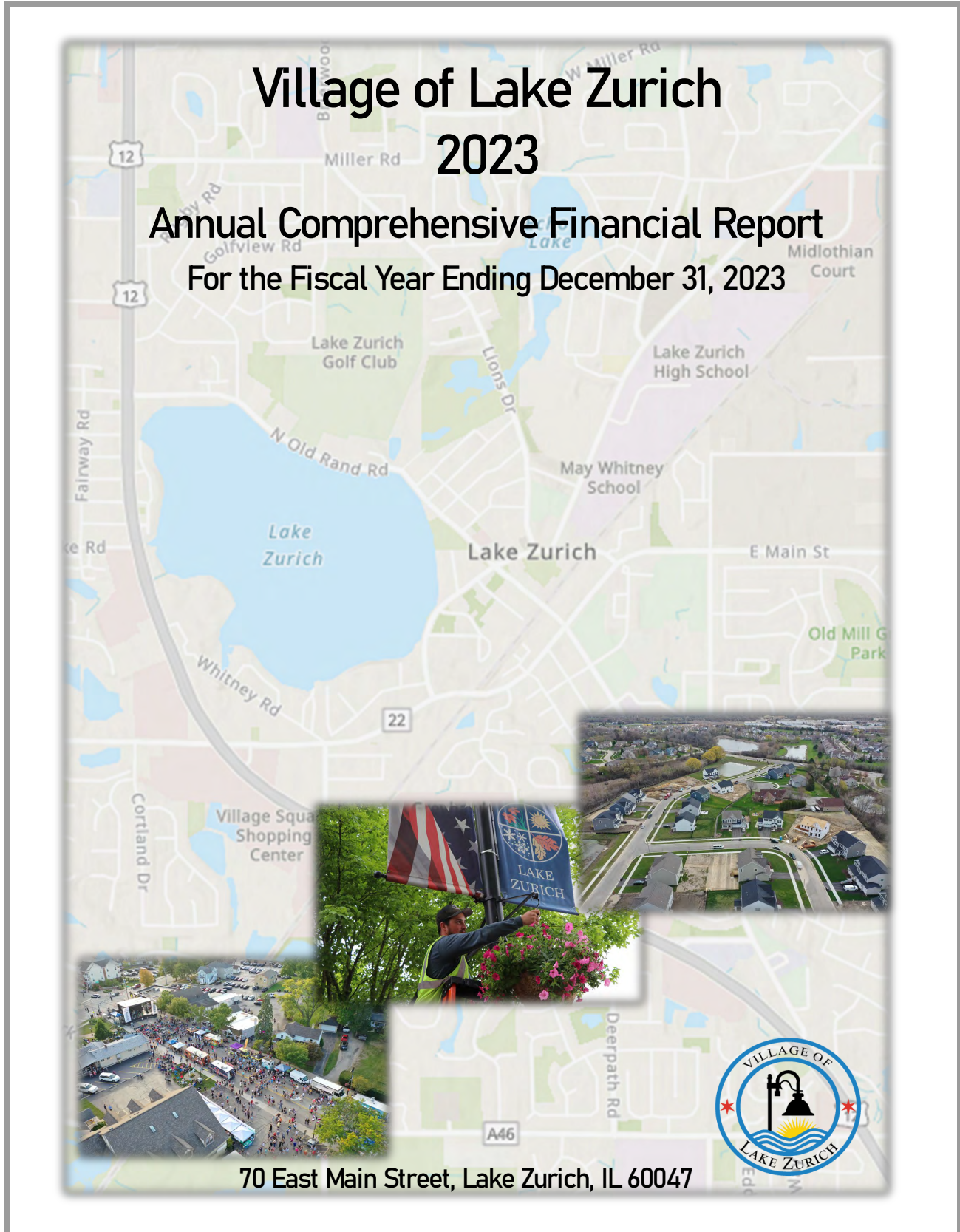
Licensee: Botavi Wellness, LLC

By: _____

Its: _____

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**Annual Comprehensive
Financial Report
of the Village of Lake Zurich, Illinois**

For the Year Ended December 31, 2023

Prepared by the Finance Department

Amy Sparkowski
Finance Director

Village of Lake Zurich

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OFFICE OF THE VILLAGE MANAGER

Ray Keller

June 26, 2024

The Honorable Tom Poynton, Village President
 Members of the Village Board of Trustees
 Residents of the Village of Lake Zurich, Illinois

The Finance Department is pleased to submit herewith the Annual Comprehensive Financial Report of the Village of Lake Zurich, Illinois (the Village) for the fiscal year ended December 31, 2023. This report provides a broad view of the Village's financial activities for the twelve-month 2023 fiscal year and its financial position at December 31, 2023.

Although addressed to the elected officials and residents of the Village, this report has a number of other users. Foremost among these other users are bondholders of the Village, financial institutions, credit rating agencies, educational institutions, and other government entities. Illinois statutes require that Illinois municipalities publish financial statements on an annual basis that are prepared in accordance with generally accepted accounting principles and are audited by independent accountants. In producing an Annual Comprehensive Financial Report, the Village of Lake Zurich has chosen to provide financial information that is significantly greater than that which is required under state law.

Responsibility for both the accuracy of the information presented in the Annual Comprehensive Financial Report as well as the completeness and fairness of the presentation, including all disclosures, rests with the Village. We believe that the information, as presented, is accurate in all material respects; that it is presented in a manner designed to fairly set forth the financial position of the Village and the results of its operations; and that all disclosures necessary to enable the reader to gain the maximum understanding of the Village's financial affairs have been included.

Baker Tilly US, LLP (Certified Public Accountants) has issued an unmodified ("clean") opinion on the Village's financial statements for the fiscal year ended December 31, 2023. The independent auditors' report is located at the front of the financial section of this report.

Management of the Village has established a system of internal control designed to assure that the assets of the Village are safeguarded against loss, theft, or misuse. The system of internal control also assures that the accounting system compiles reliable financial data for the preparation of financial statements in conformity with generally accepted accounting principles. Internal accounting controls are designed to provide reasonable, not absolute, assurance that these objectives will be met. The concept of reasonable assurance recognizes that: (1) the cost of a control should not exceed the benefits likely to be derived; and (2) the evaluation of the costs and benefits requires estimates and judgments by management.

This letter of transmittal should be read in conjunction with management's discussion and analysis to obtain the most complete assessment of the Village's current financial status and its future prospects.

Village Hall • 70 East Main Street • Lake Zurich, Illinois 60047 • (847) 438-5141

LakeZurich.org

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Profile of the Government

The Village of Lake Zurich is located in southwestern Lake County, 37 miles northwest of downtown Chicago. The Village is an established residential community which traditionally served as a market center for surrounding rural areas and, earlier in the 20th century, as a popular summer resort. The population has increased by more than five times since 1960, as the Village has shared in the economic growth from an expanding Chicago metropolitan area. Lake Zurich has developed into a stable community with above-average wealth and housing values, and a balanced tax and revenue base.

Settlers first came to the area in the 1830's. George Ela settled in the area of Deer Grove, not far from Cedar Lake (now Lake Zurich) in 1835. Seth Paine, a Chicagoan, came to the area in 1836, and built a number of commercial establishments in what is now downtown Lake Zurich. New England farmers and German immigrants followed, and the Village was incorporated on September 19, 1896.

The Village grew slowly after its incorporation. The Palatine and Lake Zurich and Wauconda Railroad was built in 1910, but the line was discontinued in 1920. Rand Road (now U.S. Route 12) was paved through town in 1922, and helped establish Lake Zurich, with its rural setting and 250-acre lake, as a summer resort community. The east-west State Route 22, which also runs through Lake Zurich, was constructed in 1927. Population growth accelerated after World War II, with the Village's population increasing from 850 in 1950 to 3,458 in 1960, and further to 4,082 in 1970, 8,225 in 1980, and 14,927 in 1990 (up 81.5% from 1980). The 2020 Census reported a population of 19,759 up 32% from 1990. The land area of the Village is 6.9 square miles.

The Village's municipal neighbors include North Barrington to the west, Deer Park to the south, Kildeer to the southeast and east, and Hawthorn Woods to the north. Transportation links include U.S. Route 12 and State Route 22, and freight rail service by the CN Railroad. Commuter train service to Chicago is available in Barrington, five miles from Lake Zurich. O'Hare International Airport is approximately 30 miles from the Village.

The Village is a non-home rule community operating under the management form of municipal government as provided in 65 ICLS 5. Lake Zurich is governed by a President and six-member Board of Trustees. All are elected at an at-large basis in non-partisan elections to overlapping four year terms. The Board and President are charged with (among other things) setting policy, passing ordinances, adopting the budget and hiring the Village Manager. In turn, the Village Manager oversees day-to-day operations of the Village. Additional demographic information about the Village can be found in the statistical section of this report.

The Reporting Entity

This report includes all activities and functions of the Village that are under the jurisdiction of the Board of Trustees, as set forth in state and local law. There are two blended component units included in this report, those being the Police Pension Fund and the Firefighters' Pension Fund. These two pension plans are governed by separate boards, but the Village is obligated by state statute to fund the two plans based on actuarial valuations.

Accounting System and Budgetary Control

The accounts of the Village are organized on the basis of funds, each of which is considered a separate accounting entity. The operations of each fund are accounted for with a separate set of self-balancing accounts that comprise its assets, liabilities, fund balances, revenues, and expenditures. Resources are allocated to and accounted for in individual funds based upon the purposes for which they are to be spent and the means by which spending activities are controlled.

The Village's accounting records are generally maintained on the modified accrual basis of accounting. Under the modified accrual basis of accounting, revenues are recorded when measurable and available to liquidate obligations of the current period. Expenditures are recorded when a liability is incurred that is expected to draw upon current financial resources. The modified accrual accounting records are the basis for assessing budgetary compliance. After the end of the year, the Village's management makes certain adjustments to the accounting records to permit the preparation of required financial statements on the accrual basis of accounting to comply with generally accepted accounting principles. Under the accrual basis of accounting, revenues are recorded when earned and expenses are recorded when incurred.

The annual budget serves as the foundation for the Village's financial planning and control. It also serves as the legal authority to spend public funds. The Village Board has adopted the Budget Act for purposes of legally appropriating public funds. The Village Manager was designated by the Village Board as the Budget Officer. All departments submit their budget requests to the Village Manager approximately four months before the start of the next fiscal year. The Director of Finance prepares a projection of revenues to be received during the fiscal year. The Village Manager, Director of Finance, and appropriate staff review all budget requests and revenue estimates and develop a proposed budget. The proposed budget is presented to the Village Board and a formal public hearing is held prior to its adoption by the Village Board, which is required by state law prior to the first day of the fiscal year. The Budget Officer may approve the transfer of budgeted funds from one account to another, provided the two accounts are within the same object class and within the same department and fund. Further, the legal level of budgetary control resides at the department level, or where no departmental segregation of a fund exists, the fund level. Amendments or increases to the annual budget may be done only by a two-thirds vote of the Village Board. The Village's fiscal periods coincide with the calendar year.

Factors Affecting Economic Condition

Local Economy: Lake Zurich has a strong and active retail sales tax base acquired through commodity retail establishments primarily located on the busy Rand Road Corridor. The Village has a strong mix of retail superstores, such as Costco, Home Depot, Wal-Mart, Target, Jewel and Mariano's, which has helped in weathering downturns in the economy. Despite a strong sales tax base, the rising cost of operations limits the Village's ability to properly maintain and improve the residents' investment in Village infrastructure. To assist with long term planning, the Village maintains a 20-year Community Investment Plan (CIP) to manage the over \$137 million in infrastructure, including roads, water mains, sanitary and storm sewers, buildings and equipment. Village management is continuously looking for ways to cut costs and/or increase revenues. However, a large proportion of the increasing costs are mandated by statute, regulatory agencies, and/or labor contracts.

Retail vacancy rates remained nearly unchanged in Quarter 1 of 2024 at 3.5% vacant from 3.6% in Quarter 4 of 2023. Retail vacancy rates have remained steady over the past 24 months, hovering between 3% - 4% vacant since early 2022. The Lake Zurich retail environment has stabilized drastically from a peak retail vacancy rate of 8.5% in Quarter 4 of 2020, during the economic hardships of mandated COVID lockdowns.

As of March 31, 2024, there was 94,358 square feet of retail space reported vacant in Lake Zurich, with average rates at \$18.50 per square foot (nnn).

The industrial vacancy rate remained flat at 2.3% vacant in Quarter 1 of 2024. The Lake Zurich Industrial Park is mature, thriving, and continues to attract large employers in manufacturing, production, and transportation industries. Indeed, the industrial park is Lake Zurich's primary employment center. The Village's industrial vacancy rate experienced a recent peak of 7.5% in Quarter 2 of 2020 due to the mandated shut downs prompted by the COVID public health emergency. Average rental rates for industrial space in Lake Zurich is \$5.21 per square foot (nnn) as of March 31, 2024.

Meanwhile, the Village's office vacancy rate has slowly increased since the second-half of 2021 to its existing level of 7% vacant as of the end of Quarter 1 2024, reflecting a national trend of reduced demand for office space as hybrid-virtual working conditions continue to be popular. Lake Zurich does not have a heavy concentration of office space and thus was rather insulated from a spiking office vacancy rate during the COVID shutdowns. Average office rental space in Lake Zurich as of March 31, 2024 was \$25.19 per square foot.

Long-Term Financial Planning: The Village uses a number of processes and resultant planning documents to accomplish its financial planning. As discussed above, the Village adopts an annual budget. The Village Board adopted the formal Community Investment Plan (CIP) in August 2022, forecasting out funding needs for capital items that are expected to exceed \$20,000 and have a useful life of more than a year, such as road improvements, large machinery and equipment, and building improvements. Projects were prioritized by mandatory, essential, deferrable and contributory. The CIP covers a twenty-year span of anticipated capital needs.

The Finance Department has developed five-year financial forecasts for funds, which are updated at least quarterly. These forecasts project revenues, expenditures, fund balance levels, and cash and investment levels. The forecasts are used for purposes of monitoring the long-term financial outlook of the Village, determining available funding for the capital projects, and assisting the Village Manager in setting budget goals for department directors.

Major Accomplishments and Initiatives for Fiscal Year 2023

The fiscal year ended December 31, 2023 saw many accomplishments and major initiatives come to fruition, including:

FISCAL SUSTAINABILITY

Lake Zurich maintains a long-term perspective when managing public finances. While maintaining a balanced budget each year, and diligent use of revenues, the Village continues to maintain its top-notch status AAA bond rating while investing in aging underground infrastructure and public safety pensions.

Balanced Budget. Created balanced 2024 budget with an eye on sustaining multi-year progress towards strategic goals with over \$21 million in infrastructure improvements and more than \$1.2 million in vehicle and major equipment replacements for public safety and public works services. The 2024 budget totals \$78 million to fund a full-service municipality with 164 full-time employees.

Village Reserves. The Village's official fund balance policy is to maintain a minimum of 25% for the General Fund, with a target of 40%. This reserve is maintained for use in emergency situations. The projected 2023 year-end General Fund Reserve is 37%. This is a significant accomplishment that allows for AAA bond ratings and low interest rates for tax payers.

Maintaining Top Status. Lake Zurich has managed to maintain for another year a AAA stable outlook bond rating status from Standard & Poor's, partly based on a strong local economy and overall budgetary flexibility and performance.

Audit Results - AAA bond rating performance! In August 2023, independent auditors with Baker Tilly presented the Village's FY 2022 audit results. Long-term bonded debt decreased \$1.9 million in 2022, for a total of \$19.3 million outstanding. 10 years ago, in 2013, this bonded debt was at \$34 million. AAA bond rating performance. Impressive turnaround!

Public Pension Funding. The **Fire** Pension Fund is now 68.5% funded and the **Police** Pension Fund is now 58.1% funded.

Solid Financial Footing. The long-term financial planning of the Village, coupled with the strength of the local economy and private-sector investment, Lake Zurich finances remain on solid footing for the foreseeable future.

20-Year Community Investment Plan - The stuff financial sustainability is made of. Lake Zurich has a 20-Year Outlook with its *Community Investment Plan*, a two-decade forecast of all municipal capital demands including infrastructure, land improvements, equipment, tech and the municipal fleet. Replacing these big-ticket capital items as they age are a huge hit on the financial resources of the Village, especially when they compete for limited resources against more immediate service needs. Emergency repairs and replacement costs are significantly more expensive than planned purchases, proving a fiscally prudent necessity to maintain financial stability.

Industrial TIF District Has Busy First Year. Lake Zurich's Industrial tax-increment-financing-district was created in January 2023 by the Village Board for the purpose of providing a long-term funding mechanism for infrastructure improvements and supporting industrial business expansion / modernization efforts. In its first year, this TIF has spurred the development of three manufacturing expansions on Enterprise Parkway, Oakwood Road, and Rose Road.

Chase Bank Building. JP Morgan Chase knows a good deal when it sees one, so it decided to invest millions into a new modern banking facility at the corner of Rand Road and Route 22. After demolishing the long-vacant restaurant, the new 6,300 square foot retail banking center was completed in October 2023. This property lies within TIF District #3 and is expected to generate a significant amount of incremental taxes once completed.

ECONOMIC DEVELOPMENT

Lake Zurich is the primary economic hub for southwest Lake County with a booming Rand Road corridor and thriving industrial park. The Village seeks to expand the economic base of the community with a focus on the Main Street District in order to further establish and expand Lake Zurich as a regional economic hub.

Welcoming New Families. Lake Zurich welcomed somewhere around 310 new households into town in 2023, with the largest influx in July 2023.

- **Canterbury Townes Sold Out.** Ryan Homes, the builder of *Canterbury Townes* located on Route 22, has completed construction of its nine buildings in this new 34-unit townhome subdivision. All of the units have sold.

- **Sanctuary of Lake Zurich Completed.** This luxury residential development located at the corner of Rand Road and North Old Rand Road has wrapped up its residential site work and has sold most of the 23 townhome units with sweeping views of the lake. The commercial restaurant construction is completed as Lake Zurich welcomes a new high-end dining restaurant by Chef Viviani to the community.

Welcoming New Business. Lake Zurich economic development efforts continue to attract private sector investment. New businesses in 2023 include: Planet Fitness, Tropical Smoothie Café, Scent Hound Dog Grooming and Animal Wellness, Mint Memorabilia, Via Vici Salon and Boutique, Ryn Salon, Infinity and Beyond Pediatric Therapy, PT Solutions Physical Therapy, Tree of Life Counseling, 50/50 Barber Shop, Tako Chido, Avanti Body, and Lake Liquors.

Growing Local Manufacturing Base. Lake Zurich's Industrial TIF District was busy planting seeds of future growth in 2023. Where? Here...

- **Gere Marie** has been operating in Lake Zurich for over 20 years manufacturing high-precision aluminum components for the boating and medical industries. With TIF support, this company decided to build a new \$8.5 million 33,000 square-foot facility and new manufacturing line on Enterprise Parkway.
- **CM Industries** is a manufacturer of robotic welding torches, nozzle cleaning stations, and other industrial welding products. The company has been located on Oakwood Road since 2003 but is now investing \$6.1 million in a new 43,000 manufacturing facility on Telser Road.
- **NorthStar Pickle** has been producing a wide variety of pickle flavors in Lake Zurich since 2014, tapping into TIF support in 2023 to turn their plans for expansion into reality. The company is now investing \$15.2 million into a new 80,000 square foot pickle processing facility on Rose Road.

INFRASTRUCTURE INVESTMENT

With much of Lake Zurich built in the 1960's – 1980's, there are miles of aging underground infrastructure that are 50+ years old. The Village is seeking to fund its 20-year Community Investment Plan of replacing \$145 million in capital assets while also enhancing the suburban tree canopy and transitioning to a Lake Michigan water source.

\$5 Million Invested into Main Street District. In 2023, Lake Zurich started its large \$5 million+ investment project in the Main Street District, replacing water mains, sanitary sewer mains, storm water mains, pavement resurfacing, and relocating electric overhead utilities. Areas impacted include Main Street, South Old Rand Road, Mionske Drive, and Lake Street.

\$2.4 Million Street Resurfacing Investment. Trustees unanimously approved a large road resurfacing program in 2023, directing a years' worth of the local 0.5% Non-Home Rule Sales tax directly into Lake Zurich neighborhood streets on Old Mill Grove Road, Brush Hill Lane, Browning Lane, Millbrook Drive, Kingwood Lane, Heartwood Lane, Pebble Creek Drive, and Ridgewood Court.

Alternative Water Source. The decision to transition to Lake Michigan water vs. staying on the current deep well system is extremely complex and has been studied in Lake Zurich for 20+ years. With a Lake Michigan Water Allocation permit secured from the Illinois EPA and an agreement approved with the Central Lake County Joint Action Water Agency (CLC JAWA), Lake Zurich is as close as ever to securing an alternative water source.

Several important steps were taken in 2023, including engineering studies to identify improvements needed to connect to a new water supply, proposed project phasing, estimated costs and funding options, and a Village Board adopted resolution expressing the intent of Lake Zurich to work towards full membership into CLC JAWA.

Parking Lot Investments. The Village spent nearly \$500,000 on parking lot resurfacing at Braemar Park, Zurites Park, Countryside West Park, Chestnut Corners Park, and the South Old Rand municipal lot.

Sanitary Sewer Lining. The Village spent \$900,000 in 2023 to reinforce a portion of the primary transmission main down Aptakisic Road from Route 83 to Buffalo Grove Road. Reinforcing old sewer pipes provides a significant increase in the useful life of the municipal system.

2023 Pavement Crack Sealing Program. The Village spent \$60,000 in 2023 to seal curb lines and radial cracks on North Old Rand, Stanton Road, and the Quail Run neighborhood. Crack sealing protects community pavement structure from moisture damage, extending the pavement life.

Curb and Sidewalk Investments. The 2023 sidewalk and curb concrete replacement program focused on areas of Mohawk Trail, Interlaken Drive, O'Malley Drive, and Pheasant Ridge Road cul-de-sacs. Improvements were also made at the pedestrian crossing at North Old Rand Road and Forest Drive, such as culvert replacement under the intersection and new ADA landings added for the public crossing.

Crosswalk Safety Enhancements. Two locations in Lake Zurich where frequent complaints of speeding vehicles have both received crosswalk art treatment in 2023. North Old Rand Road at Forest Avenue where the crosswalk aligns with a path to the Breezewald Park playground and Old Mill Grove Road at Brittany Road in front of Sarah Adams Elementary School.

SERVICE SUSTAINABILITY

For years, Lake Zurich has embraced innovation in how we provide core municipal services the public depends on. We are focused on being a sustainable municipality that is both adaptable and responsive in delivering the high-quality services the people of Lake Zurich expect.

Lake County Dispatch Consolidation. The Lake County 911 consolidation project continues to move ahead. A general contractor to build the Regional Operations Center in Libertyville has been selected and the new 37,000+ square-foot state-of-the-art facility will house a consolidated dispatch center, supporting emergency telephone system technology and staff, as well as Lake County's Emergency Management Agency.

This facility is a major milestone in the multifaceted consolidation efforts and regional emergency management. It will bring together highly trained experts and state-of-the-art technology to coordinate resources, information, and emergency communications under one roof. For more than a decade, many public safety entities providing service in Lake County have been exploring the possibility of consolidating public safety answering points (PSAPs) to enhance 9-1-1 service in the area.

Comprehensive Plan Update. Lake Zurich kicked off a Comp Plan update in June 2023 with an initial stakeholder interview meeting of Village officials, the business community, and small resident groups. Moving into 2024, the Village will be engaging the town as we identify opportunities to enhance and shape our community's vision for the next decade. Visioning and goal setting will unfold into Spring 2024, with focus areas and priorities being identified over Summer 2024 and a new Plan being finalized in Fall 2024.

Special Events are At the Heart of Community. As a small slice of the suburban ideal in the American Midwest, Lake Zurich has no shortage of community events that gather family and friends. From Rock the Block, Independence Day celebrations, Alpine Fest, Bushel of Apples Fest, Jack O' Lantern World, Miracle on Main, and others, Lake Zurich families always have something circled on the calendar.

Parks and Rec Giving Enjoyment to Families. Lake Zurich parks and rec had another solid year in 2023, with a beach season that saw 870 season passes sold, over 17,000 visits (pass holders and daily visits) total at both beaches throughout the Summer season, 1,028 dancers in our Academy of Performing Arts program, a summer day camp that saw 579 kids in attendance, and a farmer's market season that was at its capacity with farmers offering fresh produce, live entertainment, and local artisans.

Increased Access to the Lake. The Village provided more public access to the lake thru non-motorized boat storage at Paulus Park for Lake Zurich resident permit holders. The department also purchased and maintained ten watercrafts which were available for rentals during the regular beach season to allow for the community to further use and enjoy the lake during their visit to the park.

Playground at Jonquil. The Village invested in a new playground to replace the 29-year old set at Jonquil Park. The Village replaces one playground per year in most years and the old Jonquil set was the oldest in the community installed in 1994. The community was encouraged to vote for their favorite design proposal and the winning set was installed.

New Ambulance and Dump Truck. The Fire Department received a new ambulance in 2023 after waiting 19 months for the order to be fulfilled. Public Works also received a new replacement dump truck in 2023 after waiting 22 months for the order to be fulfilled. The high levels of demand and low levels of inventory are creating tremendous back-logs for municipal fleet replacement around the country.

CIVIC ENGAGEMENT

Village leadership strives to meet you where you are. By attending neighborhood block parties, large special events, regular Coffee with the Mayor sit-downs, and public safety personnel having a community-oriented mindset, Lake Zurich officials are leaning forward to hear from you.

National Community Survey. Over the summer of 2023, the Village partnered with the National Research Center to launch its 5th National Community Survey in order to gauge residents' views on the livability, desirability and quality of services offered. Since 2015, the Village has conducted the NCS every-other year to gather this input, as we monitor the consistent high marks that the Village has received to date.

Promoting Transparent Government. The Village continued to promote the availability of live broadcasts of Village public meetings and information available through the Village website, Benchmarks e-news, and social media. The Village's website served content to over 380,000 visitors as of early November. The most viewed pages of the year are "Beaches" and "Independence Day event."

Mayor Poynton Monthly Sit-Downs. Mayor Tom continues his monthly Coffee with the Mayor series at the Koffee Kup in the Main Street District. Meeting most months on the third Wednesday, these sit-downs are the perfect opportunity to bring any concerns, ideas, or just pleasant conversations to Mayor Poynton.

Lake Zurich on the Radio. WGN Radio featured Lake Zurich on its "Your Hometown" series in May 2023 with 9 prime-time interviews of local leaders and small businesses, 60 pre-recorded thirty-second radio segments, and social media campaigns on Facebook/Twitter/Instagram. WGN data analytics report that over 2.5 million people either listened or clicked on at least one ad or interview during this month-long Lake Zurich marketing blitz.

Village Thinks Long-Term with Schools. Village leadership was engaged in a School District 95 strategic planning initiative to develop a roadmap for the next five years. A strategic planning team was formed with about 40 people, including Mayor Poynton, Police Chief Husak, and Fire Chief Pilgard. The focus of this team was to review and define the school's mission, vision, values, goals, and strategies, providing a strategic planning framework under which action plans will be created annually.

Comprehensive Plan Community Engagement. Teska Associates, the consultant selected to update the Lake Zurich Comprehensive Plan prepared a community engagement plan to engage the residents and businesses and obtain feedback on their views, opinions and experiences in Lake Zurich.

- The website "LakeZurichTogether.org" was created as the official project website address, and went live on August 28. It contains an interactive "Comment Map" that allows users to provide feedback on places they love, ideas/opportunities, issues or challenges, and bike/pedestrian needs.
- On September 8, Teska held a "Community Pop-up" event at the Lake Zurich Farmers Market which was visited by a number of residents who provided their feedback.
- On October 25, Teska conducted the 1st Community Open House and Visioning Workshop for residents at the Ela Area Public Library. The feedback from these events is posted on the project website.

Park Enhancement Open Houses. The Village hosted two community open house events in 2023 to encourage feedback into Paulus Park Phase 2 improvements as the Village prepared for another large application for a State OSLAD grant. The first open house was at Village Hall on August 8th and the second was at the August 11th farmers market.

Phase 1 park improvements were funded in part by a previous OSLAD grant that resulted in two new piers, expanded trails, and shoreline restorations. Phase 2 improvements include a new band shell, a renovated splash pad, a new community gathering space with game tables, baggo courts, and additional shoreline restoration and landscaping.

Arbor Day Outreach. Over 60 community volunteers showed up to clean litter for the annual Arbor Day celebration at Paulus Park. After a tree planting ceremony, park scavenger hunt, and tree sapling giveaway, volunteers were then sent to 1 of 5 assigned parks to cleanup.

PUBLIC SAFETY

Lake Zurich is routinely below the national, state, and county averages in all reported categories for crime statistics. Village crime rates are 43% lower than the national average and violent crimes in Lake Zurich are 85% lower than the national average. Said another way, Lake Zurich is safer than 77% of the cities in the United States.

Joined County Public Safety Records System. Lake Zurich joined a Lake County computer aided dispatch police records management and e-ticketing system in 2023 to gain operational efficiencies and to facilitate the exchange of information between agencies to aid in criminal suspect arrest and investigations.

Paramedics Teaching CPR to Lake Zurich. In February, the Fire Department hosted a community American Heart Association CPR training event. A Lake Zurich resident and cardiac arrest survivor was the brain child of hosting this community event, which was attended by about 130 people.

Radar Speed Signs. The Village installed new speed radar signs on North Old Rand and Old Mill Grove roads to enhance pedestrian safety. This program is focused on roadways that experience higher pedestrian traffic such as the Main Street District, and those near schools.

Fire Safety for Preschoolers. Lake Zurich firefighter-paramedics are often showing up at local schools to teach our youth the importance of fire safety. The kids are always excited and pay attention to these important lessons. In 2023, 30 trips to area schools were conducted.

Securing Vehicles. The police traffic division initiated a partnership in 2023 with Hyundai Motor America to distribute free steering wheel locks to residents of certain Hyundai models. These efforts were in response to increasing thefts, targeting Hyundai vehicles without push-button ignitions and immobilizing anti-theft devices.

Prescription Drug Drop Off Event. In April, the Police Department partnered with the DEA for a community Drug Take Back Day. This was an opportunity for residents to prevent pill abuse and theft by ridding their homes of potentially dangerous expired, unused, and unwanted prescription and over-the-counter medication. Over 300 pounds of unwanted drugs were collected.

Car Seat Safety. LZPD's certified child passenger safety technicians assisted the Illinois Department of Transportation and Safe Kids Chicago by manning its booth at the 2023 Chicago Auto Show. The officers provided attendees with traffic safety information, answered questions, and performed hand-on demonstrations of the latest child restraints. LZ officers also assisted with the inspection and proper installation of child safety seats during a September safety event in the Kohls parking lot.

GREEN INITIATIVES

Local governments have an important role to play in reducing carbon emissions and ensuring future generations inherit a sustainable ecosystem and livable environment. Some small things Lake Zurich is doing to help the planet include:

Natural Area Maintenance. The Village owns 120 acres of natural areas throughout the community and is proactively assessing and planning for the short term and long term needs of our many natural areas, which are inspected and evaluated during the autumn months. The Village has partnered with Integrated Lakes Management for the maintenance and restoration of these critical natural spaces. These natural areas, consisting of woodlands, wetlands and prairies, provide a variety of benefits including storm water management and recreational amenities for the public. The goal of Lake Zurich's natural area maintenance efforts is to create healthy, sustainable ecosystems.

100% Green Power Aggregation. In July 2023, the Village aggregation program was renewed for 13-months using 100% green electricity generation, which relies on Midwest-generated wind, solar and hydroelectric electricity sources. Lake Zurich has now joined several nearby communities addressing climate change at the local level and will be designated an EPA Green Power Community. The new lower rates for the 100% Green Power program are locked-in at 7.95 cents per kWh for 13 months (*21% less expensive compared to the rate over the previous year*).

Curbside E-Waste Event. Lake Zurich's curbside e-waste collection event with LRS occurred in July 2023. A total of 20 pallets full of old electronics were collected. That's about 23,000 pounds of electronics that will be responsibly disassembled and kept out of landfills.

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Suburban Forest Canopy. The Village spent \$100,000 in 2023 to enhance the suburban forest canopy with 381 new parkway trees planted in Chestnut Corners, Hunters Creek, and Millers Grove subdivisions. These are split with roughly half planted in spring and half planted in fall.

Reducing Phosphate Runoff. The Village adds anti-icing and pre-wet controls to all snow plow vehicles to reduce road salt usage and phosphate deposits that runoff into surface water.

Clothing and Textile Recycling. Lake Zurich offers clothing and textile recycling, which redirects gently used items around from landfills towards reuse in developing countries around the world.

Styrofoam Recycling Here to Stay. Lake Zurich offers styrofoam recycling thanks to amazing resident volunteers. This opportunity to recycle material that typically ends up in nearby landfills for thousands of years has been embraced by Village residents.

PRIORITIES FOR 2024 AND BEYOND

- **Maintain Fund Balances and Protect Bond Rating.** Since June 2023, Lake Zurich has been gathering feedback from the community on what the future should look like. Visioning and goal setting will continue into Spring 2024, with focus areas and priorities identified over Summer 2024 and a new Plan being finalized in Fall 2024.
- **Support Groundbreaking of Massive Manufacturing Expansion.** The Village has been working with a large manufacturing company in the Industrial Park that has been considering a significant investment to grow its operations in a multi-phase and multi-year effort that would cost more than \$50 million. Plans are to finalize details of this massive economic development investment in 2024.
- **Buffalo creek Streambank Stabilization.** For this project, the scope includes a mixture of structural and vegetative stabilization practices. Enhancement of the streambanks will increase the hydraulics of the stream. The grading, laying back of steep slopes, and excavation of material will enhance the areas potential to reduce the risk of flooding and overtopping of Stanton Road.
- **ADA Transition Plan.** Create an ADA transition plan that identifies existing programs, services, facilities, policies, and procedures that require changes and outline the steps necessary to become a more accessible community.
- **Lake Michigan Water Funding.** Establish a revenue source to fund Lake Zurich's transition to Lake Michigan as its source of potable water via the Central Lake County Joint Action Water Agency.
- **Prepare for Potential 911 Dispatch Consolidation.** Continue to partner with Lake County dispatch to develop an efficient and effective consolidated public safety answering center.
- **Investing in Parks.** In 2024, the Village is proposing to do a full renovation of the Paulus Park Spray Ground, the resurfacing of the Staples and Sonoma Park tennis courts, and the continued construction of the Breezewald Operations facility.
- **Water Main Replacements.** As the Village continues to reinvest in critical infrastructure with the replacement of aged or problematic water mains, the focus for 2024 is replacement of approximately 7,100 feet of water main in the following locations: Route 12 to Deerpath Road, Route 22 from Knox Park to Cedar Creek Drive, and areas within the Cedar Creek subdivision totaling over \$3 million.

- **Maximize Special Rec Association Levy.** In order to invest more in community based therapeutic rec programs to people of all ages and disabilities, Lake Zurich will implement a higher tax cap to provide additional funding for local handicap-accessible equipment and materials.

Acknowledgements

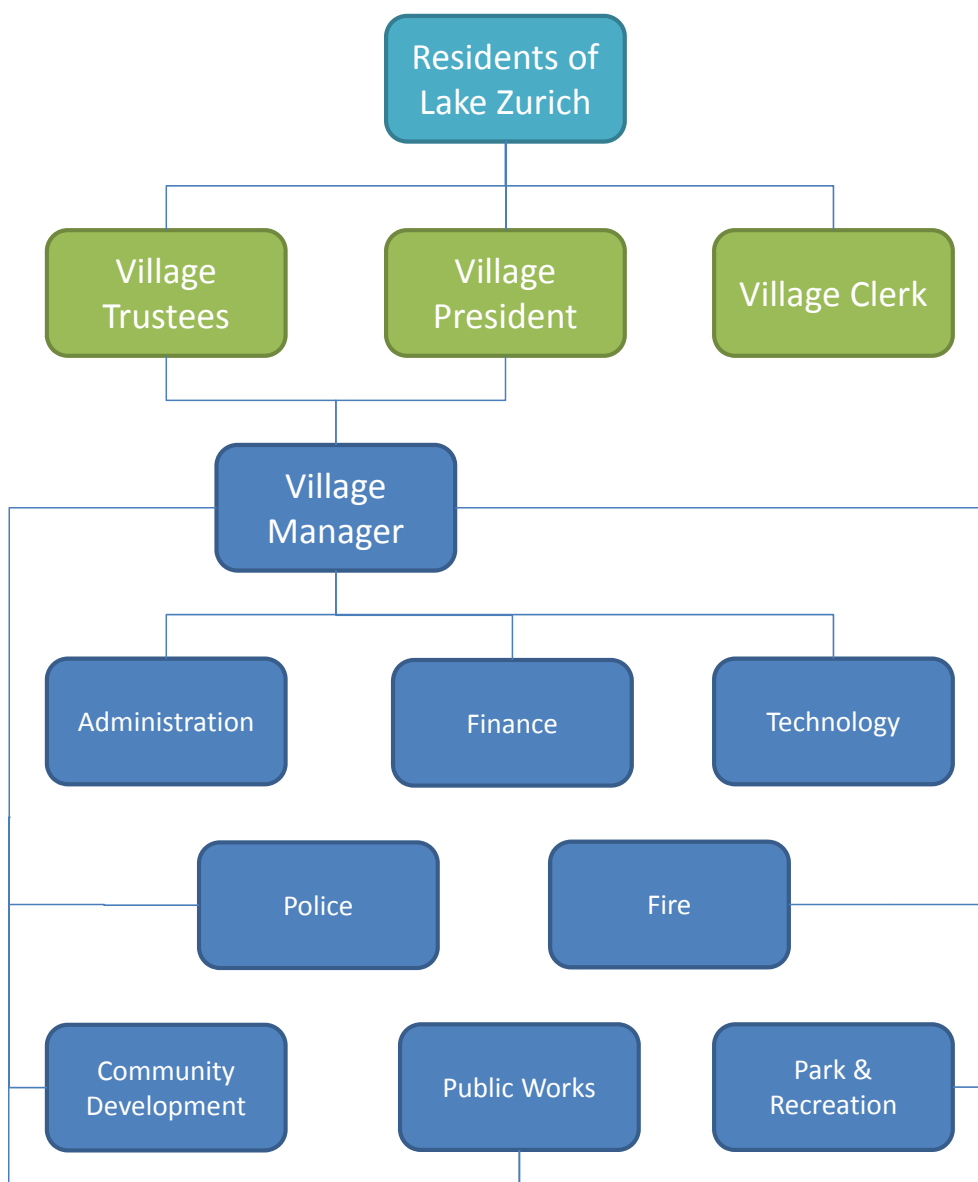
The preparation of this report on a timely basis could not have been accomplished without the efficient and dedicated services of the entire staff of the Finance Department. The Village President and Village Board of Trustees must be acknowledged and thanked for setting the highest standards of professionalism in the oversight and management of the Village's finances.

Respectfully submitted,

Ray Keller
Ray Keller
Village Manager

Amy Sparkowski
Amy Sparkowski
Director of Finance/
Village Treasurer

Village of Lake Zurich Organization Chart



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VILLAGE OF LAKE ZURICH, ILLINOIS
LIST OF ELECTED AND APPOINTED OFFICIALS
December 31, 2023

VILLAGE BOARD OF TRUSTEES

Tom Poynton, Mayor

Dan Bobrowski

Mary Beth Euker

Marc Spacone

Roger Sugrue

William Riley

Greg Weider

Kathleen Johnson, Village Clerk

Ray Keller, Village Manager

Amy Sparkowski, Finance Director/Treasurer



Independent Auditors' Report

To the Honorable President and
Members of the Board of Trustees of
Village of Lake Zurich, Illinois

Report on the Audit of the Financial Statements

Opinions

We have audited the accompanying financial statements of the governmental activities, the business-type activities, each major fund and the aggregate remaining fund information of the Village of Lake Zurich, Illinois (the Village), as of and for the year ended December 31, 2023, and the related notes to the financial statements, which collectively comprise the Village's basic financial statements as listed in the table of contents.

In our opinion, the accompanying financial statements referred to above present fairly, in all material respects, the respective financial position of the governmental activities, the business-type activities, each major fund and the aggregate remaining fund information of the Village as of December 31, 2023 and the respective changes in financial position and, where applicable, cash flows thereof for the year then ended in accordance with accounting principles generally accepted in the United States of America.

Basis for Opinions

We conducted our audit in accordance with auditing standards generally accepted in the United States of America (GAAS) and the standards applicable to financial audits contained in *Government Auditing Standards* issued by the Comptroller General of the United States (*Government Auditing Standards*). Our responsibilities under those standards are further described in the Auditors' Responsibilities for the Audit of the Financial Statements section of our report. We are required to be independent of the Village and to meet our other ethical responsibilities, in accordance with the relevant ethical requirements relating to our audit. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinions.

Responsibilities of Management for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America; and for the design, implementation and maintenance of internal control relevant to the preparation and presentation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is required to evaluate whether there are conditions or events, considered in the aggregate, that raise substantial doubt about the Village's ability to continue as a going concern for twelve months beyond the financial statement date, including any currently known information that may raise substantial doubt shortly thereafter.

Baker Tilly Advisory Group, LP and Baker Tilly US, LLP, trading as Baker Tilly, are members of the global network of Baker Tilly International Ltd., the members of which are separate and independent legal entities. Baker Tilly US, LLP is a licensed CPA firm that provides assurance services to its clients. Baker Tilly Advisory Group, LP and its subsidiary entities provide tax and consulting services to their clients and are not licensed CPA firms.

Auditors' Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditors' report that includes our opinions. Reasonable assurance is a high level of assurance but is not absolute assurance and therefore is not a guarantee that an audit conducted in accordance with GAAS and *Government Auditing Standards* will always detect a material misstatement when it exists. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations or the override of internal control. Misstatements are considered material if there is a substantial likelihood that, individually or in the aggregate, they would influence the judgment made by a reasonable user based on the financial statements.

In performing an audit in accordance with GAAS and *Government Auditing Standards*, we:

- Exercise professional judgment and maintain professional skepticism throughout the audit.
- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the amounts and disclosures in the financial statements.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Village's internal control. Accordingly, no such opinion is expressed.
- Evaluate the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluate the overall presentation of the financial statements.
- Conclude whether, in our judgment, there are conditions or events, considered in the aggregate, that raise substantial doubt about the Village's ability to continue as a going concern for a reasonable period of time.

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit, significant audit findings and certain internal control-related matters that we identified during the audit.

Required Supplementary Information

Accounting principles generally accepted in the United States of America require that the required supplementary information as listed in the table of contents be presented to supplement the basic financial statements. Such information is the responsibility of management and, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic or historical context. We have applied certain limited procedures to the required supplementary information in accordance with auditing standards generally accepted in the United States of America, which consisted of inquiries of management about the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We do not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance.

Supplementary Information

Our audit was conducted for the purpose of forming opinions on the financial statements that collectively comprise the Village's basic financial statements. The supplementary information as listed in the table of contents is presented for purposes of additional analysis and is not a required part of the basic financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the basic financial statements. The information has been subjected to the auditing procedures applied in the audit of the basic financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the basic financial statements or to the basic financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the supplementary information is fairly stated in all material respects, in relation to the basic financial statements as a whole.

Other Information

Management is responsible for the other information included in the annual comprehensive financial report. The other information comprises the other information included in the annual report but does not include the basic financial statements and our auditors' report thereon. Our opinions on the basic financial statements do not cover the other information, and we do not express an opinion or any form of assurance thereon.

In connection with our audit of the basic financial statements, our responsibility is to read the other information and consider whether a material inconsistency exists between the other information and the basic financial statements, or the other information otherwise appears to be materially misstated. If, based on the work performed, we conclude that an uncorrected material misstatement of the other information exists, we are required to describe it in our report.

Other Reporting Required by Government Auditing Standards

In accordance with *Government Auditing Standards*, we have also issued our report dated June 26, 2024 on our consideration of the Village's internal control over financial reporting and on our tests of its compliance with certain provisions of laws, regulations, contracts and grant agreements and other matters. The purpose of that report is solely to describe the scope of our testing of internal control over financial reporting and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the Village's internal control over financial reporting or on compliance. That report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the Village's internal control over financial reporting and compliance.



Oak Brook, Illinois
June 26, 2024

MANAGEMENT'S DISCUSSION AND ANALYSIS

**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

December 31, 2023

This section of the financial report is management's overview and analysis of the financial position and financial performance of the Village of Lake Zurich for the fiscal year ended December 31, 2023. This statement should be read along with the transmittal letter and financial statements for the most complete understanding of the Village of Lake Zurich's financial activities for the year.

FINANCIAL HIGHLIGHTS

VILLAGE FUNDS AS A WHOLE:

- Total assets and deferred outflows of the Village exceeded liabilities and deferred inflows by \$134 million.
- Total net position of the Village increased \$14.2 million.
- Combined revenues totaled \$57.0 million, a 9.1% increase.
- Overall expenses totaled \$42.8 million, a 1.0% increase.

GENERAL FUND:

- Fund balance increased by \$553k.
- Total fund balance at the end of the year was \$14.5 million, of which \$1.7 million was non-spendable as advances to other funds, inventory and prepaid expenditures.
- Cash and investments totaled \$11.8 million.

BUSINESS-TYPE ACTIVITIES (Water and Sewer Fund)

- Net position increased \$6.4 million.
- Total net position at the end of the year was \$58.1 million, of which \$44.0 million was invested in capital assets, and \$14.1 million was unrestricted funds.
- Working capital of the fund increased from \$2.1 million to \$13.0 million.

LONG-TERM DEBT

- Total long-term debt decreased \$4.7 million to \$81.6 million outstanding as of December 31, 2023. Included in this figure is a \$2.0 million decrease to net pension liability.
- Bonded debt alone decreased \$1.9 million to \$17.4 million outstanding as of December 31, 2023.

CAPITAL ASSETS

- Total capital assets, net of accumulated depreciation, increased \$6.7 million to \$137.8 million.
- Capital assets for governmental activities, net of accumulated depreciation, increased \$3.2 million to \$90.1 million.

OVERVIEW OF THE FINANCIAL STATEMENTS

In accordance with generally accepted accounting principles, the Village presents its financial statements so as to offer two perspectives of its financial position and results of operation. The government-wide perspective presents financial information for the government as a whole. The fund perspective involves the presentation of financial information for individual accounting entities established by the Village for specific purposes. The focus of the fund statements is on major funds. Both perspectives (government-wide and major fund) address likely user questions, provide a broad basis for comparison, and enhance the Village's accountability.

MD&A 1
See independent auditor's report

**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

December 31, 2023

Government wide statements

The government-wide statements are intended to provide a view of the financial position and operations of the Village in a manner similar to the private sector. These statements provide a long-term view of the financial position of the Village of Lake Zurich. The *Statement of Net Position* reflects all of the Village's assets, deferred outflows of resources, liabilities, and deferred inflows of resources, with the net difference between them reported as net position. Over time, the change in net position may serve as a useful indicator to reflect the improving or deteriorating position of the Village.

The government-wide *Statement of Activities* reflects the change in Village net position for the current year. These activities are reported on a full accrual basis. Thus revenues and expenses are recorded as they are incurred, regardless of when cash flow is affected. Both the *Statement of Net Position* and the *Statement of Activities* include the Village's governmental and business-type activities.

Governmental activities encompass general government, public safety, highways and streets, culture and recreation and economic development. In general, taxes and intergovernmental revenues support governmental funds. The business-type activities of the Village consist of water and sewer operations, which are funded primarily from user fees. Revenues generated from water and sewer operations are intended to cover all or a significant amount of total costs. The government-wide financial statements can be found on pages 4-5 of this report.

Fund Financial Statements

The Village of Lake Zurich utilizes fund accounting. A fund is a grouping of related accounts that is used to maintain control over resources that have been segregated for specific activities or objectives. Fund accounting is used to ensure and demonstrate compliance with specific financial and legal requirements. The Village of Lake Zurich has three fund types; governmental, proprietary and fiduciary.

Governmental Funds

Governmental funds included in the fund financial statements are fundamentally the same as those reflected in the government-wide statements. The major difference is that the fund statements focus almost entirely on the short-term with emphasis on fiscal responsibility with relation to the current budgetary year. As such, the statements are prepared on the modified accrual basis. A reconciliation provided on the face of the governmental fund financial statements provides those items that were used to convert the fund modified accrual basis to the governmental-wide full accrual basis.

The Village of Lake Zurich has thirteen governmental funds to account for governmental functions. Information is presented separately in the governmental fund balance sheet and in the governmental fund statement of revenues, expenditures and changes in fund balances for these funds, all of which are considered to be "major" funds. The purposes of these major funds are as follows:

The General Fund is the general operating fund for the Village and is utilized to account for all activity that is not accounted for in another fund.

The TIF (#1) Tax Allocation Fund accounts for all revenues and transfers to pay for administrative, debt service, and capital improvement activity necessary to stimulate and induce redevelopment of Downtown Lake Zurich pursuant to the Tax Increment Finance (TIF) Act.

The Downtown TIF #2 Special Revenue Fund captures all the costs and revenue associated with the construction and improvements to TIF District #2.

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See independent auditor's report

**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

December 31, 2023

The Debt Service Fund accounts for the accumulation of financial resources to pay principal and interest for general obligation bond issues, including the debt generated by the establishment of the Tax Increment Financing District.

The TIF (#1) Debt Service Fund accounts for the accumulation of financial resources to pay principal and interest expenses generated related to TIF District #1.

The Capital Improvements Fund accounts for the financial resources used for the acquisition and construction of capital projects.

The Non-Home Rule Sales Tax Capital Projects Fund accounts for the financial resources from non-home rule sales tax used for specific capital infrastructure improvement projects.

Data from the other six (6) funds are combined into a single, aggregated presentation. Individual fund data for each of these nonmajor governmental funds is provided in the form of combining statements elsewhere in the report. Budgetary comparisons are included at the fund level in the combining and individual fund financial statements. The basic governmental fund financial statements can be found on pages 6 through 13 of this report.

Proprietary Funds

The Village of Lake Zurich maintains one proprietary fund – the Waterworks and Sewerage Fund. This proprietary fund is categorized as an enterprise fund, which are used to report the same functions presented as business-type activities in the government-wide financial statements. Proprietary fund financial statements provide the same type of information as the government-wide financial statements, only in more detail. As proprietary funds are reported on a full accrual basis, the Village of Lake Zurich fund statements for its Waterworks and Sewerage fund mirror the government-wide statements. The basic proprietary fund financial statements can be found on pages 14 through 18 of this report.

Fiduciary Funds

Fiduciary Funds are used to account for resources held for the benefit of parties outside the government. Hence, fiduciary funds are not included in the government-wide statements, as their resources are not available to support the Village's own programs. The Village of Lake Zurich has eight (8) fiduciary funds – the Police Pension Fund, the Firefighters Pension Fund, and six (6) Custodial Fund for Special Service Areas. Like proprietary funds, fiduciary funds are accounted for on a full accrual basis. The basic fiduciary fund statements can be found on pages 19 and 20 of this report.

Notes to the Financial Statements

The notes to the financial statements provide information that is critical to the full understanding of the data provided in the government-wide and fund financial statements. The notes to the financial statement are on pages 21 through 62 of this report.

Other Information

In addition to the basic financial statements and accompanying notes, this report also presents certain required supplementary information. Included in this report is a budgetary comparison statement for the General Fund and the special revenue funds, as well as information regarding the Village's progress in funding its obligation to provide pension and other postemployment benefits to its employees. This information is available on pages 63 through 83.

MD&A 3
See independent auditor's report

**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

December 31, 2023

Amendments to Budget

Amendments to the budget are typically made throughout the year. The Village Manager, as Budget Officer, is authorized to implement a budget transfer between accounts within the same object class, provided it is within the same department and fund. No transfers were authorized by the Budget Officer during the year. Budget transfers between object classes and any increases or decreases to the total budget must be approved by the Village Board. Four (4) budget amendments were approved during the fiscal year.

GOVERNMENT-WIDE FINANCIAL ANALYSIS

Net position

The combined net position for the fiscal year ended December 31, 2023 totaled \$134 million and consisted of net position from both governmental activities and business-type activities of \$76 million and \$58 million respectively. Following is a table that shows total net position of the Village as of December 31, 2023 with a comparison to the preceding fiscal year.

As of December 31, 2022 and 2023

	Governmental Activities		Business-type Activities		Total Village Wide	
Category	12/31/2023	12/31/2022	12/31/2023	12/31/2022	12/31/2023	12/31/2022
Current and other assets	\$ 66,058,465	\$ 64,245,514	\$ 15,219,134	\$ 13,658,798	\$ 81,277,599	\$ 77,904,312
Capital assets	90,136,014	86,971,571	47,683,513	44,108,403	137,819,527	131,079,974
Total assets	156,194,479	151,217,085	62,902,647	57,767,201	219,097,126	208,984,286
Deferred Outflows	15,719,193	19,096,721	520,506	715,056	16,239,699	19,811,777
Total assets & deferred outflows	171,913,672	170,313,806	63,423,153	58,482,257	235,336,825	228,796,063
Current and other liabilities	5,757,954	8,055,798	1,554,809	2,060,070	7,312,763	10,115,868
Long-term liabilities	75,425,412	78,818,126	3,658,859	4,581,293	79,084,271	83,399,419
Total liabilities	81,183,366	86,873,924	5,213,668	6,641,363	86,397,034	93,515,287
Deferred Inflows	14,659,995	15,167,232	104,245	150,470	14,764,240	15,317,702
Total liabilities and deferred inflows	95,843,361	102,041,156	5,317,913	6,791,833	101,161,274	108,832,989
Net position:						
Net invest capital assets	90,136,014	86,971,571	43,974,861	39,432,356	134,110,875	126,403,927
Restricted	12,186,103	14,265,789	-	-	12,186,103	14,265,789
Unrestricted	(26,251,806)	(32,964,710)	14,130,379	12,258,068	(12,121,427)	(20,706,642)
Total net position	\$ 76,070,311	\$ 68,272,650	\$ 58,105,240	\$ 51,690,424	\$ 134,175,551	\$ 119,963,074

The Village's net investment in capital assets (e.g., land, buildings, machinery and equipment, and infrastructure less any related debt used to acquire those assets still outstanding), is the largest portion of the Village's net position. As of December 31, 2023, capital assets net of related debt totaled \$134 million. The Village uses these capital assets to provide services to citizens; consequently, these assets are not available for future spending. Although the investment in capital assets is reported net of related debt, the resources needed to repay this debt must be provided from other resources, since capital assets themselves cannot be used to liquidate these liabilities.

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**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

December 31, 2023

In the governmental activities, the total net position increased by \$7.8 million. The General Fund was able to transfer additional funds to the Capital Improvement and the Equipment Replacement funds to accumulate resources for upcoming capital needs. General Fund was still able to post a surplus of \$553k.

Cash and investments for governmental activities increased \$3.1 million. Total assets and deferred outflows for the governmental activities increased \$1.6 million to \$171.9 million. This is attributable to the increase in cash and investments offset by a decrease in pension related deferred outflows. Total liabilities and deferred inflows decreased, from \$102 million to \$95.8 million, due to a combination of changes in pension liabilities, the recognition of ARPA grant money, and a decrease in debt related amounts.

For the business-type activities, total net position increased by \$6.4 million. This is mainly due to a capital contribution.

During the current fiscal year, total net position of the Village increased by \$14.2 million compared to a \$9.9 million increase in 2022. A more detailed explanation of the change in net position of the governmental activities and business-type activities is provided in the following sections.

Statement of Activities

The following summarizes the changes in the Village's net position for the 2023 fiscal year:

**Change in Net Position
For the Fiscal Years Ended December 31, 2022 and 2023**

Category	Governmental Activities		Business-type Activities		Total Village Wide	
	2023	2022	2023	2022	2023	2022
Revenues:						
Program revenues:						
Charges for services	\$ 12,126,410	\$ 13,078,293	\$ 8,470,911	\$ 8,128,400	\$ 20,597,321	\$ 21,206,693
Operating grants	876,088	810,124	-	-	876,088	810,124
Capital grants	236,547	444,296	-	-	236,547	444,296
General revenues:						
Taxes	14,381,441	13,907,236	-	-	14,381,441	13,907,236
Intergovernmental	17,840,091	14,908,420	-	-	17,840,091	14,908,420
Investment earnings	2,047,136	388,348	573,861	134,317	2,620,997	522,665
Other	464,343	463,194	-	17,557	464,343	480,751
Total revenues	47,972,056	43,999,911	9,044,772	8,280,274	57,016,828	52,280,185
Expenses:						
General Government	2,122,434	2,086,891	-	-	2,122,434	2,086,891
Public Safety	24,887,179	24,533,255	-	-	24,887,179	24,533,255
Highways and Streets	6,682,108	6,907,881	-	-	6,682,108	6,907,881
Culture and Recreation	1,744,888	1,663,731	-	-	1,744,888	1,663,731
Economic Development	620,537	720,097	-	-	620,537	720,097
Interest on long-term debt	820,534	849,545	-	-	820,534	849,545
Water/Sewer	-	-	5,926,671	5,638,174	5,926,671	5,638,174
Total expenses	36,877,680	36,761,400	5,926,671	5,638,174	42,804,351	42,399,574
Excess (deficiency) of revenues over expenses	11,094,376	7,238,511	3,118,101	2,642,100	14,212,477	9,880,611
Transfers:	(3,296,715)	-	3,296,715	-	-	-
Change in Net Position	7,797,661	7,238,511	6,414,816	2,642,100	14,212,477	9,880,611
Beginning net position	68,272,650	61,034,139	51,690,424	49,048,324	119,963,074	110,082,463
Ending net position	76,070,311	68,272,650	58,105,240	51,690,424	134,175,551	119,963,074

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**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

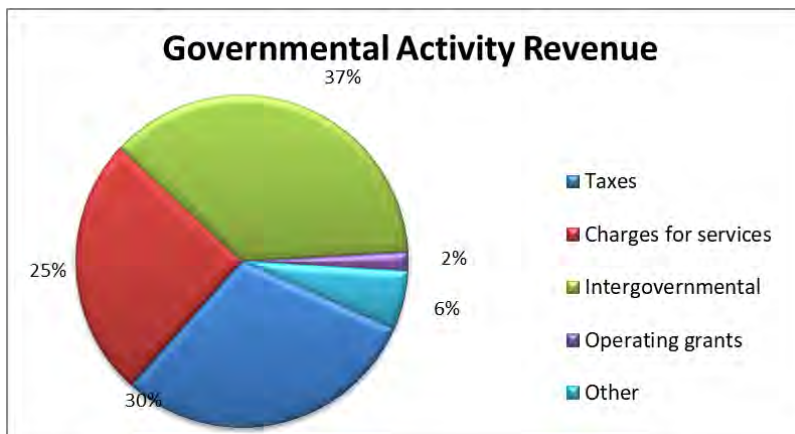
December 31, 2023

Governmental Activities

As is typical for governmental activities of local governments, program revenues cover a small percentage of program expenses, with general revenues covering the majority of expenses. For fiscal year 2023, governmental program expenses of \$36.9 million exceeded program revenues of \$13.2 million by \$23.6 million. General revenues of \$34.7 million made up for the deficiency.

Revenues

The following graph indicates the breakdown of 2023 revenues by type.



Total revenues of \$48.0 million were higher than last year by \$4.0 million (9.0%). No new major revenue sources were implemented. The increase was spread between intergovernmental grant revenue (\$2.7 million), investment earnings (\$1.7 million), and property tax (\$765k) as the biggest categories.

Utility taxes have been fluctuating, and ended the year down \$177k (11%). The telecommunications tax has been unpredictable in the past few years. Receipts were down 3.9% at \$320k. Receipts have been declining due to changes in how customers receive their phone service, such as free long-distance with most cellular plans.

Sales tax revenues came in at \$10.8 million, an increase of \$341k (3.3%). Lake Zurich's mix of retailers provides stability and consistency during more difficult financial periods, better than localities that are selling more luxury or specialty products.

The State Income Tax receipts of \$3.2 million exceeded original expectations. This revenue source benefited from positive economic factors relating to the labor market and corporate income tax receipts. However, Income Tax was down \$64k for the year, a decrease of 2.0%, due to new allocations of LGDF distributions caused by tax policy changes.

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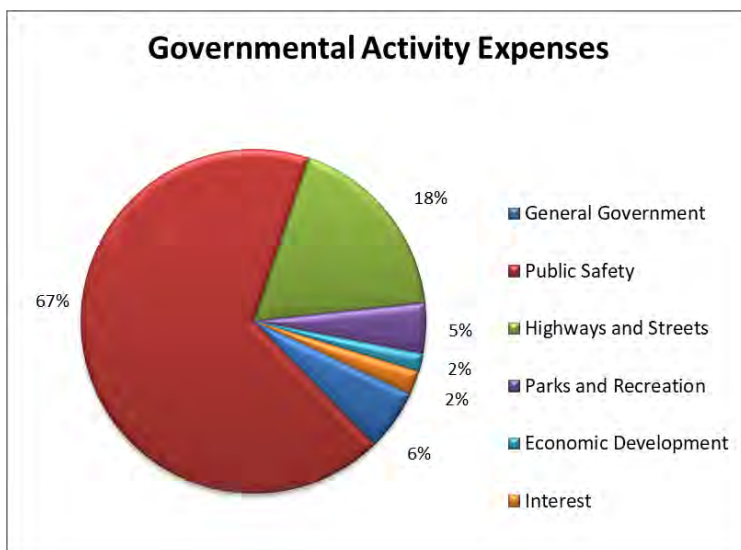
**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

December 31, 2023

Charges for Services make up 25% of the Village's governmental revenue. Charges for services decreased by \$952k (7.3%), coming in at \$12.1 million. Although recreation fees and the fire district agreement experienced increases, ambulance service fees and park impact fees experienced decreases, due to the timing of GEMT related payments and fewer new home developments, respectively. No new charges were implemented.

Expenses

Governmental activity expenses represent the costs to operate the Village core services, excluding water and sewer service. The following chart shows the breakdown of governmental expenses by activity.



Expenses associated with governmental activities increased by \$116k, not even 1%. The most significant increase relates to culture and recreation, which increased \$81k (4.9%). This increase was primarily driven by the addition of a full-time employee during 2023, and the continuation of playground improvements. The decrease of \$100k in economic development offset any increases in governmental expenses. Prior year economic development expense included a loss on land held for resale.

Business Type Activities

For business-type activities, net position increased a total of \$6.4 million. Program revenues of \$8.5 million exceeded program expenses of \$5.9 million. The capital contribution of \$3.3 million significantly contributed to the increase in net position. Depreciation of water and sewer fund capital assets is a large portion of the expenses at \$2.0 million (35% of operating expenses). Overall, expenses only increased 5.1%. The largest increases in expenses (engineering/architectural and electricity) were offset by the decrease in pension and debt service related expenses.

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**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

December 31, 2023

Charges for services associated with business-type activities totaled \$8.5 million, up 4.2% from the prior year. This increase was largely due to the increased water and sewer connection fees from new residential developments.

FINANCIAL ANALYSIS OF GOVERNMENT FUNDS

Governmental Funds

As noted earlier, the focus of fund reporting is the short-term inflow and outflow of expendable resources. Fund balance is a useful indicator in assessing available resources with respect to meeting future obligations.

At December 31, 2023 governmental funds reported combined fund balances of \$40.0 million. Of this amount, \$11.5 million is unrestricted and is available for future obligations. About \$12.3 million is restricted, with \$6.8 million for capital projects, \$1.0 million for debt service, and \$443k restricted for Tax Increment Financing (TIF). The remainder of restricted funds relate to public safety, highway and streets, PEG fees, and tourism, generated by the hotel tax.

GENERAL FUND:

The General Fund is the Village's primary operating fund. For the fiscal year ended December 31, 2023, fund balance in the General Fund increased by \$553k from current year activities. Change to fund balance is a combination of revenues of \$37.9 million compared to expenditures of \$30.7 million. Other financing uses of \$6.6 million are also included, representing a transfer of \$5.7 million to the Capital Improvement Fund, \$675k to the Dispatch Services Fund, \$240k to the Special Events Fund and \$50k to the Equipment Replacement Fund. After all activity and adjustments are accounted for, the General Fund has an ending fund balance of \$14.5 million.

OTHER MAJOR FUNDS:

- The TIF Tax Allocation Fund currently has a fund balance of \$228k. This is \$154k higher than the previous year fund balance of \$74k. The increase is primarily due to an increase in property taxes. Any fund balance in the TIF Tax Allocation Fund would be restricted entirely for TIF purposes.
- The Debt Service Fund has a positive fund balance of \$1.0 million that is restricted entirely for the payment of future debt service. This is \$47k higher than the previous year, due to favorable property tax collection.
- The TIF (#1) Debt Service Fund currently has a negative fund balance of \$872k. While any fund balance in this fund would be restricted for payment of future debt service, the fund received a long-term advance of over \$1.5 million to cover its expenditures to date. Fund balance increased by \$56k during the year and the long-term advance is at \$1.3 million, unchanged from last year. Now that the TIF has been extended, the debt restructured, and several negative increment parcels removed, the TIF is working on rebuilding the fund balance of future years.
- The Capital Improvements Fund increased fund balance from \$4.4 million to \$14.3 million. The majority of the increase is due to advanced funding from the General Fund for upcoming capital projects. \$240k of this fund balance is earmarked for noise mitigation related to the CN rail, which will be drawn down over the next few fiscal years.
- The Downtown TIF Fund #2 decreased fund balance by \$3.2 million over the year, due primarily to the Main St Infrastructure & Streetscape Project, covered by advances from the Capital Improvement Fund and the Waterworks and Sewage Fund. Fund balance at year-end is negative \$166k.

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**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

December 31, 2023

- The Non-Home Rule Sales Tax Capital Projects Fund increased fund balance by \$2.5 million over the year. The Annual Road Program was expended from the MFT fund during 2023, allowing NHR to retain current year tax receipts. Fund balance at year-end of \$6.8 million is restricted for capital projects.

Proprietary Funds

The focus for the proprietary fund at the fund level is synonymous with that found at the government-wide level. Reporting is on a full-accrual basis with short-term and long-term emphasis on financial data. The Waterworks and Sewerage Fund is the sole proprietary fund for the Village of Lake Zurich. This fund records all financial activity relating to the municipality's water and sewer operations. The Waterworks and Sewerage Fund provides the same type of information in the government-wide financial statements reflected as "Business-type" activities, but in more detail.

At December 31, 2023, net position of the proprietary fund totaled \$57.4 million. Cash and investments totaled \$11.3 million, a decrease of \$673k (5.6%). The decrease is the result of an advance of \$2 million to Downtown TIF #2 recorded during the year.

Operating revenues increased 12.5% from the previous year to \$8.0 million, consistent with the increase in gallons billed (488 million gallons) and gallons pumped (581 million gallons). Additionally, a \$.75 rate increase to the Lake Zurich portion of water bills took effect during 2023. Completion of the water meter replacement project is still providing more accurate consumption records. Operating expenses (including depreciation) of \$5.8 million were 4% higher than the previous year, with increased cost for parts, supplies, and services factoring into that increase. Depreciation increased by \$14k (1%).

Fiduciary Funds

Police and Firefighters' Pension Funds: The Village's two single-employer pension plans experienced growth in the fiscal year ended December 31, 2023. Combined, the funds reported a \$10.9 million increase in plan fiduciary net position. Investment earnings (net of related expenses) posted a combined gain of \$10.9 million between the two funds. Cash and investments totaled \$85.8 million as of December 31st.

Custodial Funds: The Village has six (6) special service area funds. These funds do not have budgets, nor do they have measures of operations. They are used to account for assets and liabilities of funds kept in a custodial manner. Combined, the funds reported a \$28k increase in net position to \$487k. This increase was primarily due to increased property tax collection.

GENERAL FUND HIGHLIGHTS

Amendments to Budget

The Village Manager as Budget Officer is authorized to implement a budget transfer between accounts within the same object class, provided it is within the same department and fund. Budget transfers between object classes and any increases or decreases to the total budget must be approved by the Village Board through a budget amendment. The revenues and expenditures were monitored closely throughout the year to stay in compliance with the fund level budgetary policy.

Four budget amendments were approved for this fiscal year that affected the General Fund. Revenues and other financing sources were increased \$4.2 million, in addition to an increase to expenditures and other financing uses of \$4.1 million. The largest revenue increases were to Grant revenue (\$2.7 million), and Investment Income (\$435k). For expenditures, the major increases were for Engineering and Architectural

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**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

December 31, 2023

expenses of (\$115k) and Overtime (\$142k). Additionally, an increase was made to transfers to the Capital Improvement Fund (\$4.7 million) to help fund several upcoming expensive but necessary capital projects.

Change in Fund Balance

General Fund

When the original budget was adopted in December of 2023, a surplus of \$8k was expected for the General Fund. After the budget amendments, the expectation changed to a budget surplus of \$32k. The actual Fund Balance for General Fund, however, shows a surplus at year-end of \$553k. Revenues and other financing sources came in at \$37.9 million for the year, \$166k more than budgeted. Expenditures totaled \$30.7 million, which was \$355k less than budgeted. Overall, expenditures and other financing uses totaled \$37.3 million. The following table summarizes General Fund revenues and expenditures, with a comparison to budget, for the fiscal year ended December 31, 2023.

**General Fund Budgetary Highlights
Fiscal Year Ended December 31, 2023**

	Final Budget	Actual
Revenues & Other Financing Sources		
Taxes	\$ 10,988,558	\$ 10,944,614
Licenses and permits	888,699	833,894
Intergovernmental	21,823,811	22,154,566
Charges for services	2,639,281	2,441,868
Fines and forfeits	430,300	420,642
Other revenue	873,744	1,014,962
Sub-total revenues	\$ 37,644,393	\$ 37,810,546
Other financing sources	55,632	55,632
Total Revenues and Other Financing Sources	\$ 37,700,025	\$ 37,866,178
Expenditures and Other Financing Uses		
General government	\$ 2,117,334	\$ 1,992,187
Public safety	22,928,834	22,815,372
Highways and streets	4,245,161	4,186,916
Culture and recreation	1,209,695	1,197,619
Economic development	536,196	490,551
Sub-total expenditures	\$ 31,037,220	\$ 30,682,645
Other financing uses		
Transfers to Other Funds	6,630,413	6,630,413
Total Expenditures and Other Financing Sources	37,667,633	37,313,058
Change in Fund Balance	\$ 32,392	\$ 553,120

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**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

December 31, 2023

CAPITAL ASSETS

The Village of Lake Zurich's investment in capital assets, net of accumulated depreciation, amounted to \$137.8 million at December 31, 2023. The investment includes land, buildings, improvements, machinery and equipment, vehicles and infrastructure as follows:

	Governmental Activities		Business-type Activities		Total	
	FYE 23	FYE 22	FYE 23	FYE 22	FYE 23	FYE 22
Land and Improvements	\$ 36,234,574	\$36,097,760	\$ 250,421	\$ 249,652	\$ 36,484,995	\$ 36,347,412
Building and Improvements	6,967,822	6,320,811	-	-	6,967,822	6,320,811
Machinery & Equipment	1,698,653	1,497,617	1,637,750	1,549,221	3,336,403	3,046,838
Vehicles	3,163,194	2,843,926	671,644	681,899	3,834,838	3,525,825
Other	1,086,654	455,200	3,764,347	394,579	4,851,001	849,779
Infrastructure	40,985,117	39,756,257	41,359,351	41,233,052	82,344,468	80,989,309
Total	\$ 90,136,014	\$86,971,571	\$ 47,683,513	\$44,108,403	\$ 137,819,527	\$ 131,079,974

Capital additions for the year totaled \$5.9 million for governmental funds and \$5.6 million for the business-type activities of the water and sewer fund. Additions included the following major projects:

Governmental Funds:

- Land improvements of \$455k, with \$384k for parking lots, and \$71k for playgrounds.
- Building improvements of \$963k, with \$888k for roof replacements, \$49k for the Buffalo Creek dance floor, and \$26k for Staples concession improvements.
- Vehicles of \$696k, with \$256 for an ambulance, \$218k for a dump truck, \$115k for a fire brush truck, \$61k for a public works pickup truck, and \$46k for a police utility interceptor.
- Machinery and Equipment of \$383k, with \$117k for a chipper, \$109k for a SCBA compressor/fill station, \$82k for mobile column lifts, \$40k, for a CCTV update, and \$35k for EOC equipment.
- Infrastructure improvements of \$2.8 million for the annual road program.

Business-Type Fund:

- Infrastructure improvements of \$2.0 million for sanitary sewer lining.
- Machinery and Equipment of \$191k, with \$159k for lift station control panels, and \$32k for a bulk water fill station.
- Vehicles of \$61k for a pickup truck.
- Capital Contribution of \$3.3 million for the water and sewer portion of the Main St Infrastructure & Streetscape Project.

Additional information on the Village's capital assets is presented in the notes to the basic financial statements on pages 36 and 37.

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**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

December 31, 2023

DEBT ADMINISTRATION

During the fiscal year, bonded debt was decreased by \$1.9 million. Series 2023 was issued for \$1,241,000 on a short-term basis and was repaid before the end of the fiscal year. During the year, there was no additional new debt.

	Governmental Activities		Business-type Activities		Total Village Wide	
	FYE 23	FYE 22	FYE 23	FYE 22	FYE 23	FYE 22
General Obligation Bonds	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
TIF Alternate Revenue Bonds	17,035,000	18,475,000	-	-	17,035,000	18,475,000
TIF Revenue Bonds	-	-	-	-	-	-
Water Alternate Revenue Bonds	-	-	320,000	820,000	320,000	820,000
Bonded Debt Total	17,035,000	18,475,000	320,000	820,000	17,355,000	19,295,000
IEPA Loan	-	-	890,728	1,107,795	890,728	1,107,795
Compensated Absences	1,802,249	2,103,004	75,940	76,865	1,878,189	2,179,869
Net Pension Liability	55,795,384	57,401,010	222,759	590,656	56,018,143	57,991,666
Financed Purchases	10,555	17,300	2,488,212	2,709,320	2,498,767	2,726,620
Other Postemployment Benefits	2,622,215	2,626,855	223,838	219,834	2,846,053	2,846,689
Other	62,303	98,391	9,711	38,932	72,014	137,323
Total Other LT Debt	60,292,706	62,246,560	3,911,188	4,743,402	64,203,894	66,989,962
Combined LT Debt Total	77,327,706	80,721,560	4,231,188	5,563,402	81,558,894	86,284,962

The Village maintains a AAA, stable outlook, bond rating from Standard and Poors, which had been upgraded from AA in 2013. Maintaining the AAA stable was based on the following factors:

- Very strong budgetary flexibility
- Strong overall budgetary performance.
- Strong debt and contingent liabilities profile.

Additional information on the Village's long-term debt is presented in the notes to the basic financial statements on pages 39 through 43.

ECONOMIC FACTORS AND NEXT YEAR'S BUDGET AND RATES

- The Village is directly impacted by any legislation that could reduce or eliminate any state shared revenue, and in turn impact the level of service to the residents. Therefore, the political environment in Springfield is being closely monitored.
- Minimizing retail vacancies continue to be a priority for the Village, as sales tax is a significant revenue source. The Village will continue to monitor economic trends relating to retail sales and adjust forecasts/spending as appropriate.
- Increased market costs and supply issues for commodity services and personnel continue to be a challenge.
- Pension funding levels and resulting required contributions remain sensitive to disability claims, retirements, and new accounting requirements.

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**VILLAGE OF LAKE ZURICH
MANAGEMENT'S DISCUSSION AND ANALYSIS**

December 31, 2023

- One of the four union contracts is set to December 31, 2023. Negotiated salary and benefit increases are expected to be reasonable and in-line with market conditions, allowing for increased stability in the operating budget of the Village.
- A Lake Michigan Water Allocation Permit secured from the IL EPA and an agreement with Central Lake County Joint Action Water Agency leads the way in securing Lake Michigan as the new water source.

The above factors were taken into consideration for funding and planning purposes for current and future fiscal years. At December 31, 2023 the unrestricted fund balance of the General Fund was 38% of total expenditures of the upcoming year. Village policy states a minimum unrestricted fund balance be maintained of 25% with a target of 40%.

The Water/Sewer Fund had cash and investments of \$11.3 million at December 31, 2023. The fund also had unrestricted net position of \$14.1 million. The Village monitors both revenues and expenses to determine the rate levels necessary to cover the maintenance and long-term infrastructure needs of the Water/Sewer Fund.

REQUESTS FOR INFORMATION

This financial report is designed to provide a general overview of the Village of Lake Zurich's financial position and activities for the fiscal year ended December 31, 2023. Questions and requests for additional information should be directed to the Finance Director, Village of Lake Zurich, 70 E. Main Street, Lake Zurich, Illinois 60047.

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BASIC FINANCIAL STATEMENTS

Village of Lake ZurichStatement of Net Position
December 31, 2023

	Governmental Activities	Business-Type Activities	Total
Assets and Deferred Outflows of Resources			
Assets			
Cash and investments	\$ 45,954,210	\$ 11,301,924	\$ 57,256,134
Receivables (net):			
Property taxes	12,864,260	-	12,864,260
Accounts	2,139,494	1,158,952	3,298,446
Leases	482,726	-	482,726
Internal balances	(2,678,393)	2,678,393	-
Due from fiduciary funds	-	2,137	2,137
Due from other governmental units	2,653,635	-	2,653,635
Prepaid items	2,139,539	71,418	2,210,957
Inventories	19,360	6,310	25,670
Land held for resale	2,483,634	-	2,483,634
Capital assets:			
Capital assets not being depreciated	31,560,205	4,014,768	35,574,973
Capital assets net of accumulated depreciation	58,575,809	43,668,745	102,244,554
Total assets	<u>156,194,479</u>	<u>62,902,647</u>	<u>219,097,126</u>
Deferred Outflows of Resources			
Pension related amounts	13,608,016	473,849	14,081,865
Unamortized loss on refunding	1,564,594	-	1,564,594
OPEB related amounts	<u>546,583</u>	<u>46,657</u>	<u>593,240</u>
Total deferred outflows of resources	<u>15,719,193</u>	<u>520,506</u>	<u>16,239,699</u>
Liabilities, Deferred Inflows of Resources and Net Position			
Liabilities			
Accounts payable	1,532,645	906,727	2,439,372
Accrued payroll	731,572	54,985	786,557
Deposits payable	557,316	-	557,316
Other payables	490,270	-	490,270
Accrued interest payable	70,407	20,768	91,175
Unearned revenues	473,450	-	473,450
Noncurrent liabilities:			
Due within one year	1,902,294	572,329	2,474,623
Due in more than one year	<u>75,425,412</u>	<u>3,658,859</u>	<u>79,084,271</u>
Total liabilities	<u>81,183,366</u>	<u>5,213,668</u>	<u>86,397,034</u>
Deferred Inflows of Resources			
Property taxes levied for future periods	12,831,728	-	12,831,728
Lease related amounts	451,665	-	451,665
Pension related amounts	543,797	33,155	576,952
OPEB related amounts	<u>832,805</u>	<u>71,090</u>	<u>903,895</u>
Total deferred inflows of resources	<u>14,659,995</u>	<u>104,245</u>	<u>14,764,240</u>
Net Position			
Net investment in capital assets	90,136,014	43,974,861	134,110,875
Restricted for:			
Public safety	313,833	-	313,833
TIF	442,584	-	442,584
Debt service	933,857	-	933,857
Noise mitigation	239,530	-	239,530
Capital projects	6,792,274	-	6,792,274
Highways and streets	2,955,872	-	2,955,872
Tourism	413,958	-	413,958
PEG fees	94,195	-	94,195
Unrestricted	<u>(26,251,806)</u>	<u>14,130,379</u>	<u>(12,121,427)</u>
Total net position	<u>\$ 76,070,311</u>	<u>\$ 58,105,240</u>	<u>\$ 134,175,551</u>

See notes to financial statements

Village of Lake Zurich

Statement of Activities
Year Ended December 31, 2023

Functions/Programs	Program Revenues				Net (Expenses) Revenues and Changes in Net Position		
	Expenses	Charges for Services	Operating Grants and Contributions	Capital Grants and Contributions	Primary Government		
					Governmental Activities	Business-Type Activities	Total
Primary Government							
Governmental activities:							
General government	\$ 2,122,434	\$ 985,574	\$ 1,050	\$ -	\$ (1,135,810)	\$ -	\$ (1,135,810)
Public safety	24,887,179	10,007,803	-	-	(14,879,376)	-	(14,879,376)
Highways and streets	6,682,108	42,459	875,038	23,216	(5,741,395)	-	(5,741,395)
Culture and recreation	1,744,888	1,090,574	-	213,331	(440,983)	-	(440,983)
Economic development	620,537	-	-	-	(620,537)	-	(620,537)
Interest and fiscal charges	820,534	-	-	-	(820,534)	-	(820,534)
Total governmental activities	<u>36,877,680</u>	<u>12,126,410</u>	<u>876,088</u>	<u>236,547</u>	<u>(23,638,635)</u>	<u>-</u>	<u>(23,638,635)</u>
Business-type activities:							
Waterworks and sewerage	5,926,671	8,470,911	-	-	-	2,544,240	2,544,240
Total business-type activities	<u>5,926,671</u>	<u>8,470,911</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>2,544,240</u>	<u>2,544,240</u>
Total	<u>\$ 42,804,351</u>	<u>\$ 20,597,321</u>	<u>\$ 876,088</u>	<u>\$ 236,547</u>	<u>(23,638,635)</u>	<u>2,544,240</u>	<u>(21,094,395)</u>
General Revenues							
Taxes:							
Property taxes					12,211,210	-	12,211,210
Utility taxes					1,372,364	-	1,372,364
Telecommunications taxes					320,256	-	320,256
Other taxes					477,611	-	477,611
Intergovernmental, unrestricted							
Replacement					187,364	-	187,364
Sales taxes					10,753,592	-	10,753,592
Local use					769,120	-	769,120
Shared income tax					3,155,895	-	3,155,895
Intergovernmental revenues					2,974,120	-	2,974,120
Special events					138,578	-	138,578
Investment income					2,047,136	573,861	2,620,997
Miscellaneous					320,927	-	320,927
Other					4,838	-	4,838
Total general revenues					<u>34,733,011</u>	<u>573,861</u>	<u>35,306,872</u>
Transfers					<u>(3,296,715)</u>	<u>3,296,715</u>	<u>-</u>
Change in net position					7,797,661	6,414,816	14,212,477
Net Position, Beginning					<u>68,272,650</u>	<u>51,690,424</u>	<u>119,963,074</u>
Net Position, Ending					<u>\$ 76,070,311</u>	<u>\$ 58,105,240</u>	<u>\$ 134,175,551</u>

See notes to financial statements

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Village of Lake Zurich

Balance Sheet
 Governmental Funds
 December 31, 2023

	<u>General Fund</u>	<u>TIF Tax Allocation</u>	<u>Downtown TIF #2</u>	<u>Debt Service</u>
Assets				
Cash and investments	\$ 11,800,966	\$ 362,705	\$ 2,742,100	\$ 1,003,133
Receivables:				
Property taxes receivable	9,536,349	1,531,877	366,014	1,332,131
Accounts receivable	1,111,334	-	173,490	-
Lease	442,721	-	40,005	-
Due from other funds	26	-	-	-
Advances to other funds	1,455,000	-	-	-
Due from other governments	2,653,635	-	-	-
Prepaid items	180,518	-	-	-
Inventories	19,360	-	-	-
Land held for resale	-	-	2,483,634	-
	<u>-</u>	<u>-</u>	<u>2,483,634</u>	<u>-</u>
Total assets	<u>\$ 27,199,909</u>	<u>\$ 1,894,582</u>	<u>\$ 5,805,243</u>	<u>\$ 2,335,264</u>

See notes to financial statements

<u>TIF Debt Service</u>	<u>Capital Improvements</u>	<u>Non-Home Rule Sales Tax Capital Projects</u>	<u>Nonmajor Governmental Funds</u>	<u>Total</u>
\$ 428,348	\$ 11,388,281	\$ 6,057,378	\$ 4,274,578	\$ 38,057,489
-	-	-	97,889	12,864,260
-	-	715,443	133,805	2,134,072
-	-	-	-	482,726
-	-	-	-	26
-	3,103,000	50,000	-	4,608,000
-	-	-	-	2,653,635
-	-	-	13,085	193,603
-	-	-	-	19,360
-	-	-	-	2,483,634
<u>\$ 428,348</u>	<u>\$ 14,491,281</u>	<u>\$ 6,822,821</u>	<u>\$ 4,519,357</u>	<u>\$ 63,496,805</u>

See notes to financial statements

Village of Lake Zurich

Balance Sheet
Governmental Funds
December 31, 2023

	<u>General Fund</u>	<u>TIF Tax Allocation</u>	<u>Downtown TIF #2</u>	<u>Debt Service</u>
Liabilities, Deferred Inflows of Resources and Fund Balances				
Liabilities				
Accounts payable	\$ 1,048,789	\$ -	\$ 240,951	\$ -
Accrued wages	656,639	-	-	-
Other liabilities	156,858	-	-	-
Due to other funds	-	-	-	-
Advances from other funds	-	135,000	5,153,000	-
Unearned revenues	355,742	-	2,675	-
Deposits	<u>557,316</u>	<u>-</u>	<u>-</u>	<u>-</u>
Total liabilities	<u>2,775,344</u>	<u>135,000</u>	<u>5,396,626</u>	<u>-</u>
Deferred Inflows of Resources				
Unavailable revenues	-	-	172,365	-
Property taxes levied for future periods	9,505,482	1,531,877	365,480	1,331,000
Lease related amounts	<u>414,458</u>	<u>-</u>	<u>37,207</u>	<u>-</u>
Total deferred inflows of resources	<u>9,919,940</u>	<u>1,531,877</u>	<u>575,052</u>	<u>1,331,000</u>
Fund Balances (Deficit)				
Nonspendable for prepaid items	180,518	-	-	-
Nonspendable for inventory	19,360	-	-	-
Nonspendable for advances to other funds	1,455,000	-	-	-
Restricted for public safety	160,764	-	-	-
Restricted for TIF	-	227,705	-	-
Restricted for debt service	-	-	-	1,004,264
Restricted for noise mitigation	-	-	-	-
Restricted for capital projects	-	-	-	-
Restricted for highways and streets	-	-	-	-
Restricted for tourism	-	-	-	-
Restricted for PEG	94,195	-	-	-
Assigned to capital project funds	-	-	-	-
Assigned to special events	-	-	-	-
Assigned to dispatch services	-	-	-	-
Assigned to special projects	12,582	-	-	-
Unassigned	<u>12,582,206</u>	<u>-</u>	<u>(166,435)</u>	<u>-</u>
Total fund balances (deficit)	<u>14,504,625</u>	<u>227,705</u>	<u>(166,435)</u>	<u>1,004,264</u>
Total liabilities, deferred inflows of resources and fund balances	<u>\$ 27,199,909</u>	<u>\$ 1,894,582</u>	<u>\$ 5,805,243</u>	<u>\$ 2,335,264</u>

See notes to financial statements

<u>TIF Debt Service</u>	<u>Capital Improvements</u>	<u>Non-Home Rule Sales Tax Capital Projects</u>	<u>Nonmajor Governmental Funds</u>	<u>Total</u>
\$ -	\$ 80,304	\$ 18,435	\$ 74,528	\$ 1,463,007
-	-	-	61,894	718,533
-	148,935	12,112	-	317,905
-	-	-	26	26
1,300,000	-	-	20,000	6,608,000
-	-	-	115,033	473,450
-	-	-	-	557,316
<u>1,300,000</u>	<u>229,239</u>	<u>30,547</u>	<u>271,481</u>	<u>10,138,237</u>
-	-	-	-	172,365
-	-	-	97,889	12,831,728
-	-	-	-	451,665
-	-	-	97,889	13,455,758
-	-	-	13,085	193,603
-	-	-	-	19,360
-	-	-	-	1,455,000
-	-	-	153,069	313,833
-	-	-	214,879	442,584
-	-	-	-	1,004,264
-	239,530	-	-	239,530
-	-	6,792,274	-	6,792,274
-	-	-	2,955,872	2,955,872
-	-	-	413,958	413,958
-	-	-	-	94,195
-	14,022,512	-	-	14,022,512
-	-	-	269,047	269,047
-	-	-	130,077	130,077
-	-	-	-	12,582
<u>(871,652)</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>11,544,119</u>
<u>(871,652)</u>	<u>14,262,042</u>	<u>6,792,274</u>	<u>4,149,987</u>	<u>39,902,810</u>
<u>\$ 428,348</u>	<u>\$ 14,491,281</u>	<u>\$ 6,822,821</u>	<u>\$ 4,519,357</u>	<u>\$ 63,496,805</u>

See notes to financial statements

Village of Lake Zurich

Reconciliation of the Balance Sheet of Governmental Funds
to the Statement of Net Position
December 31, 2023

Total Fund Balances, Governmental Funds \$ 39,902,810

Amounts reported for governmental activities in the Statement of Net Position are different because:

Capital assets used in governmental funds are not financial resources and, therefore, are not reported in the funds.	90,136,014
Less internal service fund portion	(4,454,735)
The loss on refunding of bonds is capitalized and amortized over the life of the bonds on the statement of net position.	1,564,594
Deferred outflows of resources related to pensions do not relate to current financial resources and are not reported in the governmental funds.	13,608,016
Deferred outflows of resources related to OPEB do not relate to current financial resources and are not reported in the governmental funds.	546,583
Deferred inflows of resources related to pensions do not relate to current financial resources and are not reported in the governmental funds.	(543,797)
Deferred inflows of resources related to OPEB do not relate to current financial resources and are not reported in the governmental funds.	(832,805)
Internal service funds are reported in the Statement of Net Position as governmental activities.	13,541,744
Some liabilities, including long-term debt, are not due and payable in the current period and, therefore, are not reported in the funds.	
Bonds and notes payable	(17,035,000)
Financed purchases payable	(10,555)
Compensated absences	(1,802,249)
Accrued interest	(70,407)
Unamortized debt premium	(62,303)
Net pension liability	(55,795,384)
Total OPEB liability	<u>(2,622,215)</u>

Net Position of Governmental Activities \$ 76,070,311

See notes to financial statements

Village of Lake Zurich

Statement of Revenues, Expenditures and Changes in Fund Balances -
 Governmental Funds
 Year Ended December 31, 2023

	<u>General Fund</u>	<u>TIF Tax Allocation</u>	<u>Downtown TIF #2</u>	<u>Debt Service</u>
Revenues				
Taxes	\$ 10,944,614	\$ 1,534,947	\$ 366,212	\$ 1,266,070
Licenses and permits	833,894	-	-	-
Intergovernmental	22,154,566	-	-	-
Charges for services	2,441,868	-	-	-
Fines, forfeitures and penalties	420,642	-	-	-
Special events	-	-	-	-
Investment income	767,026	34,986	117,034	47,940
Miscellaneous revenues	<u>247,936</u>	<u>-</u>	<u>46,732</u>	<u>-</u>
Total revenues	<u>37,810,546</u>	<u>1,569,933</u>	<u>529,978</u>	<u>1,314,010</u>
Expenditures				
Current:				
General government	1,992,187	-	-	-
Public safety	22,815,372	-	-	-
Highways and streets	4,186,916	-	-	-
Culture and recreation	1,197,619	-	-	-
Economic development	490,551	571,388	3,778,486	-
Capital outlay	-	-	-	-
Debt service:				
Principal	-	-	-	-
Interest and fiscal charges	<u>-</u>	<u>-</u>	<u>-</u>	<u>25,854</u>
Total expenditures	<u>30,682,645</u>	<u>571,388</u>	<u>3,778,486</u>	<u>25,854</u>
Excess (deficiency) of revenues over expenditures	<u>7,127,901</u>	<u>998,545</u>	<u>(3,248,508)</u>	<u>1,288,156</u>
Other Financing Sources (Uses)				
Transfers in	-	-	-	-
Transfers out	(6,630,413)	(845,000)	-	(1,241,000)
Proceeds from sales of capital assets	<u>55,632</u>	<u>-</u>	<u>-</u>	<u>-</u>
Total other financing sources (uses)	<u>(6,574,781)</u>	<u>(845,000)</u>	<u>-</u>	<u>(1,241,000)</u>
Net change in fund balances	553,120	153,545	(3,248,508)	47,156
Fund Balances (Deficit), Beginning	<u>13,951,505</u>	<u>74,160</u>	<u>3,082,073</u>	<u>957,108</u>
Fund Balances (Deficit), Ending	<u>\$ 14,504,625</u>	<u>\$ 227,705</u>	<u>\$ (166,435)</u>	<u>\$ 1,004,264</u>

See notes to financial statements

<u>TIF Debt Service</u>	<u>Capital Improvements</u>	<u>Non-Home Rule Sales Tax Capital Projects</u>	<u>Nonmajor Governmental Funds</u>	<u>Total</u>
\$ -	\$ -	\$ 2,667,645	\$ 219,435	\$ 16,998,923
-	-	-	-	833,894
-	213,331	-	875,038	23,242,935
-	129,459	-	1,002,695	3,574,022
-	-	-	-	420,642
-	-	-	137,376	137,376
17,577	293,890	253,585	226,988	1,759,026
<u>-</u>	<u>40,808</u>	<u>-</u>	<u>-</u>	<u>335,476</u>
<u>17,577</u>	<u>677,488</u>	<u>2,921,230</u>	<u>2,461,532</u>	<u>47,302,294</u>
-	-	-	17,096	2,009,283
-	-	-	1,646,582	24,461,954
-	-	411,156	2,857,981	7,456,053
-	-	-	388,120	1,585,739
-	-	-	440	4,840,865
-	1,962,077	-	-	1,962,077
1,440,000	-	-	-	1,440,000
<u>608,031</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>633,885</u>
<u>2,048,031</u>	<u>1,962,077</u>	<u>411,156</u>	<u>4,910,219</u>	<u>44,389,856</u>
<u>(2,030,454)</u>	<u>(1,284,589)</u>	<u>2,510,074</u>	<u>(2,448,687)</u>	<u>2,912,438</u>
2,086,000	5,665,000	-	1,012,613	8,763,613
-	-	-	(97,200)	(8,813,613)
<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>55,632</u>
<u>2,086,000</u>	<u>5,665,000</u>	<u>-</u>	<u>915,413</u>	<u>5,632</u>
55,546	4,380,411	2,510,074	(1,533,274)	2,918,070
<u>(927,198)</u>	<u>9,881,631</u>	<u>4,282,200</u>	<u>5,683,261</u>	<u>36,984,740</u>
<u>\$ (871,652)</u>	<u>\$ 14,262,042</u>	<u>\$ 6,792,274</u>	<u>\$ 4,149,987</u>	<u>\$ 39,902,810</u>

See notes to financial statements

Village of Lake Zurich

Reconciliation of the Statement of Revenues, Expenditures,
and Changes in Fund Balances of Governmental Funds
to the Statement of Activities
Year Ended December 31, 2023

Net Change in Fund Balances, Total Governmental Funds \$ 2,918,070

Amounts reported for governmental activities in the Statement of Activities are different because:

Governmental funds report capital outlays as expenditures. However, in the statement of net position the cost of these assets is capitalized and they are depreciated over their estimated useful lives and reported as depreciation expense in the Statement of Activities.

Capital outlay is reported as an expenditure in the fund financial statements but is capitalized in the government-wide financial statements.	5,896,252
Plus net internal service funds additions and depreciation expense	(636,253)
Depreciation is reported in the government-wide financial statements	(2,724,321)
Less net book value of assets retired	(7,488)

Debt issued provides current financial resources to governmental funds, but issuing debt increases long-term liabilities in the Statement of Net Position. Repayment of debt principal is an expenditure in the governmental funds, but the repayment reduces long-term liabilities in the statement of net position.

Principal repaid	1,446,745
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Governmental funds report debt premiums and discounts as other financing sources or uses. However, in the Statement of Net Position, these are reported as additions to or deductions from long-term debt. These are allocated over the period the debt is outstanding in the Statement of Activities and are reported as interest expense.

Debt premium	36,088
Amortization of loss on refunding	(230,081)

Some expenses in the Statement of Activities do not require the use of current financial resources and, therefore, are not reported as expenditures in the governmental funds.

Compensated absences	300,755
Accrued interest on debt	7,344
Net pension asset/liability	1,605,626
Net OPEB liability	4,640
Deferred outflows of resources related to pensions	(3,117,439)
Deferred outflows of resources related to OPEB	(30,008)
Deferred inflows of resources related to pensions	1,185,102
Deferred inflows of resources related to OPEB	145,670

Internal service funds are used by management to charge self insurance costs to individual funds. The change in net position of the internal service fund reported with governmental activities

996,959

Change in Net Position of Governmental Activities \$ 7,797,661

See notes to financial statements

Village of Lake Zurich

Statement of Net Position
 Proprietary Funds
 December 31, 2023

	Waterworks and Sewerage	Governmental Activities - Internal Service Funds
Assets		
Current assets:		
Cash and investments	\$ 11,301,924	\$ 7,896,721
Accounts receivable	1,158,952	5,422
Due from fiduciary funds	2,137	-
Prepaid items	71,418	1,945,936
Inventories	<u>6,310</u>	<u>-</u>
Total current assets	<u>12,540,741</u>	<u>9,848,079</u>
Noncurrent assets:		
Capital assets:		
Capital assets not being depreciated	4,014,768	-
Property and equipment	89,854,690	7,024,146
Less accumulated depreciation	(46,185,945)	(2,569,411)
Advances to other funds	<u>2,000,000</u>	<u>-</u>
Total noncurrent assets	<u>49,683,513</u>	<u>4,454,735</u>
Total assets	<u>62,224,254</u>	<u>14,302,814</u>
Deferred Outflows of Resources		
Pension related amounts	473,849	-
OPEB related amount	<u>46,657</u>	<u>-</u>
Total deferred outflows of resources	<u>520,506</u>	<u>-</u>

See notes to financial statements

Village of Lake Zurich

Statement of Net Position
 Proprietary Funds
 December 31, 2023

	Waterworks and Sewerage	Governmental Activities - Internal Service Funds
Liabilities		
Current liabilities:		
Accounts payable	\$ 906,727	\$ 69,638
Accrued wages	54,985	13,039
Accrued interest	20,768	-
Compensated absences	15,188	-
Unamortized bond premium	3,237	-
IEPA loan payable	222,528	-
Financed purchase obligation	226,376	-
Alternative revenue bonds payable	<u>105,000</u>	<u>-</u>
Total current liabilities	<u>1,554,809</u>	<u>82,677</u>
Noncurrent liabilities:		
Long-term debt:		
Compensated absences	60,752	-
Total other postemployment benefit liability	223,838	-
Net pension liability	222,759	-
Unamortized bond premium	6,474	-
IEPA loan payable	668,200	-
Financed purchase obligation	2,261,836	-
Alternative revenue bonds payable	<u>215,000</u>	<u>-</u>
Total noncurrent liabilities	<u>3,658,859</u>	<u>-</u>
Total liabilities	<u>5,213,668</u>	<u>82,677</u>
Deferred Inflows of Resources		
Pension related amounts	33,155	-
OPEB related amounts	<u>71,090</u>	<u>-</u>
Total deferred inflows of resources	<u>104,245</u>	<u>-</u>
Net Position		
Net investment in capital assets	43,974,861	4,454,735
Unrestricted	<u>13,451,986</u>	<u>9,765,402</u>
Total net position	57,426,847	14,220,137
Adjustments to reflect the consolidation of internal service funds activities related to enterprise funds.	<u>678,393</u>	<u>(678,393)</u>
Net Position Business-Type Activities	<u>\$ 58,105,240</u>	
Net internal service funds reported in the statement of net position as governmental activities		<u>\$ 13,541,744</u>

See notes to financial statements

Village of Lake Zurich

Statement of Revenues, Expenses and Changes in Net Position
 Proprietary Funds
 Year Ended December 31, 2023

	<u>Waterworks and Sewerage</u>	<u>Governmental Activities - Internal Service Funds</u>
Operating Revenues		
Charges for services	\$ 7,981,256	\$ -
Contributions	-	5,593,363
Total operating revenues	<u>7,981,256</u>	<u>5,593,363</u>
Operating Expenses		
Administration	659,018	-
Operations	3,132,672	45,901
Insurance and claims	-	4,458,352
Depreciation	<u>2,042,040</u>	<u>442,695</u>
Total operating expenses	<u>5,833,730</u>	<u>4,946,948</u>
Operating income (loss)	<u>2,147,526</u>	<u>646,415</u>
Nonoperating Revenues (Expenses)		
Connection fees	489,655	-
Investment income	573,861	288,110
Miscellaneous	-	4,368
Interest and fiscal charges	<u>(84,875)</u>	<u>-</u>
Total nonoperating revenues (expenses)	<u>978,641</u>	<u>292,478</u>
Income (loss) before contributions and transfers	<u>3,126,167</u>	<u>938,893</u>
Contributions and Transfers		
Capital contributions	3,296,715	-
Transfers in	-	250,000
Transfers out	<u>-</u>	<u>(200,000)</u>
Total contributions and transfers	<u>3,296,715</u>	<u>50,000</u>
Change in net position	6,422,882	988,893
Net Position, Beginning	<u>51,003,965</u>	<u>13,231,244</u>
Net Position, Ending	<u>\$ 57,426,847</u>	<u>\$ 14,220,137</u>
Adjustment to reflect the consolidation of internal service funds activities related to enterprise funds	<u>(8,066)</u>	
Change in net position of business-type activities	<u>\$ 6,414,816</u>	

See notes to financial statements

Village of Lake Zurich

Statement of Cash Flows
 Proprietary Funds
 Year Ended December 31, 2023

	Waterworks and Sewerage	Governmental Activities - Internal Service Funds
Cash Flows From Operating Activities		
Received from customers	\$ 7,748,829	\$ 5,595,203
Paid to suppliers for goods and services	(2,306,171)	(827,025)
Paid to employees for services	<u>(1,803,771)</u>	<u>(3,478,621)</u>
Net cash flows from operating activities	<u>3,638,887</u>	<u>1,289,557</u>
Cash Flows From Investing Activities		
Investment income	<u>573,861</u>	<u>288,110</u>
Net cash flows from investing activities	<u>573,861</u>	<u>288,110</u>
Cash Flows From Noncapital Financing Activities		
Receipt of transfer	-	50,000
Miscellaneous	-	4,368
Due to / from other funds	<u>(2,000,000)</u>	<u>(709)</u>
Net cash flows from noncapital financing activities	<u>(2,000,000)</u>	<u>53,659</u>
Cash Flows From Capital and Related Financing Activities		
Principal paid	(938,175)	-
Interest paid	(116,990)	-
Connection fees received	489,655	-
Acquisition and construction of capital assets	<u>(2,320,435)</u>	<u>(1,078,948)</u>
Net cash flows from capital and related financing activities	<u>(2,885,945)</u>	<u>(1,078,948)</u>
Net change in cash and cash equivalents	(673,197)	552,378
Cash and Cash Equivalents, Beginning	<u>11,975,121</u>	<u>7,344,343</u>
Cash and Cash Equivalents, Ending	<u><u>\$ 11,301,924</u></u>	<u><u>\$ 7,896,721</u></u>

See notes to financial statements

Village of Lake Zurich

Statement of Cash Flows
 Proprietary Funds
 Year Ended December 31, 2023

	Waterworks and Sewerage	Governmental Activities - Internal Service Funds
Reconciliation of Operating Income to Net Cash Flows From Operating Activities		
Operating income	\$ 2,147,526	\$ 646,415
Adjustments to reconcile operating income to net cash flows from operating activities:		
Depreciation	2,042,040	442,695
Changes in assets and liabilities:		
Accounts receivable	(232,427)	1,840
Prepaid items	(7,452)	191,504
Inventories	(1,720)	-
Deferred outflows, pension related items	192,954	-
Deferred outflows, OPEB related items	1,596	-
Accounts payable	(91,595)	2,734
Accrued wages	(992)	-
Compensated absences	(925)	4,369
Total OPEB liability	4,004	-
Net pension liability	(367,897)	-
Deferred inflows, pension related items	(35,430)	-
Deferred inflows, OPEB related items	(10,795)	-
Net cash flows from operating activities	<u>\$ 3,638,887</u>	<u>\$ 1,289,557</u>
Noncash Capital and Related Financing Activities		
Contributions of capital assets by other funds	<u>\$ 3,296,715</u>	<u>\$ -</u>

See notes to financial statements

Village of Lake Zurich

Statement of Fiduciary Net Position
 Fiduciary Funds
 December 31, 2023

	Pension Trust Funds	Custodial Fund - Special Service Areas
Assets		
Cash and investments	\$ 20,147	\$ 502,419
Investments:		
Money markets	578,280	-
Insurance contracts	268,306	-
Illinois Police Officers' Pension Investment Fund	32,406,699	-
Illinois Firefighters' Pension Investment Fund	52,526,589	-
Prepaid items	<u>7,587</u>	<u>-</u>
Total assets	<u>85,807,608</u>	<u>502,419</u>
Liabilities		
Accounts payable	3,393	13,578
Due to primary government	<u>-</u>	<u>2,137</u>
Total liabilities	<u>3,393</u>	<u>15,715</u>
Net Position		
Restricted for retirement benefits	85,804,215	-
Restricted for special service areas	<u>-</u>	<u>486,704</u>
Total net position	<u>\$ 85,804,215</u>	<u>\$ 486,704</u>

See notes to financial statements

Village of Lake Zurich

Statement of Changes in Fiduciary Net Position
 Fiduciary Funds
 Year Ended December 31, 2023

	Pension Trust Funds	Custodial Fund - Special Service Areas
Additions		
Contributions		
Employer	\$ 4,693,049	\$ -
Employee	1,009,618	-
Property tax	-	84,919
Total contributions	<u>5,702,667</u>	<u>84,919</u>
Investment Income		
Net appreciation in fair value of investments	9,909,503	-
Interest on investments	<u>1,081,381</u>	-
Total investment income	10,990,884	-
Less investment expense	<u>(107,368)</u>	-
Net investment income	<u>10,883,516</u>	-
Total additions	<u>16,586,183</u>	<u>84,919</u>
Deductions		
Pension payments and refunds	5,640,435	-
Administration	77,105	-
Public works	-	57,110
Total deductions	<u>5,717,540</u>	<u>57,110</u>
Change in fiduciary net position	10,868,643	27,809
Net Position, Beginning	<u>74,935,572</u>	<u>458,895</u>
Net Position, Ending	<u>\$ 85,804,215</u>	<u>\$ 486,704</u>

See notes to financial statements
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Village of Lake Zurich

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December 31, 2023

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Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

1. Summary of Significant Accounting Policies

The Village of Lake Zurich, Illinois (the Village) was incorporated in 1896. The Village is a non home-rule municipality, under the 1970 Illinois Constitution, located in Lake County, Illinois. The Village operates under a President-Trustee form of government and provides the following services as authorized by its charter: public safety (police and fire protection), highways and streets, sanitation (water and sewer), health and social services, public improvements, planning and zoning and general administrative services.

The accounting policies of the Village of Lake Zurich, Illinois conform to accounting principles generally accepted in the United States of America as applicable to governmental units. The accepted standard-setting body for establishing governmental accounting and financial reporting principles is the Governmental Accounting Standards Board (GASB).

Reporting Entity

This report includes all of the funds of the Village. The reporting entity for the Village consists of the primary government and its component units. Component units are legally separate organizations for which the primary government is financially accountable or other organizations for which the nature and significance of their relationship with the primary government are such that their exclusion would cause the reporting entity's financial statements to be misleading. The Village has not identified any organizations that meet this criteria.

Fiduciary Component Units

The Police Pension Employees Retirement System (PPERS) is established for the Village's police employees. PPERS functions for the benefit of these employees and is governed by a five-member pension board. Two members appointed by the Village's President, one pension beneficiary elected by the membership and two police employees elected by the membership constitute the pension board. The Village and the PPERS participants are obligated to fund all PPERS costs based upon actuarial valuations. A municipality is considered to have a financial burden if it is legally obligated or has otherwise assumed the obligation to make contributions to the pension plan. The State of Illinois is authorized to establish benefit levels and the Village is authorized to approve the actuarial assumptions used in the determination of contribution levels. PPERS is reported as a fiduciary component unit pension trust fund and the data for the pension is included in the government's fiduciary fund financial statements as a pension trust fund. No separate annual financial report is issued for the PPERS.

The Firefighters' Pension Employees Retirement System (FPERS) is established for the Village's firefighters. FPERS functions for the benefit of these employees and is governed by a five-member pension board. Two members appointed by the Village's President, one pension beneficiary elected by the membership; and two fire employees elected by the membership constitute the pension board. The Village and the FPERS participants are obligated to fund all FPERS costs based upon actuarial valuations. A municipality is considered to have a financial burden if it is legally obligated or has otherwise assumed the obligation to make contributions to the pension plan. The State of Illinois is authorized to establish benefit levels and the Village is authorized to approve the actuarial assumptions used in the determination of contribution levels. FPERS is reported as a fiduciary component unit and the data for the pension is included in the government's fiduciary fund financial statements as a pension trust fund. No separate annual financial report is issued for the FPERS.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Government-Wide and Fund Financial Statements

Government-Wide Financial Statements

The statement of net position and statement of activities display information about the reporting government as a whole. They include all funds of the reporting entity. The statements distinguish between governmental and business-type activities. Governmental activities generally are financed through taxes, intergovernmental revenues and other nonexchange revenues. Business-type activities are financed in whole or in part by fees charged to external parties for goods or services. Likewise, the primary government is reported separately from certain legally separate component units for which the primary government is financially accountable. The effect of material interfund activity has been eliminated from these statements. Interfund services provided and used are not eliminated from these statements.

The statement of activities demonstrates the degree to which the direct expenses of a given function or segment are offset by program revenues. Direct expenses are those that are clearly identifiable with a specific function or segment. The Village does not allocate indirect expenses to functions in the statement of activities. Program revenues include 1) charges to customers or applicants who purchase, use or directly benefit from goods, services or privileges provided by a given function or segment and 2) grants and contributions that are restricted to meeting the operational or capital requirements of a particular function or segment. Taxes and other items not included among program revenues are reported as general revenues. Internally dedicated resources are reported as general revenues rather than as program revenues.

Fund Financial Statements

Financial statements of the Village are organized into funds, each of which is considered to be a separate accounting entity. Each fund is accounted for by providing a separate set of self-balancing accounts, which constitute its assets, deferred outflows of resources, liabilities, deferred inflows of resources, net position/fund balance, revenues and expenditures/expenses.

Funds are organized as major funds or nonmajor funds within the governmental and proprietary statements. An emphasis is placed on major funds within the governmental and proprietary categories. A fund is considered major if it is the primary operating fund of the Village or meets the following criteria:

- a. Total assets/deferred outflows of resources, liabilities/deferred inflows of resources, revenues or expenditures/expenses of that individual governmental or enterprise fund are at least 10% of the corresponding total for all funds of that category or type and
- b. The same element of the individual governmental or enterprise fund that met the 10% test is at least 5% of the corresponding total for all governmental and enterprise funds combined.
- c. In addition, any other governmental or enterprise fund that the Village believes is particularly important to financial statement users may be reported as a major fund.

Separate financial statements are provided for governmental funds and proprietary funds. Major individual governmental funds and major individual enterprise funds are reported as separate columns in the fund financial statements.

The Village reports the following major funds:

General Fund

General Fund accounts for the Village's primary operating activities. It is used to account for and report all financial resources except those accounted for and reported in another fund.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Special Revenue Funds

TIF Tax Allocation Fund is used to account for all restricted revenues and to record fund transfers to pay for administrative, debt service and capital improvement activity necessary to stimulate and induce redevelopment of Downtown Lake Zurich pursuant to the TIF act.

Downtown TIF #2 Fund is used to account for all restricted revenues and activities associated with improvements within the Tax Increment Financing District.

Debt Service Funds

Debt Service Fund is used to account for and report financial resources that are restricted, committed, or assigned to expenditure for the payment of general long-term debt principal, interest and related costs.

TIF Debt Service Fund is used to account for and report financial resources that are restricted, committed, or assigned to expenditure for the payment of TIF debt principal, interest and related costs.

Capital Projects Funds

Capital Improvements Fund is used to account for and report financial resources that are restricted, committed, or assigned to expenditures for capital outlays, including the acquisition or construction of capital facilities and other capital assets for the Village.

Non-Home Rule Sales Tax Capital Projects Fund is used to account for and report financial resources that are restricted, committed, or assigned to expenditures for capital outlays, including the acquisition or construction of capital facilities and other capital assets for the Village.

Enterprise Funds

The Village reports the following major enterprise fund:

Waterworks and Sewerage Fund accounts for operations of the potable water and wastewater treatment services to the residents of the Village. All activities necessary to provide such services are accounted for in this fund, including, but not limited to, administration, operations and maintenance, financing and related debt service, billing and collection.

The Village reports the following nonmajor governmental funds:

Special Revenue Funds

Special Revenue Funds are used to account for and report the proceeds of specific revenue sources that are restricted or committed to expenditures for specified purposes (other than debt service or capital projects).

Foreign Fire Tax Fund
Hotel Tax Fund
Motor Fuel Tax Fund
Special Events Fund
Dispatch Services Fund
TIF #3 Fund

In addition, the Village reports the following fund types:

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Internal Service Funds

Internal Service Funds are used to account for and report the financing of goods or services provided by one department or agency to other departments or agencies of the Village, or to other governmental units, on a cost-reimbursement basis.

Medical Self-Insurance Fund
Risk Management Fund
Equipment Replacement Fund

Pension Trust Funds

Pension Trust Funds are used to account for and report resources that are required to be held in trust for the members and beneficiaries of defined benefit pension plans.

Police Pension Fund
Firefighters' Pension Fund

Custodial Funds

Custodial Funds are used to account for and report assets controlled by the Village and the assets are for the benefit of individuals, private organizations and/or other governmental units.

Special Service Areas Fund accounts for receipts and disbursements related to maintenance within special service areas within the Village.

Measurement Focus, Basis of Accounting and Financial Statement Presentation

Government-Wide Financial Statements

The government-wide statement of net position and statement of activities are reported using the economic resources measurement focus and the accrual basis of accounting. Under the accrual basis of accounting, revenues are recognized when earned and expenses are recorded when the liability is incurred or economic asset used. Revenues, expenses, gains, losses, assets and liabilities resulting from exchange and exchange-like transactions are recognized when the exchange takes place. Property taxes are recognized as revenues in the year for which they are levied. Taxes receivable for the following year are recorded as receivables and deferred inflows. Grants and similar items are recognized as revenue as soon as all eligibility requirements imposed by the provider are met. Special assessments are recorded as revenue when earned. Unbilled receivables are recorded as revenues when services are provided.

As a general rule, the effect of interfund activity has been eliminated from the government-wide financial statements.

Fund Financial Statements

Governmental fund financial statements are reported using the current financial resources measurement focus and the modified accrual basis of accounting. Revenues are recorded when they are both measurable and available. Available means collectible within the current period or soon enough thereafter to be used to pay liabilities of the current period. For this purpose, the Village considers property tax revenues to be available if they are collected within 60 days of the end of the current fiscal period. Expenditures are recorded when the related fund liability is incurred, except for unmatured interest on long-term debt, claims, judgments, compensated absences and pension expenditures, which are recorded as a fund liability when expected to be paid with expendable available financial resources.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Intergovernmental aids and grants are recognized as revenues in the period the Village is entitled the resources and the amounts are available. Amounts owed to the Village which are not available are recorded as receivables and unavailable revenues. Amounts received before eligibility requirements (excluding time requirements) are met are recorded as liabilities. Amounts received in advance of meeting time requirements are recorded as deferred inflows.

Revenues susceptible to accrual include property taxes, franchise taxes, licenses, miscellaneous taxes, public charges for services and interest. Other general revenues such as permits, fines and forfeitures, inspection fees, recreation fees and miscellaneous revenues are recognized when received in cash or when measurable and available under the criteria described above.

Proprietary and Fiduciary Funds

Proprietary and fiduciary fund financial statements are reported using the economic resources measurement focus and the accrual basis of accounting, as described previously in this note.

The proprietary funds distinguish operating revenues and expenses from nonoperating items. Operating revenues and expenses generally result from providing services and producing and delivering goods in connection with a proprietary fund's principal ongoing operations. The principal operating revenues of the Waterworks and Sewerage Fund are charges to customers for sales and services. Special assessments are recorded as receivables and contribution revenue when levied. Operating expenses for proprietary funds include the cost of sales and services, administrative expenses and depreciation on capital assets. All revenues and expenses not meeting this definition are reported as nonoperating revenues and expenses.

All Financial Statements

The preparation of financial statements in conformity with generally accepted accounting principles requires management to make estimates and assumptions that affect the reported amounts of assets, deferred outflows of resources, liabilities and deferred inflows of resources and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenues and expenditures/expenses during the reporting period. Actual results could differ from those estimates.

Assets, Deferred Outflows of Resources, Liabilities, Deferred Inflows of Resources and Net Position or Equity

Deposits and Investments

For purposes of the statement of cash flows, the Village considers all highly liquid investments with an initial maturity of three months or less when acquired to be cash equivalents.

Illinois Statutes authorize the Village to make deposits/investments in insured commercial banks, savings and loan institutions, obligations of the U.S. Treasury and U.S. Agencies, insured credit union shares, money market mutual funds with portfolios of securities issued or guaranteed by the United States or agreement to repurchase these same obligations, repurchase agreements, short-term commercial paper rated within the three highest classifications by at least two standard rating services and the Illinois Funds Investment Pool.

Pension funds may also invest in certain non-U.S. obligations, Illinois municipal corporations tax anticipation warrants, veteran's loans, obligations of the State of Illinois and its political subdivisions and the Illinois insurance company general and separate accounts, mutual funds meeting certain requirements, equity securities and corporate bonds meeting certain requirements. Pension funds with net assets in excess of \$10,000,000 and an appointed investment advisor may invest an additional portion of its assets in common and preferred stocks and mutual funds, that meet certain requirements.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Illinois Public Act 101 0610 consolidated the assets of the state's more than 650 downstate and suburban public safety pension funds into two consolidated investment funds and required the Police Pension Fund and Firefighters' Pension Fund to pool their funds for investment purposes. The Illinois Police Officers' Pension Investment Fund and the Illinois Firefighters' Pension Investment Fund are external investment pools valued at share price, the price for which the investments could be sold.

The Illinois Police Officers' Pension Investment Fund's investment policy statement has an investment objective to earn a long-term, net-of-fees, investment return that meets or exceeds the actuarial assumed rate of return and the return of the Policy Benchmark consistent with the risk level expected from the asset allocation. In the March 4, 2022 actuarial experience study the Illinois Police Officers' Pension Investment Fund's actuaries recommended an investment return of 6.75%.

The Illinois Firefighters' Pension Investment Fund's investment policy has an investment objective that seeks to maximize the likelihood of meeting long-term return objectives, while (i) maintaining prudent risk exposure, (ii) controlling fees and expenses related to management of the Fund and (iii) complying with the governing provisions of the Illinois Pension Code (40 ILCS 5 et seq.) and other applicable laws and regulations. Long-term return objectives are based on an assumed rate of return as set forth by the Illinois Firefighters' Pension Investment Fund's actuary. In the December 1, 2021 actuarial experience study, the Illinois Firefighters' Pension Investment Fund's actuaries recommended an investment return of 7.125%.

Additional information related to the Illinois Police Officers' Pension Investment Fund can be found at <https://www.ipopif.org>. Additional information related to the Illinois Firefighters' Pension Investment Fund can be found at <https://ifpif.org>.

The Village has adopted an investment policy. That policy follows the state statute for allowable investments.

Interest Rate Risk

In accordance with its investment policy, the Village limits its exposure to interest rate risk by structuring the portfolio in a manner that provides sufficient liquidity to enable the Village to meet all operating requirements which may be reasonably anticipated in any fund. The investment policy limits the maximum maturity length of investments to three years from the date of purchase unless the funds invested are earmarked for a special purpose, in which case the maximum maturity length shall be five years from the date of purchase, but must coincide as nearly as possible with the expected use of the funds. The Police Pension Fund's and Firefighters' Pension Fund's investment policy does not limit the maximum maturity length of investments in the funds.

Credit Risk

The Village limits its exposure to credit risk by investing in securities issued by the United States Government, securities issued by agencies of the United States Government, which are implicitly guaranteed by the United States Government, or corporate bonds rated within the three highest classifications by at least two standard rating services. The Police Pension Fund and the Firefighters' Pension Fund limit exposure to credit risk by primarily investing in obligations guaranteed by the United States Government, securities issued by agencies of the United States Government that are explicitly or implicitly guaranteed by the United States Government and investment grade corporate bonds rated at or above BBB- by Standard and Poors, Baa3 by Moody's and BBB- by Fitch by at least two of the three rating agencies.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Concentration of Credit Risk

In order to limit the exposure to concentration of credit risk, the Village's investment policy states that no more than 25% of the Village's total investment portfolio may be invested in a single security type or with a single financial institution, with the exception of U.S Treasury securities and authorized pools. The Village's investment policy does not specifically prohibit the use of or the investment in derivatives. The Police Pension Fund and Firefighters' Pension Fund do not have formal written policies with regard to the concentration of credit risk for investments. The Police Pension Fund and Firefighters' Pension Fund are both subject to the Illinois Compiled Statutes (ILCS) which limits fund's investments in equities, mutual funds and variable annuities to 65%. Securities in any one company should not exceed 5% of the total fund.

Custodial Credit Risk, Deposits

The Village's investment policy limits the exposure to deposit custodial credit risk by requiring all deposits in excess of FDIC insurable limits to be secured with collateralization pledged by the applicable financial institution to the extent of 110% of the value of the deposit. Both the Police Pension and Firefighters' Pension's investment policies limit exposure to deposit custodial credit risk by requiring deposits in excess of FDIC insurable limits to be collateralized.

Custodial Credit Risk, Investments

The Village's investment policy requires pledging of collateral with a fair value of 110% of all bank balances in excess of federal depository insurance with the collateral held by the Village's agent in the Village's name. To limit exposure, the Police Pension Fund and the Firefighters' Pension Fund require all security transactions that are exposed to custodial credit risk to be processed on a delivery versus payment basis with the underlying investments held by a third party acting as the fund's agent separate from where the investment was purchased in the fund's name.

Investments are stated at fair value, which is the amount at which an investment could be exchanged in a current transaction between willing parties. Fair values are based on methods and inputs as outlined in Note 3. Adjustments necessary to record investments at fair value are recorded in the operating statement as increases or decreases in investment income. Investment income on commingled investments of municipal accounting funds is allocated based on average balances.

Illinois Funds is an investment pool managed by the State of Illinois, Office of the Treasurer, which allows governments within the State to pool their funds for investment purposes. Illinois Funds is not registered with the SEC as an investment company, but does operate in a manner consistent with Rule 2a7 of the Investment Company Act of 1940. Investments in Illinois Funds are valued at Illinois Fund's share price, the price for which the investments could be sold.

Illinois Metropolitan Investment Fund (IMET) is a not-for-profit investment trust formed pursuant to the Illinois Municipal Code and managed by a Board of Trustees elected from the participating members. IMET is not registered with the SEC as an investment company. Investments in IMET are valued at IMET's share price, the price for which the investment could be sold. Investment in IMET's 1-3 year fund may be redeemed with 5 business days' notice.

See Note 3 for further information.

Receivables

Property taxes for levy year 2023 attaches as an enforceable lien on January 1, 2023, on property values assessed as of the same date. Taxes are levied by December following the lien date (by passage of a Tax Levy Ordinance).

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Tax bills for levy year 2023 are prepared by Lake County and issued on or about May 1, 2024 and August 1, 2024 and are payable in two installments, on or about June 1, 2024 and September 1, 2024 or within 30 days of the tax bills being issued.

The County collects such taxes and remits them periodically. The 2023 property tax levy is recognized as a receivable and deferred inflows in fiscal 2023, net the allowance for uncollectible. As the taxes become available to finance current expenditures, they are recognized as revenues. At December 31, 2023, the property taxes receivable and related deferred inflows consisted of the estimated amount collectible from the 2023 levy.

During the course of operations, transactions occur between individual funds that may result in amounts owed between funds. Short-term interfund loans are reported as "due to and from other funds." Long-term interfund loans (noncurrent portion) are reported as "advances from and to other funds." Interfund receivables and payables between funds within governmental activities are eliminated in the statement of net position. Any residual balances outstanding between the governmental activities and business-type activities are reported in the governmental-wide financial statements as internal balances.

Inventories and Prepaid Items

Governmental fund inventories, if material, are recorded at cost based on the FIFO method using the consumption method of accounting. Proprietary fund inventories are generally used for construction and/or for operation and maintenance work. They are not for resale. They are valued at cost based on FIFO and charged to construction and/or operation and maintenance expense when used.

Certain payments to vendors reflect costs applicable to future accounting periods and are recorded as prepaid items in both government-wide and fund financial statements. The cost of prepaid items is recorded as expenditures/expenses when consumed rather than when purchased.

Capital Assets

Government-Wide Statements

Capital assets, which include property, plant and equipment, are reported in the government-wide financial statements. Capital assets are defined by the government as assets with an initial cost of more than \$10,000 for computers and software, \$15,000 for vehicles and furniture and fixtures, \$25,000 for land improvements and machinery and equipment, \$50,000 for buildings and building improvements and \$250,000 for infrastructure assets, and an estimated useful life in excess of 1 year. All capital assets are valued at historical cost or estimated historical cost if actual amounts are unavailable. Donated capital assets are recorded at their estimated acquisition value at the date of donation.

Depreciation and amortization of all exhaustible capital assets is recorded as an allocated expense in the statement of activities, with accumulated depreciation and amortization reflected in the statement of net position. Depreciation and amortization is provided over the assets' estimated useful lives using the straight-line method. The range of estimated useful lives by type of asset is as follows:

Land improvements	20-30 Years
Buildings	45 Years
Building improvements	10-30 Years
Vehicles	3-25 Years
Computers and software	5 Years
Furniture and fixtures	5-20 Years
Machinery and equipment	10-30 Years
Infrastructure	40-50 Years

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Fund Financial Statements

In the fund financial statements, capital assets used in governmental fund operations are accounted for as capital outlay expenditures of the governmental fund upon acquisition. Capital assets used in proprietary fund operations are accounted for the same way as in the government-wide statements.

Deferred Outflows of Resources

A deferred outflow of resources represents a consumption of net position/fund balance that applies to a future period and will not be recognized as an outflow of resources (expense/expenditure) until that future time.

Compensated Absences

Under terms of employment, employees are granted sick leave and vacations in varying amounts. Only benefits considered to be vested are disclosed in these statements.

Vested or accumulated vacation leave, including related Social Security and Medicare, that is owed to retirees or terminated employees is reported as an expenditure and a fund liability of the governmental fund that will pay it in the fund financial statements and the remainder is reported in long-term debt. Vested or accumulated vacation leave and vested sick leave of proprietary funds at both levels and governmental activities at the government-wide level is recorded as an expense and liability as the benefits accrue to employees.

Long-Term Obligations

All long-term obligations to be repaid from governmental and business-type resources are reported as liabilities in the government-wide statements. The long-term obligations consist primarily of bonds payable, notes payable, net pension liability, total other postemployment benefit liability and accrued compensated absences.

Long-term obligations for governmental funds are not reported as liabilities in the fund financial statements. The face value of debts (plus any premiums) are reported as other financing sources and payments of principal and interest are reported as expenditures. The accounting in proprietary funds is the same as it is in the government-wide statements.

For the government-wide statements and proprietary fund statements, bond premiums and discounts are amortized over the life of the issue using the effective interest method. The balance at year end is shown as an increase or decrease in the liability section of the statement of net position.

Leases

The Village is a lessor because it leases capital assets to other entities. As a lessor, the Village reports a lease receivable and corresponding deferred inflow of resources in both the fund financial statements and government-wide financial statements. The Village continues to report and depreciate the capital assets being leased as capital assets of the primary government.

Deferred Inflows of Resources

A deferred inflow of resources represents an acquisition of net position/fund balance that applies to a future period and therefore will not be recognized as an inflow of resources (revenue) until that future time.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Equity Classifications

Government-Wide Statements

Equity is classified as net position and displayed in three components:

- a. **Net Investment in Capital Assets** - Consists of capital assets including restricted capital assets, net of accumulated depreciation and reduced by the outstanding balances (excluding unspent debt proceeds) of any bonds, mortgages, notes or other borrowings that are attributable to the acquisition, construction or improvement of those assets.
- b. **Restricted Net Position** - Consists of net position with constraints placed on their use either by 1) external groups such as creditors, grantors, contributors or laws or regulations of other governments or, 2) law through constitutional provisions or enabling legislation.
- c. **Unrestricted Net Position** - All other net positions that do not meet the definitions of "restricted" or "net investment in capital assets."

When both restricted and unrestricted resources are available for use, it is the Village's policy to use restricted resources first, then unrestricted resources as they are needed.

Fund Statements

Governmental fund balances are displayed as follows:

- a. **Nonspendable** - Includes fund balance amounts that cannot be spent either because they are not in spendable form or because legal or contractual requirements require them to be maintained intact.
- b. **Restricted** - Consists of fund balances with constraints placed on their use either by 1) external groups such as creditors, grantors, contributors or laws or regulations of other governments or 2) law through constitutional provisions or enabling legislation.
- c. **Committed** - Includes fund balance amounts that are constrained for specific purposes that are internally imposed by the government through formal action of the highest level of decision making authority. Fund balance amounts are committed through a formal action (ordinance) of the Village Board. This formal action must occur prior to the end of the reporting period, but the amount of the commitment, which will be subject to the constraints, may be determined in the subsequent period. Any changes to the constraints imposed require the same formal action of the Village Board that originally created the commitment.
- d. **Assigned** - Includes spendable fund balance amounts that are intended to be used for specific purposes that do not meet the criteria to be classified as restricted or committed. The Village Board has, by ordinance, adopted a financial policy authorizing the Finance Director to assign amounts for a specific purpose. Assignments may take place after the end of the reporting period.
- e. **Unassigned** - Includes residual positive fund balance within the general fund which has not been classified within the other above mentioned categories. Unassigned fund balance may also include negative balances for any governmental fund if expenditures exceed amounts restricted, committed or assigned for those purposes.

Proprietary fund equity is classified the same as in the government-wide statements.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

The Village considers restricted amounts to be spent first when both restricted and unrestricted fund balance is available unless there are legal documents / contracts that prohibit doing this, such as in grant agreements requiring dollar for dollar spending. Additionally, the Village would first use committed, then assigned and lastly unassigned amounts of unrestricted fund balance when expenditures are made.

See Note 3 for further information.

Land Held for Resale

The Village's land held for resale includes land that is being held for sale for future development of the Village. The assets are valued at lower of cost or market.

2. Stewardship, Compliance and Accountability

Excess Expenditures Over Budget

<u>Fund</u>	<u>Budgeted Expenditures</u>	<u>Actual Expenditures</u>	<u>Excess Expenditures Over Budget</u>
TIF Tax Allocation	\$ 563,494	\$ 571,388	\$ 7,894
Non-Home Rule Sales Tax Capital Projects	388,000	411,156	23,156
Risk Management	1,262,204	1,296,879	34,675
Equipment Replacement	1,370,311	1,567,544	197,233

The Village controls expenditures at the department level. Some individual departments experienced expenditures which exceeded appropriations. The detail of those items can be found in the Village's year-end budget to actual report.

Deficit Balances

Generally accepted accounting principles require disclosure of individual funds that have deficit balances at year end.

As of December 31, 2023, the following individual funds held a deficit balance:

<u>Fund</u>	<u>Amount</u>
Downtown TIF #2	\$ (166,435)
TIF Debt Service	(871,652)

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

3. Detailed Notes on All Funds**Deposits and Investments**

The Village's deposits and investments at year end were comprised of the following:

	<u>Carrying Value</u>	<u>Statement Balances</u>	<u>Associated Risks</u>
Petty cash	\$ 2,675	\$ -	N/A
Deposits	52,012,564	52,686,322	Custodial credit risk, deposits
Negotiable certificates of deposit	1,687,850	1,687,850	Credit risk, custodial credit risk, investments, concentration of credit risk, interest rate risk
U.S. treasuries	4,075,611	4,075,611	Custodial credit risk, investments, interest rate risk
Money markets	578,280	578,280	N/A
Illinois Police Officers' Pension Investment Fund	32,406,699	32,406,699	Credit risk, custodial credit risk, investments
Illinois Firefighters' Pension Investment Fund	52,526,589	52,526,589	Credit risk, custodial credit risk, investments, concentration of credit risk
Insurance contracts	<u>268,306</u>	<u>268,306</u>	
Total deposits and investments	<u>\$143,558,574</u>	<u>\$144,229,657</u>	
Reconciliation to financial statements			
Per statement of net position:			
Cash and investments	\$ 57,256,134		
Per statement of net position, fiduciary funds:			
Cash and investments, pension trusts	20,147		
Cash and investments, custodial fund	502,419		
Money markets	578,280		
Illinois Police Officers' Investment Fund	32,406,699		
Illinois Firefighters' Pension Investment Fund	52,526,589		
Insurance contracts	<u>268,306</u>		
Total deposits and investments	<u>\$143,558,574</u>		

Deposits in each local and area bank are insured by the FDIC in the amount of \$250,000 for time and savings accounts (including NOW accounts) and \$250,000 for demand deposit accounts (interest-bearing and noninterest-bearing). In addition, if deposits are held in an institution outside of the state in which the government is located, insured amounts are further limited to a total of \$250,000 for the combined amount of all deposit accounts.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

The Village categorizes its fair value measurements within the fair value hierarchy established by generally accepted accounting principles. The hierarchy is based on the valuation inputs used to measure the fair value of the asset. Level 1 inputs are quoted prices in active markets for identical assets; Level 2 inputs are significant other observable inputs; Level 3 inputs are significant unobservable inputs. Level 2 of the fair value hierarchy are valued using a matrix pricing technique. Matrix pricing is used to value securities based on the securities' relationship to benchmark quoted prices. Level 3 are valued using either a discounted cash flow or market comparable companies technique.

As of December 31, 2023 the Village utilized the market valuation method for all recurring fair value measurements and investments were measured using the valuation inputs as follows:

Investment Type	December 31, 2023			
	Level 1	Level 2	Level 3	Total
U.S. treasuries	\$ 4,075,611	\$ -	\$ -	\$ 4,075,611
Negotiable certificates of deposit	-	1,687,850	-	1,687,850
Total	<u>\$ 4,075,611</u>	<u>\$ 1,687,850</u>	<u>\$ -</u>	<u>\$ 5,763,461</u>

The Illinois Police Officers' Pension Investment Fund and the Illinois Firefighters' Pension Investment Fund are measured at net asset value.

The investment in insurance contracts are measured using Level 3 valuation inputs.

Custodial Credit Risk

Deposits

Custodial credit risk is the risk that in the event of a financial institution failure, the Village's deposits may not be returned to the Village.

The Village does not have any deposits exposed to custodial credit risk.

Investments

For an investment, custodial credit risk is the risk that, in the event of the failure of the counterparty, the Village will not be able to recover the value of its investments or collateral securities that are in the possession of an outside party.

The Village does not have any investments exposed to custodial credit risk.

Credit Risk

Credit risk is the risk that an issuer or other counterparty to an investment will not fulfill its obligations. The investments in negotiable certificates of deposit, the Illinois Police Officers' Pension Investment Fund and the Illinois Firefighters' Pension Investment Fund were not rated.

Concentration of Credit Risk

Concentration of credit risk is the risk of loss attributed to the magnitude of a government's investment in a single issuer. At December 31, 2023, there were no single issuers greater than 5% of net position.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Interest Rate Risk

Interest rate risk is the risk that changes in interest rates will adversely affect the value of an investment.

As of December 31, 2023, the Village's investments were as follows:

Investment Type	Fair Value	Maturity (In Years)			
		Less than 1	1-5	6-10	Greater than 10
Negotiable certificates of deposit	\$ 1,687,850	\$ 1,445,454	\$ 242,396	\$ -	\$ -
U.S. treasuries	4,075,611	1,277,266	2,798,345	-	-
Total	<u>\$ 5,763,461</u>	<u>\$ 2,722,720</u>	<u>\$ 3,040,741</u>	<u>\$ -</u>	<u>\$ -</u>

Money-Weighted Rate of Return**Police Pension Fund**

For the year ended December 31, 2023, the annual money-weighted rate of return on the Police Pension plan investments, net of pension plan investment expense, was 13.42%. The money-weighted rate of return expresses investment performance, net of investment expense, adjusted for the changing amounts actually invested.

Firefighters' Pension Fund

For the year ended December 31, 2023, the annual money-weighted rate of return on the Firefighters' Pension plan investments, net of pension plan investment expense, was 15.21%. The money-weighted rate of return expresses investment performance, net of investment expense, adjusted for the changing amounts actually invested.

See Note 1 for further information on deposit and investment policies.

Receivables

All of the receivables on the balance sheet are expected to be collected within one year except for the lease receivable.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Capital Assets

Capital asset activity for the year ended December 31, 2023, was as follows:

	<u>Beginning Balance</u>	<u>Additions</u>	<u>Deletions</u>	<u>Ending Balance</u>
Governmental Activities				
Capital assets not being depreciated:				
Land	\$ 30,473,551	\$ -	\$ -	\$ 30,473,551
Construction in progress	455,200	670,565	39,111	1,086,654
Total capital assets not being depreciated	<u>30,928,751</u>	<u>670,565</u>	<u>39,111</u>	<u>31,560,205</u>
Capital assets being depreciated:				
Land improvements	10,036,610	455,225	-	10,491,835
Buildings	12,258,956	-	-	12,258,956
Building improvements	908,304	962,826	-	1,871,130
Vehicles	6,506,115	695,500	228,215	6,973,400
Machinery and equipment	3,162,719	383,450	31,892	3,514,277
Computers/software	166,694	-	-	166,694
Infrastructure	79,451,009	2,767,797	-	82,218,806
Total capital assets being depreciated	<u>112,490,407</u>	<u>5,264,798</u>	<u>260,107</u>	<u>117,495,098</u>
Total capital assets	<u>143,419,158</u>	<u>5,935,363</u>	<u>299,218</u>	<u>149,055,303</u>
Less accumulated depreciation for:				
Land improvements	(4,412,401)	(318,411)	-	(4,730,812)
Buildings	(6,602,622)	(266,799)	-	(6,869,421)
Building improvements	(243,827)	(49,016)	-	(292,843)
Vehicles	(3,662,188)	(376,230)	228,212	(3,810,206)
Machinery and equipment	(1,734,336)	(174,935)	24,407	(1,884,864)
Computers/software	(97,454)	-	-	(97,454)
Infrastructure	(39,694,759)	(1,538,930)	-	(41,233,689)
Total accumulated depreciation	<u>(56,447,587)</u>	<u>(2,724,321)</u>	<u>252,619</u>	<u>(58,919,289)</u>
Net capital assets being depreciated	<u>56,042,820</u>	<u>2,540,477</u>	<u>7,488</u>	<u>58,575,809</u>
Total governmental activities capital assets, net of accumulated depreciation	<u>\$ 86,971,571</u>	<u>\$ 3,211,042</u>	<u>\$ 46,599</u>	<u>\$ 90,136,014</u>

Depreciation expense was charged to functions as follows:

Governmental Activities	
General government	\$ 72,749
Public safety	512,418
Highways and streets	1,933,203
Culture and recreation	<u>205,951</u>
Total governmental activities depreciation expense	<u>\$ 2,724,321</u>

Village of Lake ZurichNotes to Financial Statements
December 31, 2023

	<u>Beginning Balance</u>	<u>Additions</u>	<u>Deletions</u>	<u>Ending Balance</u>
Business-Type Activities				
Capital assets not being depreciated:				
Land	\$ 250,421	\$ -	\$ -	\$ 250,421
Construction in progress	<u>394,579</u>	<u>3,444,132</u>	<u>74,364</u>	<u>3,764,347</u>
Total capital assets not being depreciated	<u>645,000</u>	<u>3,444,132</u>	<u>74,364</u>	<u>4,014,768</u>
Capital assets being depreciated:				
Vehicles	1,125,570	60,924	-	1,186,494
Machinery and equipment	2,331,430	190,880	-	2,522,310
Computer/software	206,031	-	-	206,031
Infrastructure	<u>83,944,277</u>	<u>1,995,578</u>	<u>-</u>	<u>85,939,855</u>
Total capital assets being depreciated	<u>87,608,077</u>	<u>2,247,382</u>	<u>-</u>	<u>89,854,690</u>
Total capital assets	<u>88,253,077</u>	<u>5,691,514</u>	<u>74,364</u>	<u>93,869,458</u>
Less accumulated depreciation for:				
Vehicles	(443,667)	(71,183)	-	(514,850)
Machinery and equipment	(875,127)	(99,556)	-	(974,683)
Computer/software	(113,114)	(2,794)	-	(115,908)
Infrastructure	<u>(42,711,997)</u>	<u>(1,868,507)</u>	<u>-</u>	<u>(44,580,504)</u>
Total accumulated depreciation	<u>(44,143,905)</u>	<u>(2,042,040)</u>	<u>-</u>	<u>(46,185,945)</u>
Net capital assets being depreciated	<u>43,464,172</u>	<u>205,342</u>	<u>-</u>	<u>43,668,745</u>
Business-type capital assets, net of accumulated depreciation	<u>\$ 44,109,172</u>	<u>\$ 3,649,474</u>	<u>\$ 74,364</u>	<u>\$ 47,683,513</u>

Interfund Receivables/Payables, Advances and Transfers**Interfund Receivables/Payables**

The following is a schedule of interfund receivables and payables including any overdrafts on pooled cash and investment accounts:

<u>Receivable Fund</u>	<u>Payable Fund</u>	<u>Amount</u>
General	Nonmajor Governmental	\$ 26
Total, fund financial statements		26
Add interfund receivables created with internal service fund eliminations		678,393
Less government-wide eliminations		(26)
Add interfund advances		<u>2,000,000</u>
Total internal balances, government-wide statement of net position		<u>\$ 2,678,393</u>

All amounts are due within one year.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Advances

The General Fund is advancing funds to the TIF #3 Fund, the TIF Debt Service Fund and the TIF Tax Allocation Fund. The amount advanced is due to the cash flow issues in the funds since the districts' inception.

The non-home rule sales tax capital projects fund, capital improvements fund, and waterworks and sewerage are advancing funds to the downtown TIF #2 fund. The amount advanced is due to the cash flow issues in the fund since the district's inception.

The following is a schedule of interfund advances:

<u>Receivable Fund</u>	<u>Payable Fund</u>	<u>Amount</u>	<u>Amount Not Due Within One Year</u>
General	TIF #3	\$ 20,000	\$ 20,000
General	TIF Debt Service	1,300,000	1,300,000
General	TIF Tax Allocation	135,000	135,000
Non-Home Rule Sales Tax Capital Projects	Downtown TIF #2	50,000	50,000
Capital Improvements	Downtown TIF #2	3,103,000	3,103,000
Waterworks and Sewerage	Downtown TIF #2	<u>2,000,000</u>	<u>2,000,000</u>
Total, fund financial statements		6,608,000	
Less fund eliminations		<u>(4,608,000)</u>	
Total, interfund advances, government-wide statement of net position		<u>\$ 2,000,000</u>	

The principal purpose of these advances is to fund TIF eligible expenditures in advance of sufficient increment to cover costs.

Transfers

The following is a schedule of interfund transfers:

<u>Fund Transferred To</u>	<u>Fund Transferred From</u>	<u>Amount</u>	<u>Principal Purpose</u>
Capital Improvement	General	\$ 5,665,000	Funding for capital projects Funding for special events administration and Dispatch Center
Nonmajor Governmental	General	915,413	Funding for debt payment
TIF Debt Service	TIF Tax Allocation	845,000	Funding for debt payment
TIF Debt Service	Debt Service	1,241,000	Funding for special events
Nonmajor Governmental	Nonmajor Governmental	97,200	Funding for internal services
Internal Service	Internal Service	200,000	Funding for internal services
Internal Service	General	<u>50,000</u>	
Total, fund financial statements		9,013,613	
Less government-wide eliminations		(9,013,613)	
Add capital contributions		<u>3,296,715</u>	
Total transfers, government-wide statement of activities		<u>\$ 3,296,715</u>	

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Generally, transfers are used to (1) move revenues from the fund that collects them to the fund that the budget requires to expend them, (2) move receipts restricted to debt service from the funds collecting the receipts to the debt service fund and (3) use unrestricted revenues collected in the general fund to finance various programs accounted for in other funds in accordance with budgetary authorizations.

Short-Term Debt Activity

The Village issued short-term debt for \$1,241,000. The Taxable General Obligation Refunding Bond (Limited Tax), Series 2023 dated June 6, 2023 were matured October 6, 2023; payable in one installment with an interest rate of 6.25%.

Short-term debt activity for the year ended December 31, 2023, was as follows:

	<u>Beginning Balance</u>	<u>Issued</u>	<u>Redeemed</u>	<u>Ending Balance</u>
Taxable General Obligation Refunding Bond (Limited Tax), Series 2023	\$ -	\$ 1,241,000	\$ 1,241,000	\$ -

Long-Term Obligations

Long-term obligations activity for the year ended December 31, 2023, was as follows:

	<u>Beginning Balance</u>	<u>Increases</u>	<u>Decreases</u>	<u>Ending Balance</u>	<u>Amounts Due Within One Year</u>
Governmental Activities					
Bonds and notes payable:					
Tax increment financing bonds	\$ 18,475,000	\$ -	\$ 1,440,000	\$ 17,035,000	\$ 1,500,000
Financed purchases	17,300	-	6,745	10,555	5,756
(Discouts)/Premiums	98,391	-	36,088	62,303	36,088
Total bonds and notes payable	<u>18,590,691</u>	<u>-</u>	<u>1,482,833</u>	<u>17,107,858</u>	<u>1,541,844</u>
Other liabilities:					
Vested compensated absences	2,103,004	119,846	420,601	1,802,249	360,450
Total other postemployment benefits liability	2,626,855	216,715	221,355	2,622,215	-
Net pension liability	57,401,010	10,627,181	12,232,807	55,795,384	-
Total other liabilities	<u>62,130,869</u>	<u>10,963,742</u>	<u>12,874,763</u>	<u>60,219,848</u>	<u>360,450</u>
Total governmental activities long-term liabilities	<u>\$ 80,721,560</u>	<u>\$ 10,963,742</u>	<u>\$ 14,357,596</u>	<u>\$ 77,327,706</u>	<u>\$ 1,902,294</u>
Business-Type Activities					
Bonds and loans payable:					
Alternative revenue bonds	\$ 820,000	\$ -	\$ 500,000	\$ 320,000	\$ 105,000
Financed purchases	2,709,320	-	221,108	2,488,212	226,376
Illinois EPA loans, direct placement	1,107,795	-	217,067	890,728	222,528
(Discouts)/Premiums	38,932	-	29,221	9,711	3,237
Total bonds and loans payable	<u>4,676,047</u>	<u>-</u>	<u>967,396</u>	<u>3,708,651</u>	<u>557,141</u>
Other liabilities:					
Vested compensated absences	76,865	14,449	15,374	75,940	15,188
Total other postemployment benefits liability	219,834	22,899	18,895	223,838	-
Net pension liability	590,656	-	367,897	222,759	-
Total other liabilities	<u>887,355</u>	<u>37,348</u>	<u>402,166</u>	<u>522,537</u>	<u>15,188</u>
Total business-type activities long-term liabilities	<u>\$ 5,563,402</u>	<u>\$ 37,348</u>	<u>\$ 1,369,562</u>	<u>\$ 4,231,188</u>	<u>\$ 572,329</u>

Village of Lake Zurich

Notes to Financial Statements
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The Village is subject to the Illinois Municipal Code, which limits the amount of certain indebtedness to 8.625% of the most recent available equalized assessed valuation of the Village. As of December 31, 2023, the statutory debt limit for the Village was \$81,016,743, providing a debt margin of \$81,016,743.

Business-Type Activities Alternative Revenue Debt

Business-Type Activities	Date of	Final	Interest	Original	Balance
Alternative Revenue Debt	Issue	Maturity	Rates	Indebtedness	December 31, 2023
General Obligation Waterworks and Sewerage System Alternative Revenue Bonds Series 2016B	8/1/2016	12/15/2026	2.00%	1,000,000	\$ 320,000
Total business-type activities, alternative revenue debt					<u>\$ 320,000</u>

Debt service requirements to maturity are as follows:

Years	Business-Type Activities Alternative Revenue Debt	
	Principal	Interest
2024	\$ 105,000	\$ 6,400
2025	105,000	4,300
2026	<u>110,000</u>	<u>2,200</u>
Total	<u>\$ 320,000</u>	<u>\$ 12,900</u>

Tax Increment Financing Bonds

Tax increment financing bonds are payable from incremental taxes derived from a separately created tax increment financing district.

The Village has pledged future sales tax revenues, net of specified operating expenses, to repay revenue bonds issued in 2014, 2015 and 2016. Proceeds from the bonds provided financing for the various TIF improvements.

Tax Increment Financing Bonds at December 31, 2023, consists of the following:

Governmental Activities	Date of	Final	Interest	Original	Balance
Tax Increment Financing Bonds	Issue	Maturity	Rates	Indebtedness	December 31, 2023
General Obligation TIF Alternative Revenue Bonds Series 2014A	9/8/2014	12/15/2024	2.00% - 3.00%	\$ 6,325,000	\$ 805,000
General Obligation TIF Alternative Revenue Bonds Series 2015A	4/23/2015	12/15/2034	3.25% - 3.75%	11,775,000	11,775,000
General Obligation TIF Alternative Revenue Bonds Series 2016A	5/16/2016	2/1/2029	1.10% - 3.05%	6,785,000	<u>4,455,000</u>
Total governmental activities tax increment financing bonds					<u>\$ 17,035,000</u>

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Debt service requirements to maturity are as follows:

<u>Years</u>	Governmental Activities Tax Increment Financing Bonds	
	<u>Principal</u>	<u>Interest</u>
2024	\$ 1,500,000	\$ 553,188
2025	1,525,000	511,403
2026	1,565,000	465,814
2027	1,625,000	417,858
2028	1,690,000	367,301
2029-2033	7,545,000	1,089,629
2034	1,585,000	59,438
Total	<u>\$ 17,035,000</u>	<u>\$ 3,464,631</u>

Financed Purchases

Financed purchases are payable from the General Fund and Waterworks and Sewerage Fund.

<u>Governmental Activities</u>	<u>Date of Issue</u>	<u>Final Maturity</u>	<u>Interest Rates</u>	<u>Original Indebtedness</u>	<u>Balance December 31, 2023</u>
Financed Purchases					
Copier equipment	9/12/2019	9/30/2023	5.24%	\$ 12,592	\$ 2,105
Copier equipment	2/9/2021	3/31/2026	4.45%	17,695	8,450
Total governmental activities financed purchases					<u>\$ 10,555</u>

<u>Business-Type Activities</u>	<u>Date of Issue</u>	<u>Final Maturity</u>	<u>Interest Rates</u>	<u>Original Indebtedness</u>	<u>Balance December 31, 2023</u>
Financed Purchases					
Water meters	10/10/2017	10/1/2033	2.50%	\$ 3,000,000	\$ 2,423,859
Sewer cleaner	12/20/2017	12/20/2024	3.12%	411,582	64,353
Total business-type activities financed purchases					<u>\$ 2,488,212</u>

Debt service requirements to maturity are as follows:

<u>Years</u>	Governmental Activities Financed Purchases		Business-Type Activities Financed Purchases	
	<u>Principal</u>	<u>Interest</u>	<u>Principal</u>	<u>Interest</u>
2024	\$ 5,756	\$ 348	\$ 226,376	\$ 60,975
2025	3,817	136	166,104	54,887
2026	982	7	194,303	50,481
2027	-	-	224,080	45,355
2028	-	-	1,367,788	130,189
2029-2033	-	-	309,561	4,842
Total	<u>\$ 10,555</u>	<u>\$ 491</u>	<u>\$ 2,488,212</u>	<u>\$ 346,729</u>

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Other Loans Payable - Direct Placement

Loans are payable from Illinois Environmental Protection Agency. The outstanding IEPA notes are direct borrowings and contain a provision that in an event of default, the IEPA shall pursue the collection of the amounts past due, the outstanding balance and relating costs by any other reasonable means provided by the law.

Business-Type Activities

Other Loans Payable - Direct Placement	Date of Issue	Final Maturity	Interest Rates	Original Indebtedness	Balance December 31, 2023
IEPA Loan 2006	10/15/2005	12/16/2026	2.50%	\$ 2,000,000	\$ 361,774
IEPA Loan 2008	9/27/2007	8/11/2028	1.25%	1,673,182	528,954

Total business-type activities other loans payable, direct placement \$ 890,728

Debt service requirements to maturity are as follows:

<u>Years</u>	<u>Business-Type Activities Other Loans Payable - Direct Placement</u>	
	<u>Principal</u>	<u>Interest</u>
2024	\$ 222,528	\$ 20,886
2025	228,126	15,288
2026	220,577	9,550
2027	108,385	4,814
2028	111,112	2,088
Total	<u>\$ 890,728</u>	<u>\$ 52,626</u>

Other Debt Information

Estimated payments of certain obligations are not included in the debt service requirement schedules. The compensated absences liability, total other postemployment benefits liability and net pension liability attributable to governmental activities will be liquidated primarily by the General Fund.

Prior-Year Defeasance of Debt

In prior years, the Village defeased certain general obligation and other bonds by placing the proceeds of new bonds in an irrevocable trust to provide for all future debt service payments on the old bonds. Accordingly, the trust account assets and the liability for the defeased bonds are not included in the Village's financial statements. At December 31, 2023, \$1,350,000 of bonds outstanding are considered defeased.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Lease Disclosures**Lessor - Lease Receivables**

Governmental Activities				Receivable Balance December 31, 2023
Lease Receivables Description	Date of Inception	Final Maturity	Interest Rates	
Tower Lease	8/3/2015	9/1/2040	4.75%	\$ 434,051
Sunset Pavilion Lease	1/1/2022	12/31/2026	4.75%	8,670
Property Lease	1/1/2022	12/31/2024	4.75%	10,235
Property Lease	1/1/2022	12/31/2024	4.75%	21,875
Property Lease	9/1/2020	8/31/2025	4.75%	7,895
Total governmental activities				<u>\$ 482,726</u>

The Village recognized \$53,230 and \$23,739 of lease revenue and interest revenue, respectively, during the fiscal year.

Net Position/Fund Balances

Net position reported on the government-wide statement of net position at December 31, 2023, includes the following:

Governmental Activities

Net investment in capital assets:	
Capital assets not being depreciated	\$ 31,560,205
Capital assets net of accumulated depreciation	<u>58,575,809</u>
Total net investment in capital assets	<u>\$ 90,136,014</u>

The Governmental Activities long-term debt for Tax increment financing bonds (and related premiums/discounts) and the financed purchases did not result in capital assets. The Tax increment financing bond proceeds were used to purchase land held for resale.

Business-Type Activities

Net investment in capital assets:	
Capital assets not being depreciated	\$ 4,014,768
Capital assets net of accumulated depreciation	43,668,745
Less unamortized debt premium	(9,712)
Less capital related debt	<u>(3,698,940)</u>
Total net investment in capital assets	<u>\$ 43,974,861</u>

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

4. Other Information

Employees' Retirement System

The Village contributes to three defined benefit pension plans, the Illinois Municipal Retirement Fund (IMRF), an agent-multiple-employer public employee retirement system; the Police Pension Plan which is a single-employer pension plan; and the Firefighters' Pension Plan which is a single-employer pension plan. The benefits, benefit levels, employee contributions and employer contributions for the plans are governed by Illinois Compiled Statutes and can only be amended by the Illinois General Assembly. The Police Pension Plan and the Firefighters' Pension Plan do not issue separate reports on the pension plans. IMRF does issue a publicly available report that includes financial statements and supplementary information for the plan as a whole, but not for individual employers. That report can be obtained from IMRF, 2211 York Road, Suite 500, Oak Brook, Illinois 60523. This report is also available for download at www.imrf.org.

For the year ended December 31, 2023, the Village recognized the following balances in the government-wide financial statements:

	Total Pension Liability	Net Pension Liability	Deferred Outflows of Resources	Deferred Inflows of Resources	Pension Expense
IMRF	\$ 43,108,957	\$ 1,091,217	\$ 2,321,217	\$ 162,412	\$ (633,577)
Police Pension Plan	59,051,484	26,381,829	4,083,933	-	2,800,435
Firefighters' Pension Plan	<u>81,679,657</u>	<u>28,545,097</u>	<u>7,676,715</u>	<u>414,540</u>	<u>3,040,395</u>
Total	<u>\$183,840,098</u>	<u>\$ 56,018,143</u>	<u>\$ 14,081,865</u>	<u>\$ 576,952</u>	<u>\$ 5,207,253</u>

Illinois Municipal Retirement Fund

Plan Description

All employees (other than those covered by the Police and Firefighters' Pension plans) hired in positions that meet or exceed the prescribed annual hourly standard must be enrolled in IMRF as participating members. IMRF has a two tier plan. Members who first participated in IMRF or an Illinois Reciprocal System prior to January 1, 2011 participate in Tier 1. All other members participate in Tier 2. For Tier 1 participants, pension benefits vest after 8 years of service. Participating members who retire at age 55 (at reduced benefits) or after age 60 (at full benefits) with 8 years of service are entitled to an annual retirement benefit, payable monthly for life in an amount equal to 1-2/3% of their final rate of earnings (average of the highest 48 consecutive months' earnings during the last 10 years) for credited service up to 15 years and 3% for each year thereafter.

Employees hired on or after January 1, 2011, are eligible for Tier 2 benefits. For Tier 2 participants, pension benefits vest after 10 years of service. Participating members who retire at age 62 (at reduced benefits) or after age 67 (at full benefits) with 10 years of service are entitled to an annual retirement benefit, payable monthly for life in an amount equal to 1-2/3% of their final rate of earnings for the first 15 years of service credit, plus 2% for each year of service after 15 years to a maximum of 75% of their final rate of earnings. Final rate of earnings is the highest total earnings during any 96 consecutive months within the last 10 years of service, divided by 96. Under Tier 2, the pension is increased every year after retirement, upon reaching age 67, by the lesser of 3% of the original pension amount or 1/2 of the increase in the Consumer Price Index of the original pension amount.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Plan Membership

At December 31, 2023, the measurement date, membership in the plan was as follows:

Retirees and beneficiaries	135
Inactive, non-retired members	97
Active members	<u>73</u>
Total	<u><u>305</u></u>

Contributions

As set by statute, Village employees participating in IMRF are required to contribute 4.50% of their annual covered salary. The statute requires the Village to contribute the amount necessary, in addition to member contributions, to finance the retirement coverage of its own employees. The Village's actuarially determined contribution rate for calendar year 2023 was 6.31% of annual covered payroll for IMRF. The Village also contributes for disability benefits, death benefits and supplemental retirement benefits, all of which are pooled at the IMRF level. Contribution rates for disability and death benefits are set by the IMRF Board of Trustees, while the supplemental retirement benefits rate is set by statute.

Net Pension Liability/(Asset)

The net pension liability/(asset) was measured as of December 31, 2023 and the total pension liability used to calculate the net pension liability/(asset) was determined by an actuarial valuation as of that date.

Summary of Significant Accounting Policies

For purposes of measuring the net pension liability/(asset), deferred outflows of resources and deferred inflows of resources related to pensions and pension expense, information about the fiduciary net position of IMRF and additions to/deductions from IMRF fiduciary net position have been determined on the same basis as they are reported by IMRF. For this purpose, benefit payments (including refunds of employee contributions) are recognized when due and payable in accordance with the benefit terms. Investments are reported at fair value.

Actuarial Assumptions

The total pension liability for IMRF was determined by actuarial valuations performed as of December 31, 2023 using the following actuarial methods and assumptions:

Actuarial cost method	Entry Age Normal
Asset valuation method	Market Value
Actuarial assumptions	
Investment rate of return	7.25%
Salary increases	2.85% to 13.75%, including inflation
Price inflation	2.25%

Village of Lake Zurich

Notes to Financial Statements
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Mortality

For non-disabled retirees, the Pub-2010, Amount-Weighted, below-median income, General, Retiree, Male (adjusted 108%) and Female (adjusted 106.4%) tables and future mortality improvements projected using scale MP-2021. For disabled retirees, the Pub-2010, Amount-Weighted, below-median income, General, Disabled Retiree, Male and Female (both unadjusted) tables and future mortality improvements projected using scale MP-2021. For active members, the Pub-2010, Amount Weighted, below-median income, General, Employee, Male and Female (both unadjusted) tables and future mortality improvements projected using scale MP-2021.

Long-Term Expected Real Rate of Return

The long-term expected rate of return on pension plan investments was determined using an asset allocation study in which best-estimate ranges of expected future real rates of return (net of pension plan investment expense and inflation) were developed for each major asset class. These ranges were combined to produce long-term expected rate of return by the target asset allocation percentage and by adding expected inflation. The target allocation and best estimates of arithmetic and geometric real rates of return for each major asset class are summarized in the following table:

Asset Class	Target Allocation	Projected Returns/Risks	
		One Year Arithmetic	Ten Year Geometric
Equities	34.50 %	6.35 %	5.00 %
International equities	18.00	8.00	6.35
Fixed income	24.50	4.85	4.75
Real estate	10.50	7.20	6.30
Alternatives	11.50		
Private equity		12.35	8.65
Hedge funds		-	-
Commodities		7.20	6.05
Cash equivalents	1.00	3.80	3.80

Discount Rate

The discount rate used to measure the total pension liability for IMRF was 7.25%. The discount rate calculated using the December 31, 2022 measurement date was 7.25%. The projection of cash flows used to determine the discount rate assumed that member contributions will be made at the current contribution rate and that Village contributions will be made at rates equal to the difference between actuarially determined contribution rate and the member rate. Based on those assumptions, the fiduciary net position was projected to be available to make all projected future benefit payments of current plan members. Therefore, the long-term expected rate of return on investments was applied to all periods of projected benefits to determine the total pension liability.

Village of Lake Zurich

Notes to Financial Statements
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Discount Rate Sensitivity

The following is a sensitivity analysis of the net pension liability/(asset) to changes in the discount rate. The table below presents net pension liability/(asset) of the Village calculated using the discount rate of 7.25% as well as what the net pension liability/(asset) would be if it were to be calculated using a discount rate that is 1-percentage-point lower (6.25%) or 1-percentage-point higher (8.25%) than the current rate:

	<u>1% Decrease</u>	<u>Current Discount Rate</u>	<u>1% Increase</u>
Total pension liability	\$ 48,286,556	\$ 43,108,957	\$ 39,077,978
Plan fiduciary net pension	<u>42,017,740</u>	<u>42,017,740</u>	<u>42,017,740</u>
Net pension liability/(asset)	<u>\$ 6,268,816</u>	<u>\$ 1,091,217</u>	<u>\$ (2,939,762)</u>

Changes in Net Pension Liability/(Asset)

The changes in net pension liability/(asset) for the calendar year ended December 31, 2023 were as follows:

	<u>Increase (Decrease)</u>		
	<u>Total Pension Liability (a)</u>	<u>Plan Fiduciary Net Position (b)</u>	<u>Net Pension Liability/(Asset) (a) - (b)</u>
Balances at December 31, 2022	\$ 41,258,104	\$ 38,434,825	\$ 2,823,279
Service cost	529,647	-	529,647
Interest on total pension liability	2,939,176	-	2,939,176
Differences between expected and actual experience of the total pension liability	373,633	-	373,633
Change of assumptions	(26,467)	-	(26,467)
Benefit payments, including refunds of employee contributions	(1,965,136)	(1,965,136)	-
Contributions, employer	-	397,866	(397,866)
Contributions, employee	-	283,740	(283,740)
Net investment income	-	4,183,491	(4,183,491)
Other (net transfer)	-	682,954	(682,954)
Balances at December 31, 2023	<u>\$ 43,108,957</u>	<u>\$ 42,017,740</u>	<u>\$ 1,091,217</u>
Plan fiduciary net position as a percentage of the total pension liability			97.47 %

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Pension Expense and Deferred Outflows of Resources and Deferred Inflows of Resources Related to Pensions

For the year ended December 31, 2023, the Village recognized pension expense of \$(633,577). The Village reported deferred outflows and inflows of resources related to pension from the following sources:

	<u>Deferred Outflows of Resources</u>	<u>Deferred Inflows of Resources</u>
Difference between expected and actual experience	\$ 233,874	\$ 145,845
Assumption changes	-	16,567
Net difference between projected and actual earnings on pension plan investments	<u>2,087,343</u>	<u>-</u>
Total	<u>\$ 2,321,217</u>	<u>\$ 162,412</u>

The amounts reported as deferred outflows and inflows of resources related to pensions \$2,158,805 will be recognized in pension expense as follows:

<u>Year Ending December 31,</u>	<u>Village</u>
2024	\$ 191,613
2025	795,843
2026	1,455,098
2027	<u>(283,749)</u>
Total	<u>\$ 2,158,805</u>

Police Pension**Plan Description**

Police sworn personnel are covered by the Police Pension Plan, which is a defined benefit single-employer pension plan. Although this is a single employer pension plan, the defined benefits and employee and employer contribution levels are governed by Illinois State Statutes (Chapter 40 ILCS 5/3) and may be amended only by the Illinois legislature. The Village accounts for the plan as a pension trust fund.

As provided for in the Illinois Compiled Statutes, the Plan provides retirement benefits as well as death and disability benefits to employees grouped into two tiers. Tier 1 is for employees hired prior to January 1, 2011 and Tier 2 is for employees hired after that date. The following is a summary of the Police Pension Fund as provided for in Illinois Compiled Statutes.

Tier 1 - Covered employees attaining the age of 50 or more with 20 or more years of creditable service are entitled to receive an annual retirement benefit of one half of the salary attached to the rank on the last day of service, or for one year prior to the last day, whichever is greater. The pension shall be increased by 2.5% of such salary for each additional year of service over 20 years up to 30 years to a maximum of 75% of such salary. Employees with at least 8 years but less than 20 years of credited service may retire at or after age 60 and receive a reduced retirement benefit. The monthly pension of a police officer who retired with 20 or more years of service after January 1, 1977 shall be increased annually, following the first anniversary date of retirement and paid upon reaching at least the age 55, by 3% of the original pension and 3% compounded annually thereafter.

Village of Lake Zurich

Notes to Financial Statements
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Tier 2 - Covered employees attaining the age of 55 or more with 10 or more years of creditable service are entitled to receive a monthly pension of 2.5% of the final average salary for each year of creditable service. The salary is initially capped at \$106,800 but increases annually thereafter and is limited to 75% of final average salary. Employees with 10 or more years of creditable service may retire at or after age 50 and receive a reduced retirement benefit. The monthly pension of a police shall be increased annually on the January 1 occurring either on or after the attainment of age 60 or the first anniversary of the pension start date, whichever is later. Each annual increase shall be calculated at 3% or one-half the annual unadjusted percentage increase in the CPI, whichever is less.

Plan Membership

At December 31, 2023, the Police Pension membership consisted of:

Retirees and beneficiaries	32
Inactive, non-retired members	5
Active members	<u>32</u>
Total	<u><u>69</u></u>

Contributions

Covered employees are required to contribute 9.91% of their base salary to the Police Pension Plan. If an employee leaves covered employment with less than 20 years of service, accumulated employee contributions may be refunded without accumulated interest. The Village is required to contribute the remaining amounts necessary to finance the plans as actuarially determined by an enrolled actuary. Effective January 1, 2011 the Village's contributions must accumulate to the point where the past service cost for the Police Pension Plan is 90% funded by the year 2040. The Village's actuarially determined contribution rate for the fiscal year ending December 31, 2023 was 59.61% of annual covered payroll.

Net Pension Liability/(Asset)

The net pension liability/(asset) was measured as of December 31, 2023 and the total pension liability used to calculate the net pension liability/(asset) was determined by an annual actuarial valuation as of that date.

Summary of Significant Accounting Policies

The financial statements of the Police Pension Plan are prepared using the accrual basis of accounting. Plan member contributions are recognized in the period in which contributions are due. The Village's contributions are recognized when due and a formal commitment to provide the contributions are made. Benefits and refunds are recognized when due and payable in accordance with the terms of the plan.

Plan investments are reported at fair value. Short-term investments are reported at cost, which approximated fair value. Investments that do not have an established market are reported at estimated fair values.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Actuarial Assumptions

The total pension liability was determined by an actuarial valuation performed as of December 31, 2023 using the following actuarial methods and assumptions:

Actuarial cost method	Entry Age Normal
Asset valuation method	Market Value
Actuarial assumptions	
Interest rate	6.75%
Inflation	2.50%
Projected salary increases	2.50% - 12.00%
Cost-of-living adjustments	1.25% - 3.00%

Mortality rates for active lives, inactive lives, survivor lives and disabled lives were based on the PubS-2010 Employee Mortality, projected 5 years past the valuation date with Scale MP-2021. Ten percent of active deaths are assumed to be in the line of duty. The actuarial assumptions were based on the results of a 2023 experience study performed for the Illinois Police Officers' Pension Investment Fund.

Discount Rate

The discount rate used to measure the total pension liability for the Police Pension Plan was 6.75%, the same as the prior valuation. The projection of cash flows used to determine the discount rate assumed that member contributions will be made at the current contribution rate and that Village contributions will be made at rates equal to the difference between actuarially determined contribution rates and the member rate. Based on those assumptions, the Plan's fiduciary net position was projected to be available to make all projected future benefit payments of current plan members. Therefore, the long-term expected rate of return on Plan investments was applied to all periods of projected benefit payments to determine the total pension liability.

Discount Rate Sensitivity

The following is a sensitivity analysis of the net pension liability to changes in the discount rate. The table below presents the pension liability of the Village calculated using the discount rate of 6.75% as well as what the net pension liability would be if it were to be calculated using a discount rate that is 1-percentage-point lower (5.75%) or 1-percentage-point higher (7.75%) than the current rate:

	<u>1% Decrease</u>	<u>Current Discount Rate</u>	<u>1% Increase</u>
Total pension liability	\$ 67,616,205	\$ 59,051,484	\$ 52,077,208
Plan fiduciary net position	<u>32,669,655</u>	<u>32,669,655</u>	<u>32,669,655</u>
Net pension liability	<u>\$ 34,946,550</u>	<u>\$ 26,381,829</u>	<u>\$ 19,407,553</u>

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Changes in Net Pension Liability/(Asset)

The Village's changes in net pension liability/(asset) for the calendar year ended December 31, 2023 was as follows:

	Increase (Decrease)		
	Total Pension Liability	Plan Fiduciary Net Position	Net Pension Liability/Asset
	(a)	(b)	(a) - (b)
Balances at December 31, 2022	\$ 55,472,750	\$ 28,934,554	\$ 26,538,196
Service cost	761,904	-	761,904
Interest on total pension liability	3,702,781	-	3,702,781
Differences between expected and actual experience of the total pension liability	1,744,970	-	1,744,970
Benefit payments, including refunds of employee contributions	(2,757,285)	(2,757,285)	-
Contributions, employer	-	2,159,735	(2,159,735)
Contributions, employee	126,364	485,408	(359,044)
Net investment income	-	3,875,004	(3,875,004)
Administration	-	(27,761)	27,761
Balances at December 31, 2023	<u>\$ 59,051,484</u>	<u>\$ 32,669,655</u>	<u>\$ 26,381,829</u>

Plan fiduciary net position as a percentage of the total pension liability 55.32 %

Pension Expense and Deferred Outflows of Resources and Deferred Inflows of Resources Related to Pensions

For the year ended December 31, 2023, the Village recognized pension expense of \$2,800,435. The Village reported deferred outflows and inflows of resources related to pension from the following sources:

	Deferred Outflows of Resources	Deferred Inflows of Resources
Difference between expected and actual experience	\$ 2,109,410	\$ -
Assumption changes	72,018	-
Net difference between projected and actual earnings on pension plan investments	<u>1,902,505</u>	<u>-</u>
Total	<u>\$ 4,083,933</u>	<u>\$ -</u>

Village of Lake Zurich

Notes to Financial Statements
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The amounts reported as deferred outflows and inflows of resources related to pensions \$4,083,933 will be recognized in pension expense as follows:

<u>Year Ending December 31,</u>	<u>Amount</u>
2024	\$ 1,011,068
2025	1,426,400
2026	1,434,287
2027	(78,650)
2028	<u>290,828</u>
Total	<u>\$ 4,083,933</u>

Firefighters' Pension**Plan Description**

Fire sworn personnel are covered by the Firefighters' Pension Plan, which is a defined benefit single-employer pension plan. Although this is a single employer pension plan, the defined benefits and employee and employer contribution levels are governed by Illinois State Statutes (Chapter 40 ILCS 5/3) and may be amended only by the Illinois legislature. The Village accounts for the plan as a pension trust fund.

As provided for in the Illinois Compiled Statutes, the Firefighters' Pension Plan provides retirement benefits as well as death and disability benefits to employees grouped into two tiers. Tier 1 is for employees hired prior to January 1, 2011 and Tier 2 is for employees hired after that date. The following is a summary of the Firefighters' Pension Plan as provided for in Illinois Compiled Statutes.

Tier 1 - Covered employees attaining the age of 50 or more with 20 or more years of creditable service are entitled to receive a monthly retirement benefit of one half of the monthly salary attached to the rank held in the fire service at the date of retirement. The monthly pension shall be increased by one twelfth of 2.5% of such monthly salary for each additional month over 20 years of service through 30 years of service to a maximum of 75% of such monthly salary. Employees with at least 10 years but less than 20 years of credited service may retire at or after age 60 and receive a reduced retirement benefit. The monthly pension of a firefighter who retired with 20 or more years of service after January 1, 1977 shall be increased annually, following the first anniversary date of retirement and paid upon reaching at least the age 55, by 3% of the original pension and 3% compounded annually thereafter.

Tier 2 - Covered employees attaining the age of 55 or more with 10 or more years of creditable service are entitled to receive a monthly pension of 2.5% of the final average salary for each year of creditable service. The salary is initially capped at \$106,800 but increases annually thereafter and is limited to 75% of final average salary. Employees with 10 or more years of creditable service may retire at or after age 50 and receive a reduced retirement benefit. The monthly pension of a firefighter shall be increased annually on the January 1 occurring either on or after the attainment of age 60 or the first anniversary of the pension start date, whichever is later. Each annual increase shall be calculated at 3% or one-half the annual unadjusted percentage increase in the CPI, whichever is less.

Village of Lake Zurich

Notes to Financial Statements
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Plan Membership

At December 31, 2023, the Firefighters' Pension Plan membership consisted of:

Retirees and beneficiaries	41
Inactive, non-retired members	3
Active members	<u>51</u>
Total	<u><u>95</u></u>

Contributions

Participants contribute a fixed percentage of their base salary to the plans. At December 31, 2023, the contribution percentage was 9.455%. If a participant leaves covered employment with less than 20 years of service, accumulated participant contributions may be refunded without accumulated interest. The Village is required to contribute the remaining amounts necessary to finance the plans as actuarially determined by an enrolled actuary. Effective January 1, 2011 the Village's contributions must accumulate to the point where the past service cost for the Firefighters' Pension Plan is 90% funded by the year 2040. The Village's actuarially determined contribution rate for the fiscal year ending December 31, 2023 was 45.78% of annual covered payroll.

Net Pension Liability/(Asset)

The net pension liability/(asset) was measured as of December 31, 2023 and the total pension liability used to calculate the net pension liability/(asset) was determined by an annual actuarial valuation as of that date.

Summary of Significant Accounting Policies

The financial statements of the Firefighters' Pension Plan are prepared using the accrual basis of accounting. Plan member contributions are recognized in the period in which contributions are due. The Village's contributions are recognized when due and a formal commitment to provide the contributions are made. Benefits and refunds are recognized when due and payable in accordance with the terms of the plan.

Plan investments are reported at fair value. Short-term investments are reported at cost, which approximated fair value. Investments that do not have an established market are reported at estimated fair values.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Actuarial Assumptions

The total pension liability was determined by an actuarial valuation performed as of December 31, 2023 using the following actuarial methods and assumptions:

Actuarial cost method	Entry Age Normal
Asset valuation method	Market Value
Actuarial assumptions	
Interest rate	6.75%
Inflation	2.50%
Projected salary increases	2.50%-18.00%
Cost-of-living adjustments	1.25%-3.00%

Mortality rates for active lives, inactive lives, survivor lives and disabled lives were based on the PubS-2010 Employee Mortality, projected 5 years past the valuation date with Scale MP-2021. Twenty percent of active deaths are assumed to be in the line of duty. The actuarial assumptions were based on the results of a 2023 experience study performed for the Illinois Firefighters' Pension Investment Fund.

Discount Rate

The discount rate used to measure the total pension liability for the Firefighters' Pension Plan was 6.75%, the same as the prior valuation. The projection of cash flows used to determine the discount rate assumed that member contributions will be made at the current contribution rate and that Village contributions will be made at rates equal to the difference between actuarially determined contribution rates and the member rate. Based on those assumptions, the Plan's fiduciary net position was projected to be available to make all projected future benefit payments of current plan members. Therefore, the long-term expected rate of return on Plan investments was applied to all periods of projected benefit payments to determine the total pension liability.

Discount Rate Sensitivity

The following is a sensitivity analysis of the net pension liability to changes in the discount rate. The table below presents the pension liability of the Village calculated using the discount rate of 6.75% as well as what the net pension liability would be if it were to be calculated using a discount rate that is 1-percentage-point lower (5.75%) or 1-percentage-point higher (7.75%) than the current rate:

	<u>1% Decrease</u>	<u>Current Discount Rate</u>	<u>1% Increase</u>
Total pension liability	\$ 94,011,235	\$ 81,679,657	\$ 71,690,831
Plan fiduciary net position	<u>53,134,560</u>	<u>53,134,560</u>	<u>53,134,560</u>
Net pension liability	<u>\$ 40,876,675</u>	<u>\$ 28,545,097</u>	<u>\$ 18,556,271</u>

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Changes in Net Pension Liability/(Asset)

The Village's changes in net pension liability/(asset) for the calendar year ended December 31, 2023 was as follows:

	Increase (Decrease)		
	Total Pension Liability	Plan Fiduciary Net Position	Net Pension Liability/Asset
	(a)	(b)	(a) - (b)
Balances at December 31, 2022	\$ 74,631,209	\$ 46,001,018	\$ 28,630,191
Service cost	1,342,279	-	1,342,279
Interest on total pension liability	5,030,904	-	5,030,904
Differences between expected and actual experience of the total pension liability	3,557,365	-	3,557,365
Benefit payments, including refunds of employee contributions	(2,883,148)	(2,883,148)	-
Contributions, employer	-	2,533,314	(2,533,314)
Contributions, employee	-	523,162	(523,162)
Contributions, buy back	1,048	1,048	-
Net investment income	-	7,008,509	(7,008,509)
Administration	-	(49,343)	49,343
Balances at December 31, 2023	<u>\$ 81,679,657</u>	<u>\$ 53,134,560</u>	<u>\$ 28,545,097</u>

Plan fiduciary net position as a percentage of the total pension liability 65.05 %

Pension Expense and Deferred Outflows of Resources and Deferred Inflows of Resources Related to Pensions

For the year ended December 31, 2023, the Village recognized pension expense of \$3,040,395. The Village reported deferred outflows and inflows of resources related to pension from the following sources:

	Deferred Outflows of Resources	Deferred Inflows of Resources
Difference between expected and actual experience	\$ 3,724,352	\$ 414,540
Assumption changes	809,388	-
Net difference between projected and actual earnings on pension plan investments	<u>3,142,975</u>	<u>-</u>
Total	<u>\$ 7,676,715</u>	<u>\$ 414,540</u>

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

The amounts reported as deferred outflows and inflows of resources related to pensions
\$7,262,175 will be recognized in pension expense as follows:

<u>Year Ending December 31,</u>	<u>Amount</u>
2024	\$ 1,738,899
2025	2,032,196
2026	2,452,255
2027	(212,280)
2028	361,763
Thereafter	<u>889,342</u>
Total	<u>\$ 7,262,175</u>

Pension Segment Information**Fiduciary Net Position**

	Pension Trust		
	Police Pension	Firefighters' Pension	Total
Assets			
Cash and investments	\$ 10,081	\$ 10,066	\$ 20,147
Investments:			
Money markets	251,807	326,473	578,280
Insurance contracts	-	268,306	268,306
Illinois Police Officers' Pension Investment Fund	32,406,699	-	32,406,699
Illinois Firefighters' Pension Investment Fund	-	52,526,589	52,526,589
Prepaid items	<u>2,068</u>	<u>5,519</u>	<u>7,587</u>
Total assets	<u>32,670,655</u>	<u>53,136,953</u>	<u>85,807,608</u>
Liabilities			
Accounts payable	<u>1,000</u>	<u>2,393</u>	<u>3,393</u>
Total liabilities	<u>1,000</u>	<u>2,393</u>	<u>3,393</u>
Net Position			
Restricted for pension benefits	<u>\$ 32,669,655</u>	<u>\$ 53,134,560</u>	<u>\$ 85,804,215</u>

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Changes in Plan Net Position

	Pension Trust		
	Police Pension	Firefighters' Pension	Total
Additions			
Contributions:			
Employer	\$ 2,159,735	\$ 2,533,314	\$ 4,693,049
Employee	<u>485,408</u>	<u>524,210</u>	<u>1,009,618</u>
Total contributions	<u>2,645,143</u>	<u>3,057,524</u>	<u>5,702,667</u>
Investment income:			
Net appreciation in fair value of investments	3,709,612	6,199,891	9,909,503
Interest on investments	<u>214,169</u>	<u>867,212</u>	<u>1,081,381</u>
Total investment income	3,923,781	7,067,103	10,990,884
Less investment expense	<u>(48,777)</u>	<u>(58,591)</u>	<u>(107,368)</u>
Net investment income	<u>3,875,004</u>	<u>7,008,512</u>	<u>10,883,516</u>
Total additions	<u>6,520,147</u>	<u>10,066,036</u>	<u>16,586,183</u>
Deductions			
Pension payments and refunds	2,757,285	2,883,150	5,640,435
Administration	<u>27,761</u>	<u>49,344</u>	<u>77,105</u>
Total deductions	<u>2,785,046</u>	<u>2,932,494</u>	<u>5,717,540</u>
Change in net position	3,735,101	7,133,542	10,868,643
Net position, beginning	<u>28,934,554</u>	<u>46,001,018</u>	<u>74,935,572</u>
Net position, ending	<u>\$ 32,669,655</u>	<u>\$ 53,134,560</u>	<u>\$ 85,804,215</u>

Risk Management

The Village is exposed to various risks of loss related to torts; theft of, damage to or destruction of assets; errors and omissions; workers compensation; and health care of its employees. The Village participates in a public entity risk pool called to provide coverage for losses from (torts; theft of, damage to, or destruction of assets; errors and omission; workers compensation; and health care of its employees). However, other risks, such as (torts; theft of, damage to, or destruction of assets; errors and omission; workers compensation; and health care of its employees) are accounted for and financed by the Village in internal service funds - the self-insurance fund and the risk management fund.

Public Entity Risk Pool**IRMA**

The Village participates in the Intergovernmental Risk Management Agency (IRMA). IRMA is an organization of municipalities and special districts in Northeastern Illinois that have formed an association under the Illinois Intergovernmental Co-operations Statute to pool their risk management needs. The agency administers a mix of self-insurance and commercial insurance coverages; property/casualty and workers' compensation claim administration/litigation management services; unemployment claim administration; extensive risk management/loss control consulting and training programs; and a risk information system and financial reporting service for its members.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

The Village's payments to IRMA are displayed on the financial statements as expenditures/expenses in appropriate funds. Each member assumes the first \$2,500 of each occurrence and IRMA has a mix of self-insurance and commercial insurance at various amounts above that level.

Each member appoints one delegate, along with an alternate delegate, to represent the member on the Board of Directors. The Village does not exercise any control over the activities of IRMA beyond its representation on the Board of Directors.

Initial contributions are determined each year based on the individual member's eligible revenue as defined in the bylaws of IRMA and experience modification factors based on past member loss experience. Members have a contractual obligation to fund any deficit of IRMA attributable to any membership year during which they were a member. Supplemental contributions may be required to fund these deficits.

Intergovernmental Personnel Benefit Cooperative

The Village participates in the Intergovernmental Personnel Benefit Cooperative (IPBC). IPBC is a public entity risk pool established by certain units of local government in Illinois to administer some or all of the personnel benefit programs (primarily medical, dental and life insurance coverage) offered by these members to their officers and employees and to the officers and employees of certain other governmental, quasi governmental and nonprofit public service entities.

The IPBC receives, processes and pays such claims as they may come within the benefit program of each member. Management consists of a Board of Directors comprised of one appointed representative from each member. In addition, there are two officers: a Benefit Administrator and a Treasurer. The Village does not exercise any control over the activities of the IPBC beyond its representation on the Board of Directors.

Commitments and Contingencies

Claims and judgments are recorded as liabilities if all the conditions of Governmental Accounting Standards Board pronouncements are met. The liability and expenditure for claims and judgments are only reported in governmental funds if it has matured. Claims and judgments are recorded in the government-wide statements and proprietary funds as expenses when the related liabilities are incurred.

From time to time, the Village is party to various pending claims and legal proceedings. Although the outcome of such matters cannot be forecasted with certainty, it is the opinion of management and the Village attorney that the likelihood is remote that any such claims or proceedings will have a material adverse effect on the Village's financial position or results of operations.

Other Postemployment Benefits

Plan Description

The Village administers a single-employer defined contribution healthcare plan ("the Retiree Health Plan"). The benefits, benefit levels, employee contributions and employer contributions are governed by the Village and can be amended by the Village through its personnel manual and union contracts. No assets are accumulated in a trust that meets the criteria in paragraph 4 of Statement 75. The plan does not issue a separate report. The activity of the plan is reported in the Village's governmental and business-type activities.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Benefits Provided

The Village provides postemployment health care benefits to its retirees. To be eligible for benefits, an employee must qualify for retirement under one of the Village's retirement plans. Elected officials are eligible for benefits if they qualify for retirement through the Illinois Municipal Retirement Fund.

All health care benefits are provided through the Village's health insurance plan. The benefit levels are the same as those afforded to active employees. Benefits include general inpatient and outpatient medical services; mental, nervous and substance abuse care; vision care; dental care; and prescriptions. Upon a retiree reaching 65 years of age, Medicare becomes the primary insurer and the Village's plan becomes secondary. All retirees contribute 100% of the actuarially determined premium to the plan. Active employees do not contribute to the plan until retirement.

Employees Covered by Benefit Terms

At December 31, 2023, the following employees were covered by the benefit terms:

Inactive plan members or beneficiaries currently receiving benefit payments	21
Active plan members	150
Total	171

Total OPEB Liability

The Village's total OPEB liability of \$2,846,053 was measured as of December 31, 2023 and was determined by an actuarial valuation as of that date.

Actuarial Assumptions and Other Inputs

The total OPEB liability in the December 31, 2023 actuarial valuation was determined using the following actuarial assumptions and other inputs, applied to all periods included in the measurement, unless otherwise specified:

Inflation	3.00%
Salary increases	4.00%
Healthcare cost trend rates	HMO Plan 5.50%; PPO Plan and HDHP 6.00%
Retirees' share of benefit-related costs	100%

The discount rate was based on the index rate for 20-year, tax-exempt general obligation municipal bonds with an average rating of AA/Aa or higher (or equivalent quality on another rating scale).

Mortality rates were based on the PubG.H-2010(B) Blue Collar Mortality projected to the valuation date with Scale MP-2020.

The actuarial assumptions used in the December 31, 2023 valuation were based on the results of an actuarial experience study for the period 1/1/2022 - 12/31/2022.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

Changes in the Total OPEB Liability

	<u>Total OPEB Liability</u>
Balances at December 31, 2022	\$ 2,846,689
Changes for the year:	
Service cost	53,741
Interest	117,515
Changes in assumptions or other inputs	68,358
Benefit payments	<u>(240,250)</u>
Net changes	<u>(636)</u>
Balances at December 31, 2023	<u><u>\$ 2,846,053</u></u>

Changes of assumptions and other inputs reflect a change in the discount rate from 4.31% in 2022 to 4.00% in 2023.

Sensitivity of the Total OPEB Liability to Changes in the Discount Rate

The following presents the total OPEB liability of the Village, as well as what the Village's total OPEB liability would be if it were calculated using a discount rate that is 1-percentage-point lower or 1-percentage-point higher than the current discount rate:

	<u>1% Decrease</u>	<u>Discount Rate</u>	<u>1% Increase</u>
Total OPEB liability	\$ 3,088,564	\$ 2,846,053	\$ 2,635,609

Sensitivity of the Total OPEB Liability to Changes in the Healthcare Cost Trend Rates

The following presents the total OPEB liability of the Village, as well as what the Village's total OPEB liability would be if it were calculated using healthcare cost trend rates that are 1-percentage-point lower or 1-percentage-point higher than the current healthcare cost trend rates:

	<u>1% Decrease</u>	<u>Healthcare Cost Trend Rates</u>	<u>1% Increase</u>
Total OPEB liability	\$ 2,605,176	\$ 2,846,053	\$ 3,128,873

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

OPEB Expense and Deferred Outflows of Resources and Deferred Inflows of Resources Related to OPEB

For the year ended December 31, 2023, the Village recognized negative OPEB expense of \$114,753. At December 31, 2023, the Village reported deferred outflows of resources and deferred inflows of resources related to OPEB from the following sources:

	<u>Deferred Outflows of Resources</u>	<u>Deferred Inflows of Resources</u>
Differences between expected and actual experience	\$ -	\$ 305,943
Changes of assumptions or other inputs	<u>593,240</u>	<u>597,952</u>
Total	<u>\$ 593,240</u>	<u>\$ 903,895</u>

Amounts reported as deferred outflows of resources and deferred inflows of resources related to OPEB will be recognized in OPEB expense as follows:

<u>Year Ended December 31:</u>	<u>Amount</u>
2024	\$ (56,503)
2025	(56,503)
2026	(56,503)
2027	(32,146)
2028	(38,273)
Thereafter	<u>(70,727)</u>
Total	<u>\$ (310,655)</u>

Tax Increment Financing District

The Village of Lake Zurich has established several Tax Increment Redevelopment Project Areas (RPA's) to encourage redevelopment of certain sites for more market oriented commercial uses of the properties that will enhance their value and improve their contributions to the Village and its surrounding areas. As part of the redevelopment plans, the Village has made significant improvements to utilities, public parking, intersections and traffic signalization, streets and landscaping. The redevelopment plans also include site preparation, land acquisition and assembly and demolition/clearance.

Construction and development in the RPA's were the responsibility of developers and are substantially complete. To entice development of the areas, the Village created tax increment financing (TIF) districts to finance public improvements made within the RPA's.

Several funds have been established to record the revenues generated in the RPA's that relate directly to servicing the debt issued to make public improvements in the RPA's.

Tax Abatement

Tax abatements are a reduction in tax revenues that results from an agreement between one or more governments and an individual or entity in which (a) one or more governments promise to forgo tax revenues to which they are otherwise entitled and (b) the individual or entity promises to take a specific action after the agreement has been entered into that contributes to economic development or otherwise benefits the governments or the citizens of those governments.

Village of Lake Zurich

Notes to Financial Statements
December 31, 2023

The Village rebates sales tax in order to recruit, retain, or improve local business facilities or their supporting public infrastructure under certain circumstances. The terms of these rebate arrangements are specified within written agreements with the business and governmental entities concerned.

The Village has entered into economic incentive agreements with one commercial entity, as well as with two other government agencies, whereby the Village has agreed to rebate a portion of sales taxes generated by particular businesses to each entity. Each agreement for rebate with the commercial entities is limited to a specified time period and are limited to sales taxes generated by the commercial entity. The commercial rebates are paid monthly or quarterly, depending on specific terms, with the agreements expiring between 10 and 30 years after commencement. The agreements with the government agencies exist in perpetuity based on an intergovernmental agreement to rebate portions of sales taxes generated by any businesses on particular properties. These payments are made monthly in accordance with the agreements.

As of December 31, 2023, the Village has an accrued rebate liability of \$144,843 for amounts collected by the state but not yet paid to the Village and/or due to the other entities. Of this amount, \$74,911 is due to commercial entities and \$69,931 to governmental entities. For the fiscal year-to-date, the Village recorded \$400,279 in payment across all sales tax rebate agreements.

Effect of New Accounting Standards on Current-Period Financial Statements

The Governmental Accounting Standards Board (GASB) has approved the following:

- Statement No. 100, *Accounting Changes and Error Corrections an amendment of GASB Statement No. 62*
- Statement No. 101, *Compensated Absences*
- Statement No. 102, *Certain Risk Disclosures*
- Statement No. 103, *Financial Reporting Model Improvements*

When they become effective, application of these standards may restate portions of these financial statements.

REQUIRED SUPPLEMENTARY INFORMATION

Village of Lake Zurich**General Fund****Schedule of Revenues, Expenditures and Changes in Fund Balance - Budget and Actual
December 31, 2023**

	Original Budget	Final Budget	Actual
Revenues			
Taxes	\$ 10,822,429	\$ 10,988,558	\$ 10,944,614
Licenses and permits	857,050	888,699	833,894
Intergovernmental	18,689,595	21,823,811	22,154,566
Charges for services	2,370,022	2,639,281	2,441,868
Fines, forfeitures and penalties	430,300	430,300	420,642
Investment income	200,000	635,000	767,026
Miscellaneous revenues	154,396	238,744	247,936
Total revenues	33,523,792	37,644,393	37,810,546
Expenditures			
General government	2,119,772	2,117,334	1,992,187
Public safety	23,268,246	22,928,834	22,815,372
Highways and streets	4,399,699	4,245,161	4,186,916
Culture and recreation	1,229,651	1,209,695	1,197,619
Economic development	528,072	536,196	490,551
Total expenditures	31,545,440	31,037,220	30,682,645
Excess (deficiency) of revenues over expenditures	1,978,352	6,607,173	7,127,901
Other Financing Sources (Uses)			
Proceeds from sale of capital assets	10,000	55,631	55,632
Transfers out	(1,980,413)	(6,630,413)	(6,630,413)
Total other financing sources (uses)	(1,970,413)	(6,574,782)	(6,574,781)
Net change in fund balances	\$ 7,939	\$ 32,391	553,120
Fund Balance, Beginning			13,951,505
Fund Balance, Ending			\$ 14,504,625

See notes to required supplementary information

Village of Lake Zurich

Schedule of Revenues, Expenditures and Changes
in Fund Balance - Budget and Actual - TIF Tax Allocation
For the Year Ended December 31, 2023

	Budgeted Amounts		
	Original	Final	Actual
Revenues			
Taxes			
Property taxes	\$ 1,414,000	\$ 1,414,000	\$ 1,534,947
Investment income	<u>3,500</u>	<u>3,500</u>	<u>34,986</u>
Total revenues	<u>1,417,500</u>	<u>1,417,500</u>	<u>1,569,933</u>
Expenditures			
Economic development	<u>563,494</u>	<u>563,494</u>	<u>571,388</u>
Total expenditures	<u>563,494</u>	<u>563,494</u>	<u>571,388</u>
Excess (deficiency) of revenues over (under) expenditures	<u>854,006</u>	<u>854,006</u>	<u>998,545</u>
Other Financing Sources (Uses)			
Transfers out	<u>(845,000)</u>	<u>(845,000)</u>	<u>(845,000)</u>
Total other financing sources (uses)	<u>(845,000)</u>	<u>(845,000)</u>	<u>(845,000)</u>
Net change in fund balance	<u>\$ 9,006</u>	<u>\$ 9,006</u>	153,545
Fund Balance, Beginning			<u>74,160</u>
Fund Balance, Ending			<u>\$ 227,705</u>

See notes to required supplementary information

Village of Lake Zurich

Schedule of Revenues, Expenditures and Changes
in Fund Balance - Budget and Actual - Downtown TIF #2
For the Year Ended December 31, 2023

	Budgeted Amounts		Actual
	Original	Final	
Revenues			
Taxes			
Property taxes	\$ 330,000	\$ 330,000	\$ 366,212
Investment income	2,000	2,000	117,034
Miscellaneous revenues	<u>30,900</u>	<u>30,900</u>	<u>46,732</u>
Total revenues	<u>362,900</u>	<u>362,900</u>	<u>529,978</u>
Expenditures			
Economic development	<u>6,451,440</u>	<u>6,451,440</u>	<u>3,778,486</u>
Total expenditures	<u>6,451,440</u>	<u>6,451,440</u>	<u>3,778,486</u>
Net change in fund balance	<u>\$ (6,088,540)</u>	<u>\$ (6,088,540)</u>	(3,248,508)
Fund Balance, Beginning			<u>3,082,073</u>
Fund Balance (Deficit), Ending			<u>\$ (166,435)</u>

See notes to required supplementary information

Village of Lake Zurich

Illinois Municipal Retirement Fund

Schedule of Changes in the Village's Net Pension Liability/(Asset) and Related Ratios

Last Nine Fiscal Years

	2015	2016	2017	2018
Total Pension Liability				
Service cost	\$ 551,596	\$ 512,260	\$ 515,984	\$ 497,479
Interest	2,268,919	2,351,795	2,437,948	2,457,376
Differences between expected and actual experience	(359,277)	(340,738)	(97,822)	427,124
Changes of assumptions	41,608	(83,331)	(1,056,112)	1,054,884
Benefit payments, including refunds of member contributions	(1,369,411)	(1,300,032)	(1,453,935)	(1,609,460)
Net change in total pension liability	1,133,435	1,139,954	346,063	2,827,403
Total Pension Liability, Beginning	<u>30,701,554</u>	<u>31,834,989</u>	<u>32,974,943</u>	<u>33,321,006</u>
Total Pension Liability, Ending (a)	<u>\$ 31,834,989</u>	<u>\$ 32,974,943</u>	<u>\$ 33,321,006</u>	<u>\$ 36,148,409</u>
Plan Fiduciary Net Position				
Employer contributions	\$ 653,377	\$ 628,101	\$ 619,482	\$ 631,725
Employee contributions	231,267	233,460	232,112	242,143
Net investment income	136,524	1,863,659	4,957,532	(1,685,438)
Benefit payments, including refunds of member contributions	(1,369,411)	(1,300,032)	(1,453,935)	(1,609,460)
Other (net transfer)	(27,440)	(27,607)	(506,291)	705,340
Net change in plan fiduciary net position	(375,683)	1,397,581	3,848,900	(1,715,690)
Plan Fiduciary Net Position, Beginning	<u>27,547,190</u>	<u>27,171,507</u>	<u>28,569,088</u>	<u>32,417,988</u>
Plan Fiduciary Net Position, Ending (b)	<u>\$ 27,171,507</u>	<u>\$ 28,569,088</u>	<u>\$ 32,417,988</u>	<u>\$ 30,702,298</u>
Employer's Net Pension Liability/(Asset), Ending (a) - (b)	<u>\$ 4,663,482</u>	<u>\$ 4,405,855</u>	<u>\$ 903,018</u>	<u>\$ 5,446,111</u>
Plan Fiduciary Net Position as a Percentage of the Total Pension Liability	85.4%	86.6%	97.3%	84.9%
Covered Payroll	\$ 5,139,246	\$ 4,934,022	\$ 5,158,053	\$ 5,380,953
Employer's Net Pension Liability/(Asset) as a Percentage of Covered Payroll	90.7%	89.3%	17.5%	101.2%

Notes to Schedule:

The Village implemented GASB Statement No. 68 in fiscal year 2015. Information prior to fiscal year 2015 is not available.

See notes to required supplementary information

2019	2020	2021	2022	2023
\$ 531,265	\$ 508,696	\$ 491,209	\$ 515,682	\$ 529,647
2,580,817	2,665,200	2,730,469	2,873,570	2,939,176
(282,902)	(144,446)	620,977	(509,819)	373,633
-	(400,862)	-	-	(26,467)
(1,633,136)	(1,674,835)	(1,764,329)	(1,997,861)	(1,965,136)
1,196,044	953,753	2,078,326	881,572	1,850,853
36,148,409	37,344,453	38,298,206	40,376,532	41,258,104
<u>\$ 37,344,453</u>	<u>\$ 38,298,206</u>	<u>\$ 40,376,532</u>	<u>\$ 41,258,104</u>	<u>\$ 43,108,957</u>
\$ 504,915	\$ 612,352	\$ 616,348	\$ 482,725	\$ 397,866
242,490	241,702	257,450	298,646	283,740
5,705,253	5,045,039	6,580,211	(5,455,580)	4,183,491
(1,633,136)	(1,674,835)	(1,764,329)	(1,997,861)	(1,965,136)
(37,476)	(49,907)	103,052	(344,532)	682,954
4,782,046	4,174,351	5,792,732	(7,016,602)	3,582,915
30,702,298	35,484,344	39,658,695	45,451,427	38,434,825
<u>\$ 35,484,344</u>	<u>\$ 39,658,695</u>	<u>\$ 45,451,427</u>	<u>\$ 38,434,825</u>	<u>\$ 42,017,740</u>
<u>\$ 1,860,109</u>	<u>\$ (1,360,489)</u>	<u>\$ (5,074,895)</u>	<u>\$ 2,823,279</u>	<u>\$ 1,091,217</u>
95.0%	103.6%	112.6%	93.2%	97.5%
\$ 5,388,637	\$ 5,366,812	\$ 5,603,154	\$ 5,844,133	\$ 6,305,332
34.5%	-25.4%	-90.6%	48.3%	17.3%

See notes to required supplementary information

Village of Lake Zurich

Illinois Municipal Retirement Fund
Schedule of Employer Contributions
Last Nine Fiscal Years

	April 30, 2016	December 31, 2016	December 31, 2017	December 31, 2018
Actuarially determined contribution	\$ 613,312	\$ 431,173	\$ 619,482	\$ 631,724
Contributions in relation to the actuarially determined contribution	(613,312)	(431,173)	(619,482)	(631,725)
Contribution deficiency (excess)	\$ -	\$ -	\$ -	\$ (1)
Covered payroll	\$ 5,139,246	\$ 3,387,062	\$ 5,158,053	\$ 5,380,953
Contributions as a percentage of covered payroll	11.93%	12.73%	12.01%	11.74%

The Village changed its fiscal year end from April 30 to December 31 for the period December 31, 2016.

Notes to Schedule:

The Village implemented GASB Statement No. 68 in fiscal year 2015. Information prior to fiscal year 2015 is not available.

Valuation date:

Actuarially determined contribution rates are calculated as of December 31.

Methods and assumptions used to determine contribution rates:

Actuarial cost method	Aggregate Entry age normal
Amortization method	Level percentage of payroll, closed
Remaining amortization period	20 years
Asset valuation method	5-Year Smoothed Market
Inflation	2.25%
Salary increases	2.75% to 13.75% including inflation
Investment rate of return	7.25%
Retirement Age	Experience-based table of rates that are specific to the type of eligibility condition
Mortality	Pub-2010

Other information:

There were no benefit changes during the year.

See notes to required supplementary information

<u>December 31, 2019</u>	<u>December 31, 2020</u>	<u>December 31, 2021</u>	<u>December 31, 2022</u>	<u>December 31, 2023</u>
\$ 504,915	\$ 612,353	\$ 616,347	\$ 482,725	\$ 397,866
<u>(504,915)</u>	<u>(612,352)</u>	<u>(616,348)</u>	<u>(482,725)</u>	<u>(397,866)</u>
<u>\$ -</u>	<u>\$ 1</u>	<u>\$ (1)</u>	<u>\$ -</u>	<u>\$ -</u>
\$ 5,388,637	\$ 5,366,812	\$ 5,603,154	\$ 5,844,133	\$ 6,305,332
9.37%	11.41%	11.00%	8.26%	6.31%

See notes to required supplementary information

Village of Lake Zurich

Police Pension Fund
Schedule of Changes in the Village's Net Pension Liability and Related Ratios
Last Ten Fiscal Years

	<u>April 30, 2015</u>	<u>April 30, 2016</u>	<u>December 31, 2016*</u>	<u>December 31, 2017</u>
Total Pension Liability				
Service cost	\$ 677,265	\$ 618,479	\$ 404,047	\$ 718,675
Interest	2,218,436	2,554,948	1,926,743	2,795,706
Change in benefit terms	-	-	-	-
Differences between expected and actual experience	500,612	(28,659)	(2,808,702)	985,053
Changes of assumptions	2,735,157	2,501,228	-	(1,168,984)
Buy back contributions	-	-	-	-
Benefit payments, including refunds of member contributions	<u>(1,024,394)</u>	<u>(1,267,820)</u>	<u>(901,384)</u>	<u>(1,569,353)</u>
Net change in total pension liability	5,107,076	4,378,176	(1,379,296)	1,761,097
Total Pension Liability, Beginning	<u>33,377,915</u>	<u>38,484,991</u>	<u>42,863,167</u>	<u>41,483,871</u>
Total Pension Liability, Ending (a)	<u>\$ 38,484,991</u>	<u>\$ 42,863,167</u>	<u>\$ 41,483,871</u>	<u>\$ 43,244,968</u>
Plan Fiduciary Net Position				
Employer contributions	\$ 1,398,130	\$ 1,445,052	\$ 1,564,453	\$ 1,772,589
Employee contributions	301,323	302,885	218,169	304,715
Buy back contributions	-	-	-	-
Net investment income	1,301,083	127,632	869,361	2,535,432
Benefit payments, including refunds of member contributions	(1,024,394)	(1,267,820)	(901,384)	(1,569,353)
Administration	<u>(28,758)</u>	<u>(31,815)</u>	<u>(25,420)</u>	<u>(26,555)</u>
Net change in plan fiduciary net position	1,947,384	575,934	1,725,179	3,016,828
Plan Fiduciary Net Position, Beginning	<u>15,409,473</u>	<u>17,356,857</u>	<u>17,932,791</u>	<u>19,657,970</u>
Plan Fiduciary Net Position, Ending (b)	<u>\$ 17,356,857</u>	<u>\$ 17,932,791</u>	<u>\$ 19,657,970</u>	<u>\$ 22,674,798</u>
Village's Net Pension Liability, Ending (a) - (b)	<u>\$ 21,128,134</u>	<u>\$ 24,930,376</u>	<u>\$ 21,825,901</u>	<u>\$ 20,570,170</u>
Plan Fiduciary Net Position as a Percentage of the Total Pension Liability	45.10%	41.84%	47.39%	52.43%
Covered Payroll	\$ 3,053,408	\$ 3,109,454	\$ 3,101,474	\$ 3,055,082
Village's Net Pension Liability as a Percentage of Covered Payroll	691.95%	801.76%	703.73%	673.31%

*The Village changed its fiscal year end from April 30 to December 31 for the period December 31, 2016.

See notes to required supplementary information

December 31, 2018	December 31, 2019	December 31, 2020	December 31, 2021	December 31, 2022	December 31, 2023
\$ 635,929	\$ 665,520	\$ 715,413	\$ 634,170	\$ 704,024	\$ 761,904
2,901,439	3,088,283	3,216,586	3,445,778	3,577,348	3,702,781
-	48,258	-	-	-	-
190,986	24,101	1,752,846	7,132	95,107	1,744,970
828,894	-	-	144,038	-	-
-	730	-	-	-	126,364
(1,793,230)	(1,844,332)	(2,107,676)	(2,308,656)	(2,394,906)	(2,757,285)
2,764,018	1,982,560	3,577,169	1,922,462	1,981,573	3,578,734
43,244,968	46,008,986	47,991,546	51,568,715	53,491,177	55,472,750
<u>\$ 46,008,986</u>	<u>\$ 47,991,546</u>	<u>\$ 51,568,715</u>	<u>\$ 53,491,177</u>	<u>\$ 55,472,750</u>	<u>\$ 59,051,484</u>
\$ 1,820,234	\$ 1,801,045	\$ 1,865,631	\$ 2,020,139	\$ 2,099,955	\$ 2,159,735
373,412	321,876	471,811	333,942	336,158	359,043
-	730	-	-	-	126,364
(1,069,397)	4,188,319	3,885,940	3,558,796	(5,139,056)	3,875,004
(1,793,230)	(1,844,332)	(2,107,676)	(2,308,656)	(2,394,906)	(2,757,285)
(34,947)	(31,117)	(31,350)	(31,659)	(31,906)	(27,760)
(703,928)	4,436,521	4,084,356	3,572,562	(5,129,755)	3,735,101
22,674,798	21,970,870	26,407,391	30,491,747	34,064,309	28,934,554
<u>\$ 21,970,870</u>	<u>\$ 26,407,391</u>	<u>\$ 30,491,747</u>	<u>\$ 34,064,309</u>	<u>\$ 28,934,554</u>	<u>\$ 32,669,655</u>
<u>\$ 24,038,116</u>	<u>\$ 21,584,155</u>	<u>\$ 21,076,968</u>	<u>\$ 19,426,868</u>	<u>\$ 26,538,196</u>	<u>\$ 26,381,829</u>
47.75%	55.03%	59.13%	63.68%	52.16%	55.32%
\$ 3,081,455	\$ 3,354,032	\$ 3,137,746	\$ 3,323,824	\$ 3,392,109	\$ 3,623,037
780.09%	643.53%	671.72%	584.47%	782.35%	728.17%

See notes to required supplementary information

Village of Lake Zurich

Police Pension Fund
 Schedule of Employer Contributions
 Last Ten Fiscal Years

	<u>April 30, 2015</u>	<u>April 30, 2016</u>	<u>December 31, 2016*</u>	<u>December 31, 2017</u>
Actuarially determined contribution	\$ 1,392,968	\$ 1,402,842	\$ 1,564,453	\$ 1,790,395
Contributions in relation to the actuarially determined contribution	<u>1,395,130</u>	<u>1,445,052</u>	<u>1,564,453</u>	<u>1,772,589</u>
Contribution deficiency (excess)	<u>\$ (2,162)</u>	<u>\$ (42,210)</u>	<u>\$ -</u>	<u>\$ 17,806</u>
Covered payroll	\$ 3,053,408	\$ 3,109,454	\$ 3,101,474	\$ 3,055,082
Contributions as a percentage of covered payroll	45.69%	46.47%	50.44%	58.02%

* The Village changed its fiscal year end from April 30 to December 31 for the period December 31, 2016.

Notes to Schedule:

1) Valuation date: Actuarially determined contributions are calculated as of December 31 of the current fiscal year.

2) Methods and assumptions used to determine contribution rates:

Actuarial cost method	Entry age normal
Amortization method	Level percentage of payroll, closed
Remaining amortization period	17 years
Asset valuation method	5 year smoothed market
Inflation	2.50%
Salary increases	2.50% to 12.00% per year
Investment rate of return	6.75%
Retirement age	50-70
Mortality	Healthy - PubS-2010 Healthy Mortality Table, with generational improvement Scale MP-2021
	Disabled - PubS-2010 Disabled Mortality Table, with generational improvement scale MP-2021

See notes to required supplementary information

<u>December 31, 2018</u>	<u>December 31, 2019</u>	<u>December 31, 2020</u>	<u>December 31, 2021</u>	<u>December 31, 2022</u>	<u>December 31, 2023</u>
\$ 1,799,590	\$ 1,750,667	\$ 1,924,555	\$ 2,006,032	\$ 2,067,695	\$ 2,142,608
<u>1,820,234</u>	<u>1,801,045</u>	<u>1,865,631</u>	<u>2,020,139</u>	<u>2,099,955</u>	<u>2,159,735</u>
<u>\$ (20,644)</u>	<u>\$ (50,378)</u>	<u>\$ 58,924</u>	<u>\$ (14,107)</u>	<u>\$ (32,260)</u>	<u>\$ (17,127)</u>
\$ 3,081,445	\$ 3,354,032	\$ 3,137,746	\$ 3,323,824	\$ 3,392,109	\$ 3,623,037
59.07%	53.70%	59.46%	60.78%	61.91%	59.61%

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See notes to required supplementary information

Village of Lake Zurich

Police Pension Fund
 Schedule of Investment Returns
 Last Ten Fiscal Years

	<u>April 30, 2015</u>	<u>April 30, 2016</u>	<u>December 31, 2016*</u>	<u>December 31, 2017</u>
Annual money-weighted rate of return, net of investment expense	8.08%	0.72%	4.73%	12.80%

* The Village changed its fiscal year end from April 30 to December 31 for the period December 31, 2016.

See notes to required supplementary information

<u>December 31, 2018</u>	<u>December 31, 2019</u>	<u>December 31, 2020</u>	<u>December 31, 2021</u>	<u>December 31, 2022</u>	<u>December 31, 2023</u>
-4.71%	19.10%	14.78%	11.70%	-15.08%	13.42%

See notes to required supplementary information

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Village of Lake Zurich

Firefighters' Pension Fund
Schedule of Changes in the Village's Net Pension Liability and Related Ratios
Last Ten Fiscal Years

	April 30, 2015	April 30, 2016	December 31, 2016	December 31, 2017
Total Pension Liability				
Service cost	\$ 1,134,464	\$ 1,149,541	\$ 751,025	\$ 1,421,674
Interest	2,701,567	2,980,213	2,314,004	3,442,447
Change in benefit terms	-	-	-	-
Differences between expected and actual experience	(173,195)	305,055	(3,347,579)	1,116,190
Changes of assumptions	1,221,986	2,811,180	-	(2,288,858)
Buy back contributions	-	-	-	-
Benefit payments, including refunds of member contributions	(611,825)	(901,657)	(550,340)	(1,072,050)
Net change in total pension liability	4,272,997	6,344,332	(832,890)	2,619,403
Total Pension Liability, Beginning	40,329,133	44,602,130	50,946,462	50,113,572
Total Pension Liability, Ending (a)	\$ 44,602,130	\$ 50,946,462	\$ 50,113,572	\$ 52,732,975
Plan Fiduciary Net Position				
Employer contributions	\$ 1,904,487	\$ 1,905,569	\$ 1,911,342	\$ 2,176,385
Employee contributions	457,701	478,570	328,920	562,401
Buy back contributions	-	-	-	-
Net investment income	1,562,177	(320,256)	750,015	3,723,725
Benefit payments, including refunds of member contributions	(611,825)	(901,657)	(550,340)	(1,072,050)
Administration	(54,703)	(61,615)	(63,270)	(84,741)
Net change in plan fiduciary net position	3,257,837	1,100,611	2,376,667	5,305,720
Plan Fiduciary Net Position, Beginning	22,304,144	25,561,981	26,662,592	29,039,259
Plan Fiduciary Net Position, Ending (b)	\$ 25,561,981	\$ 26,662,592	\$ 29,039,259	\$ 34,344,979
Village's Net Pension Liability, Ending (a) - (b)	\$ 19,040,149	\$ 24,283,870	\$ 21,074,313	\$ 18,387,996
Plan Fiduciary Net Position as a Percentage of the Total Pension Liability	57.31%	52.33%	57.95%	65.13%
Covered Payroll	\$ 5,140,563	\$ 5,130,269	\$ 5,322,548	\$ 5,208,600
Village's Net Pension Liability as a Percentage of Covered Payroll	370.39%	473.34%	395.94%	353.03%

See notes to required supplementary information

December 31, 2018	December 31, 2019	December 31, 2020	December 31, 2021	December 31, 2022	December 31, 2023
\$ 1,281,368	\$ 1,290,345	\$ 1,325,498	\$ 1,288,974	\$ 1,282,692	\$ 1,342,279
3,600,377	3,986,763	4,243,326	4,499,505	4,830,601	5,030,904
-	121,794	-	-	-	-
1,482,142	302,107	362,654	276,813	(580,359)	3,557,365
1,010,548	-	-	1,163,791	-	-
-	-	-	14,026	-	1,048
<u>(1,350,851)</u>	<u>(1,967,507)</u>	<u>(1,902,974)</u>	<u>(2,296,421)</u>	<u>(2,366,978)</u>	<u>(2,883,148)</u>
6,023,584	3,733,502	4,028,504	4,946,688	3,165,956	7,048,448
<u>52,732,975</u>	<u>58,756,559</u>	<u>62,490,061</u>	<u>66,518,565</u>	<u>71,465,253</u>	<u>74,631,209</u>
<u>\$ 58,756,559</u>	<u>\$ 62,490,061</u>	<u>\$ 66,518,565</u>	<u>\$ 71,465,253</u>	<u>\$ 74,631,209</u>	<u>\$ 81,679,657</u>
\$ 2,304,265	\$ 2,290,246	\$ 2,300,705	\$ 2,498,348	\$ 2,531,073	\$ 2,533,314
492,620	498,580	508,641	502,853	518,642	523,162
-	-	-	14,026	-	1,048
(1,554,258)	6,547,762	6,077,296	5,607,760	(9,349,166)	7,008,509
<u>(1,350,851)</u>	<u>(1,967,507)</u>	<u>(1,902,974)</u>	<u>(2,296,421)</u>	<u>(2,366,978)</u>	<u>(2,883,148)</u>
<u>(52,151)</u>	<u>(45,936)</u>	<u>(60,646)</u>	<u>(49,244)</u>	<u>(40,646)</u>	<u>(49,343)</u>
(160,375)	7,323,145	6,923,022	6,277,322	(8,707,075)	7,133,542
<u>34,344,979</u>	<u>34,184,604</u>	<u>41,507,749</u>	<u>48,430,771</u>	<u>54,708,093</u>	<u>46,001,018</u>
<u>\$ 34,184,604</u>	<u>\$ 41,507,749</u>	<u>\$ 48,430,771</u>	<u>\$ 54,708,093</u>	<u>\$ 46,001,018</u>	<u>\$ 53,134,560</u>
<u>\$ 24,571,955</u>	<u>\$ 20,982,312</u>	<u>\$ 18,087,794</u>	<u>\$ 16,757,160</u>	<u>\$ 28,630,191</u>	<u>\$ 28,545,097</u>
58.18%	66.42%	72.81%	76.55%	61.64%	65.05%
\$ 5,214,441	\$ 5,324,271	\$ 5,338,995	\$ 5,270,025	\$ 5,485,373	\$ 5,533,178
471.23%	394.09%	338.79%	317.97%	521.94%	515.89%

See notes to required supplementary information

Village of Lake Zurich

Firefighters' Pension Fund
Schedule of Employer Contributions
Last Ten Fiscal Years

	<u>April 30, 2015</u>	<u>April 30, 2016</u>	<u>December 31, 2016*</u>	<u>December 31, 2017</u>
Actuarially determined contribution	\$ 1,905,372	\$ 1,815,433	\$ 1,911,342	\$ 2,198,557
Contributions in relation to the actuarially determined contribution	<u>1,931,966</u>	<u>1,905,569</u>	<u>1,911,342</u>	<u>2,176,385</u>
Contribution deficiency (excess)	<u>\$ (26,594)</u>	<u>\$ (90,136)</u>	<u>\$ -</u>	<u>\$ 22,172</u>
Covered payroll	\$ 5,140,563	\$ 5,130,269	\$ 5,322,548	\$ 5,208,600
Contributions as a percentage of covered payroll	37.58%	37.14%	35.91%	41.78%

* The Village changed its fiscal year end from April 30 to December 31 for the period December 31, 2016.

Notes to Schedule:

1) Valuation date: Actuarially determined contributions are calculated as of December 31 of the current fiscal year.

2) Methods and assumptions used to determine contribution rates:

Actuarial cost method	Entry age normal
Amortization method	Level percentage of payroll, closed
Remaining amortization period	17 years
Asset valuation method	5 year smoothed market
Inflation	2.50%
Salary increases	2.50% to 18.00% per year
Investment rate of return	6.75%
Retirement age	50-70
Mortality	Healthy - PubS-2010 Healthy Mortality Table, with generational improvement Scale MP-2021
	Disabled - PubS-2010 Disabled Mortality Table, with generational improvement scale MP-2021

See notes to required supplementary information

<u>December 31, 2018</u>	<u>December 31, 2019</u>	<u>December 31, 2020</u>	<u>December 31, 2021</u>	<u>December 31, 2022</u>	<u>December 31, 2023</u>
\$ 2,278,591	\$ 2,153,131	\$ 2,373,133	\$ 2,491,121	\$ 2,485,816	\$ 2,512,418
<u>2,304,265</u>	<u>2,290,246</u>	<u>2,300,705</u>	<u>2,498,348</u>	<u>2,531,073</u>	<u>2,533,314</u>
<u>\$ (25,674)</u>	<u>\$ (137,115)</u>	<u>\$ 72,428</u>	<u>\$ (7,227)</u>	<u>\$ (45,257)</u>	<u>\$ (20,896)</u>
\$ 5,214,441	\$ 5,324,271	\$ 5,338,995	\$ 5,270,025	\$ 5,485,373	\$ 5,533,178
44.19%	43.02%	43.09%	47.41%	46.14%	45.78%

See notes to required supplementary information

Village of Lake Zurich

Firefighters' Pension Fund
 Schedule of Investment Returns
 Last Ten Fiscal Years

	<u>April 30, 2015</u>	<u>April 30, 2016</u>	<u>December 31, 2016*</u>	<u>December 31, 2017</u>
Annual money-weighted rate of return, net of investment expense	6.53%	-1.18%	5.05%	12.59%

*The Village changed its fiscal year end from April 30 to December 31 for the period December 31, 2016.

Notes to Schedule:

Ultimately, this schedule should present information for the last ten years. However, until ten years of information can be compiled, information will be presented for as many years as is available.

See notes to required supplementary information

<u>December 31, 2018</u>	<u>December 31, 2019</u>	<u>December 31, 2020</u>	<u>December 31, 2021</u>	<u>December 31, 2022</u>	<u>December 31, 2023</u>
-4.41%	19.12%	14.54%	11.40%	-16.99%	15.21%

See notes to required supplementary information

Village of Lake Zurich

Retiree Health Insurance Plan
 Schedule of Changes in the Village's Total OPEB Liability and Related Ratios
 Last Six Fiscal Years

	2018	2019	2020	2021	2022	2023
Total OPEB Liability						
Service cost	\$ 43,217	\$ 48,030	\$ 50,191	\$ 64,244	\$ 76,538	\$ 53,741
Interest	118,607	118,055	109,049	64,581	71,532	117,515
Changes of assumptions	(164,052)	122,226	412,890	(86,869)	(219,976)	68,358
Benefit payments, including refunds of member contributions	(173,514)	(192,924)	(179,027)	(211,262)	(206,538)	(240,250)
Differences between expected and actual experience of the total OPEB liability	-	-	(321,885)	-	(157,355)	-
Other changes	(111,794)	(525)	(54,013)	-	-	-
Net change in total OPEB liability	(287,536)	94,862	17,205	(169,306)	(435,799)	(636)
Total OPEB Liability, Beginning	3,627,263	3,339,727	3,434,589	3,451,794	3,282,488	2,846,689
Total OPEB Liability, Ending (a)	\$ 3,339,727	\$ 3,434,589	\$ 3,451,794	\$ 3,282,488	\$ 2,846,689	\$ 2,846,053
Plan Fiduciary Net Position as a Percentage of the Total OPEB Liability	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Covered-Employee Payroll	\$ 13,156,588	\$ 13,156,588	\$ 13,435,863	\$ 13,435,863	\$ 14,418,438	\$ 14,418,463
Village's Net Pension Liability as a Percentage of Covered-Employee Payroll	25.38%	26.11%	25.69%	24.43%	19.74%	19.74%

Notes to Schedule:

The Village implemented GASB Statement No. 75 in fiscal year 2018. Information prior to fiscal year 2018 is not available.

See notes to required supplementary information

Village of Lake Zurich

Notes to Required Supplementary Information
Year Ended December 31, 2023

Budgetary Information

Budgets are adopted on a basis consistent with GAAP. Annual appropriated budgets are adopted (at the fund level) for the General, Special Revenue (except the Foreign Fire Insurance Tax), Debt Service, Capital Projects, Enterprise, Internal Service and Pension Trust Funds. The annual appropriated budget is legally enacted and provides for a legal level of control at the department level, or, where no departmental segregation of a fund exists, the fund level. All annual appropriations lapse at fiscal year end.

Encumbrances represent commitments related to unperformed contracts for goods or services. Encumbrance accounting under which purchase orders, contracts and other commitments for the expenditure of resources are recorded to restrict that portion of the applicable appropriation - is utilized in the governmental funds. Material encumbrances outstanding at year end, if any, are reported as restrictions of fund balances and do not constitute expenditures or liabilities because the commitments will be honored during the subsequent year.

All departments of the Village submit requests for appropriation to the Village's manager so that a budget may be prepared. The budget is prepared by fund and includes information on the past year, current year estimates and requested appropriations for the next fiscal year.

The proposed budget is presented to the governing body for review. The governing body holds public hearings and can add to, subtract from or change appropriations; but cannot change the form of the budget.

Management cannot amend the budget for individual funds without seeking the approval of the governing body.

Expenditures cannot legally exceed budgeted appropriations at the fund or department (General Fund) level and the Board of Trustees must approve any over expenditures of appropriation or transfers of appropriated amounts. During the year, two supplementary appropriations were necessary.

SUPPLEMENTARY INFORMATION

Village of Lake Zurich

General Fund

Detailed Schedule of Revenues - Budget and Actual

December 31, 2023

	Original Budget	Final Budget	Actual
Revenues			
Taxes			
Property:			
Police protection	\$ 1,994,000	\$ 1,994,000	\$ 1,983,927
Fire protection	1,994,000	1,994,000	1,983,340
Ambulance	1,000	1,000	997
Pension	51,000	51,000	50,842
Police pension	2,142,608	2,142,608	2,142,608
Fire pension	2,512,418	2,512,418	2,512,418
SRA	180,000	180,000	179,443
Road and bridge	13,000	92,320	92,321
Utility:			
Electric tax	963,006	963,006	927,910
Gas tax	388,292	444,250	444,454
Telecommunication taxes	262,649	293,500	320,256
Television franchise tax	320,456	320,456	285,515
Peg Cable	-	-	20,583
Total taxes	10,822,429	10,988,558	10,944,614
Licenses and Permits			
Licenses:			
Liquor	160,000	160,000	169,450
Contractor registration	71,200	87,330	87,670
Other business	97,000	97,000	111,375
Permits:			
Administrative plan review	85,600	101,119	101,827
Building	204,000	204,000	185,207
Electrical	34,000	34,000	39,220
Plumbing	42,000	42,000	27,742
Occupancy certificates	30,000	30,000	24,766
Sidewalk	60,000	60,000	13,900
Truck permits	8,000	8,000	20,750
Other	65,250	65,250	51,987
Total licenses and permits	857,050	888,699	833,894
Intergovernmental			
State income tax	2,983,609	3,155,895	3,155,895
Municipal sales	7,847,985	7,965,000	8,085,947
Personal property replacement tax	137,057	185,892	187,364
Street maintenance reimbursement	17,066	17,066	23,216
Local use tax	770,601	770,601	769,120
Auto rental tax	5,000	5,000	11,334
Pull tax	290,247	310,000	315,006
Fire/rescue service contract	6,350,975	6,415,222	6,415,222
Vehicle maintenance charge	39,000	39,000	36,461
Cannabis tax	32,145	32,145	29,921
Licenses:			
Grants	57,920	2,770,000	2,974,120
Governmental agency	157,990	157,990	150,960
Total intergovernmental	18,689,595	21,823,811	22,154,566

Village of Lake Zurich

General Fund

Detailed Schedule of Revenues - Budget and Actual

December 31, 2023

	Original Budget	Final Budget	Actual
Charges for Services			
Police fees:			
Police alarm fees	\$ 1,500	\$ 1,500	\$ 4,050
Public safety special detail	207,000	207,000	220,357
Police administration tow fees	40,000	40,000	37,650
Police lock out fees	5,000	5,000	5,050
Police contracted services	4,000	4,000	2,175
Fire/rescue fees:			
Special detail	5,000	5,000	6,248
Ambulance fees	1,000,000	1,000,000	781,061
Spillage fees	-	-	1,363
Inspection fees	31,000	86,527	86,527
Public education	5,000	5,000	7,396
Site plan review	100,000	135,513	158,041
Elevator inspections	500	500	1,275
Printing and reproduction fees	4,000	4,000	4,244
Engineering review	118,500	155,315	165,542
Reimbursements	-	-	2,974
Park fees	124,025	154,415	125,310
Park program fees	686,997	798,011	807,912
Beach Fees	37,000	37,000	24,243
Other	500	500	450
Total charges for services	<u>2,370,022</u>	<u>2,639,281</u>	<u>2,441,868</u>
Fines, forfeitures and penalties			
Circuit court fines	200,300	200,300	198,214
Other fines	230,000	230,000	222,428
Total fines, forfeitures and penalties	<u>430,300</u>	<u>430,300</u>	<u>420,642</u>
Investment Income	<u>200,000</u>	<u>635,000</u>	<u>767,026</u>
Miscellaneous			
Miscellaneous	118,746	172,102	185,854
Donations	5,000	5,000	3,252
Rent	30,650	61,642	58,830
Total miscellaneous	<u>154,396</u>	<u>238,744</u>	<u>247,936</u>
Total revenues	<u>\$ 33,523,792</u>	<u>\$ 37,644,393</u>	<u>\$ 37,810,546</u>

Village of Lake Zurich

General Fund

Schedule of Expenditures - Budget and Actual

December 31, 2023

	<u>Original Budget</u>	<u>Final Budget</u>	<u>Actual</u>
Expenditures			
General Government			
General administration	\$ 70,820	\$ 70,820	\$ 58,375
Village administration	995,779	974,987	914,071
Finance department	572,259	577,258	556,874
Technology department	480,914	494,269	462,867
Total general government	<u>2,119,772</u>	<u>2,117,334</u>	<u>1,992,187</u>
Public Safety			
Police	8,978,592	9,102,536	9,037,337
Fire	13,232,400	12,677,501	12,622,122
Community development	1,057,254	1,148,797	1,155,913
Total public safety	<u>23,268,246</u>	<u>22,928,834</u>	<u>22,815,372</u>
Highways and Streets			
Public works	4,399,699	4,245,161	4,186,916
Culture and Recreation			
Parks and recreation department	1,229,651	1,209,695	1,197,619
Economic Development	528,072	536,196	490,551
Total expenditures	<u>\$ 31,545,440</u>	<u>\$ 31,037,220</u>	<u>\$ 30,682,645</u>

Village of Lake Zurich

Combining Balance Sheet
 Nonmajor Governmental Funds
 December 31, 2023

	Foreign Fire Tax	Hotel Tax	Motor Fuel Tax	Special Events	Dispatch Services
Assets					
Cash and investments	\$ 153,069	\$ 405,473	\$ 2,948,525	\$ 284,276	\$ 248,356
Receivables (net):					
Property taxes receivable	-	-	-	-	-
Accounts receivable	-	8,546	77,119	-	48,140
Prepaid items	-	-	-	13,085	-
Total assets	<u>\$ 153,069</u>	<u>\$ 414,019</u>	<u>\$ 3,025,644</u>	<u>\$ 297,361</u>	<u>\$ 296,496</u>
Liabilities and Fund Balances					
Liabilities					
Accounts payable	\$ -	\$ -	\$ 69,772	\$ 4,702	\$ 54
Accrued wages	-	61	-	7,527	54,306
Unearned revenues	-	-	-	3,000	112,033
Due to other funds	-	-	-	-	26
Advances from other funds	-	-	-	-	-
Total liabilities	<u>-</u>	<u>61</u>	<u>69,772</u>	<u>15,229</u>	<u>166,419</u>
Deferred Inflows of Resources					
Property taxes levied for future periods	-	-	-	-	-
Total deferred inflows of resources	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
Fund Balances					
Nonspendable	-	-	-	13,085	-
Restricted	153,069	413,958	2,955,872	-	-
Assigned	-	-	-	269,047	130,077
Total fund balances	<u>153,069</u>	<u>413,958</u>	<u>2,955,872</u>	<u>282,132</u>	<u>130,077</u>
Total liabilities and fund balances	<u>\$ 153,069</u>	<u>\$ 414,019</u>	<u>\$ 3,025,644</u>	<u>\$ 297,361</u>	<u>\$ 296,496</u>

<u>TIF #3</u>	<u>Total Nonmajor Governmental Funds</u>
\$ 234,879	\$ 4,274,578
97,889	97,889
-	133,805
-	<u>13,085</u>
<u>\$ 332,768</u>	<u>\$ 4,519,357</u>

\$ -	\$ 74,528
-	61,894
-	115,033
-	26
<u>20,000</u>	<u>20,000</u>
<u>20,000</u>	<u>271,481</u>

<u>97,889</u>	<u>97,889</u>
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<u>97,889</u>	<u>97,889</u>
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-	13,085
214,879	3,737,778
-	<u>399,124</u>

<u>214,879</u>	<u>4,149,987</u>
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<u>\$ 332,768</u>	<u>\$ 4,519,357</u>
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Village of Lake Zurich

Combining Statement of Revenues, Expenditures and Changes
in Fund Balances
Nonmajor Governmental Funds
Year Ended December 31, 2023

	Foreign Fire Tax	Hotel Tax	Motor Fuel Tax	Special Events	Dispatch Services
Revenues					
Taxes	\$ 120	\$ 121,230	\$ -	\$ -	\$ -
Intergovernmental	-	-	875,038	-	-
Charges for services	-	-	-	-	1,002,695
Special events	-	-	-	137,376	-
Investment income	-	8,337	213,123	1,619	3,607
Total revenues	<u>120</u>	<u>129,567</u>	<u>1,088,161</u>	<u>138,995</u>	<u>1,006,302</u>
Expenditures					
Current:					
General government	-	17,096	-	-	-
Public safety	50,712	-	-	-	1,595,870
Highways and streets	-	-	2,857,981	-	-
Culture and recreation	-	-	-	388,120	-
Economic development	-	-	-	-	-
Total expenditures	<u>50,712</u>	<u>17,096</u>	<u>2,857,981</u>	<u>388,120</u>	<u>1,595,870</u>
Excess (deficiency) of revenues over expenditures	<u>(50,592)</u>	<u>112,471</u>	<u>(1,769,820)</u>	<u>(249,125)</u>	<u>(589,568)</u>
Other Financing Sources (Uses)					
Transfers in	-	-	-	337,613	675,000
Transfers out	-	(97,200)	-	-	-
Total other financing sources (uses)	<u>-</u>	<u>(97,200)</u>	<u>-</u>	<u>337,613</u>	<u>675,000</u>
Net change in fund balances	(50,592)	15,271	(1,769,820)	88,488	85,432
Fund Balances, Beginning	<u>203,661</u>	<u>398,687</u>	<u>4,725,692</u>	<u>193,644</u>	<u>44,645</u>
Fund Balances, Ending	<u>\$ 153,069</u>	<u>\$ 413,958</u>	<u>\$ 2,955,872</u>	<u>\$ 282,132</u>	<u>\$ 130,077</u>

<u>TIF #3</u>	<u>Total Nonmajor Governmental Funds</u>
\$ 98,085	\$ 219,435
-	875,038
-	1,002,695
-	137,376
<u>302</u>	<u>226,988</u>
<u>98,387</u>	<u>2,461,532</u>
-	17,096
-	1,646,582
-	2,857,981
-	388,120
<u>440</u>	<u>440</u>
<u>440</u>	<u>4,910,219</u>
<u>97,947</u>	<u>(2,448,687)</u>
-	1,012,613
<u>-</u>	<u>(97,200)</u>
<u>-</u>	<u>915,413</u>
97,947	(1,533,274)
<u>116,932</u>	<u>5,683,261</u>
<u>\$ 214,879</u>	<u>\$ 4,149,987</u>

Village of Lake Zurich

Schedule of Revenues, Expenditures and Changes
in Fund Balance - Budget and Actual - Hotel Tax
For the Year Ended December 31, 2023

	Budgeted Amounts		Actual
	Original	Final	
Revenues			
Hotel/Motel tax	\$ 115,330	\$ 115,330	\$ 121,230
Investment income	<u>3,900</u>	<u>3,900</u>	<u>8,337</u>
Total revenues	<u>119,230</u>	<u>119,230</u>	<u>129,567</u>
Expenditures			
Current:			
General government	<u>18,998</u>	<u>18,998</u>	<u>17,096</u>
Total expenditures	<u>18,998</u>	<u>18,998</u>	<u>17,096</u>
Excess (deficiency) of revenues over (under) expenditures	<u>100,232</u>	<u>100,232</u>	<u>112,471</u>
Other Financing Sources (Uses)			
Transfers out	<u>(97,200)</u>	<u>(97,200)</u>	<u>(97,200)</u>
Total other financing sources (uses)	<u>(97,200)</u>	<u>(97,200)</u>	<u>(97,200)</u>
Net change in fund balance	<u>\$ 3,032</u>	<u>\$ 3,032</u>	15,271
Fund Balance, Beginning			<u>398,687</u>
Fund Balance, Ending			<u>\$ 413,958</u>

Village of Lake Zurich

Schedule of Revenues, Expenditures and Changes
in Fund Balance - Budget and Actual - Motor Fuel Tax
For the Year Ended December 31, 2023

	Budgeted Amounts		Actual
	Original	Final	
Revenues			
Reimbursements	\$ 793,004	\$ 793,004	\$ 875,038
Investment income	<u>30,000</u>	<u>30,000</u>	<u>213,123</u>
Total revenues	<u>823,004</u>	<u>823,004</u>	<u>1,088,161</u>
Expenditures			
Current:			
Highways and streets	<u>3,830,453</u>	<u>3,830,453</u>	<u>2,857,981</u>
Total expenditures	<u>3,830,453</u>	<u>3,830,453</u>	<u>2,857,981</u>
Net change in fund balance	<u>\$ (3,007,449)</u>	<u>\$ (3,007,449)</u>	<u>(1,769,820)</u>
Fund Balance, Beginning			<u>4,725,692</u>
Fund Balance, Ending			<u>\$ 2,955,872</u>

Village of Lake Zurich

Schedule of Revenues, Expenditures and Changes
in Fund Balance - Budget and Actual - Special Events
For the Year Ended December 31, 2023

	Budgeted Amounts		
	Original	Final	Actual
Revenues			
Special events	\$ 89,700	\$ 89,700	\$ 137,376
Investment income	<u>600</u>	<u>600</u>	<u>1,619</u>
Total revenues	<u>90,300</u>	<u>90,300</u>	<u>138,995</u>
Expenditures			
Current:			
Culture and recreation	<u>423,763</u>	<u>423,763</u>	<u>388,120</u>
Total expenditures	<u>423,763</u>	<u>423,763</u>	<u>388,120</u>
Excess (deficiency) of revenues over (under) expenditures	<u>(333,463)</u>	<u>(333,463)</u>	<u>(249,125)</u>
Other Financing Sources (Uses)			
Transfers in	<u>337,613</u>	<u>337,613</u>	<u>337,613</u>
Total other financing sources (uses)	<u>337,613</u>	<u>337,613</u>	<u>337,613</u>
Net change in fund balance	<u>\$ 4,150</u>	<u>\$ 4,150</u>	88,488
Fund Balance, Beginning			<u>193,644</u>
Fund Balance, Ending			<u>\$ 282,132</u>

Village of Lake Zurich

Schedule of Revenues, Expenditures and Changes
in Fund Balance - Budget and Actual - Dispatch Services
For the Year Ended December 31, 2023

	Budgeted Amounts		
	Original	Final	Actual
Revenues			
Charges for services	\$ 973,465	\$ 973,465	\$ 1,002,695
Investment income	<u>500</u>	<u>500</u>	<u>3,607</u>
Total revenues	<u>973,965</u>	<u>973,965</u>	<u>1,006,302</u>
Expenditures			
Current:			
Public safety	<u>1,614,395</u>	<u>1,614,395</u>	<u>1,595,870</u>
Total expenditures	<u>1,614,395</u>	<u>1,614,395</u>	<u>1,595,870</u>
Excess (deficiency) of revenues over (under) expenditures	<u>(640,430)</u>	<u>(640,430)</u>	<u>(589,568)</u>
Other Financing Sources (Uses)			
Transfers in	<u>675,000</u>	<u>675,000</u>	<u>675,000</u>
Total other financing sources (uses)	<u>675,000</u>	<u>675,000</u>	<u>675,000</u>
Net change in fund balance	<u>\$ 34,570</u>	<u>\$ 34,570</u>	85,432
Fund Balance, Beginning			<u>44,645</u>
Fund Balance, Ending			<u>\$ 130,077</u>

Village of Lake Zurich

Schedule of Revenues, Expenditures and Changes
in Fund Balance - Budget and Actual - TIF #3
For the Year Ended December 31, 2023

	Budgeted Amounts		
	Original	Final	Actual
Revenues			
Property tax	\$ 78,000	\$ 78,000	\$ 98,085
Investment income	-	-	302
Total revenues	<u>78,000</u>	<u>78,000</u>	<u>98,387</u>
Expenditures			
Current:			
Economic development	<u>1,840</u>	<u>1,840</u>	<u>440</u>
Total expenditures	<u>1,840</u>	<u>1,840</u>	<u>440</u>
Net change in fund balance	<u>\$ 76,160</u>	<u>\$ 76,160</u>	97,947
Fund Balance, Beginning			<u>116,932</u>
Fund Balance, Ending			<u>\$ 214,879</u>

Village of Lake Zurich

Schedule of Revenues, Expenditures and Changes
in Fund Balance - Budget and Actual - Debt Service
For the Year Ended December 31, 2023

	Budgeted Amounts		
	Original	Final	Actual
Revenues			
Property tax	\$ 1,270,000	\$ 1,270,000	\$ 1,266,070
Investment income	<u>10,000</u>	<u>10,000</u>	<u>47,940</u>
Total revenues	<u>1,280,000</u>	<u>1,280,000</u>	<u>1,314,010</u>
Expenditures			
Debt service:			
Principal	1,241,000	1,241,000	-
Interest and fiscal charges	<u>25,855</u>	<u>25,855</u>	<u>25,854</u>
Total expenditures	<u>1,266,855</u>	<u>1,266,855</u>	<u>25,854</u>
Excess (deficiency) of revenues over (under) expenditures	<u>13,145</u>	<u>13,145</u>	<u>1,288,156</u>
Other Financing Sources (Uses)			
Transfers out	-	-	(1,241,000)
Total other financing sources (uses)	-	-	(1,241,000)
Net change in fund balance	<u>\$ 13,145</u>	<u>\$ 13,145</u>	47,156
Fund Balance, Beginning			<u>957,108</u>
Fund Balance, Ending			<u><u>\$ 1,004,264</u></u>

Village of Lake Zurich

Schedule of Revenues, Expenditures and Changes
in Fund Balance - Budget and Actual - TIF Debt Service
For the Year Ended December 31, 2023

	Budgeted Amounts		
	Original	Final	Actual
Revenues			
Investment income	\$ 5,500	\$ 5,500	\$ 17,577
Total revenues	5,500	5,500	17,577
Expenditures			
Debt service:			
Principal	1,440,000	1,440,000	1,440,000
Interest and fiscal charges	609,978	609,978	608,031
Total expenditures	2,049,978	2,049,978	2,048,031
Excess (deficiency) of revenues over (under) expenditures	(2,044,478)	(2,044,478)	(2,030,454)
Other Financing Sources (Uses)			
Proceeds from bond issuance	1,241,000	1,241,000	-
Transfers in	845,000	845,000	2,086,000
Total other financing sources (uses)	2,086,000	2,086,000	2,086,000
Net change in fund balance	\$ 41,522	\$ 41,522	55,546
Fund Balance (Deficit), Beginning			(927,198)
Fund Balance (Deficit), Ending			\$ (871,652)

Village of Lake Zurich

Schedule of Revenues, Expenditures and Changes
in Fund Balance - Budget and Actual - Capital Improvements
For the Year Ended December 31, 2023

	Budgeted Amounts		Actual
	Original	Final	
Revenues			
Grants	\$ -	\$ -	\$ 213,331
Park fees	-	-	129,459
Investment income	50,000	50,000	293,890
Civic contribution	34,998	34,998	34,998
Miscellaneous revenues	<u>13,500</u>	<u>13,500</u>	<u>5,810</u>
Total revenues	<u>98,498</u>	<u>98,498</u>	<u>677,488</u>
Expenditures			
Capital outlay			
Capital outlay:			
Infrastructure improvements	1,050,000	1,050,000	27,277
Capital project improvements	<u>3,530,500</u>	<u>3,530,500</u>	<u>1,934,800</u>
Total expenditures	<u>4,580,500</u>	<u>4,580,500</u>	<u>1,962,077</u>
Excess (deficiency) of revenues over (under) expenditures	<u>(4,482,002)</u>	<u>(4,482,002)</u>	<u>(1,284,589)</u>
Other Financing Sources (Uses)			
Transfers in	<u>1,015,000</u>	<u>5,665,000</u>	<u>5,665,000</u>
Total other financing sources (uses)	<u>1,015,000</u>	<u>5,665,000</u>	<u>5,665,000</u>
Net change in fund balance	<u>\$ (3,467,002)</u>	<u>\$ 1,182,998</u>	4,380,411
Fund Balance, Beginning			<u>9,881,631</u>
Fund Balance, Ending			<u>\$ 14,262,042</u>

Village of Lake Zurich

Schedule of Revenues, Expenditures and Changes
in Fund Balance - Budget and Actual - Non-Home Rule Sales Tax Capital Projects
For the Year Ended December 31, 2023

	Budgeted Amounts		Actual
	Original	Final	
Revenues			
Sales tax	\$ 2,638,081	\$ 2,638,081	\$ 2,667,645
Investment income	<u>20,000</u>	<u>20,000</u>	<u>253,585</u>
Total revenues	<u>2,658,081</u>	<u>2,658,081</u>	<u>2,921,230</u>
Expenditures			
Current:			
Highways and streets	<u>388,000</u>	<u>388,000</u>	<u>411,156</u>
Total expenditures	<u>388,000</u>	<u>388,000</u>	<u>411,156</u>
Net change in fund balance	<u>\$ 2,270,081</u>	<u>\$ 2,270,081</u>	2,510,074
Fund Balance, Beginning			<u>4,282,200</u>
Fund Balance, Ending			<u>\$ 6,792,274</u>

Village of Lake Zurich

Schedule of Revenues, Expenses and Changes in Net Position - Budget to Actual
 Waterworks and Sewerage Fund
 December 31, 2023

	Original Budget	Final Budget	Actual
Operating Revenues			
Charges for services	\$ 7,484,608	\$ 7,484,608	\$ 7,981,256
Total operating revenues	<u>7,484,608</u>	<u>7,484,608</u>	<u>7,981,256</u>
Operating Expenses			
Administration	918,760	910,516	659,018
Operations	8,888,973	8,888,973	3,132,672
Depreciation	<u>2,119,680</u>	<u>2,119,680</u>	<u>2,042,040</u>
Total operating expenses	<u>11,927,413</u>	<u>11,919,169</u>	<u>5,833,730</u>
Operating income (loss)	<u>(4,442,805)</u>	<u>(4,434,561)</u>	<u>2,147,526</u>
Nonoperating Revenues (Expenses)			
Connection fees	600,000	600,000	489,655
Investment income	75,000	75,000	573,861
Interest and fiscal charges	<u>(117,650)</u>	<u>(117,650)</u>	<u>(84,875)</u>
Total nonoperating revenues (expenses)	<u>557,350</u>	<u>557,350</u>	<u>978,641</u>
Income (loss) before contributions	<u>439,700</u>	<u>439,700</u>	<u>893,766</u>
Contributions			
Capital contributions	-	-	3,296,715
Total contributions	<u>-</u>	<u>-</u>	<u>3,296,715</u>
Change in net position	<u>\$ (3,885,455)</u>	<u>\$ (3,877,211)</u>	<u>6,422,882</u>
Net Position, Beginning of Year			<u>51,003,965</u>
Net Position, End of Year			<u><u>\$ 57,426,847</u></u>

Village of Lake Zurich**Schedule of Operating Revenues - Budget to Actual**

Waterworks and Sewerage Fund

December 31, 2023

	Original Budget	Final Budget	Actual
Charges for Services			
Water charges	\$ 3,824,141	\$ 3,824,141	\$ 4,373,194
Debt service charges	1,008,571	1,008,571	954,437
Capital charge	2,473,396	2,473,396	2,329,198
Meter sales	15,000	15,000	48,010
Late fees	88,500	88,500	106,217
Wastewater service agreements	75,000	75,000	138,987
Inspection fees	-	-	1,500
Other	-	-	29,713
Total operating revenues	\$ 7,484,608	\$ 7,484,608	\$ 7,981,256

Village of Lake Zurich

Schedule of Operating Expenses - Budget to Actual
 Waterworks and Sewerage Fund
 December 31, 2023

	Original Budget	Final Budget	Actual
Administration			
Personnel services	\$ 432,511	\$ 424,267	\$ 211,388
Contractual services	392,249	392,249	372,201
Commodities	94,000	94,000	75,429
Total administration	<u>\$ 918,760</u>	<u>\$ 910,516</u>	<u>\$ 659,018</u>
Operations			
Water service:			
Water service - personnel services	\$ 707,832	\$ 707,832	\$ 717,912
Water service - contractual services	870,600	870,600	534,571
Water service - commodities	<u>687,750</u>	<u>687,750</u>	<u>651,933</u>
Total water service	<u>2,266,182</u>	<u>2,266,182</u>	<u>1,904,416</u>
Sewer service:			
Sewer service - personnel services	654,990	654,990	656,986
Sewer service - contractual services	386,601	386,601	260,367
Sewer service - commodities	<u>93,000</u>	<u>93,000</u>	<u>99,262</u>
Total sewer service	<u>1,134,591</u>	<u>1,134,591</u>	<u>1,016,615</u>
Capital outlay	<u>5,488,200</u>	<u>5,488,200</u>	<u>2,384,659</u>
Less nonoperating items:			
Capital assets capitalized	<u>-</u>	<u>-</u>	<u>(2,173,018)</u>
Total operations	<u>\$ 8,888,973</u>	<u>\$ 8,888,973</u>	<u>\$ 3,132,672</u>
Depreciation	<u>\$ 2,119,680</u>	<u>\$ 2,119,680</u>	<u>\$ 2,042,040</u>

Village of Lake Zurich

Combining Statement of Net Position -
Internal Service Funds
December 31, 2023

	<u>Medical Self- Insurance</u>	<u>Risk Management</u>	<u>Equipment Replacement</u>	<u>Total</u>
Assets				
Current assets:				
Cash and investments	\$ 1,814,681	\$ 926,447	\$ 5,155,593	\$ 7,896,721
Receivables:				
Accounts receivable	5,422	-	-	5,422
Prepaid items	400,000	1,545,936	-	1,945,936
Total current assets	<u>2,220,103</u>	<u>2,472,383</u>	<u>5,155,593</u>	<u>9,848,079</u>
Noncurrent assets:				
Capital assets (net of accumulated depreciation):				
Property and equipment	-	-	7,024,146	7,024,146
Accumulated depreciation	-	-	(2,569,411)	(2,569,411)
Total noncurrent assets	<u>-</u>	<u>-</u>	<u>4,454,735</u>	<u>4,454,735</u>
Total assets	<u>2,220,103</u>	<u>2,472,383</u>	<u>9,610,328</u>	<u>14,302,814</u>
Liabilities				
Current liabilities:				
Accounts payable	11,001	10,558	48,079	69,638
Accrued wages	-	13,039	-	13,039
Total current liabilities	<u>11,001</u>	<u>23,597</u>	<u>48,079</u>	<u>82,677</u>
Total liabilities	<u>11,001</u>	<u>23,597</u>	<u>48,079</u>	<u>82,677</u>
Net Position				
Net investment in capital assets	-	-	4,454,735	4,454,735
Unrestricted net position	2,209,102	2,448,786	5,107,514	9,765,402
Total net position	<u>\$ 2,209,102</u>	<u>\$ 2,448,786</u>	<u>\$ 9,562,249</u>	<u>\$ 14,220,137</u>

Village of Lake Zurich

Combining Statement of Revenues, Expenses and Changes in Fund Net Position -
Internal Service Funds
Year Ended December 31, 2023

	<u>Medical Self- Insurance</u>	<u>Risk Management</u>	<u>Equipment Replacement</u>	<u>Total</u>
Operating Revenues				
Contributions:				
Employer	\$ 2,941,620	\$ 1,302,204	\$ 864,311	\$ 5,108,135
Employee	156,087	-	-	156,087
Pensioner	329,141	-	-	329,141
Total operating revenues	<u>3,426,848</u>	<u>1,302,204</u>	<u>864,311</u>	<u>5,593,363</u>
Operating Expenses				
Insurance and claims:				
Personnel services	3,416	314,429	-	317,845
Contractual services	3,168,561	1,198,377	-	4,366,938
Less reimbursements	(10,504)	(215,927)	-	(226,431)
Operations:				
Commodities	-	-	45,901	45,901
Depreciation	-	-	442,695	442,695
Total operating expenses	<u>3,161,473</u>	<u>1,296,879</u>	<u>488,596</u>	<u>4,946,948</u>
Operating income (loss)	<u>265,375</u>	<u>5,325</u>	<u>375,715</u>	<u>646,415</u>
Nonoperating Revenues (Expenses)				
Investment income	43,728	10,306	234,076	288,110
Miscellaneous	-	4,368	-	4,368
Total nonoperating revenues (expenses)	<u>43,728</u>	<u>14,674</u>	<u>234,076</u>	<u>292,478</u>
Income (loss) before transfers	<u>309,103</u>	<u>19,999</u>	<u>609,791</u>	<u>938,893</u>
Transfers				
Transfers in	-	-	250,000	250,000
Transfers out	-	(200,000)	-	(200,000)
Total transfers	<u>-</u>	<u>(200,000)</u>	<u>250,000</u>	<u>50,000</u>
Change in net position	309,103	(180,001)	859,791	988,893
Net Position, Beginning	<u>1,899,999</u>	<u>2,628,787</u>	<u>8,702,458</u>	<u>13,231,244</u>
Net Position, Ending	<u>\$ 2,209,102</u>	<u>\$ 2,448,786</u>	<u>\$ 9,562,249</u>	<u>\$ 14,220,137</u>

Village of Lake Zurich

Combining Statement of Cash Flows -
Internal Service Funds
Year Ended December 31, 2023

	Medical Self- Insurance	Risk Management	Equipment Replacement	Total
Cash Flows From Operating Activities				
Received from customers	\$ 3,428,688	\$ 1,302,204	\$ 864,311	\$ 5,595,203
Paid to suppliers for goods and services	82,867	(873,200)	(36,692)	(827,025)
Paid to employees for services	(3,168,561)	(310,060)	-	(3,478,621)
Net cash flows from operating activities	<u>342,994</u>	<u>118,944</u>	<u>827,619</u>	<u>1,289,557</u>
Cash Flows From Investing Activities				
Investment income	<u>43,728</u>	<u>10,306</u>	<u>234,076</u>	<u>288,110</u>
Net cash flows from investing activities	<u>43,728</u>	<u>10,306</u>	<u>234,076</u>	<u>288,110</u>
Cash Flows From Noncapital Financing Activities				
Receipt (payment) of transfer	-	(200,000)	250,000	50,000
Due to / from other funds	(709)	-	-	(709)
Operating grants received (used to finance operating deficits)	<u>-</u>	<u>4,368</u>	<u>-</u>	<u>4,368</u>
Net cash flows from noncapital financing activities	<u>(709)</u>	<u>(195,632)</u>	<u>250,000</u>	<u>53,659</u>
Cash Flows From Capital and Related Financing Activities				
Acquisition and construction of capital assets	<u>-</u>	<u>-</u>	<u>(1,078,948)</u>	<u>(1,078,948)</u>
Net cash flows from capital and related financing activities	<u>-</u>	<u>-</u>	<u>(1,078,948)</u>	<u>(1,078,948)</u>
Net change in cash and cash equivalents	386,013	(66,382)	232,747	552,378
Cash and Cash Equivalents, Beginning	<u>1,428,668</u>	<u>992,829</u>	<u>4,922,846</u>	<u>7,344,343</u>
Cash and Cash Equivalents, Ending	<u>\$ 1,814,681</u>	<u>\$ 926,447</u>	<u>\$ 5,155,593</u>	<u>\$ 7,896,721</u>
Reconciliation of Operating Income (Loss) to Net Cash Flows From Operating Activities				
Operating income (loss)	\$ 265,375	\$ 5,325	\$ 375,715	\$ 646,415
Adjustments to reconcile operating income (loss) to net cash flows from operating activities:				
Depreciation	-	-	442,695	442,695
Changes in assets and liabilities:				
Accounts receivable	1,840	-	-	1,840
Prepaid items	86,556	104,948	-	191,504
Accounts payable	(10,777)	4,302	9,209	2,734
Compensated absences	<u>-</u>	<u>4,369</u>	<u>-</u>	<u>4,369</u>
Net cash flows from operating activities	<u>\$ 342,994</u>	<u>\$ 118,944</u>	<u>\$ 827,619</u>	<u>\$ 1,289,557</u>
Noncash Capital and Related Financing Activities				
None				

Village of Lake Zurich

Schedule of Revenues, Expenses and Changes in Net Position - Budget and Actual -
 Medical Self-Insurance
 Year Ended December 31, 2023

	Budgeted Amounts		
	Original	Final	Actual
Operating Revenues			
Contributions:			
Employer	\$ 2,941,620	\$ 2,941,620	\$ 2,941,620
Employee	175,000	175,000	156,087
Pensioner	<u>322,199</u>	<u>322,199</u>	<u>329,141</u>
Total operating revenues	<u>3,438,819</u>	<u>3,438,819</u>	<u>3,426,848</u>
Operating Expenses			
Insurance and claims:			
Personnel services	13,000	13,000	3,416
Contractual services	3,389,865	3,389,865	3,168,561
Less reimbursements	<u>-</u>	<u>-</u>	<u>(10,504)</u>
Total insurance and claims	<u>3,402,865</u>	<u>3,402,865</u>	<u>3,161,473</u>
Total operating expenses	<u>3,402,865</u>	<u>3,402,865</u>	<u>3,161,473</u>
Operating income	<u>35,954</u>	<u>35,954</u>	<u>265,375</u>
Nonoperating Revenues			
Investment income	<u>5,000</u>	<u>5,000</u>	<u>43,728</u>
Total nonoperating revenues	<u>5,000</u>	<u>5,000</u>	<u>43,728</u>
Change in net position	<u>\$ 40,954</u>	<u>\$ 40,954</u>	309,103
Net Position, Beginning			<u>1,899,999</u>
Net Position, Ending			<u>\$ 2,209,102</u>

Village of Lake Zurich

Schedule of Revenues, Expenses and Changes in Net Position - Budget and Actual -
 Risk Management
 Year Ended December 31, 2023

	Budgeted Amounts		
	Original	Final	Actual
Operating Revenues			
Contributions:			
Employer	\$ 1,302,204	\$ 1,302,204	\$ 1,302,204
Total operating revenues	<u>1,302,204</u>	<u>1,302,204</u>	<u>1,302,204</u>
Operating Expenses			
Insurance and claims:			
Personnel services	192,204	192,204	314,429
Contractual services	1,110,000	1,110,000	1,198,377
Less reimbursements	<u>(40,000)</u>	<u>(40,000)</u>	<u>(215,927)</u>
Total insurance and claims	<u>1,262,204</u>	<u>1,262,204</u>	<u>1,296,879</u>
Total operating expenses	<u>1,262,204</u>	<u>1,262,204</u>	<u>1,296,879</u>
Operating income	<u>40,000</u>	<u>40,000</u>	<u>5,325</u>
Nonoperating Revenues			
Investment income	3,000	3,000	10,306
Miscellaneous revenues	<u>-</u>	<u>-</u>	<u>4,368</u>
Total nonoperating revenues	<u>3,000</u>	<u>3,000</u>	<u>14,674</u>
Net income before contribution and transfers	<u>43,000</u>	<u>43,000</u>	<u>19,999</u>
Transfers			
Transfers out	<u>(200,000)</u>	<u>(200,000)</u>	<u>(200,000)</u>
Net transfers	<u>(200,000)</u>	<u>(200,000)</u>	<u>(200,000)</u>
Change in net position	\$ <u>(157,000)</u>	\$ <u>(157,000)</u>	(180,001)
Net Position, Beginning			<u>2,628,787</u>
Net Position, Ending			\$ <u><u>2,448,786</u></u>

Village of Lake Zurich

Schedule of Revenues, Expenses and Changes in Net Position - Budget and Actual -
 Equipment Replacement
 Year Ended December 31, 2023

	Budgeted Amounts		
	Original	Final	Actual
Operating Revenues			
Contributions:			
Employer	\$ 864,311	\$ 864,311	\$ 864,311
Total operating revenues	<u>864,311</u>	<u>864,311</u>	<u>864,311</u>
Operating Expenses			
Operations:			
Vehicles	591,000	591,000	697,904
Equipment	273,311	273,311	426,945
Depreciation	<u>506,000</u>	<u>506,000</u>	<u>442,695</u>
Total operations	<u>1,370,311</u>	<u>1,370,311</u>	<u>1,567,544</u>
Total operating expenses	<u>1,370,311</u>	<u>1,370,311</u>	<u>1,567,544</u>
Operating loss	<u>(506,000)</u>	<u>(506,000)</u>	<u>(703,233)</u>
Nonoperating Revenues			
Investment income	<u>20,000</u>	<u>20,000</u>	<u>234,076</u>
Total nonoperating revenues	<u>20,000</u>	<u>20,000</u>	<u>234,076</u>
Net loss before transfers	<u>(486,000)</u>	<u>(486,000)</u>	<u>(469,157)</u>
Transfers			
Transfers in	<u>250,000</u>	<u>250,000</u>	<u>250,000</u>
Net transfers	<u>250,000</u>	<u>250,000</u>	<u>250,000</u>
Change in net position, budgetary basis	\$ <u>(236,000)</u>	\$ <u>(236,000)</u>	(219,157)
Adjustments to GAAP basis			
Capital assets capitalized			<u>1,078,948</u>
Change in net position, GAAP basis			859,791
Net Position, Beginning			<u>8,702,458</u>
Net Position, Ending			\$ <u><u>9,562,249</u></u>

Village of Lake Zurich

Combining Statement of Fiduciary Net Position -
Pension Trust Funds
December 31, 2023

	Police Pension	Firefighters' Pension	Total
Assets			
Cash and investments	\$ 10,081	\$ 10,066	\$ 20,147
Investments:			
Money markets	251,807	326,473	578,280
Insurance contracts	-	268,306	268,306
Illinois Police Officers' Pension Investment Fund	32,406,699	-	32,406,699
Illinois Firefighters' Pension Investment Fund	-	52,526,589	52,526,589
Prepaid items	<u>2,068</u>	<u>5,519</u>	<u>7,587</u>
Total assets	<u>32,670,655</u>	<u>53,136,953</u>	<u>85,807,608</u>
Liabilities			
Accounts payable	<u>1,000</u>	<u>2,393</u>	<u>3,393</u>
Total liabilities	<u>1,000</u>	<u>2,393</u>	<u>3,393</u>
Net Position			
Restricted for retirement benefits	<u>\$ 32,669,655</u>	<u>\$ 53,134,560</u>	<u>\$ 85,804,215</u>

Village of Lake Zurich

Combining Statement of Changes in Fiduciary Net Position -
Pension Trust Funds
Year Ended December 31, 2023

	<u>Police Pension</u>	<u>Firefighters' Pension</u>	<u>Total</u>
Additions			
Contributions:			
Employer	\$ 2,159,735	\$ 2,533,314	\$ 4,693,049
Employee	<u>485,408</u>	<u>524,210</u>	<u>1,009,618</u>
Total contributions	<u>2,645,143</u>	<u>3,057,524</u>	<u>5,702,667</u>
Investment income:			
Net appreciation in fair value of investments	3,709,612	6,199,891	9,909,503
Interest on investments	<u>214,169</u>	<u>867,212</u>	<u>1,081,381</u>
Total investment income	3,923,781	7,067,103	10,990,884
Less investment expense	<u>(48,777)</u>	<u>(58,591)</u>	<u>(107,368)</u>
Net investment income	<u>3,875,004</u>	<u>7,008,512</u>	<u>10,883,516</u>
Total additions	<u>6,520,147</u>	<u>10,066,036</u>	<u>16,586,183</u>
Deductions			
Pension payments and refunds	2,757,285	2,883,150	5,640,435
Administration	<u>27,761</u>	<u>49,344</u>	<u>77,105</u>
Total deductions	<u>2,785,046</u>	<u>2,932,494</u>	<u>5,717,540</u>
Change in net position	3,735,101	7,133,542	10,868,643
Net Position, Beginning	<u>28,934,554</u>	<u>46,001,018</u>	<u>74,935,572</u>
Net Position, Ending	<u>\$ 32,669,655</u>	<u>\$ 53,134,560</u>	<u>\$ 85,804,215</u>

LONG-TERM DEBT REQUIREMENTS

Village of Lake Zurich

Long-Term Debt Requirements
 General Obligation Bonds
 (Alternative Revenue Source) Series of 2014A
 December 31, 2023

Date of Issue September 8, 2014
 Date of Maturity December 15, 2024
 Authorized Issue \$ 6,325,000
 Interest Rates 2% to 3%
 Principal Maturity Date December 15

Future Principal and Interest Requirements

Tax Levy	Tax Levy			Interest Due on			
	Principal	Interest	Total	June 15	Amount	December 15	Amount
2023	\$ 805,000	\$ 24,150	\$ 829,150	2024	\$ 12,075	2024	\$ 12,075
	<u>\$ 805,000</u>	<u>\$ 24,150</u>	<u>\$ 829,150</u>		<u>\$ 12,075</u>		<u>\$ 12,075</u>

Village of Lake Zurich

Long-Term Debt Requirements
 General Obligation Refunding Bonds (Alternative Revenue Source) Series of 2015A
 December 31, 2023

Date of Issue April 23, 2015
 Date of Maturity December 15, 2034
 Authorized Issue \$ 11,775,000
 Interest Rates 3.25% to 3.75%
 Principal Maturity Date December 15

Future Principal and Interest Requirements

Tax Levy	Tax Levy			Interest Due on			
	Principal	Interest	Total	June 15	Amount	December 15	Amount
2023	\$ -	\$ 413,685	\$ 413,685	2024	\$ 206,842	2024	\$ 206,843
2024	810,000	413,685	1,223,685	2025	206,842	2025	206,843
2025	840,000	387,360	1,227,360	2026	193,680	2026	193,680
2026	875,000	360,060	1,235,060	2027	180,030	2027	180,030
2027	915,000	331,622	1,246,622	2028	165,811	2028	165,811
2028	955,000	301,428	1,256,428	2029	150,714	2029	150,714
2029	1,370,000	268,956	1,638,956	2030	134,478	2030	134,478
2030	1,415,000	221,008	1,636,008	2031	110,504	2031	110,504
2031	1,480,000	170,066	1,650,066	2032	85,033	2032	85,033
2032	1,530,000	116,048	1,646,048	2033	58,024	2033	58,024
2033	1,585,000	59,438	1,644,438	2034	29,719	2034	29,719
	<u>\$ 11,775,000</u>	<u>\$ 3,043,356</u>	<u>\$ 14,818,356</u>		<u>\$ 1,521,677</u>		<u>\$ 1,521,679</u>

Village of Lake Zurich

Long-Term Debt Requirements
 IEPA Loan of 2006
 December 31, 2023

Date of Issue October 15, 2005
 Date of Maturity December 16, 2026
 Authorized Issue \$ 2,000,000
 Interest Rates 2.50%
 Principal Maturity Date June 16 and December 16
 Payable at Illinois Environmental Protection Agency

Future Principal and Interest Requirements

Tax Levy	Tax Levy			Interest Due on			
	Principal	Interest	Total	June 16	Amount	December 16	Amount
2023	\$ 121,928	\$ 8,287	\$ 130,215	2024	\$ 4,522	2024	\$ 3,765
2024	124,994	5,220	130,214	2025	2,998	2025	2,222
2025	114,852	2,076	116,928	2026	1,436	2026	640
	<u>\$ 361,774</u>	<u>\$ 15,583</u>	<u>\$ 377,357</u>		<u>\$ 8,956</u>		<u>\$ 6,627</u>

Village of Lake Zurich

Long-Term Debt Requirements
 IEPA Loan of 2008
 December 31, 2023

Date of Issue September 27, 2007
 Date of Maturity August 11, 2028
 Authorized Issue \$ 1,673,182
 Interest Rates 1.25%
 Principal Maturity Date August 11 and February 11
 Payable at Illinois Environmental Protection Agency

Future Principal and Interest Requirements

Tax Levy Year	Tax Levy			Interest Due on			
	Principal	Interest	Total	February 11	Amount	August 11	Amount
2023	\$ 100,600	\$ 12,599	\$ 113,199	2024	\$ 6,612	2024	\$ 5,987
2024	103,132	10,068	113,200	2025	5,354	2025	4,714
2025	105,725	7,474	113,199	2026	4,065	2026	3,409
2026	108,385	4,814	113,199	2027	2,744	2027	2,070
2027	111,112	2,088	113,200	2028	1,389	2028	699
	<u>\$ 528,954</u>	<u>\$ 37,043</u>	<u>\$ 565,997</u>		<u>\$ 20,164</u>		<u>\$ 16,879</u>

Village of Lake Zurich

Long-Term Debt Requirements
 General Obligation Refunding Bonds (Alternative Revenue Source) Series of 2016A
 December 31, 2023

Date of Issue May 16, 2016
 Date of Maturity February 1, 2029
 Authorized Issue \$ 6,785,000
 Interest Rates 1.10% to 3.05%
 Principal Maturity Date February 1 and August 1

Future Principal and Interest Requirements

Tax Levy Year	Tax Levy			Interest Due on			
	Principal	Interest	Total	February 1	Amount	August 1	Amount
2023	\$ 695,000	\$ 115,353	\$ 810,353	2024	\$ 61,846	2024	\$ 53,507
2024	715,000	97,717	812,717	2025	53,506	2025	44,211
2025	725,000	78,453	803,453	2026	44,211	2026	34,242
2026	750,000	57,797	807,797	2027	34,242	2027	23,555
2027	775,000	35,679	810,679	2028	23,555	2028	12,124
2028	795,000	12,124	807,124	2029	12,124	2029	-
	<u>\$ 4,455,000</u>	<u>\$ 397,123</u>	<u>\$ 4,852,123</u>		<u>\$ 229,484</u>		<u>\$ 167,639</u>

Village of Lake Zurich

Long-Term Debt Requirements

General Obligation Waterworks and Sewerage Bonds (Alternative Revenue Source) Series of 2016B

December 31, 2023

Date of Issue August 1, 2016
 Date of Maturity December 15, 2026
 Authorized Issue \$ 1,000,000
 Denomination of Bonds \$ 5,000
 Interest Rates 2.00%
 Principal Maturity Date December 15

Future Principal and Interest Requirements

Tax Levy	Tax Levy			Interest Due on			
	Principal	Interest	Total	June 15	Amount	December 15	Amount
2023	\$ 105,000	\$ 6,400	\$ 111,400	2024	\$ 3,200	2024	\$ 3,200
2024	105,000	4,300	109,300	2025	2,150	2025	2,150
2025	110,000	2,200	112,200	2026	1,100	2026	1,100
	<u>\$ 320,000</u>	<u>\$ 12,900</u>	<u>\$ 332,900</u>		<u>\$ 6,450</u>		<u>\$ 6,450</u>

Village of Lake Zurich

Statistical Section

This part of the Village of Lake Zurich, Illinois' annual comprehensive financial report presents detailed information as a context for understanding what the information in the financial statements, note disclosures, and required supplementary information says about the Village's overall financial health.

Contents	Page
Financial Trends	117 - 123
These schedules contain trend information to help the reader understand how the Village's financial performance and well-being have changed over time.	
Revenue Capacity	124 - 127
These schedules contain information to help the reader assess the Village's most significant local revenue source, the sales tax.	
Debt Capacity	128 - 132
These schedules present information to help the reader assess the affordability of the Village's current levels of outstanding debt and the Village's ability to issue additional debt in the future.	
Demographic and Economic Information	133 - 135
These schedules offer demographic and economic indicators to help the reader understand the environment within the Village's financial activities take place.	
Operating Information	136 - 138
These schedules contain service and infrastructure data to help the reader understand how the Village's financial report relates to the services the Village provides and the activities it performs.	

Sources: Unless otherwise noted, the information in these schedules is derived from the annual comprehensive financial reports for the relevant year.

Village of Lake ZurichNet Position by Component
Last Ten Fiscal Years

Fiscal Year	April 30, 2015	April 30, 2016*	December 31, 2016**	December 31, 2017	December 31, 2018	December 31, 2019	December 31, 2020	December 31, 2021	December 31, 2022	December 31, 2023
Governmental Activities										
Net investment in capital assets	\$ 80,503,360	\$ 82,125,245	\$ 82,623,774	\$ 83,071,165	\$ 83,682,136	\$ 88,305,543	\$ 85,919,640	\$ 86,028,829	\$ 86,971,571	\$ 90,136,014
Restricted	10,960,283	10,779,838	12,026,955	11,260,966	10,713,751	11,057,528	11,042,791	16,840,573	14,265,789	12,186,103
Unrestricted	(21,489,679)	(58,319,684)	(56,718,186)	(54,079,782)	(54,801,370)	(56,147,503)	(47,851,756)	(41,835,263)	(32,964,710)	(26,251,806)
Total governmental activities	<u>\$ 69,973,964</u>	<u>\$ 34,585,399</u>	<u>\$ 37,932,543</u>	<u>\$ 40,252,349</u>	<u>\$ 39,594,517</u>	<u>\$ 43,215,568</u>	<u>\$ 49,110,675</u>	<u>\$ 61,034,139</u>	<u>\$ 68,272,650</u>	<u>\$ 76,070,311</u>
Business-Type Activities										
Net investment in capital assets	\$ 39,678,649	\$ 39,130,472	\$ 39,849,034	\$ 38,774,738	\$ 36,769,636	\$ 37,783,758	\$ 38,573,695	\$ 39,003,754	\$ 39,432,356	\$ 43,974,861
Restricted	-	-	-	-	-	-	-	1,096,080	-	-
Unrestricted	3,440,249	4,078,672	3,147,564	4,700,206	4,885,210	5,881,004	7,587,296	8,948,490	12,258,068	14,130,379
Total business-type activities	<u>\$ 43,118,898</u>	<u>\$ 43,209,144</u>	<u>\$ 42,996,598</u>	<u>\$ 43,474,944</u>	<u>\$ 41,654,846</u>	<u>\$ 43,664,762</u>	<u>\$ 46,160,991</u>	<u>\$ 49,048,324</u>	<u>\$ 51,690,424</u>	<u>\$ 58,105,240</u>
Primary Government										
Net investment in capital assets	\$ 120,182,009	\$ 121,255,717	\$ 122,472,808	\$ 121,845,903	\$ 120,451,772	\$ 126,089,301	\$ 124,493,335	\$ 125,032,583	\$ 126,403,927	\$ 134,110,875
Restricted	10,960,283	10,779,838	12,026,955	11,260,966	10,713,751	11,057,528	11,042,791	17,936,653	14,265,789	12,186,103
Unrestricted	(18,049,430)	(54,241,012)	(53,570,622)	(48,379,576)	(49,916,160)	(50,266,499)	(40,264,460)	(32,886,773)	(20,706,642)	(12,121,427)
Total primary government	<u>\$ 113,092,862</u>	<u>\$ 77,794,543</u>	<u>\$ 80,929,141</u>	<u>\$ 83,727,293</u>	<u>\$ 81,249,363</u>	<u>\$ 86,880,330</u>	<u>\$ 95,271,666</u>	<u>\$ 110,082,463</u>	<u>\$ 119,963,074</u>	<u>\$ 134,175,551</u>

* The Village implemented GASB Statement No.68 in 2016, causing a reduction in unrestricted net position.

** The Village changed its fiscal year end from April 30 to December 31 for the period December 31, 2016.

Data Source

Audited Financial Statements

Village of Lake ZurichChange in Net Position
Last Ten Fiscal Years

Fiscal Year	April 30, 2015	April 30, 2016	December 31, 2016*	December 31, 2017	December 31, 2018	December 31, 2019	December 31, 2020	December 31, 2021	December 31, 2022	December 31, 2023
Expenses										
Governmental activities:										
General government	\$ 1,802,610	\$ 1,522,322	\$ 772,641	\$ 1,769,844	\$ 2,188,126	\$ 2,003,371	\$ 1,761,391	\$ 1,724,549	\$ 2,086,891	\$ 2,122,434
Public safety	19,438,857	20,687,223	16,155,251	22,066,110	22,341,200	22,631,359	21,301,322	18,808,688	24,533,255	24,887,179
Highways and streets	4,969,501	4,855,446	3,518,270	4,522,520	5,281,131	5,281,079	5,241,285	5,464,562	6,907,881	6,682,108
Culture and recreation	1,143,280	1,147,881	920,054	1,526,825	1,803,515	1,878,294	997,789	1,236,703	1,663,731	1,744,888
Economic development	1,128,755	1,515,262	1,231,598	2,186,755	1,071,579	1,408,997	1,502,578	618,979	720,097	620,537
Interest on long-term debt	1,738,490	1,475,911	1,088,971	967,636	1,045,097	1,000,955	946,072	885,519	849,545	820,534
Total governmental activities expenses	<u>30,221,493</u>	<u>31,204,045</u>	<u>23,686,785</u>	<u>33,039,690</u>	<u>33,730,648</u>	<u>34,204,055</u>	<u>31,750,437</u>	<u>28,739,000</u>	<u>36,761,400</u>	<u>36,877,680</u>
Business-type activities:										
Waterworks and sewerage	4,901,767	4,679,952	3,772,676	5,235,787	7,912,780	5,593,327	4,962,077	4,960,349	5,638,174	5,926,671
Total business-type activities expenses	<u>4,901,767</u>	<u>4,679,952</u>	<u>3,772,676</u>	<u>5,235,787</u>	<u>7,912,780</u>	<u>5,593,327</u>	<u>4,962,077</u>	<u>4,960,349</u>	<u>5,638,174</u>	<u>5,926,671</u>
Total primary government expenses	<u>\$ 35,123,260</u>	<u>\$ 35,883,997</u>	<u>\$ 27,459,461</u>	<u>\$ 38,275,477</u>	<u>\$ 41,643,428</u>	<u>\$ 39,797,382</u>	<u>\$ 36,712,514</u>	<u>\$33,699,349</u>	<u>\$ 42,399,574</u>	<u>\$ 42,804,351</u>
Program Revenues										
Governmental activities:										
Charges for services:										
General government	\$ 617,962	\$ 651,761	\$ 282,411	\$ 670,333	\$ 952,435	\$ 959,564	\$ 920,751	\$ 944,651	\$ 1,025,879	\$ 985,574
Public safety	7,392,854	7,096,281	5,712,362	8,312,753	8,394,249	9,010,081	8,272,702	9,213,468	10,686,378	10,007,803
Highways and streets	186,992	74,080	28,177	63,544	70,908	55,808	67,835	55,038	46,131	42,459
Culture and recreation	613,484	655,848	572,725	817,009	714,275	760,864	169,632	1,033,762	1,319,905	1,090,574
Economic development	35,000	95,679	67,340	94,975	-	-	-	-	-	-
Operating grants	905,163	594,937	392,568	610,354	564,495	740,143	742,456	810,422	810,124	876,088
Capital grants	-	47,133	-	66,442	17,636	19,233	468,874	648,180	444,296	236,547
Total governmental activities program revenues	<u>9,751,455</u>	<u>9,215,619</u>	<u>7,055,583</u>	<u>10,635,410</u>	<u>10,713,998</u>	<u>11,545,693</u>	<u>10,642,250</u>	<u>12,705,521</u>	<u>14,332,713</u>	<u>13,239,045</u>
Business-type activities:										
Charges for services:										
Waterworks and sewerage	4,949,523	5,382,500	3,545,694	5,672,242	6,191,268	7,431,278	7,395,537	7,848,540	8,128,400	8,470,911
Capital grants and contributions	336,000	-	-	-	-	-	-	-	-	-
Total business-type activities program revenues	<u>5,285,523</u>	<u>5,382,500</u>	<u>3,545,694</u>	<u>5,672,242</u>	<u>6,191,268</u>	<u>7,431,278</u>	<u>7,395,537</u>	<u>7,848,540</u>	<u>8,128,400</u>	<u>8,470,911</u>
Total primary government program revenues	<u>\$ 15,036,978</u>	<u>\$ 14,598,119</u>	<u>\$ 10,601,277</u>	<u>\$ 16,307,652</u>	<u>\$ 16,905,266</u>	<u>\$ 18,976,971</u>	<u>\$ 18,037,787</u>	<u>\$20,554,061</u>	<u>\$ 22,461,113</u>	<u>\$ 21,709,956</u>
Net Revenue (Expense)										
Governmental activities	\$ (20,470,038)	\$ (21,988,426)	\$ (16,631,202)	\$ (22,404,280)	\$ (23,016,650)	\$ (22,658,362)	\$ (21,108,187)	(16,033,479)	\$ (22,428,687)	\$ (23,638,635)
Business-type activities	383,756	702,548	(226,982)	436,455	(1,721,512)	1,837,951	2,433,460	2,888,191	2,490,226	2,544,240
Total primary government net revenue (expense)	<u>\$ (20,086,282)</u>	<u>\$ (21,285,878)</u>	<u>\$ (16,858,184)</u>	<u>\$ (21,967,825)</u>	<u>\$ (24,738,162)</u>	<u>\$ (20,820,411)</u>	<u>\$ (18,674,727)</u>	<u>(13,145,288)</u>	<u>\$ (19,938,461)</u>	<u>\$ (21,094,395)</u>

Village of Lake ZurichChange in Net Position
Last Ten Fiscal Years

Fiscal Year	April 30, 2015	April 30, 2016	December 31, 2016*	December 31, 2017	December 31, 2018	December 31, 2019	December 31, 2020	December 31, 2021	December 31, 2022	December 31, 2023
General Revenues and Other Changes in Net Position										
Governmental activities:										
Taxes:										
Property	\$ 9,927,632	\$ 10,134,009	\$ 10,413,933	\$ 10,521,260	\$ 10,715,277	\$ 11,006,718	\$ 10,834,425	\$ 11,170,535	\$ 11,446,095	\$ 12,211,210
Intergovernmental:										
Sales	8,640,078	8,767,277	6,093,965	9,143,132	9,235,646	9,230,561	8,485,802	9,722,198	10,412,530	10,753,592
State income	1,922,554	2,092,124	1,192,340	1,803,091	1,879,984	2,089,504	2,133,279	2,594,046	3,219,676	3,155,895
Other	2,296,792	2,748,646	1,838,240	2,752,753	2,942,335	2,993,025	3,949,827	3,628,885	3,797,601	6,105,673
Special events	-	108,533	118,252	193,260	140,970	158,575	5,406	99,860	118,415	138,578
Investment income	69,306	76,417	35,346	143,796	353,593	510,432	183,374	(14,708)	388,348	2,047,136
Miscellaneous	241,171	241,191	286,270	166,794	269,904	290,598	491,567	756,127	284,533	320,927
Transfers in (out)	-	-	-	-	-	-	-	-	-	(3,296,715)
Total governmental activities	<u>23,097,533</u>	<u>24,168,197</u>	<u>19,978,346</u>	<u>24,724,086</u>	<u>25,537,709</u>	<u>26,279,413</u>	<u>26,083,680</u>	<u>27,956,943</u>	<u>29,667,198</u>	<u>31,436,296</u>
Business-type activities:										
Investment income	7,228	12,191	14,436	41,891	122,645	162,361	55,823	(1,707)	134,317	573,861
Gain on sale of capital assets	-	5,044	-	-	-	-	-	-	-	-
Miscellaneous	-	-	-	-	19,995	9,604	6,946	849	17,557	-
Transfers in (out)	-	-	-	-	-	-	-	-	-	3,296,715
Total business-type activities	<u>7,228</u>	<u>17,235</u>	<u>14,436</u>	<u>41,891</u>	<u>142,640</u>	<u>171,965</u>	<u>62,769</u>	<u>(858)</u>	<u>151,874</u>	<u>3,870,576</u>
Total primary government	<u>\$ 23,104,761</u>	<u>\$ 24,185,432</u>	<u>\$ 19,992,782</u>	<u>\$ 24,765,977</u>	<u>\$ 25,680,349</u>	<u>\$ 26,451,378</u>	<u>\$ 26,146,449</u>	<u>\$ 27,956,085</u>	<u>\$ 29,819,072</u>	<u>\$ 35,306,872</u>
Special Item										
Governmental activities	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>
Change in Net Position										
Governmental activities	\$ 2,627,495	\$ 2,179,771	\$ 3,347,144	\$ 2,319,806	\$ 2,521,059	\$ 3,621,051	\$ 4,975,493	\$ 11,923,464	\$ 7,238,511	\$ 7,797,661
Business-type activities	<u>390,984</u>	<u>719,783</u>	<u>(212,546)</u>	<u>478,346</u>	<u>(1,578,872)</u>	<u>2,009,916</u>	<u>2,496,229</u>	<u>2,887,333</u>	<u>2,642,100</u>	<u>6,414,816</u>
Total primary government change in net position	<u>\$ 3,018,479</u>	<u>\$ 2,899,554</u>	<u>\$ 3,134,598</u>	<u>\$ 2,798,152</u>	<u>\$ 942,187</u>	<u>\$ 5,630,967</u>	<u>\$ 7,471,722</u>	<u>\$ 14,810,797</u>	<u>\$ 9,880,611</u>	<u>\$ 14,212,477</u>

* The Village changed its fiscal year end from April 30 to December 31 for the period December 31, 2016.

Data Source

Audited Financial Statements

Village of Lake ZurichFund Balances of Governmental Funds
Last Ten Fiscal Years

Fiscal Year	April 30, 2015	April 30, 2016	December 31, 2016*	December 31, 2017	December 31, 2018	December 31, 2019	December 31, 2020	December 31, 2021	December 31, 2022	December 31, 2023
General Fund										
Nonspendable	\$ 1,874,738	\$ 1,802,987	\$ 1,679,491	\$ 1,705,230	\$ 1,572,766	\$ 1,607,125	\$ 1,593,569	\$ 1,692,255	\$ 1,653,587	\$ 1,654,878
Restricted	434,061	363,308	344,337	411,917	406,251	185,151	284,870	318,483	263,469	254,959
Assigned	-	-	-	-	-	-	10,610	11,015	11,380	12,582
Unrestricted	7,329,746	7,931,993	8,439,557	8,441,987	8,755,112	9,582,847	10,190,688	10,967,447	12,023,069	12,582,206
Total general fund	<u>\$ 9,638,545</u>	<u>\$ 10,098,288</u>	<u>\$ 10,463,385</u>	<u>\$ 10,559,134</u>	<u>\$ 10,734,129</u>	<u>\$ 11,375,123</u>	<u>\$ 12,079,737</u>	<u>\$ 12,989,200</u>	<u>\$ 13,951,505</u>	<u>\$ 14,504,625</u>
All Other Governmental Funds										
Nonspendable	\$ 4,013	\$ 30,581	\$ 6,597	\$ 14,197	\$ 18,834	\$ 7,323	\$ 7,020	\$ 8,308	\$ 13,113	\$ 13,085
Restricted	10,526,222	10,416,530	11,682,618	10,849,049	10,307,500	10,872,377	10,757,921	12,543,275	14,080,043	12,001,551
Assigned	258,605	170,808	120,860	1,269,808	2,710,282	2,986,339	4,787,890	7,343,294	9,867,277	14,421,636
Unassigned	(1,336,239)	(1,494,225)	(1,291,801)	(1,143,367)	(1,133,627)	(963,168)	(868,403)	(906,101)	(927,198)	(1,038,087)
Total all other governmental funds	<u>\$ 9,452,601</u>	<u>\$ 9,123,694</u>	<u>\$ 10,518,274</u>	<u>\$ 10,989,687</u>	<u>\$ 11,902,989</u>	<u>\$ 12,902,871</u>	<u>\$ 14,684,428</u>	<u>\$ 18,988,776</u>	<u>\$ 23,033,235</u>	<u>\$ 25,398,185</u>

* The Village changed its fiscal year end from April 30 to December 31 for the period December 31, 2016.

Data Source

Audited Financial Statements

Village of Lake Zurich

General Governmental Revenues by Source
Last Ten Fiscal Years

Fiscal Year	April 30, 2015	April 30, 2016	December 31, 2016*	December 31, 2017	December 31, 2018	December 31, 2019	December 31, 2020	December 31, 2021	December 31, 2022	December 31, 2023
Taxes	\$ 14,047,185	\$ 14,575,401	\$ 13,415,421	\$ 14,897,858	\$ 15,224,671	\$ 15,482,507	\$ 14,955,192	\$ 15,814,744	\$ 16,499,278	\$ 16,998,923
Licenses and permits	1,030,867	861,876	342,861	783,630	720,053	758,237	676,071	917,300	1,032,763	833,894
Intergovernmental	15,103,784	15,254,299	11,034,163	15,758,848	15,743,850	16,728,376	17,516,601	19,130,804	20,235,800	23,242,935
Charges for services	1,587,616	1,681,998	1,324,421	1,861,081	2,968,092	3,071,639	2,205,874	3,191,355	4,704,534	3,574,022
Fines and forfeitures	785,685	593,134	420,251	1,504,158	601,130	591,896	472,175	397,506	399,579	420,642
Special events	-	108,533	118,247	193,667	140,970	158,575	4,745	99,454	118,050	137,376
Investment income	69,306	76,417	35,346	143,796	294,585	446,764	159,291	(18,646)	295,303	1,759,026
Miscellaneous	224,545	189,008	343,219	216,458	232,302	372,740	199,298	797,259	308,116	335,476
Total revenues	<u>\$ 32,848,988</u>	<u>\$ 33,340,666</u>	<u>\$ 27,033,929</u>	<u>\$ 35,359,496</u>	<u>\$ 35,925,653</u>	<u>\$ 37,610,734</u>	<u>\$ 36,189,247</u>	<u>\$ 40,329,776</u>	<u>\$ 43,593,423</u>	<u>\$ 47,302,294</u>

* The Village changed its fiscal year end from April 30 to December 31 for the period December 31, 2016.

Note: Includes all governmental funds.

Data Source

Audited Financial Statements

Village of Lake Zurich

General Governmental Expenditures by Function
Last Ten Fiscal Years

Fiscal Year	April 30, 2015	April 30, 2016	December 31, 2016*	December 31, 2017	December 31, 2018	December 31, 2019	December 31, 2020	December 31, 2021	December 31, 2022	December 31, 2023
General government	\$ 2,576,664	\$ 2,478,464	\$ 1,810,269	\$ 1,782,457	\$ 1,805,792	\$ 1,851,711	\$ 1,735,211	\$ 1,785,443	\$ 1,788,570	\$ 2,009,283
Public safety	19,097,605	20,087,385	15,540,578	21,304,838	21,412,327	21,959,433	21,748,967	22,717,324	23,939,082	24,461,954
Highways and streets	4,668,487	4,986,161	3,790,189	4,341,341	5,068,175	5,575,873	5,624,641	5,451,826	6,079,871	7,456,053
Culture and recreation	885,710	888,270	717,928	1,310,582	1,427,470	1,630,883	843,250	1,151,601	1,476,243	1,585,739
Economic development	1,128,464	1,507,657	1,227,799	2,188,022	1,292,899	1,441,722	1,582,764	1,110,877	1,717,765	4,840,865
Capital outlay	1,401,055	645,296	290,463	300,552	946,789	780,102	282,556	482,789	1,514,811	1,962,077
Debt service:										
Principal	2,790,000	1,460,000	1,701,000	1,320,000	1,535,000	1,625,000	1,715,000	1,360,000	1,400,000	1,440,000
Interest	1,585,100	1,205,295	891,844	915,439	846,844	799,094	745,943	697,083	662,106	633,885
Total expenditures	<u>\$ 34,133,085</u>	<u>\$ 33,258,528</u>	<u>\$ 25,970,070</u>	<u>\$ 33,463,231</u>	<u>\$ 34,335,296</u>	<u>\$ 35,663,818</u>	<u>\$ 34,278,332</u>	<u>\$ 34,756,943</u>	<u>\$ 38,578,448</u>	<u>\$ 44,389,856</u>

* The Village changed its fiscal year end from April 30 to December 31 for the period December 31, 2016.

Note: Includes all governmental funds.

Data Source

Audited Financial Statements

Village of Lake Zurich

Changes in Fund Balances of Governmental Funds
Last Ten Fiscal Years

Fiscal Year	April 30, 2015	April 30, 2016	December 31, 2016*	December 31, 2017	December 31, 2018	December 31, 2019	December 31, 2020	December 31, 2021	December 31, 2022	December 31, 2023
Revenues										
Taxes	\$ 14,047,185	\$ 14,575,401	\$ 13,415,421	\$ 14,897,858	\$ 15,224,671	\$ 15,482,507	\$ 14,955,192	\$ 15,814,744	\$ 16,499,278	\$ 16,998,923
Licenses and permits	1,030,867	861,876	342,861	783,630	720,053	758,237	676,071	917,300	1,032,763	833,894
Intergovernmental	15,103,784	15,254,299	11,034,163	15,758,848	15,743,850	16,728,376	17,516,801	19,130,804	20,235,800	23,242,935
Charges for services	1,587,616	1,681,998	1,324,421	1,861,081	2,968,092	3,071,639	2,205,874	3,191,355	4,704,534	3,574,022
Fines and forfeitures	785,685	593,134	420,251	1,504,158	601,130	591,896	472,175	397,506	399,579	420,642
Special events	-	108,533	118,247	193,667	140,970	158,575	4,745	99,454	118,050	137,376
Investment income	69,306	76,417	35,346	143,796	294,585	446,764	159,291	(18,646)	295,303	1,759,026
Miscellaneous	224,545	189,008	343,219	216,458	232,302	372,740	199,298	797,259	308,116	335,476
Total revenues	32,848,988	33,340,666	27,033,929	35,359,496	35,925,653	37,610,734	36,189,247	40,329,776	43,593,423	47,302,294
Expenditures										
General government	2,576,664	2,478,464	1,810,269	1,782,457	1,805,792	1,851,711	1,735,211	1,785,443	1,788,570	2,009,283
Public safety	19,097,605	20,087,385	15,540,578	21,304,838	21,412,327	21,959,433	21,748,967	22,717,324	23,939,082	24,461,954
Highways and streets	4,668,487	4,986,161	3,790,189	4,341,341	5,068,175	5,575,873	5,624,641	5,451,826	6,079,871	7,456,053
Culture and recreation	885,710	888,270	717,928	1,310,582	1,427,470	1,630,883	843,250	1,151,601	1,476,243	1,585,739
Economic development	1,128,464	1,507,657	1,227,799	2,188,022	1,292,899	1,441,722	1,582,764	1,110,877	1,717,765	4,840,865
Capital outlay	1,401,055	645,296	290,463	300,552	946,789	780,102	282,556	462,789	1,514,811	1,962,077
Debt service:										
Principal	2,790,000	1,460,000	1,701,000	1,320,000	1,535,000	1,625,000	1,715,000	1,360,000	1,400,000	1,440,000
Interest	1,585,100	1,205,295	891,844	915,439	846,844	799,094	745,943	697,083	662,106	633,885
Total expenditures	34,133,085	33,258,528	25,970,070	33,463,231	34,335,296	35,663,818	34,278,332	34,756,943	38,578,448	44,389,856
Excess (Deficiency) of Revenues Over Expenditures	(1,284,097)	82,138	1,063,859	1,896,265	1,590,357	1,946,916	1,910,915	5,572,833	5,014,975	2,912,438
Other Financing Sources (Uses)										
Proceeds from bond issuance, at par	19,155,000	-	7,861,000	-	-	-	-	-	-	-
Premium on bonds issued	397,596	-	-	-	-	-	-	-	-	-
Payments to escrow agent	(18,746,704)	-	(6,890,182)	-	-	-	-	-	-	-
Proceeds from financed purchase obligation	129,856	48,698	35,000	18,533	19,522	43,960	55,642	40,978	41,789	55,632
Proceeds from sale of capital assets	24,705	-	-	(1,047,636)	-	-	-	-	-	-
Loss on disposal of land held for resale	-	-	-	-	-	-	-	-	-	-
Transfers in	7,075,090	2,751,426	1,876,600	3,757,271	3,674,562	3,883,271	4,349,478	4,727,558	6,350,050	8,763,613
Transfers (out)	(7,075,090)	(2,751,426)	(2,186,600)	(4,057,271)	(4,196,144)	(4,233,271)	(4,749,478)	(5,127,558)	(6,400,050)	(8,813,613)
Total other financing sources (uses)	960,453	48,698	695,818	(1,329,103)	(502,060)	(306,040)	(344,358)	(359,022)	(8,211)	5,632
Net change in fund balances	\$ (323,644)	\$ 130,836	\$ 1,759,677	\$ 567,162	\$ 1,088,297	\$ 1,640,876	\$ 1,566,557	\$ 5,213,811	\$ 5,006,764	\$ 2,918,070
Debt Service as a Percentage of Noncapital Expenditures	12.10%	8.17%	10.65%	7.04%	7.38%	7.14%	7.67%	6.38%	5.84%	5.24%

* The Village changed its fiscal year end from April 30 to December 31 for the period December 31, 2016.

Data Source

Audited Financial Statements

Village of Lake Zurich

Assessed Value and Actual Value of Taxable Property
Last Ten Levy Years

<u>Levy Year</u>	<u>Residential Property</u>	<u>Commercial Property</u>	<u>Total</u>	<u>Railroad</u>	<u>Total Assessed Value</u>	<u>Total Direct Tax Rate</u>
2013	\$ 554,924,634	\$ 201,393,741	\$ 756,318,375	\$ 573,654	\$ 756,892,029	\$ 1.132
2014	553,285,740	215,022,246	768,307,986	671,745	768,979,731	1.143
2015	579,562,017	213,818,454	793,380,471	810,109	794,190,580	1.131
2016	610,424,796	219,836,168	830,260,964	894,933	831,155,897	1.092
2017	630,620,612	230,592,071	861,212,683	739,186	861,951,869	1.079
2018	636,877,562	235,414,565	872,292,127	778,264	873,070,391	1.092
2019	668,639,237	241,331,206	909,970,443	784,307	910,754,750	1.011
2020	664,190,908	239,469,359	903,660,267	774,826	904,435,093	1.043
2021	666,686,492	240,440,404	907,126,896	774,826	907,901,722	1.061
2022	690,193,995	248,419,831	938,613,826	710,726	939,324,552	1.079

Data Source

Office of the County Clerk

Village of Lake Zurich

Property Tax Rates - Direct and Overlapping Governments
Last Ten Levy Years

Tax Levy Year	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022
Tax Rates										
Village of Lake Zurich										
Corporate	0.247	0.251	0.011	-	-	-	-	-	-	-
Police protection	0.084	0.088	0.196	0.191	0.193	0.202	0.193	0.194	0.197	0.211
Fire protection	0.084	0.088	0.196	0.191	0.193	0.202	0.193	0.194	0.197	0.211
Ambulance	0.019	0.020	0.020	0.000	0.000	0.000	0.000	0.000	0.000	0.000
Illinois municipal retirement	0.026	0.026	0.042	0.012	0.006	0.005	0.004	0.005	0.008	0.005
Debt service	0.211	0.211	0.204	0.197	0.192	0.193	0.129	0.133	0.134	0.136
Special recreation	0.024	0.023	0.023	0.022	0.021	0.021	0.020	0.020	0.020	0.019
Police pension	0.185	0.188	0.197	0.215	0.209	0.207	0.211	0.222	0.228	0.228
Firefighters' pension	0.252	0.248	0.241	0.265	0.264	0.263	0.261	0.275	0.274	0.267
Ptab/ce recapture	-	-	-	-	-	-	-	-	0.002	0.002
Total direct tax rate	1.132	1.143	1.131	1.092	1.079	1.092	1.011	1.043	1.061	1.079
Overlapping Rates										
Lake County	0.663	0.682	0.663	0.632	0.622	0.612	0.597	0.598	0.598	0.589
Lake County Forest Preserve	0.218	0.210	0.208	0.193	0.187	0.182	0.180	0.182	0.179	0.173
Ela Area Library District	0.409	0.410	0.398	0.381	0.371	0.318	0.319	0.322	0.329	0.331
School District #95	5.242	5.291	5.191	5.021	4.960	5.021	4.986	5.091	5.206	5.265
School District #96	3.976	4.040	3.870	3.690	3.655	3.717	3.766	3.936	4.032	4.139
High School District #125	2.989	3.049	3.004	2.858	2.862	2.888	2.872	2.983	3.092	3.192
Community College #532	0.296	0.306	0.299	0.285	0.281	0.282	0.282	0.290	0.293	0.296
Ela Township - Corp. and GA	0.100	0.100	0.098	0.095	0.093	0.094	0.094	0.096	0.149	0.145
Ela Township - road and bridge	0.011	0.010	0.010	0.010	0.010	0.052	0.052	0.053	-	-
Ela Township - gravel or R.I.	0.046	0.045	0.045	0.043	0.042	-	-	-	-	-
Barrington Public Library District	0.228	0.231	0.225	0.220	0.217	0.218	0.223	0.232	0.240	0.242
Total direct and overlapping tax rate	15.310	15.518	15.144	14.520	14.380	14.476	14.381	14.825	15.179	15.451

[Data Source](#)

Office of the County Clerk

Village of Lake ZurichPrincipal Property Taxpayers
Current Year and Nine Years Ago

Taxpayer	2023			2014		
	Taxable Assessed Value	Rank	Percentage of Total Village Taxable Assessed Valuation	Taxable Assessed Value	Rank	Percentage of Total Village Taxable Assessed Valuation
Echo Incorporated	\$ 8,323,988	1	0.89%	\$ 5,303,472	4	0.67%
Village Square Retail Center LLC	7,529,255	2	0.80%	6,423,511	1	0.81%
Landings Capital Partners, LLC	6,989,166	3	0.74%			
JAS II Holdings LLC	5,941,455	4	0.63%			
Realty Income IL Properties 1 LLC	5,617,849	5	0.60%			
Suso North Lake LP	5,430,453	6	0.58%			
Deerpath Courth Holdings LLC	4,550,463	7	0.48%	4,905,330	5	0.62%
The Greenhill Company LLC	4,539,569	8	0.48%			
Costco Wholesale Corp	4,462,874	9	0.48%	3,866,191	6	0.49%
PSL Lake Zurich Property Owner LLC	4,438,060	10	0.47%			
Deerpath Commons Retail Center				6,208,375	2	0.78%
Individual Taxpayer (North Lake Commons)				6,130,529	3	0.77%
Wal-Mart Properties Inc				3,775,589	7	0.48%
Liberty Realty Lake Zurich LLC				3,333,737	8	0.42%
Regal Cinemas Inc.				2,906,620	9	0.37%
Target				2,302,063	10	0.29%
	<u>\$ 57,823,132</u>		<u>6.16%</u>	<u>\$ 45,155,417</u>		<u>5.70%</u>

Data Source

Office of the County Clerk and Ela Township Assessor

Village of Lake Zurich

Property Tax Levies and Collections
Last Ten Levy Years

Fiscal Year Ended	Tax Levy Year	Taxes Levied for the Fiscal Year	Collected within the Fiscal Year of the Levy		Collections in Subsequent Years	Total Collections to Date	
			Amount	Percentage of Levy		Amount	Percentage of Levy
2014	2013	\$ 8,637,807	\$ 8,623,589	99.84%	\$ 2,301	\$ 8,625,891	99.86%
2015	2014	8,794,144	8,780,768	99.85%	8,382	8,789,150	99.94%
2016	2015	9,016,727	8,967,347	99.45%	-	8,967,347	99.45%
2017	2016	9,124,243	9,013,937	98.79%	1,325	9,015,262	98.81%
2018	2017	9,301,823	9,258,837	99.54%	97	9,258,934	99.54%
2019	2018	9,603,574	9,521,520	99.15%	2,606	9,524,126	99.17%
2020	2019	9,308,231	9,188,713	98.72%	-	9,188,713	98.72%
2021	2020	9,474,147	9,414,644	99.37%	-	9,414,644	99.37%
2022	2021	9,671,391	9,610,525	99.37%	-	9,610,525	99.37%
2023	2022	10,193,977	10,110,602	99.18%	9,043	10,119,645	99.27%

* To be collected in the subsequent fiscal year in accordance with Illinois Law.

Data Source

Office of the County Clerk

Village of Lake Zurich

Ratios of Outstanding Debt by Type
Last Ten Fiscal Years

Fiscal Year Ended	Governmental Activities				Business-Type Activities			Total Primary Government	Total Equalized Assessed Value (EAV)
	General Obligation Bonds	General Obligation TIF Alternate Revenue Bonds	TIF Revenue Bonds	Financed Purchase Obligation	Waterworks and Sewerage Alt Revenue Bonds	IEPA Loan	Financed Purchase Obligation		
30-Apr 2015	\$ 2,305,000	\$ 25,865,000	\$ 550,000	\$ 764,956	\$ 3,800,000	\$ 2,623,190	\$ -	\$ 35,908,146	\$ 756,892,029
30-Apr 2016	1,885,000	25,375,000	-	599,590	3,390,000	2,444,244	-	33,693,834	768,979,731
31-Dec 2016	1,885,000	25,545,000	-	551,196	3,990,000	2,302,805	-	34,274,001	794,190,580
31-Dec 2017	1,450,000	24,660,000	-	378,767	3,500,000	2,115,799	3,411,582	35,516,148	831,155,897
31-Dec 2018	990,000	23,585,000	-	252,725	2,970,000	1,924,089	3,358,063	33,079,877	861,951,869
31-Dec 2019	505,000	22,445,000	-	146,878	2,425,000	1,727,557	3,202,216	30,451,651	873,070,391
31-Dec 2020	-	21,235,000	-	14,560	1,875,000	1,526,081	3,042,112	27,692,753	910,754,750
31-Dec 2021	-	19,875,000	-	25,377	1,325,000	1,319,536	2,877,634	25,422,547	904,435,093
31-Dec 2022	-	18,475,000	-	17,300	820,000	1,107,795	2,708,660	23,128,755	907,901,722
31-Dec 2023	-	17,035,000	-	10,555	320,000	890,728	2,488,212	20,744,495	939,324,552

* See the schedule of Demographic and Economic Information on page 148 for personal income and population data.

Note: Details of the Village's outstanding debt can be found in the notes to financial statements.

[Data Source](#)

Audited Financial Statements

Village of Lake Zurich

Ratios of General Bonded Debt Outstanding
Last Ten Fiscal Years

Fiscal Year Ended		Gross General Obligation Bonds	Less Amounts Available In Debt Service Fund	Total	Percentage of Equalized Assessed Value
30-Apr	2015	\$ 2,305,000	\$ 825,140	\$ 1,479,860	0.19%
30-Apr	2016	1,885,000	841,020	1,043,980	0.13%
31-Dec	2016	1,885,000	1,326,294	558,706	0.07%
31-Dec	2017	1,450,000	1,336,531	113,469	0.01%
31-Dec	2018	990,000	990,000	-	0.00%
31-Dec	2019	505,000	505,000	-	0.00%
31-Dec	2020	-	-	-	0.00%
31-Dec	2021	-	-	-	0.00%
31-Dec	2022	-	-	-	0.00%
31-Dec	2023	-	-	-	0.00%

Data Source

Village records

Village of Lake Zurich

Direct and Overlapping Bonded Debt - Governmental Activities

December 31, 2023

Governmental Unit	Gross Debt	(1) Percentage of Debt Applicable to Government	* Village's Share of Debt
Village of Lake Zurich	\$ 17,107,858 (2)	100.00%	\$ 17,107,858
Lake County	143,955,000	3.26%	4,692,933
Lake County Forest Preserve	149,520,000	3.26%	4,874,352
Ela Area Library District	-	N/A	-
School District #95	67,970,000	50.01%	33,991,797
School District #96	-	N/A	-
High School District #125	43,525,000	1.08%	470,070
Community College #532	77,725,000	3.42%	2,658,195
	<u>482,695,000</u>		<u>46,687,347</u>
Total direct and overlapping debt	\$ <u>499,802,858</u>		\$ <u>63,795,205</u>

(1) Determined by the ratio of assessed value of property in the Village subject to taxation by the governmental unit to the total assessed value of property of the governmental unit.

(2) Consists of total bonds payable and capital leases for governmental activities.

* Amount of column (2) multiplied by amount in column (1).

Data Source

Lake County Clerk

Village of Lake Zurich

Schedule of Legal Debt Margin Information
December 31, 2023

Equalized Assessed Valuation - 2022	\$ 939,324,552
Legal debt limit, 8.625% of assessed valuation	\$ 81,016,743
Amount of debt applicable to debt limit:	
General obligation bonds	-
Legal Debt Margin	\$ 81,016,743

* Most Recent EAV Available

Chapter 65, Section 5/8-5-1 of the Illinois Compiled Statutes provides, "...no municipality having a population of less than 500,000 shall become indebted in any manner or for any purpose, to an amount, including existing indebtedness in the aggregate exceeding 8.625% on the value of the taxable property therein, to be ascertained by the last assessment for state and county purposes, previous to the incurring of the indebtedness or, until January 1, 1983, if greater, the sum that is produced by multiplying the municipality's 1978 equalized assessed valuation by the debt limitation percentage in effect on January 1, 1979.

Village of Lake Zurich

Pledged-Revenue Coverage
Last Ten Fiscal Years

<u>Fiscal Year End</u>	<u>Sales Tax Revenues*</u>	<u>TIF Debt</u>		<u>Coverage</u>
		<u>Principal</u>	<u>Interest</u>	
30-Apr 2015	\$ 6,658,825	\$ 815,000	\$ 856,478	398%
30-Apr 2016	6,790,142	490,000	1,057,105	439%
31-Dec 2016	4,691,004	625,000	826,302	323%
31-Dec 2017	7,100,938	885,000	811,427	419%
31-Dec 2018	7,126,460	1,075,000	764,095	387%
31-Dec 2019	7,096,963	1,140,000	733,975	379%
31-Dec 2020	6,500,524	1,210,000	700,004	340%
31-Dec 2021	7,300,323	1,360,000	662,711	361%
31-Dec 2022	7,760,427	1,400,000	628,691	383%
31-Dec 2023	8,085,947	1,440,000	591,978	398%

*As defined in applicable bond indentures and governing laws. Amount shown represents Municipal Sales Tax received by the Village. Additional revenues have also been pledged, should sales tax ever fail to be sufficient.

Data Source

Village records

Village of Lake Zurich

Demographic and Economic Information
Last Ten Fiscal Years

Fiscal Year End		(1) Population	(1) Per Capita Personal Income	(1) Median Age	(2) School Enrollment	(3) Unemployment Rate
30-Apr	2014	20,043	\$ 39,128	41.1	5,892	6.7%
30-Apr	2015	19,993	39,271	39.9	5,716	4.5%
30-Apr	2016	19,993	41,168	38.8	5,769	5.5%
31-Dec	2016	19,993	42,397	40.0	5,666	5.3%
31-Dec	2017	19,993	46,202	39.6	5,677	4.9%
31-Dec	2018	19,903	44,486	38.9	5,590	4.2%
31-Dec	2019	20,054	45,895	38.9	5,616	4.2%
31-Dec	2020	19,877	48,879	38.8	5,565	4.4%
31-Dec	2021	19,660	49,263	39.0	5,461	3.7%
31-Dec	2022	19,624	53,169	40.8	5,480	4.2%
31-Dec	2023	19,749	59,566	41.2	5,585	4.7%

Data Source

- (1) Based on U.S. Census Bureau for Lake County, Illinois (Estimates in non-census years)
 (2) Annual School Census by Community Unit School District #95
 (3) Illinois Department of Employment Security

Village of Lake Zurich

Principal Employers
Current Year and Nine Years Ago

<u>Employer</u>	<u>2023</u>			<u>2014</u>		
	<u>Employees</u>	<u>Rank</u>	<u>% of Total Village Population</u>	<u>Employees</u>	<u>Rank</u>	<u>% of Total Village Population</u>
Fresenius Kabi USA	3000	1	15%			
Echo Inc	800	2	4%	822	1	4%
B&B Maintenance, Inc.	680	3	3%			
Smalley Steel Ring Cp.	600	4	3%	496	4	2%
General Binding Corp	500	5	3%			
Lake Zurich High School	500	6	3%			
ACCO Brands Corp	500	7	3%			
Termax Corporation	400	8	2%	362	5	2%
Continental Automotive Systems	400	9	2%			
	250	10	1%			
Peapod				700	2	4%
Lake Zurich Community School Dist #95				611	3	3%
YMCA				279	6	1%
Insight Beverages				199	7	1%
D&W Fine Pack				180	8	1%
Village of Lake Zurich				160	9	1%
All American Exterior Solutions				151	10	1%
	<u>7,630</u>		<u>39%</u>	<u>3,960</u>		<u>20%</u>
Village population			19,749			19,917

Data Source

2023: Lake County Partner records and verification by employers when available.
2013 statistics are from Village Records

This table typically excludes the Village's larger retail establishments, which include food stores (Mariano's and Jewel) and department stores (Home Depot, Costco, Wal-Mart, Target, and Kohl's).

Village of Lake ZurichFull-Time Equivalent Employees
Last Ten Fiscal Years

Function/Program	Year End April 30 2015	Year End April 30 2016	Year End December 31 2016	Year End December 31 2017	Year End December 31 2018	Year End December 31 2019	Year End December 31 2020	Year End December 31 2021	Year End December 31 2022	Year End December 31 2023
General Government										
Administration	5	4	4	4	4	4	4	4	4	5
Finance	5	5	6	6	6	6	6	6	6	6
Technology	1	1	1	1	1	1	1	1	0	1
Community Services										
Building and Zoning	7	7	6	5	5	5	5	5	5	5
Public Works, General Services	17	17	17	17	17	18	18	18	19	21
Public Works, Water and Sewer	14	13	12	12	12	12	12	12	12	12
Police	51	51	52	52	52	52	52	52	52	52
Fire	58	58	58	58	58	55	55	55	55	57
Engineering										
Recreation	2	2	3	3	3	3	3	3	3	4
Total	160	158	159	158	158	156	156	156	156	163

Data Source

Village records

Village of Lake Zurich

Operating Indicators by Function
Last Ten Fiscal Years

Function/Program	Year End April 30 2015	Year End April 30 2016	Year End April 30 2016	Year End April 30 2017
Public Works				
Forestry				
Number of parkway trees planted	24	21	218	307
Number of parkway trees trimmed	902	1,148	320	656
Fleet services				
Number of vehicles maintained	92	81	82	82
Preventative maintenance	964	753	501	738
Public Safety				
Fire				
Number of fire calls	1,844	1,633	590	1,373
Number of EMS calls	2,150	2,204	1,511	2,602
Number of training hours	10,075	8,566	6,546	14,341
Police				
Part I crime	344	276	94	327
Calls for service	9,067	8,757	5,409	7,104
State tickets issued	2,637	2,318	1,442	1,858
Compliance tickets issued	36	42	18	68
Parking tickets issued	1,389	856	581	576
Red light citations	5,262	3,548	3,118	4,451
Community Development				
Number of building permits issued	3,487	829	1,274	1,541
Number of building inspections	6,484	2,128	2,644	3,188
Highways and Streets				
Sidewalk replaced (square feet)	15,345	23,114	37,885	22,000
Annual resurfacing program (\$)	1,323,465	1,442,109	1,316,758	860,442
Crack sealing (lbs. installed)	55,564	55,000	43,668	39,823
Curb replaced (ln. ft.)	3,892	4,366	8,555	2,265
Water and Sewer				
Water main breaks	40	30	25	31
Hydrants flushed	1,790	1,797	-	1,504
Water meters read	81,000	81,000	53,432	81,000
Water meter service requests	1,172	997	730	1,105
Total distribution pumpage (1,000 gallons)	604MG	593MG	443MG	570MG
Average daily consumption (1,000 gallons)	1.3MG	1.3MG	1.3MG	1.3MG
Sanitary sewer televising (feet)	33,974	3,182	3,152	54,523
Sanitary sewer repairs	2	3	10	1

N/A - Not available

Data Source

Village records

Year End December 31 2018	Year End December 31 2019	Year End December 31 2020	Year End December 31 2021	Year End December 31 2022	Year End December 31 2023
276	-	266	242	417	383
377	750	300	352	324	562
82	81	81	84	83	82
704	694	705	693	688	674
1,388	1,422	1,095	1,251	1,487	1,471
2,788	2,655	2,528	2,918	3,246	3,315
14,563	13,216	12,867	14,499	16,517	19,237
264	260	587	NA	NA	646
7,313	8,453	7,325	7,403	9,715	9,822
2,373	2,360	1,848	2,115	2,504	2,566
37	58	48	47	52	55
565	520	292	385	464	612
3,545	3,433	2,937	2,137	2,459	2,372
1,435	1,466	1,506	1,627	1,536	1,378
3,030	3,958	3,694	4,583	5,301	4,055
50,900	40,588	37,775	35,600	32,525	42,796
1,246,860	1,581,334	1,384,210	1,594,360	1,713,206	2,366,479
53,000	53,097	41,538	33,870	38,167	17,013
12,100	6,924	6,406	6,508	9,412	10,893
39	26	28	40	35	37
1,505	1,505	1,520	1,520	1,550	1,555
84,000	82,344	82,344	82,344	84,192	82,872
587	447	296	320	359	394
549MG	550MG	548MG	560MG	580MG	585MG
1.3MG	1.3MG	1.4MG	1.3MG	1.3MG	1.4MG
1,084	2,330	23,836	2,521	0	0
-	0	5	0	0	0

Village of Lake Zurich

Capital Asset Statistics by Function/Program
Last Ten Fiscal Years

Function/Program	Year End April 30 2015	Year End April 30 2016	Year End December 31 2016	Year End December 31 2017	Year End December 31 2018	Year End December 31 2019	Year End December 31 2020	Year End December 31 2021	Year End December 31 2022	Year End December 31 2023
Police										
Stations	1	1	1	1	1	1	1	1	1	1
Firing range	1	1	1	1	1	1	1	1	1	1
Patrol units	23	22	22	22	21	21	21	21	21	22
Fire Stations	4	4	4	4	4	4	4	4	4	4
Public Works										
Streets (lane miles)	160.0	161.6	161.6	156.2	127.2	178.5	178.5	178.5	178.5	178.5
Sidewalks (miles)	91	101	102	98	98	102	100	105	105	105
Streetlights	180	215	220	220	224	226	255	255	255	255
Water and Sewer										
Water mains (miles)	110	112	112	112	112	111	114	114	116	116
Fire hydrants	1,790	1,790	1,790	1,504	1,505	1,509	1,520	1,520	1,550	1,555
Sanitary sewers (miles)	107	93	93	93	93	93	94	94	95	95

N/A - Not available

Data Source

Village records



At the Heart of Community

OFFICE OF THE VILLAGE MANAGER

70 East Main Street
Lake Zurich, Illinois 60047

(847) 438-5141
LakeZurich.org

MEMORANDUM

Date: July 22, 2024
To: Ray Keller, Village Manager *PK*
From: Kyle Kordell, Management Services Director & David Pilgard, Fire Chief
Subject: **Fire Station Relocation Study**

AGENDA ITEM

8B

Issue: Staff recommends a contract with FGM Architects of Oak Brook to independently determine the best location for a future Fire Station #1 headquarters facility to replace the current station at 321 South Buesching Road, based on a deployment analysis and future response trends.

Analysis: Fire Station #1 was built 1980 as a paid-on-call facility. It is a single-story structure with a partial basement. The first floor is about 9,360 square feet and the basement is about 2,450 square feet, for a total of 11,810 square feet. The Village has grown significantly since 1980 and Fire Station #1 no longer serves the community's needs.

The modern-day Lake Zurich Fire Department takes an all-hazards approach in providing a comprehensive emergency framework. This approach considers the full scope of emergencies when planning for response capacities and provides several specially trained teams, including hazardous materials response, water rescues and low and high-angle rescue teams. In partnership with the surrounding Lake Zurich Rural Fire Protection District, the Department provides coverage for a 25-square mile area with about 37,000 residents and over 1,500 businesses. The Department has 55 full-time sworn personnel located in four stations.

FGM Architects, in partnership with consultants at Advanced Selections, will spend six to seven months performing deep-level mapping of demographics and service areas overlaid with incident data and call volume. This will analyze each response area for all four fire stations and produce a detailed visualization of incident impacts on the community and the Village organization. The project aims to determine the most appropriate location for a future Fire Station #1.

At the end of this project, the Village will have a solid plan for a future station location, architectural site diagramming, and an approximate building size.

The Village allocated \$50,000 for a fire station location study in the 2024 budget. In February 2024, Staff launched a request for proposals, and seven responses were received.

Recommendation: After review and due diligence, the staff recommends a contract with FGM Architects of Oak Brook in the amount not to exceed \$55,000 to perform an independent fire station location and deployment analysis.

w/Attachments:

- FGM Architects' proposal
- FGM Architects' contract

VILLAGE OF LAKE ZURICH

Fire Station & Community Services Location / Deployment Analysis
April 1, 2024



FGMAARCHITECTS



FGMA^{ARCHITECTS}

April 1, 2024

Kyle Kordell
Management Service Director
Village of Lake Zurich
70 East Main Street
Lake Zurich, Illinois 60047

Re: Fire Station & Community Services Location/Deployment Analysis

Dear Mr. Kordell and Members of the Selection Committee,

To ensure the sustained effectiveness of your fire facilities in meeting the evolving demands of your expanding community, it's imperative to choose a partner with both extensive experience in fire service and a deep understanding of your specific needs. FGM Architects (FGMA) offers a dedicated team of seasoned professionals specializing in station location analysis and fire facility planning whose focus is on identifying opportunities to optimize fire station locations and tailor staffing requirements to better serve the distinct requirements of the Village of Lake Zurich.

FGMA specializes in public architecture with a distinct emphasis on fire and EMS facilities and has built a practice anchored in the Midwest. FGMA boasts an extensive portfolio of more than 600 fire station projects that were carefully planned and designed. Our most successful projects began with comprehensive assessments and studies and our diverse list of projects includes space needs analyses, due diligence assessments, master planning, location studies, and design for additions, renovations, and new constructions of public safety structures.

In addition to our expertise in fire & EMS service facility projects, we recognize the critical importance of having the **right leadership for our team**. Our team of seasoned fire subject matter experts is led by Principal-in-Charge, Andy Jasek along with Project Manager, Jason Estes. Andy and Jason bring more than 40 years of combined experience including the successful completion of dozens of recent fire facility projects.

Our consultant selection is intentional and essential to the success of this project. For your fire station and community services location/deployment analysis, we have partnered with Advanced Selections, LLC. Founded by a team of fire service professionals with over 120+ years of combined public safety experience, Advanced Selections, LLC offers custom services specializing in GIS analytics, fire station location analysis and organizational planning.

The FGMA Team is experienced and very adept at leading a community through the planning and assessment process utilizing a highly collaborative, interactive and transparent process. We seek to engage elected officials, staff and the community through the process so that everyone involved understands the reasoning for our final recommendations. This approach fosters a consensus-based design process which ensures we will meet your long-term facility goals. We

We Build Community

FGM Architects Inc.
1211 West 22nd Street, Suite 700 | Oak Brook, Illinois 60523
630.574.8300 | fgmaarchitects.com

FGMA^{ARCHITECTS}

believe in listening to our clients, understanding their needs and giving them options to solve those needs. We understand the need for pre-design planning studies, and how important they are in shaping your future vision, goals and budgetary needs to continue to grow and serve your citizens.

FGMA is excited to have formed this dynamic team to partner with the Village of Lake Zurich. We take pride in the relationships we build with our clients and look forward to getting to know your facilities and the needs of your staff. Our experienced professionals are ready to provide you with a complete document you can use in shaping the future of your community and believe that we are uniquely qualified to become your partner for this project. We sincerely look forward to the possibility of working with you.

Sincerely,



Andy Jasek, AIA
Principal-in-Charge
AndyJasek@fgmarchitects.com
630.574.8709



Jason Estes, AIA
Project Manager
JasonEstes@fgmarchitects.com
630.574.8714

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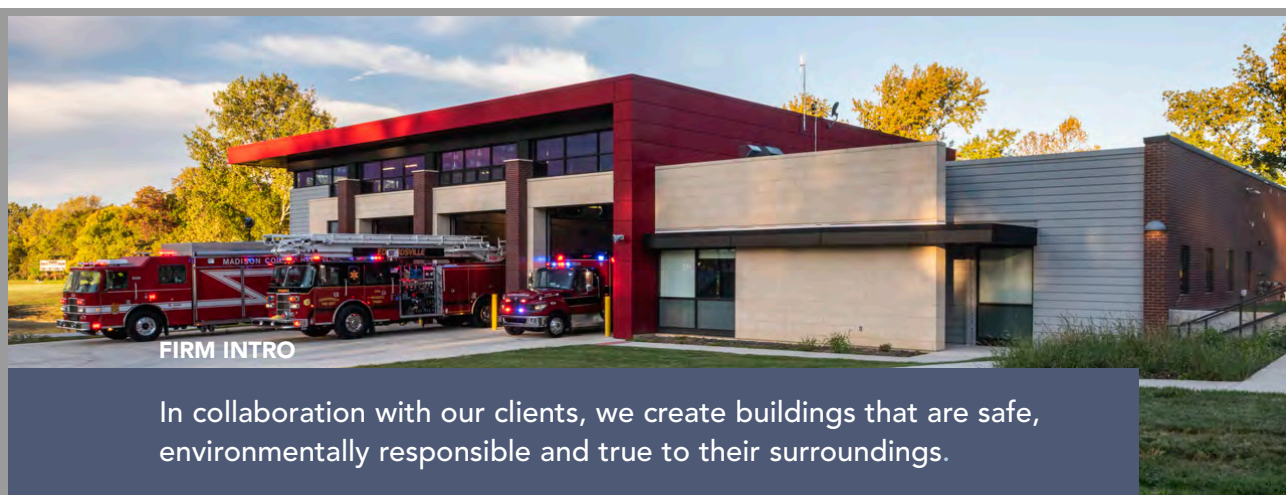
SECTION

1

Firm Intro







In collaboration with our clients, we create buildings that are safe, environmentally responsible and true to their surroundings.

Delivering tailored solutions that meet the needs of fire departments while igniting a new standard in fire and EMS facility design excellence.

FIRM NAME

FGM Architects Inc. (FGMA)

PROJECT OFFICE LOCATION

1211 West 22nd Street
Suite 700
Oak Brook, Illinois 60523
630.574.8300

FGMA is a leading architecture firm specializing in the design and construction of fire and EMS facilities, including fire stations, training centers, and administrative buildings. With a focus on functionality, safety, and efficiency, FGMA delivers innovative solutions that meet the unique operational needs of fire departments and EMS agencies while prioritizing the safety and well-being of first responders and the community.

Our diverse portfolio includes 600+ new and renovated facilities for 250 clients nationwide. Serving a wide range of clients, including municipal fire departments, EMS agencies, volunteer organizations, and government entities, our designs showcase adaptability, innovation, and a keen understanding of the unique requirements of each client.

From decontamination spaces to ambulance bays and treatment rooms, our team of in-house experts collaborates closely with department personnel to prioritize functionality and efficiency in every aspect of our designs.

Recognizing the unique challenges faced by first responders, we've pioneered design strategies to reduce cancer risk by controlling contaminants and enhanced mental and behavioral health by utilizing light, color, and nature to mitigate PTSD and reduce the incidence of suicide.

ARTICLE: HOT ZONE DESIGN: CONTAIN THE CONTAMINANTS

Good architectural design helps reduce cancer among firefighters.



ARTICLE: HOLISTICALLY HEALTHY FIRE STATIONS

Design strategies can increase firefighter health and well-being.



HIGH-PERFORMANCE DESIGN IS GOOD DESIGN



High-performance design embodies a holistic approach, emphasizing resilience to shocks, long-term operational efficiency, resource conservation and the well-being of building occupants.

WHY IS IT IMPORTANT?

High-performance design is essential as it integrates resilience, operational efficiency, resource conservation, and occupant well-being, ensuring that buildings withstand shocks and stresses but also contribute positively to the environment and human experience.

As an organization, our drivers for delivering projects that integrate these core concepts are centered around the following principles:

- **Responsible Design:** Passionate about designing great spaces and taking the long-term implications of solutions seriously.
- **Community Aspect:** Thrive on bringing creative solutions that have a broader community impact.
- **Data Driven:** Using data-driven design to optimize building design and systems, creating safe, secure, comfortable spaces. Informed design decisions can impact the long-term operational costs of a building as well as the health and wellness of its users.

Our discovery process begins with a conversation about project goals and priorities and establishing performance targets. Measurement and verification of goals are a key component of designing solutions that are rooted in data and based on the specific,

unique needs of the project and the people who use it. This allows us to identify and measure community impact.

RESILIENT DESIGN

Communities face both acute shocks (e.g., severe storms) and chronic stresses (like climate change) affecting residents' livelihoods. Assessing projects through a resilience lens provides a comprehensive view, benefiting both construction and location. This method identifies key challenges, considers responses, and implements successful solutions.

SUSTAINABLE DESIGN

Sustainable design minimizes a building's environmental impact by considering local, regional, and global communities, along with ecological, economic, and social needs. We balance these factors with your budget and goals to achieve energy savings, lower operating costs, enhance occupant comfort, and promote stewardship of natural resources.

WELLNESS

Wellness focuses on health, well-being, and quality of life. Designing for wellness is embedded in our philosophy. In early conversations and planning sessions, we conduct extensive research and data gathering to fully understand occupants' and community needs. The findings combined with best practices and your vision and goals informs the design, promotes belonging, and ultimately strengthens the human experience.

BIOPHILIC DESIGN

Biophilic design is the practice of connecting nature, human biology, and the built environment. It can reduce stress, enhance cognitive function, and improve mood and performance. We integrate natural materials such as wood, stone, vegetation, along with daylight and colors inspired by nature. Incorporating biophilic design is proven to have the same effect as being outside.



ADVANCED SELECTIONS, LLC

Fire Assessment Consulting Services

CONTACT

880 Kromray Road
Lemont, Illinois 60439
630.201.6871
dslivinski@advancedselections.com

EXPERTISE

Fire Station Location Analysis
Performance Analysis
Deployment Analysis
Organizational Needs
Assessment
Strategic Planning
Leadership Assessment &
Development

Advanced Selection (AS) provides a wide range of public safety solutions. Their team of experienced professionals understand the importance of providing the highest quality services to our clients. AS specialize in providing innovative and customized solutions that optimize an organization's delivery of emergency services to meet the dynamic challenges of today and tomorrow. Their goal is to maximize the potential of our client's service delivery system through innovative solutions based on industry accepted best practices. AS provides expert analysis of the organization's environment, assessing all aspects of the organization's emergency delivery model. They understand industry best practices and utilize those as a foundation to assess an organization's infrastructure as well as its management of human resources.

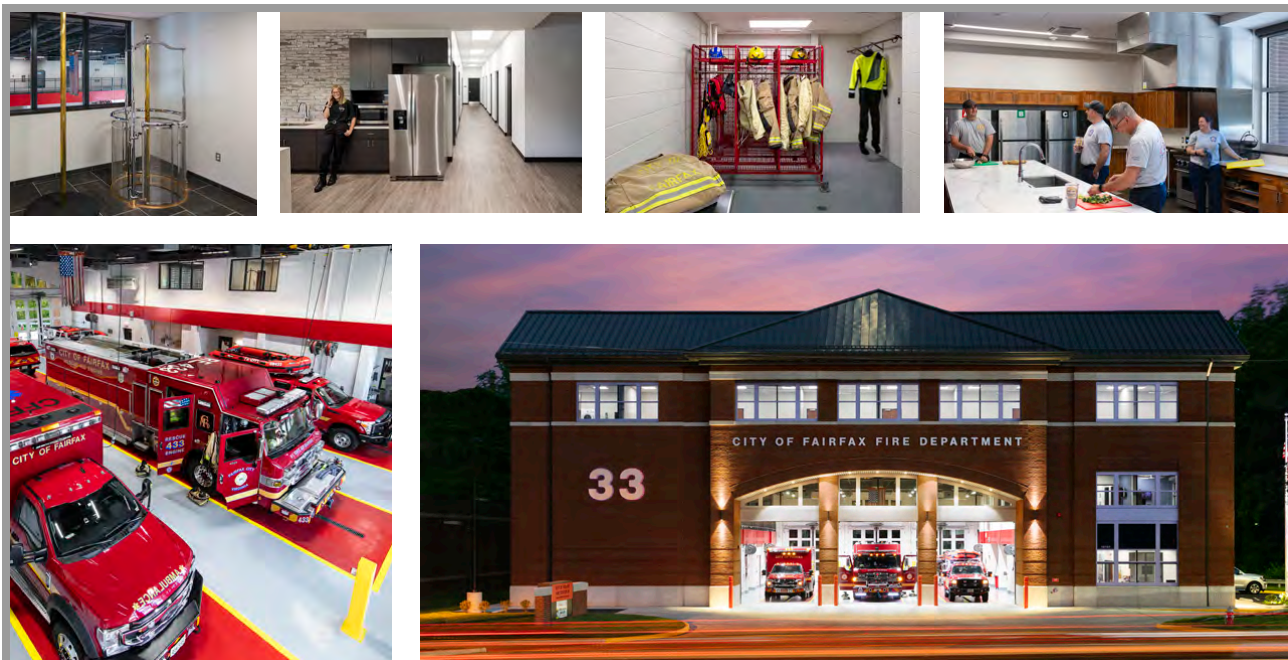
Although AS is a newer organization, our team of experts have a long tenure as consultants and diverse experience. Each team member has delivered high quality results with several previous consultancies throughout the nation. Their consultants and strategic partners are distinctly accomplished and are the most innovative strategic thinkers in the emergency services industry. They are uniquely positioned to assess current and future conditions of an organization's operations and develop sustainable solutions for success.

Our focus is to create a partnership with each client with mutual respect and ongoing commitment to assist each client with achieving their project goals.

FIRM INTRO

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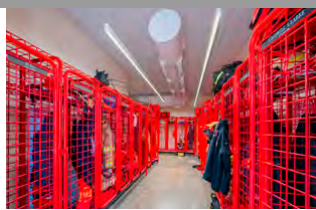
fgma



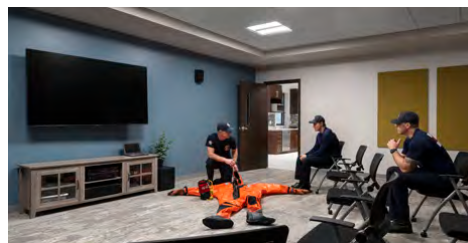
Municipal design is unique in its power to define a community.

FGMA believes municipal architecture should command a presence and project a compelling image in your community. We understand that working with local government involves balancing the interests of elected officials with the needs of municipal staff and the demands of a community that may question the need to spend tax dollars on a capital project.





FGMA serves as a trusted advisor to evaluate where your facilities are today and provide solutions to ultimately take your operation to the next level of excellence.



A municipal structure can not only reduce operational costs through functional efficiencies, can also anchor a community, provide a unique gathering space and help attract the best and the brightest talent. FGMA helps our clients communicate to all stakeholders the long-term benefits of a well-executed civic capital project.



FIRM EXPERIENCE

Our experience demonstrates that FGMA brings to Village of Lake Zurich the necessary skills to translate your needs into reality.

Our experience brings value to your project. We provide quality design that responds to the functional and aesthetic requirements of each project. We consistently deliver projects that are reflective of the high level of energy and creativity of our team.

We have the leadership expertise to oversee the schedule, budget, communication and management issues involved in projects.

The projects we have highlighted on the following pages are just a few of the solutions FGMA has provided to our clients to meet their special and unique needs.



FIRM INTRO

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fgma

FIRE SERVICE CLIENTS**ILLINOIS**

Addison FPD
 Algonquin/
 Lake in the Hills FPD
 Andalusia FPD
 Arlington Heights FD
 Barrington Countryside FPD
 Bartlett FPD
 Beach Park FD
 Beecher FPD
 Belleville FD
 Bloomingdale FPD
 Bourbonnais FPD
 Braidwood FD
 Bristol Kendall FPD
 Buffalo Grove FD
 Carbondale FD
 Carpentersville FD
 Channahon FPD
 Cherry Valley FPD
 Clarendon Hills FD
 Coal Valley FPD
 Columbia FPD
 Countryside FPD
 Darien-Woodridge FPD
 Deerfield-Bannockburn FPD
 Des Plaines FD
 Dixon Rural FPD
 DuPage Airport Authority
 Dupo FPD
 East Dundee FPD
 East Joliet FPD
 East Side FPD
 Edwardsville FD
 Elburn & Countryside FPD
 Elgin FD
 Elk Grove Village FD
 Elmhurst FD
 Elwood FPD
 Evanston FD
 Fairview-Caseyville
 Township FPD
 Forest View FD
 Frankfort FPD
 Geneseo FPD
 Geneva FD
 Genoa-Kingston FPD
 Glen Carbon FPD
 Glenside FPD
 Glenview FD

Godfrey FPD
 Greater Round Lake FPD
 Gurnee FD
 Hanover Park FD
 Harlem-Roscoe FPD
 Havana FD
 Hinsdale FD
 Hoffman Estates FD
 Hometown FPD
 Huntley FPD
 Knollwood FD
 Lake Forest FD
 Lake Villa FPD
 Lake Zurich FD
 Libertyville FD
 Limestone Township FPD
 Lincolnshire-Riverwoods FPD
 Lockport Township FPD
 Marquette Heights FD
 Maywood FD
 McHenry Township FPD
 Merrionette Park FD
 Minooka FPD
 Morton FD
 Morton Grove FD
 Mount Prospect FD
 Mundelein FD
 New Douglas Community FPD
 New Lenox FPD
 Northwest St. Clair FPD
 Orland FPD
 Oswego FPD
 Palatine FD
 Palos FPD
 Pekin FD
 Peoria Heights Police and Fire
 Pingree Grove FPD
 Plainfield FPD
 Pleasantview FPD
 Quincy FD
 Rockford FD
 Roxana FD
 Schaumburg FD
 Smithton FD
 South Elgin &
 Countryside FPD
 Sparta FD
 Streamwood FD
 Streator FD
 Swansea FD

Sycamore FD
 Taylorville FD
 Tinley Park FD
 Tri-State FPD
 Troy FPD
 University of Illinois at
 Urbana-Champaign
 US Department of the Navy
 Villa Park FD
 Waterman Community FPD
 Wauconda FD
 Waukegan FD
 West Chicago FPD
 West Dundee FD
 West Peoria FPD
 Western Springs FD
 Westmont FD
 Wheaton FD
 Wilmette FD
 Winfield FPD
 Wood Dale FPD

WISCONSIN

Altoona FD
 Caledonia FD
 Cottage Grove FD
 Cudahy FD
 Fontana FD
 Ledgeview FD
 Oshkosh FD
 Racine FD

MISSOURI

Black Jack FPD
 Cape Girardeau FD
 Cedar Hill FPD
 Central County Fire & Rescue
 Community FPD
 Cottleville FPD
 Creve Coeur FPD
 Des Peres Public Safety
 Farmington FD
 Florissant Valley FPD
 Fredericktown FD
 I.A.F.F. Local 2665
 Lincoln County
 Ambulance District
 Maryland Heights FPD
 Metro North FPD
 Metro West FPD
 Monarch FPD



North County Fire + Rescue
 North Jefferson County
 Ambulance District
 O'Fallon FPD
 Pattonville FPD
 Robertson FPD
 Rock Township
 Ambulance District
 City of St. Louis FD
 Sedalia FD
 Spanish Lake FPD
 Stafford FPD
 Sullivan FPD
 Valle Ambulance District
 Wentzville FPD
 West Overland EMS & FPD
 Wright City FPD

IOWA

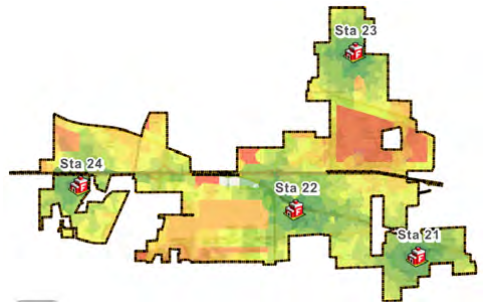
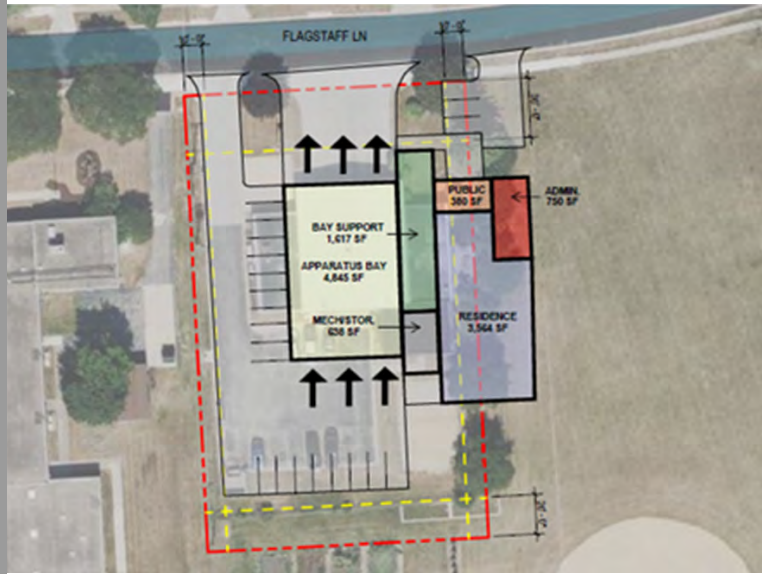
Grimes FD

NEBRASKA

LaVista FD

VIRGINIA

Arcola Vol. FD Annex
 Fairfax County F/R
 Station 4
 Fairfax County F/R
 Station 9
 Fairfax County F/R
 Station 18
 Fairfax County F/R
 Station 19
 Fairfax County F/R
 Station 22
 Fairfax County F/R
 Station 24
 Fairfax County F/R
 Station 26
 Fairfax County F/R
 Station 29
 Fontaine Avenue Station
 and Training Center
 Hamilton Fire/Rescue
 Safety Center Needs
 Assessment



CLIENT
Village of Hoffman Estates

SIZE
N/A Study

COMPLETED
09/2023

PROJECT COST
Study Only

DELIVERY METHOD
Study

PROJECT TYPE
Facility Analysis
Conceptual Design Study

REFERENCE
Chief Alan Wax
Fire Chief
847.391.5300
Alan.Wax@HoffmanEstates.org

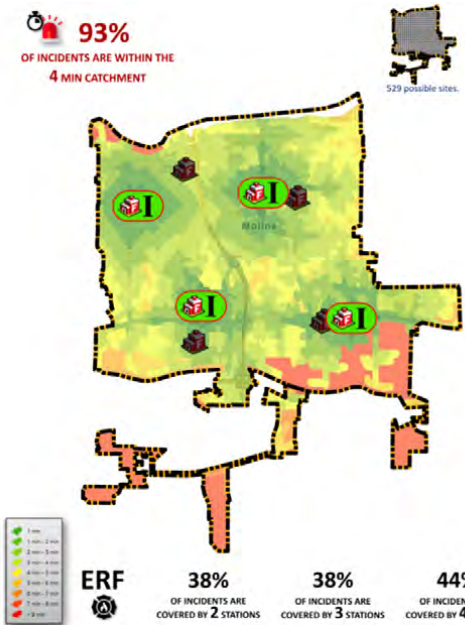
Enhancing Fire Station Infrastructure for Tomorrow

FIRE STATION FEASIBILITY & NEEDS STUDY

Located 30 minutes Northwest of Cook County, the Village of Hoffman Estates presently operates from four fire stations, and its administration is situated in the Village Hall. Historic stations #21 and #22 require substantial investment for either rehabilitation or replacement. Prior to making significant investments, the Village engaged FGMA to assess the existing facilities and recent call volumes to allow stakeholders to make optimal decisions regarding its resources.

The study assessed existing fire station locations, facilities, and resource deployment in order to offer comprehensive, long-term recommendations for the fire station facilities, their locations, and infrastructure. This evaluation considered response trends, anticipated or potential growth in the Village and incorporates best practices in contemporary fire, rescue, and EMS services.

Based on FGMA's recommendations from the study, the Village is moving forward with replacement of both Stations 21 and 22 with construction of Station 21 to begin in early fall of 2024. FGMA has been selected to provide complete design and construction administration services for the Station.

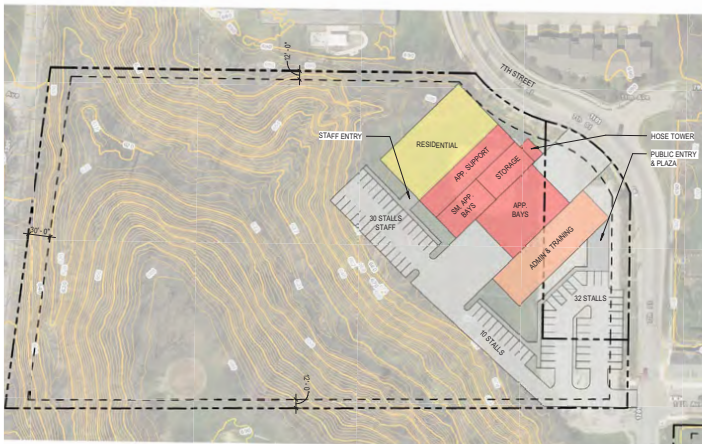


ERF

38%
OF INCIDENTS ARE COVERED BY 2 STATIONS

38%
OF INCIDENTS ARE COVERED BY 3 STATIONS

44%
OF INCIDENTS ARE COVERED BY 4 STATIONS



CLIENT

City of Moline

SIZE

N/A Study

COMPLETED

02/2024

PROJECT COST

N/A Study

DELIVERY METHOD

Study

PROJECT TYPE

Needs Analysis
Station Location Study
New

REFERENCE

Mr. Steve Regenwether
Fire Chief
309.797.0416
sregenwether@moline.il.us

New Station Prioritizes Safety, Efficiency, and Natural Appeal

NEW CENTRAL FIRE STATION


Located along the Mississippi River and strategically positioned midway between Des Moines and Chicago, the City of Moline operates as a comprehensive municipality with twelve departments. However, their existing Central Fire Station, built in 1972, has become inadequate for departmental needs due to its aging infrastructure, mechanical issues, deteriorating interior condition and susceptibility to water infiltration. As a result, the City seeks to relocate this station into a new facility.

In 2022, FGMA was chosen to collaborate with the City in assessing both current and future requirements for a new station. Additionally, a location study was needed to identify the optimal site, analyzing factors such as increased call volume, call locations, response times, and existing fire sector boundaries.

The design of the new building will prioritize safety, functionality, efficiency, sustainability and longevity, while embracing a modern yet inviting aesthetic. The exterior will showcase natural elements and incorporate perennial, low-maintenance, drought-resistant landscaping to enhance its natural appeal.

FIRM INTRO

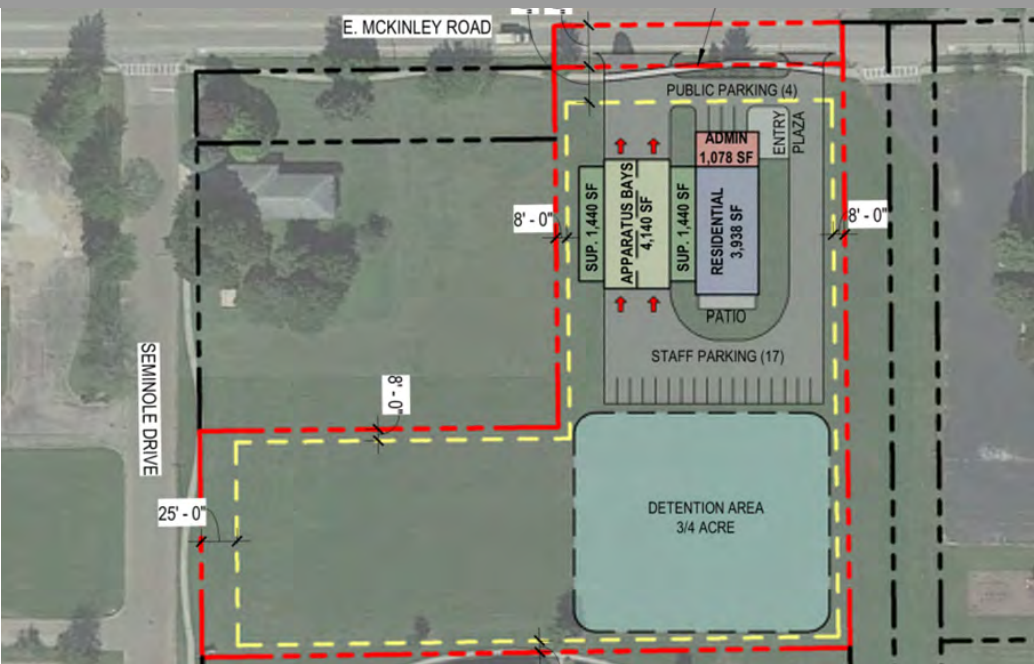
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Meeting - PACKET - (Page 326 of 483)

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General Attachment: 8b.pdf (Page 19 of 65)



CLIENT
Ottawa Fire Department

SIZE
Station 2: 10,995 sf
Station 3: 20,082 sf

COMPLETED
02/2026 (e)

PROJECT COST
Station No. 2 \$5.1M (e)
Station No. 3 \$9.1M (e)

DELIVERY METHOD
GC CMaR

PROJECT TYPE
New Construction

REFERENCE
Mr. Brian Bressner
Fire Chief
815.434.3785
bbressner@cityofottawa.org

New Stations Support City Growth

OTTAWA FIRE STATIONS 2 & 3

Fire Station No. 2, located on the south side of the City of Ottawa no longer meets the operational requirements of the department and systems are reaching the end of their useful life.

The City engaged FGMA to develop a program to replace Station No. 2. The City completed a response zone study with the Fire Department and an optimal site was selected. The Department also planned to relocate the administrative offices from its downtown police/fire station to Station No. 2.

However, potential state funding for a third station caused the team to pause and pivot. Station No. 3 is a response to the construction of manufacturing facilities on the north side of the City. FGMA developed new programs for both stations. Sites were evaluated and programmed to help the city understand the budget implications of two new stations.

One of the sites that was evaluated for Station No. 3 is an existing facility that could be adapted to support public safety operations. It would require a bay addition to accommodate emergency equipment. An option being considered is to potentially relocate the police department and dispatch from the shared police and fire station located downtown to Station No. 3 to create a public safety headquarters. Fire Administration will also be relocated to Station No. 3 instead of Station No. 2 as originally planned. The downtown station would be converted into a satellite fire station.

The funding for Station No. 3 awaits approval from the state (expected March, 2024). Once funding is approved, the City will proceed with stations 2 & 3.

FIRM INTRO

10

fgma

**CLIENT**

Elk Grove Village

SIZE

Station No. 8: 20,660 sf

Station No. 10: 15,281 sf

COMPLETED

05/2019

PROJECT COST

Station No. 8:

\$11M (e) \$11M (a)

Station No. 10:

\$7M (e) \$6.9M (a)

DELIVERY METHOD

Design / Build

PROJECT TYPE

New

REFERENCE

Chief Richard J. Mikel

Fire Chief

847.734.8000

rmikel@elkgrove.org

Visual Symbols of Civic Pride to the Community

ELK GROVE FIRE STATIONS NO. 8 & NO.10

FGMA was selected to conduct a location study for Elk Grove Village. At the close of the study, one of the options for the fire stations was a consolidation of Stations 8 and 9 into a single new Station 8 facility. The Village weighed their options and ultimately decided on keeping the Stations separated.

Fire Station 8, located in a major business park, combines two outmoded stations into a new station. Fire Station 10 replaces an older facility and is sited on a busy thoroughfare, providing a visible symbol of civic pride to the community. Both stations have 4 apparatus bays to house fire trucks and other vehicles.

DECONTAMINATION AREAS Fire personnel safety is top priority for Elk Grove Village. The new stations have self-contained decontamination areas that contain toxins when personnel return from fires. The “hot-zone” areas include extraction equipment, laundry, shower and custom-made saunas with infrared heat and stationary bikes so that fire fighters can quickly sweat off harmful toxins.

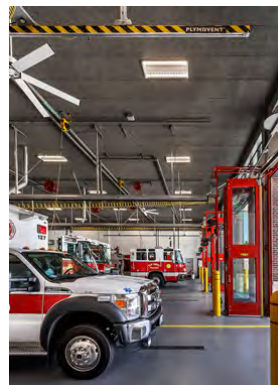
TRAINING & STORAGE Station 8 features a large training tower behind the station that is equipped with “burn props” used to simulate different fire scenarios.



Stations 10's tower, used to hang hoses, bridges the apparatus bay and work/living quarters providing a unified sense of scale for the entire facility. Both stations include training rooms that are used for community meetings.

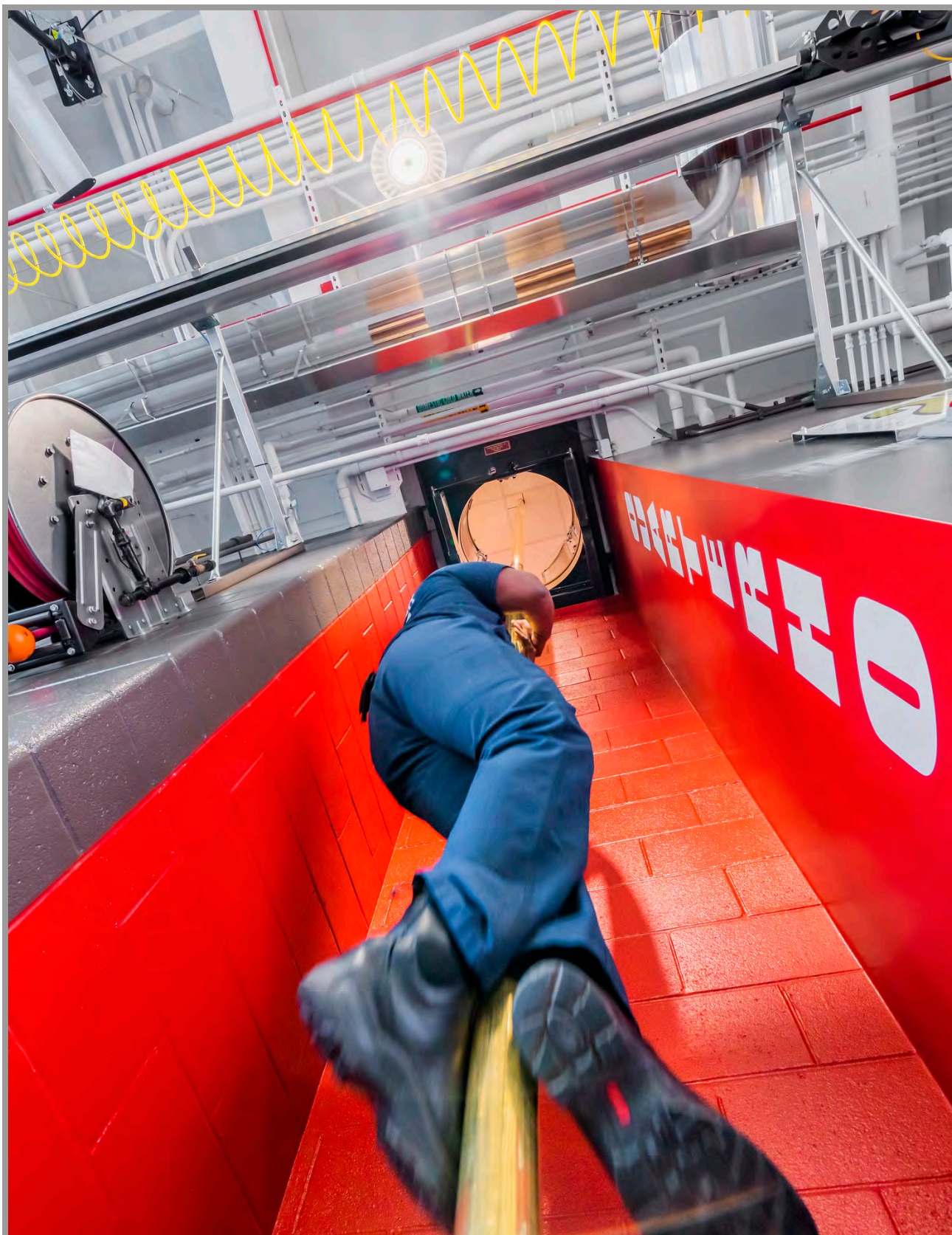
WORK-LIFE BALANCE Maintaining work-life balance poses unique challenges for fire fighters who often spend 72-hour continuous cycles at the station. The living quarters at both stations include comfortable seating with tables so that personnel can spend time with their families. Expanded bar-height counters in the kitchen/dining areas promote casual conversation and camaraderie.

SUSTAINABLE FEATURES Energy efficient lighting, low VOC finishes, products with recycled content, local material sourcing, high performance HVAC systems and addition of bio-swales.



SECTION
2
Key Personnel





KEY PERSONNEL

The FGMA Team is made up of public safety professionals who offer a well-rounded and diverse pool of talent.

Our team members offer detailed analysis specializing in public safety policies, technology, and planning.

ORGANIZATION CHART



Village of Lake Zurich

PRINCIPAL-IN-CHARGE
Andy Jasek, AIA

PROJECT MANAGER
Jason Estes, AIA

CONSULTANTS

Advanced Selections, LLC
Fire Assessment Consulting Services

Chief James Jackson
Chief Scott Sobol (ret)
Chief Scott Boman (ret)

AVAILABILITY

We are confident that the level of service and response we provide is valued by our clients. FGMA's current workload as a team and the project work of your individual team members will not interfere in any way with the completion of your project. Your project is important to us. In addition to the team specifically assigned to your project, FGMA has a depth of professionals able to assist on an as-needed basis.



ANDREW J. JASEK, AIA

Executive Vice President & Managing Director

"It's about turning a client's vision into a reality."

Andy leads an energetic and passionate fire service practice at FGMA. His role is to listen to what clients want and provide the best, most efficient service to meet their needs. Andy believes that buildings should be operationally efficient yet responsive to the surrounding community.

EDUCATION

M of Architecture
University of Illinois
at Urbana-Champaign
BS in Architectural Studies
University of Illinois at Urbana-Champaign

LICENSES & CERTIFICATIONS

Registered Architect | Illinois

MEMBERSHIPS

American Institute of Architects
Illinois Fire Chiefs Association
Illinois Association of Fire Protection Districts
Northern Illinois Association of
Fire Protection Districts

PROJECT ROLE

Principal-in-Charge

EXPERIENCE

HOFFMAN ESTATES FPD, IL

Fire Station *FEASIBILITY NEEDS STUDY*

CITY OF MOLINE FD, IL

Fire Station *FEASIBILITY NEEDS STUDY*
New Central Fire Station *NEW*

OTTAWA FD, IL

Fire Station No. 2 *PHASE 2*

ARLINGTON HEIGHTS FD, IL

Station No. 4 *ADDITION & RENOVATION*
Station No. 3 *ADDITION & RENOVATION*
Station No. 2 *NEW*
Station No. 1 *NEW*

EAST DUNDEE FPD, IL

HQ Station *SPACE NEEDS STUDY*
HQ Station *NEW*

EAST JOLIET FPD, IL

Station No. 51 *STUDY*
Station No. 51
ADDITION & RENOVATION

GREATER ROUND LAKE FPD, IL

Station No. 1 *ADDITION & RENOVATION*

ELK GROVE VILLAGE FD, IL

Station No. 10 *NEW*
Station No. 8 *NEW*

ELGIN FD, IL

Department Wide
FACILITY SPACE NEEDS STUDY
Station No. 6 *NEW*
Station No. 7 *NEW*
Station No. 8 *FEASIBILITY STUDY*
Station No. 8
PLANNING & PROGRAMMING

GENEVA FD, IL

HQ Station *SPACE NEEDS STUDY*
HQ Station *NEW*
Station No. 2 *NEW*

GLENVIEW FD, IL

Station No. 13 East Lake *NEW*
Station No. 14 The Glen *NEW*

GURNEE FD, IL

Station No. 2 *FACILITY STUDY*
Station No. 3 *NEW*

ILLINOIS FIRE SAFETY

ALLIANCE (IFSA), IL
IFSA FACILITY STUDY

ILLINOIS FIRE SERVICE INSTITUTE

(IFS), IL
Learning Resource &
Research Center
ADDITION & RENOVATION
Burn Site *FEASIBILITY STUDY*

KEY PERSONNEL

14

fgma



JASON ESTES, AIA

Vice President & Principal

“I thoroughly enjoy solving problems using architecture as a tool.”

Jason has a vast amount of experience working on municipal and public sector projects. He is skilled in the design of new facilities as well as the expansion and remodeling of existing facilities. Jason’s in-depth knowledge of municipal facilities, together with his leadership abilities, has resulted in successful projects, admiration from clients and award recognition.

EDUCATION

BS in Architecture
Illinois Institute of Technology

LICENSES & CERTIFICATIONS

Registered Architect | Illinois, Wisconsin

MEMBERSHIPS

American Institute of Architects
Illinois Association of Fire Protection Districts
Illinois Fire Chiefs Association
Kane County Fire Chiefs
National Council of Architectural Registration Boards NCARB Certification
Illinois Municipal League
APWA Illinois

SPEAKING ENGAGEMENTS

“All You Need to Know on Materials” Session
Speaker | Station Design Conference, 2022

PROJECT ROLE

Project Manager

EXPERIENCE

HOFFMAN ESTATES FPD, IL

Fire Station *FEASIBILITY NEEDS STUDY*

CITY OF MOLINE FD, IL

Fire Station *FEASIBILITY NEEDS STUDY*
New Central Fire Station *NEW*

OTTAWA FD, IL

Fire Station No. 2 *PHASE 2*

GREATER ROUND LAKE FPD, IL

Station No. 1 *RENOVATION*
Station No. 2 *RENOVATION*
Station No. 3 *RENOVATION*

EAST DUNDEE FPD, IL

HQ Station *SPACE NEEDS STUDY*
HQ Station *NEW*

EAST JOLIET FPD, IL

Station No. 51 *STUDY*
Station No. 51
ADDITION & RENOVATION

ELGIN FD, IL

Department Wide
FACILITY SPACE NEEDS STUDY
Station No. 6 *NEW*
Station No. 7 *NEW*
Station No. 8 *FEASIBILITY STUDY*
Station No. 8
PLANNING & PROGRAMMING

GENEVA FD, IL

HQ Station *SPACE NEEDS STUDY*

GURNEE FD, IL

Station No. 3 *NEW*

HANOVER PARK FD, IL

HQ Station No. 1 *SPACE NEEDS STUDY*
HQ Station No. 1 *NEW*

STREAMWOOD FD, IL

Headquarters Station *NEW*
Stations No. 32 & 33
ADDITION & RENOVATION

SYCAMORE FD, IL

Station No. 2 *NEW*

TRI-STATE FPD, IL

Station No. 2 *APRON REPLACEMENT*
Station No. 4 *RENOVATION*
Station No. 2 *SPACE NEEDS STUDY*
Station No. 3 *SPACE NEEDS STUDY*

WAUCONDA FPD, IL

Training Facility *MASTER PLAN*
Fire Station *PLANNING STUDY*

WEST CHICAGO FPD, IL

West Station No. 2 *NEW*
Station No. 3 *NEW*
Station No. 1 *RENOVATION*



JASON ESTES

AIA



Jason is a Principal and licensed Architect at FGMA and a crucial member of the Municipal team. His breadth of professional expertise in fire service and public safety design helps him uniquely engage each municipality he works with. With more than 20+ years of fire service design, he brings specific expertise in the areas of firefighter comfort and safety, materials solutions and continuity of operations.



Jason's passion for municipal design and expert knowledge helps him lead and support municipalities and fire departments throughout the building design and construction process. He is committed to providing exceptional, functional and resilient solutions for his clients.

Jason is a regular participant at the Station Design conference, most recently serving as a speaker at the May 2023 conference on the topic of choosing the right materials for your station. He has also presented at the FIERO conference in 2023 on station location and will be presenting on the same topic at the Station Design conference in May 2024. In addition, Jason attends state and local fire associations, public safety and municipal functions and conferences.

KEY PERSONNEL

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JAMES JACKSON

Advanced Selections, LLC

EXPERIENCE

Chief Jackson is a veteran of the fire service with 37 years of experience. He worked for 30 years with the Downers Grove Fire Department in Illinois and started his career as a volunteer with the Frankfort Fire Department, Illinois, and worked in the EMS and Public Education Divisions. As the Chief Administrator of the Downers Grove Fire Department, he has vast experience in emergency management, administration, and operation. He led a contemporary fire agency to ISO Class 1.

Chief Jackson also worked for 18 years in the private Fire Protection Industry as an Executive Consultant, working directly with the President/CEO of a top-rated fire alarm systems company. Additionally, Jackson provided over six years of consulting and assessment services to the Illinois Fire Chiefs Association.



MICHAEL BOMAN

Advanced Selections, LLC

EXPERIENCE

Chief Boman has nearly 40 years of experience in the fire service, starting as a volunteer with the Crestwood Fire Department before becoming a career firefighter with the Oak Lawn Fire Department. In his 29 years with Oak Lawn, Chief Boman was promoted up through the ranks, gaining experience on shift as a Firefighter/Paramedic, Engineer, Company Officer, and Shift Commander before moving to the Bureau Chief of Training position. His final 5 years with Oak Lawn, serving as the Deputy Chief responsible for the Operations, Buildings, and Apparatus of the fire department.



SCOTT SOBOL

Advanced Selections, LLC

EXPERIENCE

Chief Sobol is a veteran of the Fire Service, with over 40 years of experience. He served for 27 years with the Oak Lawn Fire Department after starting his service as a volunteer with the Hometown Fire Protection District in 1982. With the Oak Lawn Fire Department, Chief Sobol was promoted through the ranks as an Engineer, Lieutenant, Captain and finally as Battalion Chief, while also serving as a Lead Arson Investigator and as a Lead Instructor with the Oak Lawn Fire Academy, eventually being appointed as the Academy Director in 2007.

Chief Sobol is currently on staff with the Illinois Fire Chiefs Association, serving in the Officer/Leadership Development division as a Lead Instructor for Incident Safety Officer as well as Company and Advanced Fire Officer programs.



KEY PERSONNEL

17

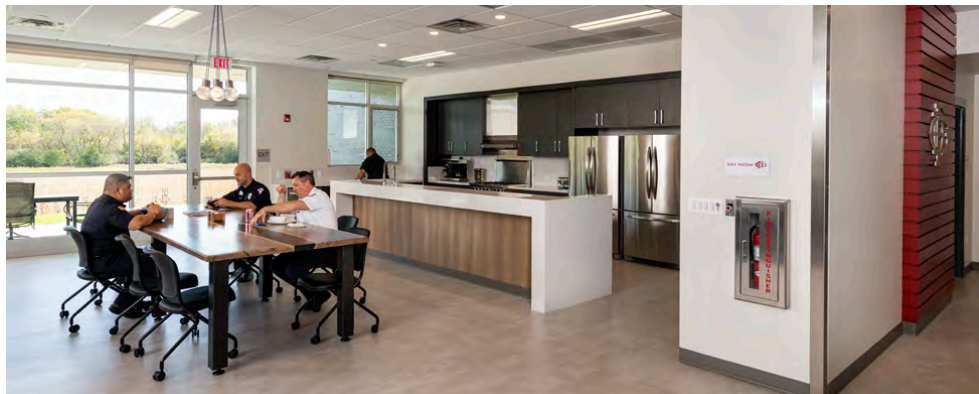
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SECTION 3

Project Approach







Station Location Analysis and Community Risk Assessment

PROJECT UNDERSTANDING

The FGMA Team believes it is our responsibility to lead the Village of Lake Zurich through this project as your trusted advisor. We intend to achieve this by providing guidance and utilizing our extensive knowledge and understanding of fire facility requirements. To be successful and meet the objectives of your project, we recommend a clear and sequenced project approach with documentation and measurement of objectives, regular communications and adequate Owner review and approval periods.

Scope of Work Review

After our review of the document, we have identified the request contains five (5) distinct and separate components/studies of the Village's current four fire stations; (1) Station Location Analysis; (2) Deployment Analysis; (3) Community Risk Assessment; (4) Performance Analysis and (5) a Standards of Cover. Of all of the components, the Station Location Analysis presents itself as the highest priority in the overall project. We desire to provide an option to you that maximizes the priority, addresses the key need of the Village and minimizes the initial financial impact. Placing the Station Location Analysis first will provide the necessary information to create a solid foundation to move forward on the remaining components for the long-term objectives.

Our proposed approach reflects our recommendation of moving forward with a Fire Station Location Analysis as the priority project. The result(s) of engaging in this component FIRST would address many of the questions in the other components without engaging in multiple processes in the first phase of the larger project (placing the fire station in the appropriate location).

We believe that investing time, effort and financial resources into the foundational component of locating your fire station based on your fire department's historic and predictive response time performance is a crucial first step. This initial engagement will provide an overview and analysis of community risks and an overall assessment of response times. Furthermore, the results of the Station Location Analysis will provide additional guidance to determine which components of the other analyses should be engaged next and those that become part of a longer-range plan when critical internal infrastructure is in place.

The following Scope of Work overview outlines the deliverables available to the organization that will address the priority project objectives.

Station Location Analysis (Priority 1)

Objectives of the Study:

1. Identification of strengths and weaknesses of current station locations.
2. Determine the adequacy of fire station locations and future placement of fire facilities. To validate the best possible fire/EMS response based on location to the nearest station and to guide future plans on response deployment efficiencies.
3. The performance of the response districts in correlation to the call density for optimum performance.

This SLA project will examine the historical service demands and the current response system performance and predict the performance changes when the fire station's configuration is changed.

This project will address the performance impact of adding an additional fire station(s) to the Total Response Area (TRA) to provide optimum response coverage within the organization's response area. There may be locations identified that will be included in the analysis.

Additionally, the study will identify components of community risk seeking to effectively and efficiently address those specific issues as they relate to emergency response.

There are several levels of reporting that are available to deliver the information. Each client has the opportunity to match the final project deliverables to the project budget.

The FGMA Team will work with the leadership team to design a final report that addresses project objective(s).





PROJECT KICK-OFF MEETING

We begin every project with a Kick-Off Meeting to establish the project goals by which the Village will measure the project's success upon completion. To produce an effective analysis, FGMA believes that we must delve into key desires and concerns for the analysis. At the Kick-Off Meeting we:

- Develop the project's goals - these are overarching goals that will drive the direction of solutions and project decisions.
- Identify all questions that must be answered as part of this study.
- Identify members of the Village staff who will be interviewed to garner information for the space needs analysis.
- Confirm the initial project schedule.
- Identify potential dates for public input and Village Board meetings.
- Set a date/frequency for update meetings to keep the project moving at an enthusiastic and appropriate pace.



DATA REQUEST AND COLLECTION

The Team will extract data (GIS data files; Tabular data; Maps, digital or paper) from the Lake Zurich Fire Department Records Management System (RMS) or other databases to support the scope of work:

- Create new and or update existing geodatabases
- Migrate all GIS data into a geodatabase
- Migrate all tabular data in a geodatabase
- Digitize all maps into a geodatabase

The collected data will be analyzed for the following (TRA/AOR to be determined):

- Local area demographics
- Fire Station's ideal location
- Fire station ideal distribution
- Fire station's ideal concentration
- Evaluation of historical performance (where applicable)

A draft report will be created of the analytic findings, which may include all or part of the following sections to address the scope of work:

- A detailed report of the analytical findings (may include the following sections depending on the level of reporting selected by the organization)
 - Definitions
 - Jurisdiction Basics
 - Service Areas - TRA
 - Study Incidents
 - Incidents by Area of Responsibility (AOR)
 - Incident Hotspots
 - Service Area Performance
 - Effective Response Force (ERF) Performance
 - Deployment Analysis
- All collected data in GIS format
- Online account to web maps and study data

The Lake Zurich Fire Department must provide the following:

- Access to all data and databases of required data (minimum three years)
- Personnel with knowledge of record management systems or databases for data needed
- All available needed GIS data, including agency boundary, stations boundary, station location

Project completion time is estimated at 3-4 months after receipt and validation of all required data and information from the client organization. Timeline to be finalized at Kick-off Meeting.

The project includes one (1) year of online access to maps and data depending on the project level selected.



BACKGROUND INFORMATION REVIEW/DATABASE CREATION & RESPONSE ANALYTICS

Station Location

The Team will identify fire service demands from existing data (incident, incident-related, agency, and community) and utilize current information provided by the organization pertaining to the scope of work. The following incident items analyzed include, but are not limited to:

- Type of Incident
- Location of Incident
- Frequency of Incident

Using the data from the service demands, the Team will measure the response system performance against national standards (NFPA, ISO, CPSE) to establish the agency's effectiveness and efficiency in providing emergency services. Next, the evaluation of fire station distribution and concentration will reveal the resource location's current impact on the emergency services.

- Fire Station Distribution – The fire station's geographic location within its area of responsibility (AOR) to provide first-due resources within a given drive time.
- Fire Station Concentration – The fire station's geographic location in relation to adjacent fire station Area of Response (AORs) to provide additional resources to meet an effective response force (ERF)

Finally, predictive modeling uses the service demands and statistical tools to analyze the "what-if" scenarios producing predictions of future performance, which are measured against the agency's current benchmarks.

Draft Preliminary Report

Analyze collected data and create a draft report of the analytic findings which may include all or part of the following sections to address the scope of work:

- Local area demographics
- Fire Station ideal location
- Fire station ideal distribution
- Fire station ideal concentration
- Response area workloads
- Evaluation of historical performance
- Visualization of benchmarks
- Visualization of recognized benchmark standards
- Station location modeling with predictive modeling ("what-if" scenarios)
- A detailed report of the analytic findings (may include the following sections)
 - Definitions
 - Jurisdiction Basics
 - Service Areas
 - Study Incidents
 - Incidents by Area of Responsibility (AOR)
 - Incident Hotspots
 - Service Area Performance
 - Effective Response Force (ERF) Performance
 - Ideal Fire Stations
 - Performance Predictions
 - Unit Hour Utilization (when applicable)
 - All collected data in GIS format
- GIS Live Dashboard - Online account to web maps and study data. The project includes one (1) year of online access to maps and data. (Depending on the level selected)
- StoryBoard (digital public summary of the report for display) is designed for public viewing of the Station Location and Performance Analysis Report. The digital story is a "cliff notes" version of the report that uses simple language to explain the study's purpose and outcome. The digital story can be set to Autoplay and shared via a link with social media or embedded into the agency's website. Turn off the Autoplay feature and use the digital story in presentations. This report can be placed on the agency's website for public access. (Depending on the level selected)

SUBMIT DRAFT OF GIS/CONDUCT WEBINAR REVIEW

Provide PDF report(s) to stakeholders to review data information for accuracy. Schedule and conduct a webinar to review findings. Make edits as needed.



STATION ANALYSIS

We will take all the gathered information and data along with the station location information and begin to analyze proposed solutions for each evaluated facility.

- Review the completed Station programming study to confirm that noted space and operators haven't changed.
- Review of potential sites with Owner that fall within the appropriate response zones noted in the location study.
- Complete site diagram for reasonably noted potential sites for possible impact and budget development and analysis.

POTENTIAL ADDITIONAL STUDIES: If the Community Services Facility falls within the appropriate response area noted in the location study, FGMA will need to interview CS staff in order to program their needs. FGMA will also need to determine what is off limits or sacrificial with the existing CS site in order to properly site the fire operations so that all Village functions can remain in operation and provide best operations for long term planning.



STATION PHASING AND BUDGETING

This step would further develop the analysis and conceptual diagramming performed in the prior stage and indicate the potential manners in which any potential new facilities and/or any renovations/upgrades of existing facilities would be integrated into the Department's future plans.

TASK 1: Based on the assessment of each facility and the locations identified we will indicate the potential of remodeling the existing facility or the possibility of replacing the existing facility on the same site.

TASK 2: If the study identifies stations that need to be relocated we will prepare a phasing plan to outline the sequence of work and an overall timeline for the work to be completed.

TASK 3: Prepare construction/project budgets for the potential solutions. We will prepare budgets for each station solution. Budgets for renovation work vs. new construction will be completed in order to identify the magnitude of a potential solution when necessary.

FGMA uses its historical bid data in order to complete our budgeting. This is done on a square foot cost basis. We do not complete detailed cost estimating at this preliminary point.





SUMMARY DELIVERABLE, PRESENTATION

This final step compiles all of the documentation and information intake and creates a packaged report deliverable with recommendations and a comprehensive executive summary. We often are invited to make a presentation to Village Board and/or to the Public-at-Large, in order to encourage support for the proposed scope(s) of work on behalf of the Village and Department.

TASK 1: We will gather, organize, edit and assemble for printing/reproduction a draft and then final summary report deliverable.

TASK 2: Our Team will author an executive summary section for the deliverable report in order to succinctly indicate the findings and recommendations which are an outgrowth of the study effort.

TASK 3: We will meet with the Owner group to verify that the final DRAFT deliverable report is consistent with Village's and LZFD's expectations and is fit for conclusion and printing/distribution.

TASK 4: We will provide a quality control review of the report deliverable.

TASK 5: We will have the report deliverable printed and delivered to Village/LZFD for final review and filing for action.

TASK 6: We will make the Team available for presentation(s) to Village Board and/or to the Public-at-Large. The former is typically a straightforward presentation of the report deliverable, reviewing items and issues encountered while carrying out the study and summarizing recommendations and budgetary projections. Whereas, the latter can take many forms, from an open house to a town hall to a linear presentation and from an invited dialogue and working meeting to a design charette exercise with dozens of attendees.

- We will prepare a draft report for review and comment by Village and Fire Department leadership prior to finalizing the report.
- We will then present the final report to the Village of Lake Zurich leadership and elected officials.
- A presentation at a public meeting is a potential extra service.

COMMUNICATION APPROACH

FGMA's communication plan includes making sure that we speak in layman's terms and communicate the pros and cons of design decisions, so the owner is in a fully informed position to make choices best suited for their situation.

Effective communication is at the core of any successful project. Therefore, communication is an integral part of FGMA's project management process. It is essential that every member of the team - the FGMA team, our consultants, with library board, village board, library staff, the public, any committees and the contractor are kept up-to-date with all communication regarding the project.

FGMA's project success is a direct result of our ability to listen and communicate. At the onset of the project, we engage all team members and stakeholders in our participatory process. During the kick-off meeting, FGMA will discuss our communication plan for the project and inquire about the amount and kind of communication the owner wishes us to have with the project stakeholders - elected officials, the community, the administration and the user group.

We know that team-building and communication is an essential component to the entire design and construction process. We identify the main contact person from our organization and yours and document the expectations.

Our ability to listen enables us to have a clear understanding of your unique needs, desires and budgets.

These factors - combined with the unique qualities of the project - have led us to propose buildings that meet each client's requirements.

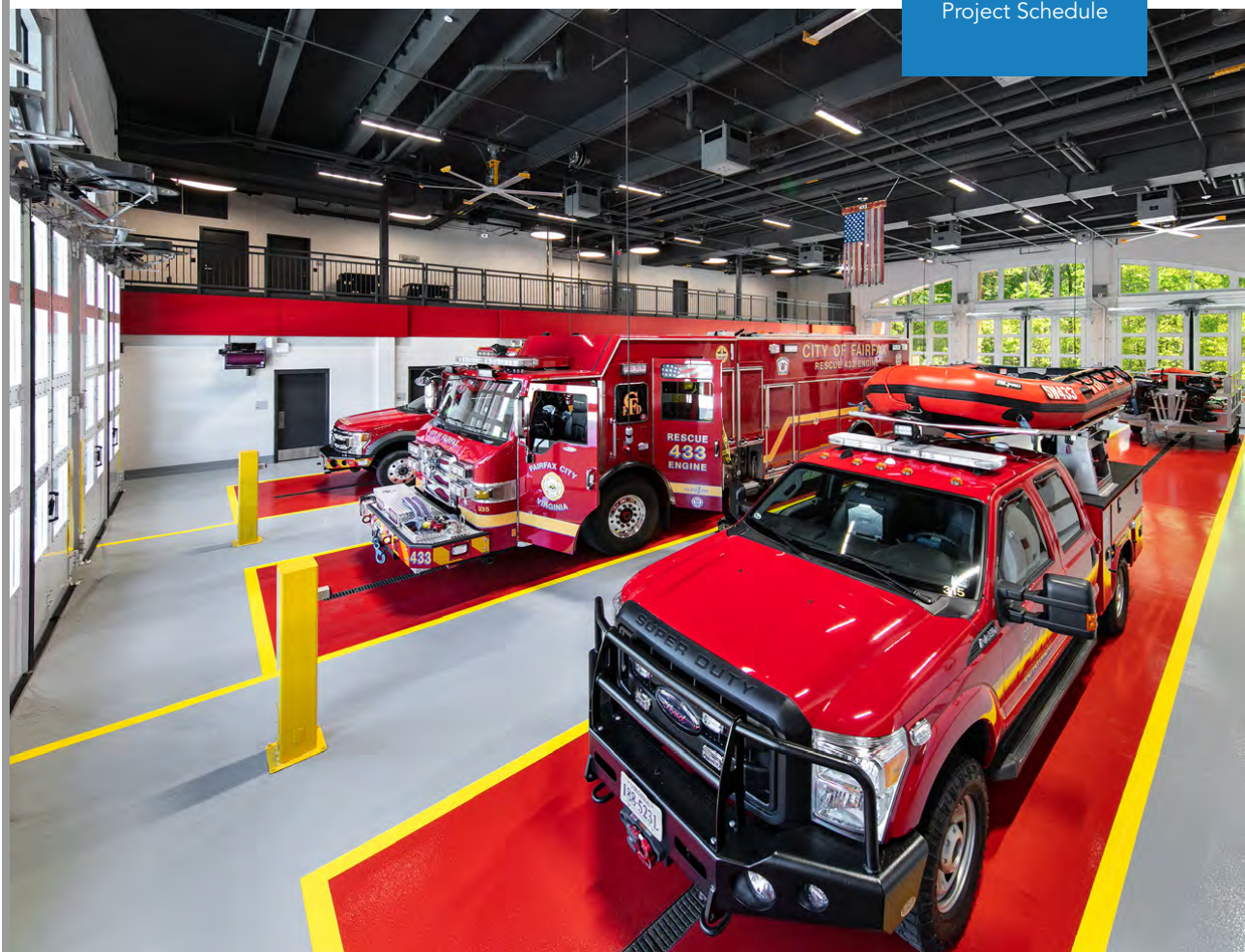
This communication continues throughout the life of the project. It is our recommendation that all important decisions be documented in design meeting or construction meeting minutes, even if the decision is discussed by all parties in person or over the phone. Over time, decisions reached can be forgotten and so the meeting minutes serve as an important reminder. Once meetings are documented, they are shared with the entire project team. We utilize a file sharing platform, Newforma, that promotes collaboration and communication between all members of the team, and we rely heavily on face-to-face discourse as our primary means of communication.

On a bi-weekly basis, FGMA sends a summary email communicating what actions took place over the past two weeks and what actions will happen during the coming two weeks as well as any action items we need from the owner. The owner's main contact has discretion as to whom he/she might forward this email to for regular updates and can use it as a update to project leadership.

SECTION

4

Project Schedule





PROJECT SCHEDULE

The project schedule for Village of Lake Zurich will be confirmed as part of the Kick-Off Meeting. A suggested realistic timeline for the accomplishment of major tasks is as follows:

April 1, 2024	Submit Qualifications
May/June 2024	Firm Selection and Award
June 2024	Kickoff Meeting
June 2024 - July 2024	Data Request/Collection
July 2024	Project Start/Background Information Review
	Enter, Create, GIS Database & Response Analytics
	NFPA + ISO Review and Information Analysis & Review
July 2024 - August 2024	Preliminary Report(s) Submitted for Review
August 2024	Conduct Virtual Meeting for Feedback on GIS Draft Report and Make Edits/Corrections
Septemeber 2024	Program Verification, Potential Site Diagramming & Budgeting
October 2024	If CS is a Potential Site, Programming and Site Development
November 2024	Conduct Virtual Meeting to Obtain Feedback on FINAL Draft Station Location Report/NFPA/ISO; Make any Edits/Corrections
	Conduct Virtual Meeting to Obtain Feedback on Entire Draft Report; Make any Edits/Corrections
December 2024	On-Site Presentation of Final Report to Village/Stakeholders



SECTION

5

What Sets FGMA
Apart





WHAT SET FGMA APART

Why Partner with **fgma** ?



FIRE SERVICE EXPERTS

First responders put their lives at risk to protect our communities, and FGMA makes sure they have the facilities and tools they need. Our team has earned the trust and respect of the fire service industry through honesty, mutual respect and national expertise in the support of fire fighters.



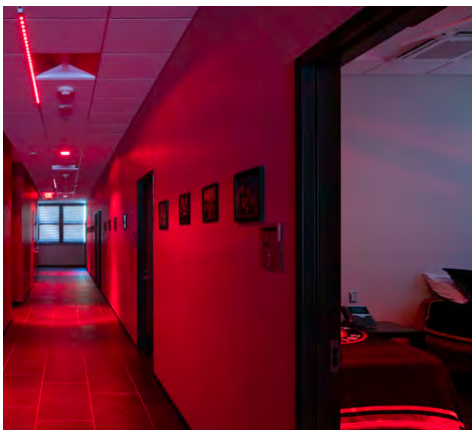
COLLABORATIVE PROCESS

At the heart of our team is the client and their community, who become integral partners in FGMA's collaborative process. We value each partner's role and engage them to their highest use. Your fire station is an incredibly important endeavor. We take it seriously and we will guide you through the entire process.



HEALTH, SAFETY & WELLNESS ADVOCATES

FGMA has pioneered design strategies for cancer reduction through contaminant control (Hot Zone Design) and improved behavioral health through the use of light, color and nature to help reduce PTSD and suicide (Immersive Design). As industry leaders we are dedicated to continually improving the design of the facilities in which our first responders live, work and train.



WHAT SET FGMA APART

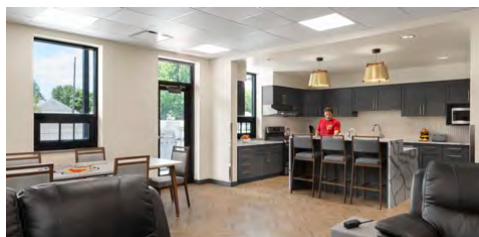
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ENVIRONMENTAL STEWARDS

We take great pride in partnering with our clients to build community and serve as active stewards of our planet. Helping our clients integrate innovative design strategies is key to our responsibilities as signatories of the American Institute of Architect's 2030 Commitment. The buildings we design serve the many, not the few, and contribute to overall safety, health, and well-being of building occupants and the larger community.



GOOD NEIGHBORS

FGMA enhances communities by creating quality environments. This is not just a mission statement; it is our way of life at FGMA. We treat every community like it is our hometown.

GOAL ORIENTED

Fire station design should reflect a safe and comfortable place to live and work. Goals of good fire station design include decreasing response times, regulations for hazmat materials, firefighter health and safety and creating a comfortable "home" within each station.



SECTION

6

Project Cost





FGMARCHITECTS

Proposal for

Fire Station & Community Services Location/ Deployment Analysis

for:

VILLAGE OF LAKE ZURICH

Lake Zurich, Illinois 60047

Submitted to:

Kyle Kordell, Management Services Director

VILLAGE OF LAKE ZURICH

70 East Main Street

Lake Zurich, Illinois 60047

By:

FGM ARCHITECTS INC.

1211 West 22nd Street, Suite 700

Oak Brook, IL 60523

March 29, 2024

WE BUILD COMMUNITY

FGM Architects Inc. | An Employee-Owned Firm

Chicago • St. Louis • Austin • Milwaukee

FGMA ARCHITECTS

1.0 UNDERSTANDING OF PROJECT

The Village of Lake Zurich and the Lake Zurich Fire Department, hereinafter referred to as the Owner, would like to complete a Fire Station Location/Deployment Analysis. The Department has a long-standing contract with the surrounding Lake Zurich Rural Fire Protection District, therefore the study will address 4 stations covering 25 square miles and 37,000+ residents. The purpose of the study is to review current fire station locations and deployment of resources and to provide long-term recommendations for fire station needs, locations and infrastructure, taking into consideration response trends, planned or potential Village growth, and best practices in today's fire/rescue/EMS services.

2.0 SCOPE OF ARCHITECT'S SERVICES

FGM Architects, Inc., hereinafter referred to as FGMA or Architect, in association with Advanced Selections LLC, hereafter referred to as ASL, shall provide the following professional services for the project:

2.1. Kick Off information gathering

2.1.1 Kick-off Meeting

- .1 Develop project goals and review project requirements
- .2 Information gathering on Fire Station No 1
- .3 "Brainstorming Session" on Village and Department ideas, concerns, issues, expectations, etc.
- .4 Review Department's current station conditions and operations for baseline understanding.
 - .1 Conduct a facility walk-thru with Owner. Review and discuss issues of facility and operations.
 - .2 Review previously completed facility analysis and programming study completed to confirm that needs and operations have not altered.
- .5 Coordinate Department GIS information transfer
 - .1 Create new and/or update existing geodatabases
 - .2 Migrate all GIS data into a geodatabase
 - .3 Migrate all tabular data into a geodatabase.
 - .4 Digitize all maps into a geodatabase.

2.1.2 Owner will work with our consultant to:

- .1 Verify and define Village/ Department borders and extents. This includes anticipated Village growth and development.
- .2 Provide current Apparatus distribution

2.1.3 Department information will be evaluated by a consultant and ran through several models for review and discussion. Final locations and recommendations will be determined, allowing the Village to pursue land acquisition for any station relocation options.

- .1 Fire Station Distribution – the fire station's geographic location within its area of responsibility (AoR) to provide first-due resources within a given drive time
- .2 Fire Station Concentration – the fire Station's geographic location in relation to

FGMA ARCHITECTS

- adjacent fire station Area of Response (AoRs) to provide additional resources to meet an effective response force (ERF)
- .3 Predictive modeling uses the service demands and statistical tools to analyze the “what-if” scenarios producing predictions of future performance, which are measured against the agency’s current benchmarks.
 - 2.1.4 Develop multiple site plans for potential sites (up to three) that will illustrate the placement of Fire Station No 1 on the site, along with all surrounding improvements to be incorporated.
 - .1 Investigate and account for storm water requirements, site balancing, site access, and other site conditions that would affect budget or feasibility of options.
 - .2 Depending upon Option, complete preliminary geotechnical soil borings on each proposed site to thoroughly evaluate cost impacts on the projects. IF REQUIRED
 - 2.1.5 If the location study identifies the Community Services facility falling within the appropriate response area, FGMA will evaluate that site and operation.
 - .1 FGMA will interview Community Services key staff to develop an architectural space program, that describes the types and sizes of spaces to be located within the facility. We will also determine what spaces of the existing facility are critical, need to remain in their current location, and what portions of the building and site are sacrificial to fire operations. FGMA will need to evaluate continued operations versus final long-term planning to provide the best solution for the Village.
 - 2.1.6 Develop a project budget for the completed work for each Site Option. Project budgets will include estimated costs for each of the following:
 - Square foot construction costs
 - o If applicable, costs will include options for varying improvements in energy efficiency, green initiatives, and building maintenance that are reasonable for this type of facility.
 - Architectural/ Engineering costs
 - Estimated soft costs (furniture, fixtures, equipment, permit fees, etc.)
 - Projected inflation costs
 - 2.1.7 A virtual review meeting with Owner to review the draft report.
 - 2.1.8 Incorporate Owner’s comments and present final deliverables to Village and Department.
 - 2.2 Additional Required Information
 - 2.2.1 The following items will be needed in order to complete this portion of this project conducted by FGMA, but are to be provided by the Owner:
 - .1 Provide any additional site information, including initial diagrams or plats of survey, etc. available for potential sites considered
 - .2 GIS data for Department operations
 - .3 Future Village expansion or development that should be considered and evaluated

FGMA ARCHITECTS

for operations.

- .4 If the Community Services building and site are evaluated, existing plans are to be provided to FGMA for use in planning purposes. If plans are unavailable, FGMA will provide a fee to field document for use in study – fee to be negotiated.
- Department organization chart
- Department vehicle and equipment list

2.3 Consultants

- 2.3.1 FGMA is utilizing Advanced Selections LLC for the Station location study portion of the project.
- 2.3.2 FGMA has not included fee for Geotechnical investigations in this proposal, but if desired, we will coordinate geotechnical borings on behalf of the Owner, if required.
- 2.3.3 FGMA does not intend to retain the services of any additional consultants for the work described above.

2.4 Schedule

FGMA expects this work to take approximately 5-6 months to complete the study, subject to the availability of all parties to meet and the necessary time for the Owner to review and comment.

3.0 ARCHITECT'S COMPENSATION

The Village of Lake Zurich shall compensate FGM Architects for the study as follows:

3.1 Fire Station & Community Services Location/ Deployment Analysis:

For the location study portion of the project, we have provided options, based upon need, and desired deliverables of the Village. The Village has the ability to select an option from one of the package levels below in consultation fees and expenses and one electronic PDF copy of the report regarding the Location portion of the project:

Location Study Scope/Fee Options

Option 1: Station Location Analysis – Platinum Level (Full Report)

The Platinum Level provides a deep-level analysis mapping of demographics and service area, incident data overlaid on the Total Response Area (TRA) **as well as an analysis at each individual response area (station level-AOR)**, producing detailed visualization of incident impact on the organization. This level identifies the ideal location(s) of fire station(s) and provides a comparison to existing locations. A Public Display Storyboard plus a GIS Dashboard is included at no additional cost. An Executive Summary and Recommendations are included with this level of report.

Fee: \$39,918.00

Option 2: Station Location Analysis – Diamond Level

The Diamond Level Report provides a moderate-level analysis of data. This level of report utilizes the same incident information (data) but limits the depth of reporting. Mapping illustrations are focused on the TRA level and not at the individual station

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PROJECT COST

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level. General overviews are provided as illustrations of the incident impact on the organization as well as Ideal Station locations. A Public Display Storyboard plus a GIS Dashboard is included at no additional cost. An Executive Summary and Recommendations are included with this level of report.

Fee: \$34,418.00

Option 3: Station Location Analysis – Gold Level

The Gold Level Report provides an intermediate-level of data analysis; utilizes the same incident information (data) but limits the depth of reporting. Mapping illustrations are focused on a general overview of drive times and incidents within the TRA. Ideal Station locations are provided.

Fee: \$19,968.00

Add-ons to Gold Level

GIS Dashboard	\$3,500.00	Storyboard	\$4,000.00
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Option 4: Station Location Analysis – Silver Level

The Silver Level Report provides a base-level of data analysis; utilizes the same incident information (data) but limits the depth of reporting. Mapping illustrations are focused on a general overview of drive times and incidents within the TRA. Additionally, the Ideal Station locations are provided.

Fee: \$9,968.00

Add-ons to Silver Level

GIS Dashboard	\$3,500.00	Storyboard	\$4,000.00
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Additional Location Study Components

Deployment Analysis	starting at - \$9,500.00
Standards of Cover	starting at - \$15,000.00
<u>Includes:</u>	
Resource Deployment Analysis	
Community Hazard Analysis	
Community Risk Analysis	starting at - \$7,500.00
Strategic Planning	starting at - \$6,000.00

For all professional **Architectural services** as described in Paragraph 2 we propose a **Lump Sum Fee, of \$14,750** – in addition to the Village’s selection of location study service package. Community Services programming and site diagramming is broken out as an optional fee since it may not be necessary depending upon findings from the location study results.

FGMA ARCHITECTS

Optional Additional Architectural Fees:

Community Services Programming & Site Diagramming	\$7,500
Each additional site concept plan evaluation	\$5,500

Optional Geotechnical Investigations: Not included at this time.

3.2 Reimbursable Expenses

3.2.1 In addition to the compensation above, FGMA shall be reimbursed for additional expenses in connection with the Project, invoiced to the Owner at One Hundred Ten Percent (1.10 times) Architect's actual direct cost of same, for the below items. We recommend establishing a Reimbursable Allowance of **\$250**, which FGMA shall not exceed without prior written approval of the Owner. Reimbursable Allowance includes costs for items below.

- .1 Expenses of travel and living expenses related to the project.
- .2 Expense of postage and/or delivery.
- .3 Expenses of any specialty consultants with Owner's prior approval.
- .4 Expense of printing required for presentations.
- .5 Any fees paid by FGMA to authorities having jurisdiction over the project with Owner's prior approval.

3.2.2 Phone, fax, and printing of review sets shall not be charged as a Reimbursable Expense.

3.3 For any Additional Services authorized by the Owner beyond the scope of this Proposal including but not limited to: additional reports and/or documentation, presentations or coordination with any outside agencies, FGMA shall be compensated on the basis of the hourly rates described in the attached Hourly Rate Schedule for the professional and technical employees engaged on the Project plus Reimbursable Expenses.

3.4 Payments shall be made by the Owner to FGMA upon receipt of FGMA's invoice. Payments shall be made in accordance with the Illinois Prompt Payment Act. The FGMA/ASL Team will submit an invoice for 50% of the total invoice upon contract signing. Final invoice of 50% will be submitted upon delivery of draft report.

3.5 Non-payment of invoices shall constitute grounds for discontinuing service.

3.6 The terms of this Proposal are based upon services commencing within 60 days.

3.7 The terms of this Proposal are based upon services commencing within 90 days and all services being completed within six months thereafter.

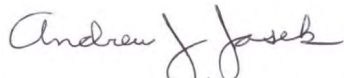
4.0 FORM OF AGREEMENT

Contract Form: For this project, your signature on the bottom of this proposal will serve as our contractual agreement. If this proposal is acceptable to you, please sign the bottom of this letter, which will authorize FGMA to proceed with the work.

FGMAARCHITECTS

We appreciate this opportunity to be of service to the Village of Lake Zurich.

FGM ARCHITECTS INC.



Andrew J. Jasek, AIA | Executive Vice President
andyjasek@fgmarchitects.com



Jason Estes, AIA, | Principal
jasonestes@fgmarchitects.com

Proposal Accepted By:

Village of Lake Zurich Representative

Title

Date

FGMAARCHITECTS

HOURLY RATE SCHEDULE
Effective February 1, 2024*

Where the fee arrangements are to be on an hourly basis, the rates shall be those that prevail at the time services are rendered. Current rates are as follows:

FGM Architects	
Principal (Board of Directors)	\$300.00
Arch IV	\$260.00
Arch III	\$220.00
Arch II	\$180.00
Arch I	\$140.00
Interior Designer IV	\$240.00
Interior Designer III	\$200.00
Interior Designer II	\$160.00
Interior Designer I	\$120.00
Project Administrator	\$135.00

**Rates are subject to adjustment each November 1st.*



We Build Community



SUBMITTED BY

ANDY JASEK

Principal-in-Charge

andyjasek@fgmarchitects.com | 630.574.8709

1211 West 22nd Street, Suite 700
Oak Brook, Illinois 60523

SUBMITTED TO

KYLE KORDELL

Management Services Director

kyle.kordell@lakezurich.org | 847.540.1684

70 East Main Street
Lake Zurich, Illinois 60047

fgma

FGMARCHITECTS

Proposal for

Fire Station & Community Services Location/ Deployment Analysis

for:

VILLAGE OF LAKE ZURICH
Lake Zurich, Illinois 60047

Submitted to:

Kyle Kordell, Management Services Director
VILLAGE OF LAKE ZURICH
70 East Main Street
Lake Zurich, Illinois 60047

By:

FGM ARCHITECTS INC.
1211 West 22nd Street, Suite 700
Oak Brook, IL 60523

WE BUILD COMMUNITY
FGM Architects Inc. | An Employee-Owned Firm
Chicago • St. Louis • Austin • Milwaukee

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July 16, 2024

2 of 8

FGMA ARCHITECTS

1.0 UNDERSTANDING OF PROJECT

The Village of Lake Zurich and the Lake Zurich Fire Department, hereinafter referred to as the Owner, would like to complete a Fire Station Location/Deployment Analysis. The Department has a long-standing contract with the surrounding Lake Zurich Rural Fire Protection District, therefore the study will address 4 stations covering 25 square miles and 37,000+ residents. The purpose of the study is to review current fire station locations and deployment of resources and to provide long-term recommendations for fire station needs, locations and infrastructure, taking into consideration response trends, planned or potential Village growth, and best practices in today's fire/rescue/EMS services.

2.0 SCOPE OF ARCHITECT'S SERVICES

FGM Architects, Inc., hereinafter referred to as FGMA or Architect, in association with Advanced Selections LLC, hereafter referred to as ASL, shall provide the following professional services for the project:

2.1. Kick Off information gathering

2.1.1 Kick-off Meeting

- .1 Develop project goals and review project requirements
- .2 Information gathering on Fire Station No 1
- .3 "Brainstorming Session" on Village and Department ideas, concerns, issues, expectations, etc.
- .4 Review Department's current station conditions and operations for baseline understanding.
 - .1 Conduct a facility walk-thru with Owner. Review and discuss issues of facility and operations.
 - .2 Review previously completed facility analysis and programming study completed to confirm that needs and operations have not altered.
- .5 Coordinate Department GIS information transfer
 - .1 Create new and/or update existing geodatabases
 - .2 Migrate all GIS data into a geodatabase
 - .3 Migrate all tabular data into a geodatabase.
 - .4 Digitize all maps into a geodatabase.

2.1.2 Owner will work with our consultant to:

- .1 Verify and define Village/ Department borders and extents. This includes anticipated Village growth and development.
- .2 Provide current Apparatus distribution

2.1.3 Department information will be evaluated by a consultant and ran through several models for review and discussion. Final locations and recommendations will be determined, allowing the Village to pursue land acquisition for any station relocation options.

FGMA ARCHITECTS

- .1 Fire Station Distribution – the fire station's geographic location within its area of responsibility (AoR) to provide first-due resources within a given drive time
- .2 Fire Station Concentration – the fire Station's geographic location in relation to adjacent fire station Area of Response (AoRs) to provide additional resources to meet an effective response force (ERF)
- .3 Predictive modeling uses the service demands and statistical tools to analyze the “what-if” scenarios producing predictions of future performance, which are measured against the agency's current benchmarks.
- 2.1.4 Develop multiple site plans for potential sites (3-5) that will illustrate the placement of Fire Station No 1 on the site, along with all surrounding improvements to be incorporated.
 - .1 Investigate and account for storm water requirements, site balancing, site access, and other site conditions that would affect budget or feasibility of options.
 - .2 Depending upon Option, complete preliminary geotechnical soil borings on each proposed site to thoroughly evaluate cost impacts on the projects. IF REQUIRED
- 2.1.5 If the location study identifies the Community Services facility falling within the appropriate response area, FGMA will evaluate that site and operation.
 - .1 FGMA will interview Community Services key staff to develop an architectural space program, that describes the types and sizes of spaces to be located within the facility. We will also determine what spaces of the existing facility are critical, need to remain in their current location, and what portions of the building and site are sacrificial to fire operations. FGMA will need to evaluate continued operations versus final long-term planning to provide the best solution for the Village.
- 2.1.6 Develop a project budget for the completed work for each Site Option. Project budgets will include estimated costs for each of the following:
 - Square foot construction costs
 - o If applicable, costs will include options for varying improvements in energy efficiency, green initiatives, and building maintenance that are reasonable for this type of facility.
 - Architectural/ Engineering costs
 - Estimated soft costs (furniture, fixtures, equipment, permit fees, etc.)
 - Projected inflation costs
- 2.1.7 A virtual review meeting with Owner to review the draft report.
- 2.1.8 Incorporate Owner's comments and present final deliverables to Village and Department.
- 2.2 Additional Required Information

FGMA ARCHITECTS

2.2.1 The following items will be needed in order to complete this portion of this project conducted by FGMA, but are to be provided by the Owner:

- .1 Provide any additional site information, including initial diagrams or plats of survey, etc. available for potential sites considered
- .2 GIS data for Department operations
- .3 Future Village expansion or development that should be considered and evaluated for operations.
- .4 If the Community Services building and site are evaluated, existing plans are to be provided to FGMA for use in planning purposes. If plans are unavailable, FGMA will provide a fee to field document for use in study – fee to be negotiated.
 - Department organization chart
 - Department vehicle and equipment list

2.3 Consultants

2.3.1 FGMA is utilizing Advanced Selections LLC for the Station location study portion of the project.

2.3.2 FGMA has not included fee for Geotechnical investigations in this proposal, but if desired, we will coordinate geotechnical borings on behalf of the Owner, if required.

2.3.3 FGMA does not intend to retain the services of any additional consultants for the work described above.

2.4 Schedule

FGMA expects this work to take approximately 5-6 months to complete the study, subject to the availability of all parties to meet and the necessary time for the Owner to review and comment.

3.0 ARCHITECT'S COMPENSATION

The Village of Lake Zurich shall compensate FGM Architects for the study as follows:

3.1 Fire Station & Community Services Location/ Deployment Analysis:

Station Location Analysis – Platinum Level (Full Report)

The Platinum Level provides a deep-level analysis mapping of demographics and service area, incident data overlaid on the Total Response Area (TRA) **as well as an analysis at each individual response area (station level-AOR)**, producing detailed visualization of incident impact on the organization. This level identifies the ideal location(s) of fire station(s) and provides a comparison to existing locations. A Public Display Storyboard plus a GIS Dashboard is included at no additional cost. An Executive Summary and Recommendations are included with this level of report.

Fee: \$39,918.00

Optional Location Study Components, if selected

Deployment Analysis starting at - \$9,500.00

FGMA ARCHITECTS

Standards of Cover *starting at - \$15,000.00*

Includes:

Resource Deployment Analysis

Community **Hazard** Analysis

Community Risk Analysis *starting at - \$7,500.00*

Strategic Planning *starting at - \$6,000.00*

For all professional **Architectural services** as described in Paragraph 2 we propose a **Lump Sum Fee, of \$14,750 – in addition to the Village's selection of location study service Platinum package for \$39,918. TOTAL: \$54,668**

Community Services programming and site diagramming is broken out as an optional fee since it may not be necessary depending upon findings from the location study results.

Optional Additional Architectural Fees:

Community Services Programming & Site Diagramming	\$7,500
Each additional site concept plan evaluation	\$5,500

Optional Geotechnical Investigations: Not included at this time.

3.2 Reimbursable Expenses

3.2.1 In addition to the compensation above, FGMA shall be reimbursed for additional expenses in connection with the Project, invoiced to the Owner at One Hundred Ten Percent (1.10 times) Architect's actual direct cost of same, for the below items. We recommend establishing a Reimbursable Allowance of **\$250**, which FGMA shall not exceed without prior written approval of the Owner. Reimbursable Allowance includes costs for items below.

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FGMA^{ARCHITECTS}

- 3.4 Payments shall be made by the Owner to FGMA upon receipt of FGMA's invoice. Payments shall be made in accordance with the Illinois Prompt Payment Act. The FGMA/ASL Team will submit an invoice for 50% of the total invoice upon contract signing. Final invoice of 50% will be submitted upon delivery of draft report.
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- 4.0 FORM OF AGREEMENT**
Contract Form: For this project, your signature on the bottom of this proposal will serve as our contractual agreement. If this proposal is acceptable to you, please sign the bottom of this letter, which will authorize FGMA to proceed with the work.

We appreciate this opportunity to be of service to the Village of Lake Zurich.

FGM ARCHITECTS INC.




Andrew J. Jasek, AIA | Executive Vice President
andyjasek@fgmarchitects.com



Jason Estes, AIA, | Principal
jasonestes@fgmarchitects.com

Proposal Accepted By:

_____	_____	_____
Village of Lake Zurich Representative	Title	Date
	Managing Partner	July 17, 202
Advanced Selections, LLC Representative	Title	Date

FGMAARCHITECTS**HOURLY RATE SCHEDULE**
Effective February 1, 2024*

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FGM Architects

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Interior Designer III	\$200.00
Interior Designer II	\$160.00
Interior Designer I	\$120.00
Project Administrator	\$135.00

**Rates are subject to adjustment each November 1st.*



At the Heart of Community

OFFICE OF THE VILLAGE MANAGER

70 East Main Street
Lake Zurich, Illinois 60047

(847) 438-5141
LakeZurich.org

MEMORANDUM

Date: July 22, 2024
To: Ray Keller, Village Manager *PK*
From: Kyle Kordell, Management Services Director
Copy: Michael Duebner, Assistant Village Manager
Subject: **Synthetic Consumer Products - Delta-8 / Kratom**

AGENDA ITEM

8c

Issue: Unregulated cannabis-related products are being sold in the Village of Lake Zurich at establishments that sell traditional liquor or tobacco products. An ordinance creating mandatory tobacco retail licensing in Lake Zurich is proposed that would effectively ban the sale of unregulated **Delta-8** and **Kratom** products from Lake Zurich establishments, using a layered approach through the end of 2024 with a total ban starting on January 1, 2025.

Analysis: A trend has been identified in the United States of people consuming these products which then cause psychotic symptoms and the rare overdose death. None of these products are regulated by the Food and Drug Administration (FDA) or any other regulatory agency.

There are concerns over retailers selling intoxicating products without any governmental oversight or safety controls. Often these products are labeled as “hemp products” which may mislead consumers who associate “hemp” with “non-psychoactive.”

In comparison, the State of Illinois prohibits the sale and distribution of alcohol, tobacco, cannabis, electric cigarettes, and alternative nicotine products to anybody under the age of 21.

National poison control centers in the United States are receiving thousands of exposure cases each year related to **Delta-8** and **Kratom** products, some of which are pediatric patients less than 18 years old.

Product Summary

- **Delta-8:** Delta-8 is a THC-derived product with a psychoactive ingredient found in the cannabis sativa plant. This product is not approved or regulated by the FDA, which has issued a warning to the public about Delta-8, saying the products might be marketed in such a way as to put *“the public health at risk and should especially be kept out of reach of children and pets.”* Delta-8 products may be produced using unsafe household chemicals, may be manufactured in uncontrolled or unsanitary settings and have been known to cause hallucinations, vomiting, tremors, anxiety, confusion, and loss of consciousness. Products that contain Delta-8 are available in some Lake Zurich establishments. *There is no federal or State minimum age requirement for the purchase of Delta-8 products in Illinois.*

In the last legislative session, the Illinois General Assembly considered, but did not pass, House Bill #4293 that would regulate these products. Manufacturers and retailers, including the Illinois Craft Brewers Guild, have protested against proposals to expand the regulation of these substances. A similar bill could possibly return in a future legislative session for action at the State level.

Due to the Industrial Hemp Act, the age restrictions that apply to marijuana do not apply to Delta 8 products because the legal definition explicitly exempts hemp, so that Delta 8 THC products (*which are hemp products*) are not subject to the restrictions on the sale of marijuana and cannabis.

- **Kratom:** Kratom is a tropical tree native to southeast Asia. It’s two main chemical components are “mitragynine” and “7-hydroxymitragynine.” The FDA has issued a warning to the public about Kratom, saying *“kratom is not lawfully marketed in the U.S. as a drug product, a dietary supplement, or a food additive. There are no drug products containing kratom that are legally on the market in the United States.”*

According to FDA warnings, consumers should avoid consuming Kratom because of the risk of liver toxicity, seizures, and substance abuse disorder. Products prepared from kratom leaves are available in some Lake Zurich establishments. In Illinois, the Kratom Control Act (720 ILCS 642/) prohibits the purchase or sale of kratom by persons under 18.

The FDA is also concerned by the proliferation of these products that are marketed for therapeutic or medical uses, although they have not been approved for such use.

Economic Impact

A local ban on such products would come with an economic impact, harming the revenue of small businesses such as gas stations and smoke/vape shops that have a heavier reliance on these products to generate revenue compared to larger big-box stores.

Proposed Ordinance: The proposed ordinance, if approved, would effectively ban the sale of unregulated **Delta-8** and **Kratom** products from Lake Zurich establishments, using a layered approach through the end of 2024 with a total ban starting on January 1, 2025.

Upon the effective date of the ordinance:

1. No person under 21-years of age may purchase Delta-8/Kratom.
2. Businesses are prohibited from placing additional orders for Delta-8/Kratom.
3. Sale of Delta-8/Kratom is prohibited as of 1/1/2025.
4. Sale of tobacco and/or vape products without a tobacco dealer's license are prohibited as of 1/1/2025.
5. A tobacco retail license will be required annually for a \$200 fee.
6. Licenses required and issued in 2024 will have an extended expiration date of 12/31/25.

Recommendation: Approval of the proposed ordinance creating a Retail Tobacco License and banning the sale of unregulated **Delta-8** and **Kratom** products from Lake Zurich establishments

w/Attachments:

- Proposed Ordinance
- Notice send to impacted businesses



At the Heart of Community

OFFICE OF THE VILLAGE PRESIDENT

Lake Zurich Village Hall
70 East Main Street
Lake Zurich, Illinois 60047

(847) 438-5141
LakeZurich.org

Dear _____,

For over a decade, the Village of Lake Zurich has taken great strides in becoming more business friendly and developing the local economy for the benefit of the entire community. Like many things in life, this requires balance in all things. As Village leaders, the Trustees that serve on the Board and myself must carefully weigh developing the local economy and boosting sales taxes with public health concerns and community risk.

A few businesses in Lake Zurich, including yours, is selling unregulated cannabis related products that contain **Delta-8** and **Kratom**. As you maybe aware, there are growing concerns of potential health risks associated with the use of consumer products that contain **Delta-8 and Kratom** due to the unknown adverse health effects, lack of regulation on these products, and easy availability of these products.

National poison control centers in the United States are receiving thousands of exposure cases each year related to **Delta-8 and Kratom** products, a large percentage of which are pediatric patients less than 18 years old.

As Mayor, I want to help small businesses succeed but even more than that, I want to protect the health and welfare of the people that call Lake Zurich home, especially our youth.

Therefore, at the Village Board meeting on Monday, August 5, 2024, Trustees will consider, discuss, and act on a local ordinance that introduces mandatory tobacco retail licensing in Lake Zurich. This ordinance, if approved, would effectively ban the sale of unregulated **Delta-8** and **Kratom** products from Lake Zurich establishments, using a layered approach through the end of 2024 with a total ban starting on January 1, 2025.

Upon the effective date of the ordinance:

1. No person under 21-years of age may purchase Delta-8/Kratom.
2. Businesses are prohibited from placing additional orders for Delta-8/Kratom.
3. Sale of Delta-8/Kratom is prohibited as of 1/1/2025.
4. Sale of tobacco and/or vape products without a tobacco dealer's license are prohibited as of 1/1/2025.

5. A tobacco retail license will be required annually for a \$200 fee.
6. Licenses required and issued in 2024 will have an extended expiration date of 12/31/25.

Clearly this impacts your establishment directly. We value transparency and open communication in Lake Zurich so we wanted you to be aware of this issue. You are welcomed to attend the Village Board meeting on Monday, August 5, 2024, which starts at 7:00 pm at Lake Zurich Village Hall on Main Street.

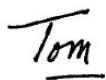
We value all small businesses and we understand a decision that limits your ability to continue selling **Delta-8** and **Kratom** could have a significant impact on your profit margins. But we hope you understand the health concerns that the people of Lake Zurich have regarding the easy accessibility of these unregulated products and the risk they pose to the Lake Zurich community.

If you would like to speak further about this issue, feel free to reach out to myself or Management Services Director Kyle Kordell at Lake Zurich Village Hall.

- I can be reached at Tom.Poynton@LakeZurich.org or 847-540-1683.
- Director Kordell can be reached at Kyle.Kordell@LakeZurich.org or 847-540-1684.

Regards,

Tom Poynton, Village President

A handwritten signature in black ink that reads "Tom" with a horizontal line underneath the name.

Village of Lake Zurich, IL

ORDINANCE NO. 2024-08-579

AN ORDINANCE AMENDING TITLE 3, CHAPTER 2, SECTION 18 OF THE VILLAGE OF LAKE ZURICH MUNICIPAL CODE TO REGULATE TOBACCO DEALERS AND SMOKE SHOPS AND BAN SUCH ESTABLISHMENTS FROM SELLING PRODUCTS CONTAINING DELTA-8 THC AND KRATOM

WHEREAS, the Village of Lake Zurich, Illinois (the “Village”) is a non-home rule municipality organized and operating under the Illinois Municipal Code (65 ILCS 5/1-1-1, *et seq.*); and

WHEREAS, the Village is empowered with the authority to pass all ordinances and make all rules and regulations proper or necessary in accordance with the Illinois Municipal Code 65 ILCA 5/1-2-1; and

WHEREAS, the Village President and the Board of Trustees (the “Corporate Authorities”) are committed to protecting the health, safety, and well-being of residents of the Village; and

WHEREAS, pursuant to Section 11-20-3 of the Illinois Municipal Code (65 ILCS 5/11-20-3) the Corporate Authorities may provide for and regulate the inspection of tobacco; and

WHEREAS, Public Act 101-2 (720 ILCS 675/1) prohibits the sale and distribution of tobacco products, electronic cigarettes, and alternative nicotine products to persons under 21 years of age; and

WHEREAS, the Illinois Municipal Code allows municipalities to do all acts and make all regulations necessary or expedient for the promotion of health or the suppression of diseases pursuant to 65 ILCS 5/11-20-5; and

WHEREAS, the Illinois Municipal Code allows municipalities to adopt and enforce all necessary police ordinances pursuant to 65 ILCS 5/11-1-1; and

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WHEREAS, the United States Supreme Court has also long recognized the inherent power of Illinois municipalities to regulate the sale of tobacco, through the case of *Guntling v. Chicago*, 177 U.S. 1263; and

WHEREAS, the Village of Lake Zurich does not currently license tobacco dealers or cannabinoid products; and

WHEREAS, the Corporate Authorities find that the health hazards of smoking and other uses of tobacco products are well-documented, including many years' worth of opinions of the United States Surgeon General, and that there are a multitude of laws intended to assist in curbing underage smoking and to deter adults from engaging in the consumption of tobacco products; and

WHEREAS, the Corporate Authorities find that some of the smoking and cannabinoid products sold in tobacco shops within the Village are of a type that is often used in illegal drugs, are frequently unregulated and that the sale of such goods should be deterred, regulated and prohibited, as provided herein, as much as possible, within the bounds of federal and state laws; and

WHEREAS, current scientific data and preliminary studies from the U.S. Food and Drug Administration strongly suggest that current unregulated Delta-8 tetrahydrocannabinol ("Delta-8 THC"), and kratom have unpredictable adverse health effects and pose dangers to human health; and

WHEREAS, tetrahydrocannabinols like Delta-8 THC are illegal when produced from cannabis, per the U.S. Drug Enforcement Administration ("DEA"); and

WHEREAS, the FDA and DEA note that THC products and kratom can have psychoactive, stimulant and/or intoxicating effects; and

WHEREAS, the U.S. Food and Drug Administration ("FDA") has notified the public of increases in adverse events involving Cannabinoid Products, including poison control centers and concerns regarding contamination due to manufacturing methods that may be used to produce marketed delta-8 THC products; and

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WHEREAS, the FDA advises that Delta-8 THC products have not been evaluated or approved by the FDA for safe use and may be marketed in ways that put the public health at risk; and

WHEREAS, the FDA notes that Delta-8 THC products often involve use of potentially harmful chemicals to create the concentrations of delta-8 THC claimed in the marketplace; and

WHEREAS, all licensees regulated under this Ordinance are not permitted to sell cannabinoid products, including those containing Delta-8 tetrahydrocannabinol (“Delta-8 THC”), or kratom; and

WHEREAS, all licensees regulated under this Ordinance shall agree to and execute the License Agreement which is attached hereto and incorporated herein as Exhibit A; and

WHEREAS, the Corporate Authorities have determined it is in the best interest of the Village and its residents to amend the Village Municipal Code to further regulate and license the sale and possession of tobacco, tobacco – related products and cannabinoid products, as provided hereinafter.

NOW THEREFORE, BE IT ORDAINED by the Corporate Authorities of the Village of Lake Zurich, Illinois, as follows:

SECTION 1: ADOPTION AND INCORPORATION OF RECITALS.

The foregoing recitals, findings, recommendations, exhibits, and plans are incorporated herein as findings and requirements of the Corporate Authorities.

SECTION 2: AMENDMENT OF VILLAGE CODE.

That the existing provisions of current Section 3-2-18 of Chapter 2 entitled “Specific Regulations for Certain Businesses”, of Title 3 entitled “Business Licensing, Regulation, Taxation and Fees” of the Village of Lake Zurich Municipal Code are hereby amended by adding the new provisions set forth hereafter in red and underscored, as follows:

3-2-18: SALES AND POSSESSION OF TOBACCO PRODUCTS

A. Definitions: The following terms shall, for the purposes of this section, have the meanings herein ascribed to them:

ALTERNATIVE NICOTINE PRODUCT: Any product or device not consisting or containing tobacco that provides for the ingestion into the body of nicotine, whether by

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chewing, smoking, absorbing, dissolving, inhaling, snorting, sniffing, vaporizing or by any other means. The term alternative nicotine product includes any electronic device that provides a gas or vapor derived from nicotine and/or other chemicals and inhaled by the user to simulate smoking, such as e-cigarettes, electronic cigars, electronic pipes, electronic hookah pipes, vape pens, advanced personal vaporizers, box mods, or other devices capable of delivering aerosolized nicotine or other chemicals through inhalation. The term alternative nicotine product excludes any product approved by the United States Food and Drug Administration as a non- tobacco product for sale as a tobacco cessation product, as a tobacco dependence product, or for other medical purposes, and is being marketed and sold solely for that approved purpose.

CANNABINOID PRODUCT: Any product offered for sale that contains cannabinoids, including Delta-8 tetrahydrocannabinol ("Delta-8 THC"), and kratom and is not regulated under the Compassionate Use of Medical Cannabis Program Act or the Cannabis Regulation and Tax Act.

MINOR: A person less than eighteen (18) years of age.

PERSON: An individual, corporation, partnership, association, or other legal entity.

TOBACCO PRODUCT: Any item, product, or substance containing tobacco leaf, including, without limitation, cigarettes, cigars, snuff, pipe tobacco, chewing tobacco, and dipping tobacco but also alternative nicotine products other than traditional tobacco such as e- cigarettes and vaping products that are battery-operated devices with a combination of nicotine, flavor, or chemicals or any combination thereof that are turned into vapor which is inhaled by the user.

A. License Required for Retail Tobacco and E-Cigarettes: It is unlawful to sell, barter, transport, deliver, furnish, possess, keep or offer for sale at retail tobacco products, e-cigarettes or accessories, or engage in or conduct a retail tobacco business, or conduct any place for the sale of tobacco products or vaping products or accessories within the corporate limits of the village, without having a retail tobacco dealer's license, or in violation of the terms of such licenses. Businesses who intend to sell any of these products shall be required to obtain a General Tobacco Retail license before engaging in sales.

B. License Application for Retail Tobacco and E-Cigarettes: Application for such license shall be made to the village in writing on a form prepared and furnished by the village, signed by the applicant, if any individual; or by at least two (2) members of a partnership, if the applicant is a partnership, or if the applicant is a corporation, then by the president and secretary thereof, verified by oath or affidavit of the signers, and shall contain the following information and statement:

i. The name, age and address of the applicant in the case of an individual; in the case of a partnership, the persons entitled to share in five percent (5%) or more of

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the profits thereof; and in the case of a corporation the date of the incorporation, the state of incorporation, the objects for which it was organized, the names and addresses of the officers and directors, and the name and address of all persons owning more than five percent (5%) of the stock, along with a copy of the corporate charter currently on file with the Illinois secretary of state;

ii. The citizenship of the applicant, their place of birth and if a naturalized citizen, the time and place of their naturalization;

iii. The character of business of the applicant and, in the case of a club or corporation, the place of incorporation and the objects for which it was formed;

iv. The length of time that the applicant has been in business of the character specified above, or in case of a club or corporation, the date on which its charter was issued;

v. The location and description of the premises or place of business which is to be operated under such license and the specific name of the business.

vi. The names of each governmental body from which the applicant has received a tobacco license within ten (10) years immediately prior to the date of the present application.

vii. The applicant's current state tobacco license number from the department of revenue (unless already bonded under the cigarette tax act of the cigarette use tax act);

viii. The location and description of the premises or place of business which is to be operated under such license;

ix. A statement whether the applicant has made a similar application for a similar or other license on premises other than described in the application, and the disposition of such application;

x. A statement that the applicant has never been convicted of a felony and is not disqualified to receive a license by reason of any matter or thing contained in this chapter or any ordinance or statute;

xi. Whether a previous license by any state or subdivision thereof, or by the federal government has been revoked, and the reasons therefor;

xii. A statement that the applicant will not violate any of the laws of the state or of the United States or any ordinance of the village in the conduct of business;

xiii. A statement that the applicant has, or is eligible for and will obtain, a license from the state of Illinois in the event such a license is required by applicable statute or departmental regulation.

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C. License; Conditions for Denial: If the license application, pre-license investigation, or any other information reasonably relied on by the village reveal any of the following circumstances, then the village shall promptly notify the applicant that the license or renewal of a license is denied and that, therefore, no license or renewal of a license shall be issued:

i. A person who is not of good character and reputation;

ii. A person who is not a citizen or lawful permanent resident of the United States;

iii. A person who has been convicted of a felony under any federal or state law, unless the Village Board determines that such person has been sufficiently rehabilitated to warrant the public trust after considering matters set forth in such person's application and the Village Board's investigation. The burden of proof of sufficient rehabilitation shall be on the applicant;

iv. A person who has been convicted of pandering or any other crime or misdemeanor opposed to decency and morality;

v. A person who at the time of application for renewal of any license issued would not be eligible for a license upon a first application;

vi. A partnership, if any general partner thereof, or any limited partner thereof, owning more than five percent (5%) of the aggregate limited partner interest in such partnership would not be eligible to receive a license hereunder for any reason;

vii. A corporation, if any officer, manager or director thereof, or any stockholder or stockholders owning in the aggregate more than five percent (5%) of the stock of such corporation, would not be eligible to receive a license hereunder for any reason other than citizenship;

viii. A corporation unless it is incorporated in Illinois, or is qualified under the "business corporation act of 1983" to transact business in Illinois;

ix. A person whose place of business is conducted by a manager or agent unless the manager or agent possess the same qualifications required for the licensee;

x. A person who does not beneficially own the premises for which a license is sought, or does not have a lease thereon for the full period the license is to be issued;

xi. A person who does not qualify for a state license, in the event such a license is required by applicable statute or departmental regulation.

xii. The failure to agree to refrain from selling delta-8 and kratom, including products that contain delta-8 THC, kratom, and/or kratom's two main chemical

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components, from the premises for which the license is sought. This provision may be waived for products that have been approved by the United States Food and Drug Administration.

D. Ownership Changes: Any change in the names, addresses, or identity of any owner or holder of five percent (5%) or more of any stock, shares, equity, or other instrument of ownership of a licensee licensed under this chapter, shall be reported to the Village within ten (10) days of any such change.

E. License Fee: Each such license shall terminate on December 31 next following the date of issuance.

i. The fee to be paid shall be applicable for a full year, or any part thereof, without proration or other reduction if purchased for less than a full year. All fees for licenses pursuant to this chapter shall be paid at the time the application is made.

ii. In the event that a license is denied, the license fee shall be refunded to the applicant, less a fifty-dollar (\$50.00) processing fee.

iii. Annual tobacco license fees can be found in title 13, chapter 1, "Fee Schedule", of this Code. (Ord. 2018-12-279, 12-3-2018).

F. License; Posting: Every licensee shall cause the license or licenses to be framed and hung in a conspicuous place on the licensee's premises.

G. License; Proximity to Certain Institutions: It is unlawful for any person or licensee to sell, offer for sale, give away or deliver regulated products within one hundred feet (100') of any school, childcare facility or other building used for educational or recreational purposes by persons under eighteen (18) years of age. For the purpose of this subsection, measurement shall be made in a straight line, without regard to intervening structures or objects, from nearest portal of the building or structure used as a part of the premises where a licensed establishment is located, to the nearest portal of a school, childcare facility or other building used for educational or recreational purposes by persons under eighteen (18) years of age.

H. License; Issuance: Upon the approval by the Village Board of the application as provided in this Section and the payment of the required license fee, the village shall issue to the person or persons applying therefor a license allowing the retail sale of tobacco and e-cigarette products under the provisions of this chapter, indicating the classification under which the license is issued, and the term for which such license is issued.

I. License; Renovation or Suspension: The Village may revoke or suspend any license if it is determined that the licensee has violated any State Statute or any of the provisions of any ordinance or resolution of the Village or any applicable rule or regulation established by the Village. However, no such license shall be revoked or

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suspended until after a Village public hearing with a written notice to the licensee affording the licensee a minimum of five (5) business days in which to appear and defend. In all such hearings, the Village shall reduce, or cause to be reduced, all evidence to writing and shall maintain an official record of the proceedings. The Village shall within five (5) days after such hearing, state the reasons for such determination in a written order of revocation or suspension and shall serve a copy of such order upon the licensee. The decision of the village on any license suspension or revocation proceeding shall constitute a final administrative action and is subject to review in the courts under the Illinois Administrative Review Act, 735 Illinois Compiled Statutes 5/3-101 et seq.

i. Any licensee determined by the Village to have violated any of the provisions of this Section shall pay to the Village costs of the hearing on such violation. The Village shall determine the costs of the hearing, including, but not limited to: court reporter fees, attorney fees incurred by the Village, the cost of preparing and mailing notices and orders and all other miscellaneous expenses incurred by the Village and such costs assessed shall be in addition to the fine imposed. Notice of the suspension shall be posted in plain view of the public at the licensee's premises.

ii. The licensee shall pay said costs to the Village within thirty (30) days of notification of the costs. Failure to pay said costs within thirty (30) days of notification is a violation of this chapter and may cause the levy of an additional fine or revocation of license at the discretion of the Village Board.

iii. While it shall not be a defense to an action brought under this Section that the retailer's employee conducted the unlawful sale or transaction, the Village may, at its discretion, direct prosecution of an ordinance violation case against that employee in lieu of taking formal action on the establishment's license and licensee.

J. Warning Signs: It is unlawful for any person to sell, offer for sale, give away or deliver tobacco products or tobacco accessories in any place that does not post signs informing the public of the age of sale restrictions and Surgeon General warning in a conspicuous place at or near every display of tobacco products. Each sign shall be plainly visible.

K. Vending Machines Prohibited: Tobacco vending machines or any other devices for the sale or distribution of regulated products are prohibited.

L. Out of Package Sales Prohibited: It is unlawful to sell traditional tobacco or vaping products out of the manufacturer's original package with required health warnings. It is unlawful to sell cigarettes individually or regulated products in any form other than in the manufacturer's original packaging.

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M. Responsibility for Agents and Employees: Every act or omission of any nature constituting a violation of any provisions of this chapter by any officer, director, manager or other agent or employee of any licensee shall be deemed and held to be the act of such licensee; and such licensee shall be punishable in the same manner as if such act or omission had been done or omitted by the licensee personally. Notwithstanding this provision, nothing herein shall prevent the individual prosecution of such officers, directors, managers or other agents or employees in the discretion of the licensing authority or arresting authority.

N. Inspection: The chief of police is hereby authorized to establish protocols and procedures appropriate for the purpose of ascertaining whether the laws of the state and of the Village in relation to the same, are being complied with at all licensed establishments.

O. State License Required: All licenses issued pursuant to this chapter shall be conditioned on the acquisition and maintenance in good standing by the applicant of a Tobacco Products Retailer license issued by the State of Illinois. If any license is refused, suspended or revoked by the State, then any license issued or conditionally issued by the Village shall immediately become null and void without further action by the Village required.

BP. Sales To Persons Under Twenty One Years Of Age Prohibited: It shall be unlawful for any person to sell, give away, offer to sell, offer to give away, or deliver any tobacco product or alternative nicotine product to a person under twenty one (21) years of age. It also shall be unlawful for any person to cause or allow any person under twenty-one (21) years of age to purchase any tobacco product or alternative nicotine product within the corporate limits of the Village.

EQ. Sale By Persons Under Twenty One Years Of Age Prohibited: It shall be unlawful for any person under twenty one (21) years of age to sell any tobacco product or alternative nicotine product within the corporate limits of the Village, except only that tobacco products and alternative nicotine products may be sold by any employee of a business properly licensed to sell tobacco products and alternative nicotine products so long as such employee sells such tobacco products and alternative nicotine products only on the licensed premises, only during regular business hours, and only to a person legally authorized to purchase such tobacco products and alternative nicotine products.

DR. Purchase By Persons Under Twenty One Years Of Age Prohibited: It shall be unlawful for any person under twenty one (21) years of age to purchase any tobacco product or alternative nicotine product within the corporate limits of the Village.

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ES. Possession By Persons Under Twenty One Years Of Age Prohibited: It shall be unlawful for any person under twenty one (21) years of age to possess any tobacco product or alternative nicotine product within the corporate limits of the Village.

~~**FT.**~~ Free Distribution Prohibited: It shall be unlawful for any person to distribute, give away, or deliver any tobacco product or alternative nicotine product free of charge to any person on any public right-of-way or any Village owned property for the purpose of advertising or promoting any tobacco product or alternative nicotine product.

GU. Sales Prohibited In Certain Locations: It shall be unlawful for any person to sell, give away, offer to sell, offer to give away, or deliver any tobacco product or alternative nicotine product within one hundred feet (100') of the property of any school or the property intended for use by minors for education or recreational purposes.

HV. Responsibility For Agent Or Employee: Every act constituting a violation of this section by an agent or employee of any person shall be deemed and held to be the act of such person, and such person shall be punishable in the same manner as if such act had been done by such person personally. (Ord. 2018-11-275, 12-3-2018)

~~**IW.**~~ Penalty: Any person who violates any provision of this section shall be fined pursuant to title 13, chapter 1, "Fee Schedule", of this Code for each offense.

~~**JX.**~~ Payments To Avoid Prosecution For Penalties Under Subsection P, Q, or R-C, D, or E: Any person who receives a citation for a violation of subsection P, Q, or R, C, D, or E of this section may avoid prosecution by paying a fine pursuant to title 13, chapter 1, "Fee Schedule", of this Code. (Ord. 2018-11-275, 12-3-2018; amd. Ord. 2018-12-279, 12-3-2018)

Any such fines are subject to adjudication by and through the Village administrative hearing system. (Ord. 2018-11-275, 12-3-2018)

SECTION 2 SEVERABILITY. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 3 CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 4 EFFECTIVE DATE. This Ordinance shall be in full force and effect on January 1, 2025. No sales of -8 THC or kratom are permitted after December 31, 2024. Licensees regulated under this Ordinance shall not order any additional products containing delta-8 THC or kratom immediately upon passage and approval of this Ordinance.

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PASSED THIS _____ day of _____, 2024.

Ayes:

Nays:

Absent:

APPROVED this _____ day of _____, 2024.

Mayor Tom Poynton

Village Clerk Kathleen Johnson

EXHIBIT A
Village of Lake Zurich
Tobacco License Agreement

I, _____, with authorization to bind _____
(Print Name) (Print Business Name)

under Lake Zurich license number _____ agree to refrain from selling those items listed
(Print Number)

on Exhibit A. The undersigned acknowledges and agrees that it will be in violation of the laws of
The Village of Lake Zurich And Be Subject to License Revocation and Penalties If Any
Cannabinoid Products, including Delta-8, or kratom products are sold at the
licensed premises.

(Signature)

(Date)

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At the Heart of Community

PUBLIC WORKS DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

(847) 540-1696
Fax (847) 726-2182
LakeZurich.org

MEMORANDUM

Date: July 26, 2024
To: Ray Keller, Village Manager *PK*
From: Steve Schmitt, Utilities Superintendent
Copy: Michael J. Brown, Public Works Director
Subject: Replacement Orchard Lift Station Pump

AGENDA ITEM

8D

Issue: Replacement of the failed Orchard Lift Station Pump

Background: The Orchard Lift Station is an essential duplex (2 pump) facility of the Village's sanitary sewer collection system that serves the Rand Road/Rt. 22 commercial/retail corridor as well as several residential subdivisions. To ensure lift station reliability (and sanitary sewer service), staff maintains spare pumps for lift station facilities that can be utilized immediately when one of the two in-service pumps becomes inoperable. Recently, one of the Orchard Lift Station pumps failed (non-repairable) during normal operation and the spare was utilized in order to restore full capacity to the facility. The failed (19-year-old) Hydromatic pump was sent to the Metropolitan Pump Company (sole source vendor for Hydromatic pumps) for diagnosis and a repair estimate. After disassembly and inspection, the Metropolitan Pump Company has indicated that it is more economical to replace the pump than to repair it.

Analysis: Metropolitan Pump Company has provided a proposal for \$26,138 for a new replacement Hydromatic pump (specific to the Orchard Lift Station facility). This is an unanticipated expenditure in the FY 2024 budget however there are offsetting savings from sanitary sewer infrastructure improvements that will cover this expense (501-36560-55253).

Recommendation: Acceptance of proposal from Metropolitan Pump Company for a replacement pump for the Orchard Sanitary Sewer Lift Station for an amount not to exceed \$26,138.

W/Attachments:

- 1) Quotation from Metropolitan Pump Company (1 page)



Metropolitan Industries Inc.
37 Forestwood Dr
Romeoville, IL, 60446-1343
Phone: 815-886-9200
Web: www.metropolitanind.com

Service Quotation

Order No.: SVQ004677
Order Date: 7/23/2024
Delivery Date: 7/23/2024
Customer ID: 000222
Currency: USD

BILL TO:		SHIP TO:	
Village of Lake Zurich, Ill Email Invoices: ap@lakezurich.org Lake Zurich United States of America		Village of Lake Zurich, IL Orchard LS 825 West Route 22 Lake Zurich IL 60047 Attn: Steve Schmitt	
CUSTOMER P.O. NO.	TERMS	CONTACT	
New Pump	Net 30	Thoms, Ray, rthoms@metropolitanind.com	
FOB POINT	SHIPPING TERMS	SHIP VIA	

NO.	ITEM	QTY.	UOM	PRICE	DISC.	EXTENDED PRICE
1	PARTS CHARGE Quoted Material NOTE: Materials to Include: (1) New replacement premium efficiency pump.	1.0000	EACH	24,818.0000	0%	24,818.00
2	LABOR CHARGE Quoted Labor NOTE: We have disassembled the pump to its component form. We have created a parts list for the repairs needed. Oil, Upper Bearing, Lower Bearing, Impeller, Wear ring, Seal Fail probe, Repotted Power Cord, Upper Motor Housing, Seal plate. Due to the parts needed for the repairs, it would be more cost effective to replace the pump. We will supply you with a new Premium Efficiency pump. We will contact you once the pump arrives to let you know it is here to pick-up.	1.0000	EACH	1,320.0000	0%	1,320.00

Our P.O. Number: Case # 017225

QUOTE VALID FOR 30 DAYS

NOTE: Village of Lake Zurich - Orchard LS - 825 West Route 22,
Lake Zurich, IL 60047 - Quote (1) new pump to replace
the pump that was dropped off at our shop for inspection.

Sales Total: 26,138.00
Freight & Misc.: 0.00
Less Discount: 0.00
Tax Total: 0.00
Total (USD): 26,138.00

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At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

Phone (847) 540-1696
Fax (847) 726-2182
LakeZurich.org

MEMORANDUM

Date: August 5, 2024

To: Ray Keller, Village Manager *PK*

From: Sarosh Saher, Community Development Director

CC: Colleen McCauley, Village Planner
Mary Meyer, Building Services Supervisor

**Re: Zoning Application for a Special Use Permit – 909 South Rand Road
“Dutchess” Cannabis Dispensary**

AGENDA ITEM
38

Issue

Rubino Ventures, LLC, (the “Applicant”), with the consent of JAS Management, LLC, represented by Mr. Jason Sfire (the “Owner”), has filed a zoning application for the property at 909 South Rand Road (the “Subject Property”). Specifically, the applicant is seeking:

- Special Use Permit approval for a Cannabis Dispensing Organization (5912)

Village Strategic Plan. This agenda item is consistent with the following objectives under Goal #2 Development:

- Continue Route 12 Corridor Development
- Expand the Village’s role as a major regional economic hub in Lake County
- Become more business friendly and customer oriented

Analysis

The land use is allowed as a special use under “Cannabis Dispensing Organization (5912)” in the B-1 Local and Community Business district. The establishment of cannabis dispensaries was approved by the Village Board through Ordinance 2020-12-394 entitled “An Ordinance Amending Title 9 of the Lake Zurich Municipal Code (Regulations for Recreational Cannabis Organizations)” on December 21, 2020.

Special Use Permit – Dutchess Cannabis at 909 South Rand Road
August 5, 2024

The dispensary is proposed on a 0.7-acre (30,641 square-foot) parcel of land containing a vacant commercial building and parking areas. The building was being used as an Auto Repair Shop with a 120 square-foot shed in the rear, before closing. The structure is now vacant. The Applicant plans to demolish the existing structure and redevelop the site with a new code-compliant building. No requests for zoning relief on bulk regulations such as lot area, setbacks, building height, etc., are being requested by the applicant.

To the north of the Property, there are multiple commercial centers with uses such as restaurants, motor vehicle repair shops, and general retail shops. To the east of the Subject Property lies a shopping center with commercial uses including retail services and restaurants.

The proposed development will be accompanied by 25 parking spaces to the west of the new commercial building. The minimum number of parking spaces required for the 3,500 square-foot building is 18 parking spaces. To the east is Deerpath Commons Shopping Center, which was designed with parking in excess of what was required – by 40 parking spaces. If additional parking is needed for the dispensary, those spaces are available as they are under the control of the same owner.

Hours of operation are currently proposed to be between 9:00 a.m. and 9:00 p.m. Monday through Saturday and 9:00 a.m. to 8:00 p.m. on Sunday.

The store is anticipated to employ 22 full and part-time employees, with 7 employees on site at all times during operating hours.

The Planning and Zoning Commission (PZC) held a public hearing on July 18, 2024 to consider the application. There were no objectors from surrounding properties, rather the residential property owner to the south provided testimony in favor of the proposal. Upon the close of the hearing and deliberation, and voted 4-0 in favor of recommending approval of the Special Use Permit with the following additional conditions:

- a. A 6-foot high fence shall be constructed along the portion of the westerly and southerly lot lines of the Subject Property that share a common lot line with the immediately adjacent residential properties. Such fence shall be constructed in addition to the landscape material proposed within these areas.
- b. All security cameras shall be located in a manner to be focused and directed onto the Subject Property and away from the adjacent residential properties.
- c. The Special Use Permit shall expire if this cannabis dispensary is not established within one (1) year of the effective date of this ordinance or ceases operating at the Subject Property for a period of six (6) consecutive months or more.
- d. If required by the Lake Zurich Police Department the emergency alert button at the Subject Property shall direct to the Police Department call center to reduce the response time in the event of an emergency.

The video stream from the PZC meeting can be accessed via the link:

<https://play.champds.com/lakezurichil/event/130>

Special Use Permit – Dutchess Cannabis at 909 South Rand Road
August 5, 2024

A detailed evaluation and summary of the project can be found in the Staff Report that was provided to the Planning and Zoning Commission, which is made a part of the attached Ordinance.

Recommendation

At their meeting on July 18, 2024, the Planning and Zoning Commission recommended approval of the Special Use Permit incorporating the conditions for approval provided by staff in its report and adding its own conditions.

Staff therefore recommends approval of the attached ordinance, with its specific attachments based on the following conditions for approval that are contained within said ordinance:

1. Substantial conformance with the following documentation and representations submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application, Cover Letter, and background information dated May 14, 2024 prepared by Mr. Jason Sfire of JAS Management LLC, Exhibit C.
 - b. Exhibit A: Legal Description of the Subject Property
 - c. Boundary Survey Sheets 1 and 2 prepared by Exacta Land Surveyors, LLC, dated July 27, 2022.
 - d. Special Use Analysis Report prepared by Schain Banks dated June 21, 2024 which includes an overview of the development and an analysis of the special use standards. Included in the document are as follows:
 - i. Site Plan, Exhibit 1, prepared by Greengard, Inc., and dated February 14, 2023.
 - ii. First Floor Plan (Interior), Exhibit 2, prepared by Coyne Architects, dated June 3, 2024.
 - iii. Exterior Elevations, Exhibit 3, prepared by JTS Architects, dated March 12, 2024.
 - iv. Signage Plan, Exhibit 4, consisting of 9 pages prepared by Ace Sign Company, dated June 11, 2024.
 - e. Tree Preservation Plan (Sheet L0.0) and Landscape Plan (L1.0) prepared by Terra Engineering Ltd., dated April 22, 2024.
 - f. Conceptual Renderings of elevations prepared by JTS Architects, undated.
2. All activity related to the operation of the business shall be conducted within the enclosed building. The special use constituting this cannabis dispensary shall be located within approximately 3,500 square feet of space within the commercial building addressed at 909 South Rand Road as depicted on the Site and Floor Plans submitted by the Applicant dated May 14, 2024 as referenced in the preceding paragraphs. Such Special Use shall be allowed to continue under successive ownership, so long as the general design and operation is in substantial conformance with the approvals granted by this ordinance. Such Special Use shall expire if this cannabis dispensary is not established within one (1) year of the

Special Use Permit – Dutchess Cannabis at 909 South Rand Road
August 5, 2024

effective date of this ordinance or ceases operating at the Subject Property for a period of six (6) consecutive months or more.

3. The establishment and operation of such uses shall conform to the provisions of Title 3 “Business Licensing, Regulation, Taxation, and Fees,” requiring approval of a Certificate of Occupancy and Business License prior to commencing operations.
4. The proposed cannabis business establishment at the Subject Property at 909 South Rand Road shall prohibit any person who is under the age of twenty-one (21) years of age from entering such facility, except for cardholders over eighteen (18) years of age who are granted medical access under the Compassionate Use of Medical Cannabis Act.
5. The on-premise use of cannabis and cannabis-related products shall be prohibited. For the purposes of this condition the word “premises” shall mean the “...lot, plot or parcel of land, together with the buildings and structures thereon.”
6. The proposed land use constituting this cannabis dispensary shall be maintained or operated in a manner that does not cause, create, or allow the public viewing of cannabis, or cannabis-related products from any sidewalk, public or private right of way, or any property other than the lot on which such use is located. No portion of the exterior of the facility shall utilize or contain any flashing lights, search lights, right-of-way spot lights or any similar lighting system. All exterior signage shall require approval through a sign permit.
7. A 6-foot high fence shall be constructed along the portion of the westerly and southerly lot lines of the Subject Property that share a common lot line with the immediately adjacent residential properties. Such fence shall be constructed in addition to the landscape material proposed within these areas.
8. An exterior lighting plan shall be prepared and submitted to propose exterior lighting in conformance with the requirements of Chapter 8 of the Lake Zurich Zoning Code entitled “Lighting and Landscaping.”
9. All security cameras shall be located in a manner to be focused and directed onto the Subject Property and away from the adjacent residential properties.
10. If required by the Lake Zurich Police Department the emergency alert button at the Subject Property shall direct to the Police Department call center to reduce the response time in the event of an emergency.
11. The land use shall implement and maintain a security and surveillance plan in accordance with state statute 410 ILCS 705/15-100 for such businesses, and in accordance with the narrative included within the application submitted by the Applicant dated May 14, 2024.

Special Use Permit – Dutchess Cannabis at 909 South Rand Road
August 5, 2024

12. The development containing the proposed land use shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich and with Illinois law, as amended from time to time, including the compliance inspection as mandated by state statute 410 ILCS 705/15-100 for such businesses. To the extent any of the provisions herein are lawful, but more restrictive than Illinois law, as amended, the provisions herein shall control.
- Approval Ordinance including the following exhibits
 - Exhibit A – Legal description of the Subject Property
 - Exhibit B – July 17, 2024 staff report and planning and zoning commission recommendation/conditions

ORDINANCE NO. 2024-08-580**AN ORDINANCE APPROVING A SPECIAL USE PERMIT***“Dutchess” Cannabis Dispensary – 909 South Rand Road*

WHEREAS, Rubino Ventures, LLC, is the applicant (the “Applicant”) for a special use permit for that property at 909 South Rand Road (the “Subject Property”), legally described in Exhibit A hereto; and

WHEREAS, the Applicant has filed zoning application PZC 2024-06, dated May 14, 2024 (the “Application”) seeking the approval of the following:

- Special Use Permit approval for a Cannabis Dispensing Organization (5912), (the “Special Use Permit”)

WHEREAS, establishment of cannabis dispensaries was approved by the Village Board through Ordinance 2020-12-394 entitled “An Ordinance Amending Title 9 of the Lake Zurich Municipal Code (Regulations for Recreational Cannabis Organizations)” on December 21, 2020; and

WHEREAS, the Subject Property is zoned within the Village’s B-1 Local and Community Business District; and

WHEREAS, the land use “Cannabis Dispensing Organization (5912)” is allowed as a special use in the B-1 Local and Community Business district; and

WHEREAS, Applicant proposes to occupy an approximately 3,500 square-foot building on an approximately 30,641 square-foot parcel located adjacent to the Deerpath Commons Shopping Center to accommodate said cannabis dispensing organization; and

WHEREAS, in compliance with the law, and the requirements of the Village of Lake Zurich Zoning Code (the “Zoning Code”), notice was published on June 29, 2024, in The Daily Herald, and the Village of Lake Zurich posted a public hearing sign on the Subject Property on June 28, 2024, both the newspaper and sign notices informing the public of a public hearing to be held before the Lake Zurich Planning and Zoning Commission (the “PZC”) on July 17, 2024, to consider the Application for this requested zoning authority and approval; and

WHEREAS, the PZC opened the required public hearing on July 17, 2024, but continued the public hearing on July 18, 2024 due to time constraints; and

WHEREAS, the Applicant presented the Application to the PZC at the continued public hearing on July 18, 2024; and

WHEREAS, the PZC received and considered the findings, conditions and recommendations as set forth the staff report dated July 17, 2024, (the "STAFF REPORT") which was provided to the PZC for the meeting, addressing the request for approval of said Special Use Permit; and considered all information presented by the Applicant, and the applicable factors required under of the Zoning Code; and, after the conclusion of the public hearing, the PZC recommended that the Board of Trustees grant the special use approval requested in this Application, subject to those conditions of approval recommended by Village staff in said STAFF REPORT and contingent upon additional conditions related to the requirement for a fence, lighting and security cameras and the duration of the approval; and

WHEREAS, the Mayor and Board of Trustees of the Village of Lake Zurich met on August 5, 2024, and considered the findings, recommendations and additional conditions of the PZC, including the STAFF REPORT dated July 17, 2024, all consisting of 15 pages, said required zoning standards, findings and recommendations attached hereto as Exhibit B and having considered all of the facts and circumstances regarding the Application and these recommended approvals, the Mayor and Board of Trustees have determined that the applicable standards for this special use approval has been met.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: ADOPTION AND INCORPORATION OF RECITALS. The foregoing recitals are incorporated herein as those of the Mayor and Board of Trustees, and Exhibits referenced herein are made a part of and incorporated into this Ordinance and related approval, except as otherwise provided below.

SECTION 2: GRANT OF SPECIAL USE PERMIT. The Mayor and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and the special use provided for in Chapter 4 (Section 9-4-3) and the special use standards established in Chapter 19 (Section 9-19-3) of Title 9 governing zoning in the Lake Zurich Municipal Code, hereby grant the following approval, as shown and provided in the STAFF REPORT dated July 17, 2024, and final findings, recommendations and additional conditions of the PZC, all consisting of 15 pages, attached hereto as Exhibit B:

A Special Use Permit to allow a cannabis dispensing organization (Sic 5912) and subject to the following conditions for approval:

1. Substantial conformance with the following documentation and representations submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:

- a. Zoning Application, Cover Letter, and background information dated May 14, 2024 prepared by Mr. Jason Sfire of JAS Management LLC, Exhibit C.
 - b. Exhibit A: Legal Description of the Subject Property
 - c. Boundary Survey Sheets 1 and 2 prepared by Exacta Land Surveyors, LLC, dated July 27, 2022.
 - d. Special Use Analysis Report prepared by Schain Banks dated June 21, 2024 which includes an overview of the development and an analysis of the special use standards. Included in the document are as follows:
 - i. Site Plan, Exhibit 1, prepared by Greengard, Inc., and dated February 14, 2023.
 - ii. First Floor Plan (Interior), Exhibit 2, prepared by Coyne Architects, dated June 3, 2024.
 - iii. Exterior Elevations, Exhibit 3, prepared by JTS Architects, dated March 12, 2024.
 - iv. Signage Plan, Exhibit 4, consisting of 9 pages prepared by Ace Sign Company, dated June 11, 2024.
 - e. Tree Preservation Plan (Sheet LO.0) and Landscape Plan (L1.0) prepared by Terra Engineering Ltd., dated April 22, 2024.
 - f. Conceptual Renderings of elevations prepared by JTS Architects, undated.
2. All activity related to the operation of the business shall be conducted within the enclosed building. The special use constituting this cannabis dispensary shall be located within approximately 3,500 square feet of space within the commercial building addressed at 909 South Rand Road as depicted on the Site and Floor Plans submitted by the Applicant dated May 14, 2024 as referenced in the preceding paragraphs. Such Special Use shall be allowed to continue under successive ownership, so long as the general design and operation is in substantial conformance with the approvals granted by this ordinance. Such Special Use shall expire if this cannabis dispensary is not established within one (1) year of the effective date of this ordinance or ceases operating at the Subject Property for a period of six (6) consecutive months or more.
3. The establishment and operation of such uses shall conform to the provisions of Title 3 "Business Licensing, Regulation, Taxation, and Fees," requiring approval of a Certificate of Occupancy and Business License prior to commencing operations.
4. The proposed cannabis business establishment at the Subject Property at 909 South Rand Road shall prohibit any person who is under the age of twenty-one (21) years of age from entering such facility, except for cardholders over eighteen (18) years of age who are granted medical access under the Compassionate Use of Medical Cannabis Act.

5. The on-premise use of cannabis and cannabis-related products shall be prohibited. For the purposes of this condition the word “premises” shall mean the “...lot, plot or parcel of land, together with the buildings and structures thereon.”
6. The proposed land use constituting this cannabis dispensary shall be maintained or operated in a manner that does not cause, create, or allow the public viewing of cannabis, or cannabis-related products from any sidewalk, public or private right of way, or any property other than the lot on which such use is located. No portion of the exterior of the facility shall utilize or contain any flashing lights, search lights, right-of-way spot lights or any similar lighting system. All exterior signage shall require approval through a sign permit.
7. A 6-foot high fence shall be constructed along the portion of the westerly and southerly lot lines of the Subject Property that share a common lot line with the immediately adjacent residential properties. Such fence shall be constructed in addition to the landscape material proposed within these areas.
8. An exterior lighting plan shall be prepared and submitted to propose exterior lighting in conformance with the requirements of Chapter 8 of the Lake Zurich Zoning Code entitled “Lighting and Landscaping.”
9. All security cameras shall be located in a manner to be focused and directed onto the Subject Property and away from the adjacent residential properties.
10. If required by the Lake Zurich Police Department the emergency alert button at the Subject Property shall direct to the Police Department call center to reduce the response time in the event of an emergency.
11. The land use shall implement and maintain a security and surveillance plan in accordance with state statute 410 ILCS 705/15-100 for such businesses, and in accordance with the narrative included within the application submitted by the Applicant dated May 14, 2024.
12. The development containing the proposed land use shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich and with Illinois law, as amended from time to time, including the compliance inspection as mandated by state statute 410 ILCS 705/15-100 for such businesses. To the extent any of the provisions herein are lawful, but more restrictive than Illinois law, as amended, the provisions herein shall control.

SECTION 3: FINDINGS IN SUPPORT OF APPROVAL OF GRANT OF SPECIAL USE PERMITS. The findings, conditions and recommendations as set forth in the STAFF

REPORT dated July 17, 2024, and the PZC findings, recommendations and conditions, all consisting of 15 pages, along with the filings provided to the PZC, regarding the applicable standards of Chapter 4 (Section 9-4-3) and Chapter 19 (Section 9-19-3) of Title 9 governing zoning of the Lake Zurich Municipal Code, are hereby accepted as those of the Mayor and Board of Trustees, are incorporated herein by this reference and shall be made a part of the official record for the Application.

SECTION 4: SEVERABILITY. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 5: CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 6: EFFECTIVE DATE. This Ordinance shall be in full force and effect upon its passage and approval, as provided by law.

PASSED THIS _____ day of _____, 2024.

Ayes:

Nays:

Absent:

Abstain:

APPROVED this _____ day of _____, 2024.

Mayor Tom Poynton

ATTEST:

Village Clerk
Kathleen Johnson

EXHIBIT A

Legal description of Subject Property

THAT PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF RAND ROAD AND THE EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 29; THENCE SOUTH ALONG SAID EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 181.27 FEET; THENCE WEST AT 90 DEGREES TO THE LAST DESCRIBED COURSE 142.92 FEET; THENCE NORTH PARALLEL WITH THE SAID EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 244.40 FEET TO THE SOUTHWESTERLY LINE OF SAID RAND ROAD; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY LINE OF RAND ROAD 156.24 FEET, TO THE POINT OF BEGINNING IN LAKE COUNTY, ILLINOIS.

Common Street Address: 909 South Rand Road

Property Index Number (PIN): 14-29-200-026

EXHIBIT B

July 17, 2024 staff report and
Planning and Zoning Commission findings, recommendations and conditions

Exhibit C
Application Packet and accompanying Exhibits



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

(847) 540-1696
Fax (847) 726-2182
LakeZurich.org

APPLICATION PZC 2024-06
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AGENDA ITEM 4.D

STAFF REPORT

To: Chairperson Stratman and Members of the Planning & Zoning Commission

From: Sarosh Saher, Community Development Director

CC: Colleen McCauley, Village Planner
Mary Meyer, Building Services Supervisor

Date: July 17, 2024

Re: PZC 2024-06: Special Use Permit for a Cannabis Dispensary
909 South Rand Road – Dutchess Cannabis

SUBJECT

Rubino Ventures, LLC, (the “Applicant”), with the consent of JAS Management, LLC, represented by Mr. Jason Sfire (the “Owner”), requests a Special Use Permit to allow a Cannabis Dispensing Organization (otherwise known as a cannabis dispensary) at the property commonly known as 909 South Rand Road and legally described in Exhibit A attached hereto (the “Subject Property”).

GENERAL INFORMATION

Requested Action:	<u>Special Use Permit</u>
Current Zoning:	<u>B-1 Local & Community Business District</u>
Existing Use:	<u>Vacant</u>
Proposed Use:	<u>Cannabis Dispensary</u>
Property Location:	<u>909 South Rand Road</u>
Applicant:	<u>Rubino Ventures, LLC</u>
Owner:	<u>Jason Sfire (Jas Management, LLC)</u>

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Staff Coordinator: Colleen McCauley, Village Planner

LIST OF EXHIBITS

- A. Legal Description
- B. Public Hearing Sign
- C. Site Photos
- D. Aerial Map
- E. Zoning Map
- F. Parcel Map
- G. Development Application and Attachments
- H. Development Review Comments

BACKGROUND

Rubino Ventures, LLC, and JAS Management, LLC, represented by Mr. Jason Sfire (jointly the “Applicants”), are proposing a cannabis dispensary at the Subject Property, legally described in Exhibit A attached hereto (the “Subject Property”).

The proposed land use is classified as a special use under “Cannabis Dispensing Organization (5912)” in the B-1 Local & Community Business district and as such requires consideration through the public hearing process with Village Board approval. The establishment of cannabis dispensaries was approved by the Village Board through Ordinance 2020-12-394 entitled “An Ordinance Amending Title 9 of the Lake Zurich Municipal Code (Regulations for Recreational Cannabis Organizations)” on December 21, 2020.

The regulations allowing for cannabis dispensing organizations are contained within Section 9-4-3 entitled “Special Uses,” of Chapter 4 entitled “Business Districts” of Title 9 of the Lake Zurich Municipal Code, added under Subsection C entitled “Retail Trade” Item No. 15 entitled “Cannabis Dispensing Organization,” as it pertains to the requested land use. The definitions of such land uses are contained within Chapter 9-24-2 entitled “Definitions.”

By definition, the zoning code defines the proposed land use (cannabis dispensing organization) as follows:

CANNABIS DISPENSING ORGANIZATION: A facility operated by an organization or business that is licensed by the Illinois Department of Financial and Professional Regulation to acquire cannabis from licensed cannabis business establishments for the purpose of selling or dispensing cannabis, cannabis-infused products, cannabis seeds, paraphernalia or related supplies to purchasers or to qualified registered medical cannabis patients and caregivers, per the Cannabis Regulation and TaxAct, (P.A. 101-0027), Pursuant to 410 ILCS 705/1, et seq, as it may be amended from time-to-time, and regulations promulgated thereunder.

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Specifically, the activities allowed by the code at the Subject Property only allow Cannabis Dispensing Organizations and Cannabis Infusing Organizations. (Cannabis growing, cultivation and processing are only allowed in the I Industrial District).

The Applicant has therefore filed an application with the Village of Lake Zurich received on May 14, 2024 (the “Application”) seeking:

- Special Use Permit approval for a Cannabis Dispensing Organization, SIC 5912

The dispensary is proposed on a 0.7-acre (30,641 square-foot) parcel of land containing a vacant commercial building and parking areas. The building was being used as an Auto Repair Shop with a 120 square-foot shed in the rear, before closing. The structure is now vacant. The Applicant plans to demolish the existing structure and redevelop the site with a new code-compliant building. No requests for zoning relief on bulk regulations such as lot area, setbacks, building height, etc., are being requested by the applicant.

To the north of the Property, there are multiple commercial centers with uses such as restaurants, motor vehicle repair shops, and general retail shops. To the east of the Subject Property lies a shopping center with commercial uses including retail services and restaurants.

The proposed development will be accompanied by 25 parking spaces to the west of the new commercial building. The minimum number of parking spaces required for the 3,500 square-foot building is 18 parking spaces. To the east is Deerpath Commons Shopping Center, which was designed with parking in excess of what was required – by 40 parking spaces. If additional parking is needed for the dispensary, those spaces are available as they are under the control of the same owner.

Hours of operation are currently proposed to be between 9:00 a.m. and 9:00 p.m. Monday through Saturday and 9:00 a.m. to 8:00 p.m. on Sunday.

The store is anticipated to employ 22 full and part-time employees, with 7 employees on site at all times during operating hours.

Pursuant to public notice published on June 29, 2024, in the Daily Herald, a public hearing has been scheduled with the Lake Zurich Planning & Zoning Commission for July 17, 2024, to consider the Application. On June 28, 2024 the Village posted a public hearing sign on the Subject Property (Exhibit B).

Staff offers the following additional information:

- A. Courtesy Review.** The Applicant presented their project at a courtesy review of the Village Board on June 17, 2024. The feedback was generally positive and the Village Board recommended that the Applicant proceed with a formal application to the PZC for consideration at a public hearing. Information on the Courtesy Review is enclosed along with this report and the video stream of the meeting can be viewed at the following link: <https://play.champds.com/lakezurichil/event/123>

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- B. Zoning History.** The property is zoned within the B-1 Local & Community Business District, which permits a cannabis dispensing organization as a special use. The property has historically been zoned for commercial uses – “Auto Oriented Business District,” when the property was initially annexed to the village and to accommodate the automotive repair shop. With the development properties along Rand Road, the property was zoned within the “Service, Automotive and Wholesale” business district, and in 2004 zoned within the B-1 Local and Community Business District as part of a comprehensive amendment to the zoning code.

Records indicate the existing building on the property was constructed un 1954.

- C. Surrounding Land Use and Zoning.** The subject property is located within the B-1 Local & Community Business District along Rand Road which is well-populated with various commercial uses. The land to the north and east is zoned with the Business Districts and improved with a variety of office, retail, and service uses. The properties to the south and west of the subject property are zoned within the R-5 Single Family Residential District and improved with residences within the Meadow of Lake Zurich Subdivision. The property to the west is zoned within IB Institutional Building District and is improved with a utility owned and operated by the Village.

- D.** According to Village Code, section 9-4-3(C)(15), a cannabis dispensing organization must be at least 250 feet from the property line of any park or property intended for recreational purposes, 500 feet from the property line of any school, daycare facility or group home, and 1500 feet from any other cannabis business establishment. There is no limit on the maximum number of dispensaries within the community. Additionally, such dispensaries are no longer required to be distanced from a “group home” per a recent amendment to the municipal code in January of this year. The Property complies with these requirements.

The land uses surrounding the subject property are as follows:

1. LA Fitness and Express Nutrition (825 S Rand Road) to the east across Deerpath Road
2. Midas Repair Shop (888 S Rand Road) to the north across Rand Road
3. Domino’s Pizza, Lacey’s Place, Lake County Barbell, Sherman-Williams Paint Store (890 S Rand Road) to the north across Rand Road
4. Sake Sushi & Grill, Rush Physical Therapy, Eye Level of Lake Zurich, Cozy Nails (884 S Rand Road) to the north across Rand Road
5. Development site of 7 Brew Drive-thru Coffee (880 S Rand Road) to the north across Rand Road
6. Chasers Sports Bar and Grill (830 S Rand Road) to the northeast
7. Champion Lake Zurich, HassleLess Mattress Store, and Tropical Smoothie Café (923 S Rand Road) to the east
8. Deerpath Commons Shopping Mall which includes The Treehouse Play Café, ALDI, Binny’s Beverage Depot, The Tile Shop, House of Hope Resale, and Planet Fitness to the southeast. Note the tenant space containing the Treehouse Play Café, a children’s recreational establishment is located approximately 1,037 feet from the Subject Property.

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The parameters used for measuring the distance limitation are as follows:

The distance limitation shall be measured in a straight line from the nearest exterior structural wall of each cannabis establishment to the nearest property line of the premises of any school, child daycare facility, parks, property intended for recreational purposes.

- E. Trend of Development.** The subject property is located adjacent to a well-established retail center along the Rand Road corridor. Rand Road is a regional arterial street that connects a number of communities in Southwest Lake County and surrounding counties to Lake Zurich. The proposed cannabis dispensary is a retail use being proposed within the well-established retail area.

The Subject Property is also adjacent to the rear yards of residential properties within the Meadows of Lake Zurich subdivision. The Subject Property shares common lot lines with three of these residences – two to the west and one to the south. There is no distancing limitation between the proposed use and residential property.

- F. Zoning District.** The B-1 Local & Community Business District is intended to provide locations for major retail centers. The regulations are designed to encourage a broad range of attractive retail and compatible service uses in those centers.

GENERAL FINDINGS

Staff has evaluated the requested Special Use Permit individually for the current and proposed operations of the business and has provided its recommendations as such. Staff offers findings and recommendation on specific sections of the Code, in particular, provided recommendations and conditions on how the proposed operations can be conducted in compliance with the Standards for Special Use Permits.

9-19-3: STANDARDS FOR SPECIAL USE PERMITS.

Staff has reviewed the application and found that the proposal will continue to remain in substantial conformance with the standards for Special Use Permits as outlined below.

- A. General Standards:** No special use permit shall be recommended or granted unless the applicant shall establish substantial conformance with the following:
- 1. Zoning Code and Plan Purposes:** The proposed use and development will be in harmony with the general and specific purposes for which this zoning code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the official comprehensive plan.

Staff Response: Standard met. The proposed retail use will continue to remain in substantial conformance with the purpose and intent of the B-1 local and community business district, and the land use designation of the adopted Comprehensive Plan.

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2. No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

Staff Response: Standard met. The cannabis dispensary is a land use that is allowed as a special use within the B-1 local & community business district. All activities will take place within the enclosed commercial building and will have minimal impact to the immediately adjacent parcels. Customers will be able to access the proposed commercial building directly off of Rand Road while traveling south. The Deerpath Commons shopping center to the east, also accessed from Rand Road, will provide additional access and parking for the site. The proposed cannabis dispensary will be located on a site that is already developed, where similar retail uses are operating on adjacent properties to the east and north.

The proposed cannabis dispensary will be outfitted with enhanced safety features in compliance with the Illinois Cannabis and Tax Regulation so as to ensure public health, safety, and general welfare. Such safety features include alarms on all entry points, shatterproof windows, panic alarms, and high-resolution cameras installed to provide unobstructed video surveillance of all enclosed dispensary areas and outdoor areas on the premises. A comprehensive security plan will be in effect as required and approved by the State of Illinois.

3. No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

Staff Response: Standard met. The land use will be operated entirely within the enclosed building on the property. All parking will be accommodated on the site. Based on the frequency of customers to the proposed business, there is sufficient parking to accommodate the clients and employees on the property without interfering with the use, development and operations of adjacent properties.

The existing cross vehicular access will continue to be used between the Subject Property and the shopping center to the east to accommodate traffic flow. Additional parking will also be available on the property to the east in the event it is needed.

No vehicular or pedestrian connection exists or is proposed between the Subject Property and properties to the west and south.

The Subject Property and adjacent residential properties are currently separated by means of a 5-foot high board-on-board fence and existing landscape material in the form of trees. The proposed landscape plan provides

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for the maintenance of the existing fence and trees, but proposes additional landscape material in the form of evergreen and deciduous trees and shrubs to further screen the property and its activity from the adjacent land uses.

4. Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

Staff Response: Standard met. The proposed development is currently served by and will continue to be served adequately by essential public facilities and services such as streets, utilities and other municipal services. No change in impact these are anticipated at this time.

The establishment of a stormwater management plan will be required as part of the development of the site.

5. No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through the surrounding streets.

Staff Response: Standard met. The subject property is served by Rand Road, which is a regional arterial street that connects a number of communities in Southwest Lake County and surrounding counties to Lake Zurich. Because this road will provide the only access to the site, (Deerpath Commons is also only accessed by Rand Road) surrounding streets will not experience any uptick in traffic congestion. Rand Road is designed with a level of service to accommodate the proposed retail use on this site.

The proposed development will have 25 parking spaces which satisfies the minimum parking requirement (18 spaces) for the cannabis dispensary as proposed.

6. No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Staff Response: Standard met. The proposed use will not result in the destruction or removal of any natural features. The proposed use would redevelop the existing commercial site and add additional landscaping.

7. Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

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Staff Response: Standard met. No modifications to the site are being proposed that would require additional compliance with the requirements of the zoning code.

8. Positive Effect. The proposed special use creating a positive effect for the zoning district, its purpose, and adjacent properties shall be placed before the benefits of the petitioner.

Staff Response: Standard met. The proposed land use will continue to have a positive effect on the zoning district by utilizing an otherwise vacant automotive repair facility in the B-1 local & community business district.

- B. Special Standards for Specified Special Uses. When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district, a permit for such use in such district shall not be recommended or granted unless the applicant shall establish compliance with such special standards.

Staff Response: Standard met. Cannabis dispensaries are subject to the following additional standards for the special use. The proposed dispensary meets these requirements. These conditions will additionally be added to the conditions for approval within the enabling ordinance.

- a. *The establishment and operation of such uses shall conform to the provisions of Title 3 "Business Licensing, Regulation, Taxation, and Fees."*
The business will be required to obtain a Certificate of Occupancy and Business License from the village before commencing operations.
- b. *Such uses shall not be located within five hundred feet (500 feet) of the property line of any school, daycare facility or group home*
The use will not be located within 500 feet of any of these uses.
- c. *Such uses shall not be located within two hundred fifty feet (250 feet) of the property line of any parks or property intended for recreational purposes.*
There are no parks or properties intended for recreational purposes located within 250 feet of the Subject Property.
- d. *Such uses shall not be located within 1,500 feet (state law) of any other Cannabis Business Establishment as defined in Chapter 9-24-2.*
There are no other cannabis business establishments located within 1,500 feet of the Subject Property. The only other cannabis dispensary in the village is approximately 3,000 feet, over half a mile, away.
- e. *Such uses may open for operation no earlier than 6:00 a.m. and close no later than 10:00 p.m.*
The proposed hours of operation are 9:00 a.m. to 9:00 p.m. Monday through Saturday and 9:00 a.m. to 8:00 p.m. on Sunday.

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- f. *Such Uses shall prohibit any person who is under the age of twenty-one (21) years of age from entering such facility, except for cardholders over eighteen (18) years of age who are granted medical access under the Compassionate Use of Medical Cannabis Act.*

The Applicant is required to comply with this requirement by State statute and will be required to post signs stating such requirement.

- g. *The on-premise use of cannabis and cannabis-related products shall be prohibited.*

The Applicant is required to comply with this requirement by State statute. Additionally, no lounge space is being proposed as part of this establishment.

- h. *No cannabis related uses shall be maintained or operated in a manner that causes, creates, or allows the public viewing of cannabis, or cannabis-related products from any sidewalk, public or private right of way, or any property other than the lot on which such use is located. No portion of the exterior of the facility shall utilize or contain any flashing lights, search lights, right-of-way spot lights or any similar lighting system.*

The applicant proposed to install signage that will contain the dispensary name "Dutchess Cannabis" along with their logo. No flashing lights, search lights, right-of-way spot lights or any similar lighting system are being proposed on the exterior of the building.

- i. *All cannabis related uses shall implement and maintain a security and surveillance plan in accordance with state statute 410 ILCS 705/15-100 for such businesses.*

The Applicant has applied for and been awarded a license by the state to operate under the requirements of state statute 410 ILCS 705/15-100. The security and surveillance plan are as follows:

- **The facility will be outfitted with perimeter alarms on all entry points, shatter proof windows, and accompanying glass break sensors, panic alarms and buttons, and high-resolution cameras installed on the building and surrounding the site to provide unobstructed video surveillance of all enclosed and outside areas.**
- **There will be third-party, armed security guards on-site at all hours of operation and when employees are on site. The security will perform sweeps of the exterior of the building to ensure there are no security threats present.**
- **Data backup of all footage is maintained according to the State of Illinois requirements with access to the Illinois State Police on demand.**

- C. Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Board of Trustees shall consider:

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1. Benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Staff Response: Standard met. The proposed land use will fill an otherwise vacant lot in the B-1 local & community business district. Residents of the village will be provided with a convenient location to purchase recreational cannabis within a retail establishment.

2. Alternative Locations. Whether the purposes of the zoning code can be met by the location of the proposed use and development in some other area or zoning district that may be more appropriate than the proposed site.

Staff Response: Standard met. There is no evidence that the proposed location is inappropriate for the proposed land use, so an alternative location would not be any more appropriate than the proposed location. Additionally, the zoning classification, separation and disbursement requirements of the regulations restricts the location of the establishment to a few locations within the office, business and industrial districts.

3. Mitigation of Adverse Impacts. Whether all steps possible have been taken to minimize any substantial or undue adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Staff Response: Standard met: The subject property offers an ideal location for the proposed land use. The cannabis dispensary will be established and operated in a manner to prevent any undue adverse effect on itself or on adjacent surrounding property in relation to its location, design and operation. All primary activities of the proposed use are to be conducted within the enclosed 3,500 square-foot building.

The Subject Property and adjacent residential properties are currently separated by means of a 5-foot high board-on-board fence and existing landscape material in the form of trees. The proposed landscape plan provides for the maintenance of the existing fence and trees, but proposes additional landscape material in the form of evergreen and deciduous trees and shrubs to further screen the property and its activity from the adjacent land uses.

RECOMMENDATION

The recommendation of the Planning and Zoning Commission should be based on the standards included in the following Sections of the Lake Zurich Municipal Code:

- Section 9-19-3: Standards for Special Use Permits

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Based on the review of staff, the standards for approval have been met and therefore staff recommends that the Planning and Zoning Commission make these standards a part of the official record of the Application.

Staff of the Community Development Department therefore recommends the approval of Application PZC 2024-06, subject to the following conditions:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application, Cover Letter, and background information dated May 14, 2024 prepared by Mr. Jason Sfere of JAS Management LLC.
 - b. Exhibit A: Legal Description of the Subject Property
 - c. Plat of Survey prepared by R.E. Decker P.C. Professional Land Surveyors, dated October 20, 1999.
 - d. Special Use Analysis Report prepared by Schain Banks dated June 21, 2024 which includes an overview of the development and an analysis of the special use standards. Included in the document are as follows:
 - i. Site Plan, Exhibit 1
 - ii. Floor Plan (Interior), Exhibit 2
 - iii. Exterior Elevations, Exhibit 3
 - iv. Signage Plan, Exhibit 4
 - e. Conceptual Renders prepared by JTS Architects.
 - f. Tree Preservation Plan (Sheet L0.0) and Landscape Plan (L1.0) prepared by Terra Engineering Ltd., dated April 22, 2024.
 - g. Presentation to the Village of Lake Zurich, June 17, 2024 containing background and general information on the Dutchess Cannabis proposed development.
2. All activity related to the operation of the business shall be conducted within the enclosed building. The special use constituting this cannabis dispensary shall be located within approximately 3,500 square feet of space within the commercial building addressed at 909 South Rand Road as depicted on the Site and Floor Plans submitted by the Applicant dated May 14, 2024. Such Special Use shall be allowed to continue under successive ownership, so long as the general design and operation is in substantial conformance with the approvals granted by this ordinance. Such Special Use shall expire if this cannabis dispensary is not established within two (2) years of the effective date of this ordinance or ceases operating at the Subject Property for a period of six (6) consecutive months or more.
3. The establishment and operation of such uses shall conform to the provisions of Title 3 "Business Licensing, Regulation, Taxation, and Fees," requiring approval of a Certificate of Occupancy and Business License prior to commencing operations.
4. The proposed cannabis business establishment at the Subject Property at 909 South Rand Road shall prohibit any person who is under the age of twenty-one (21) years of age from

Staff Report
APPLICATION PZC 2024-06

Community Development Department
PZC Hearing Date: July 17 2024

entering such facility, except for cardholders over eighteen (18) years of age who are granted medical access under the Compassionate Use of Medical Cannabis Act.

5. The on-premise use of cannabis and cannabis-related products shall be prohibited. For the purposes of this condition the word “premises” shall mean the “...lot, plot or parcel of land, together with the buildings and structures thereon.”
6. The proposed land use constituting this cannabis dispensary shall be maintained or operated in a manner that does not cause, create, or allow the public viewing of cannabis, or cannabis-related products from any sidewalk, public or private right of way, or any property other than the lot on which such use is located. No portion of the exterior of the facility shall utilize or contain any flashing lights, search lights, right-of-way spot lights or any similar lighting system. All exterior signage shall require approval through a sign permit.
7. The land use shall implement and maintain a security and surveillance plan in accordance with state statute 410 ILCS 705/15-100 for such businesses, and in accordance with the narrative included within the application submitted by the Applicant dated May 14, 2024.
8. An exterior lighting plan shall be prepared and submitted to propose exterior lighting in conformance with the requirements of Chapter 8 of the Lake Zurich Zoning Code entitled “Lighting and Landscaping.”
9. The development containing the proposed land use shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich and with the compliance inspection as mandated by state statute 410 ILCS 705/15-100 for such businesses.

Respectfully Submitted,

Colleen McCauley, Village Planner

Staff Report
APPLICATION PZC 2024-06

Community Development Department
PZC Hearing Date: July 17 2024

LAKE ZURICH PLANNING & ZONING COMMISSION
FINAL FINDINGS & RECOMMENDATIONS

909 South Rand Road
July 17, 2024

The Planning & Zoning Commission recommends approval of Application **PZC 2024-06**, and the Planning & Zoning Commission adopts the findings as contained within the Staff Report dated **July 17, 2024** for this Application and subject to any changes or approval conditions as listed below:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application, Cover Letter, and background information dated May 14, 2024 prepared by Mr. Jason Sfire of JAS Management LLC.
 - b. Exhibit A: Legal Description of the Subject Property
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2. All activity related to the operation of the business shall be conducted within the enclosed building. The special use constituting this cannabis dispensary shall be located within approximately 3,500 square feet of space within the commercial building addressed at 909 South Rand Road as depicted on the Site and Floor Plans submitted by the Applicant dated May 14, 2024. Such Special Use shall be allowed to continue under successive ownership, so long as the general design and operation is in substantial conformance with the approvals granted by this ordinance. Such Special Use shall expire if this cannabis dispensary is not established within two (2) years of the effective date of this ordinance or ceases operating at the Subject Property for a period of six (6) consecutive months or more.
3. The establishment and operation of such uses shall conform to the provisions of Title 3 "Business Licensing, Regulation, Taxation, and Fees," requiring approval of a Certificate of Occupancy and Business License prior to commencing operations.

Staff Report
APPLICATION PZC 2024-06


Community Development Department
PZC Hearing Date: July 17 2024

4. The proposed cannabis business establishment at the Subject Property at 909 South Rand Road shall prohibit any person who is under the age of twenty-one (21) years of age from entering such facility, except for cardholders over eighteen (18) years of age who are granted medical access under the Compassionate Use of Medical Cannabis Act.
 5. The on-premise use of cannabis and cannabis-related products shall be prohibited. For the purposes of this condition the word “premises” shall mean the “...lot, plot or parcel of land, together with the buildings and structures thereon.”
 6. The proposed land use constituting this cannabis dispensary shall be maintained or operated in a manner that does not cause, create, or allow the public viewing of cannabis, or cannabis-related products from any sidewalk, public or private right of way, or any property other than the lot on which such use is located. No portion of the exterior of the facility shall utilize or contain any flashing lights, search lights, right-of-way spot lights or any similar lighting system. All exterior signage shall require approval through a sign permit.
 7. The land use shall implement and maintain a security and surveillance plan in accordance with state statute 410 ILCS 705/15-100 for such businesses, and in accordance with the narrative included within the application submitted by the Applicant dated May 14, 2024.
 8. An exterior lighting plan shall be prepared and submitted to propose exterior lighting in conformance with the requirements of Chapter 8 of the Lake Zurich Zoning Code entitled “Lighting and Landscaping.”
 9. The development containing the proposed land use shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich and with the compliance inspection as mandated by state statute 410 ILCS 705/15-100 for such businesses.
- ☐ Without any further additions, changes, modifications and/or approval conditions.
- ☒ With the following additions, changes, modifications and/or approval conditions:
1. A 6-foot high fence shall be constructed along the portion of the westerly and southerly lot lines of the Subject Property that share a common lot line with the immediately adjacent residential properties. Such fence shall be constructed in addition to the landscape material proposed within these areas.
 2. All security cameras shall be located in a manner to be focused and directed onto the Subject Property and away from the adjacent residential properties.
 3. The Special Use Permit shall expire if this cannabis dispensary is not established within one (1) year of the effective date of this ordinance or ceases operating at the Subject Property for a period of six (6) consecutive months or more.

Staff Report
APPLICATION PZC 2024-06

Community Development Department
PZC Hearing Date: July 17 2024

4. If required by the Lake Zurich Police Department the emergency alert button at the Subject Property shall direct to the Police Department call center to reduce the response time in the event of an emergency.


Planning & Zoning Commission Chairman



ZONING APPLICATION

Community Development Department
505 Telser Rd.
Lake Zurich, IL 60047
Phone: (847) 540-1696
Fax: (847) 540-1769

(Please Type or Print)

1. Address of Subject Property: 909 S. Rand Road
2. Please attach complete legal description
3. Property Identification number(s): 14-29-200-026
4. Owner of record is: JAS MANAGEMENT LLC / Jason Sfire Phone: 847-438-5000
E-Mail jason@fgltd.net Address: 795 Ela Road, Suite 110, Lake Zurich, IL 60047
5. Applicant is (if different from owner): _____ Phone: _____
E-Mail _____ Address: _____
6. Applicant's interest in the property (owner, agent, realtor, etc.): Developer
7. All existing uses and improvements on the property are: B-1 Automotive Repair - Existing
8. The proposed uses on the property are: B3 - Cannabis Dispensary
9. List any covenants, conditions, or restrictions concerning the use, type of improvements, setbacks, area, or height requirements placed on the Subject Property and now of record and the date of expiration of said restrictions:
NONE KNOWN
10. Describe any contract or agreement of any nature relevant to the sale or disposal of the Subject Property:
NONE
11. For applications requiring a public hearing, please attach a list which contains the PIN, owner, and owner's mailing address of all properties located within 250 feet (excluding all Public Right-of-Ways) of the Subject Property.

THE APPLICANT'S SIGNATURE BELOW INDICATES THE INFORMATION CONTAINED IN THIS APPLICATION AND ON ANY ACCOMPANYING DOCUMENTS IS TRUE AND CORRECT.
THE APPLICANT ALSO ACKNOWLEDGES IF THE CONSULTANT EXPENSES EXCEED THE INITIAL ESCROW DEPOSIT, THE APPLICANT WILL REIMBURSE THE ACCOUNT IMMEDIATELY.

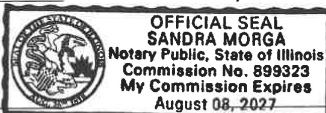
Jason Alan Sfire
(Name of applicant)

(Signature of applicant)

Subscribed and sworn to before me this 14th day of MAY, 2024.

Sandra Morga
(Notary Public)

My Commission Expires 8-8-2027



(Name of Owner, if different)

(Signature of Owner, if different)

Subscribed and sworn to before me this _____ day of _____, 2024.

(Notary Public)

My Commission Expires _____

SCHAIN | BANKS

Special Use Analysis Report
909 S. Rand Road, Lake Zurich, Illinois
June 21, 2024

Prepared for



Page 1 of 20



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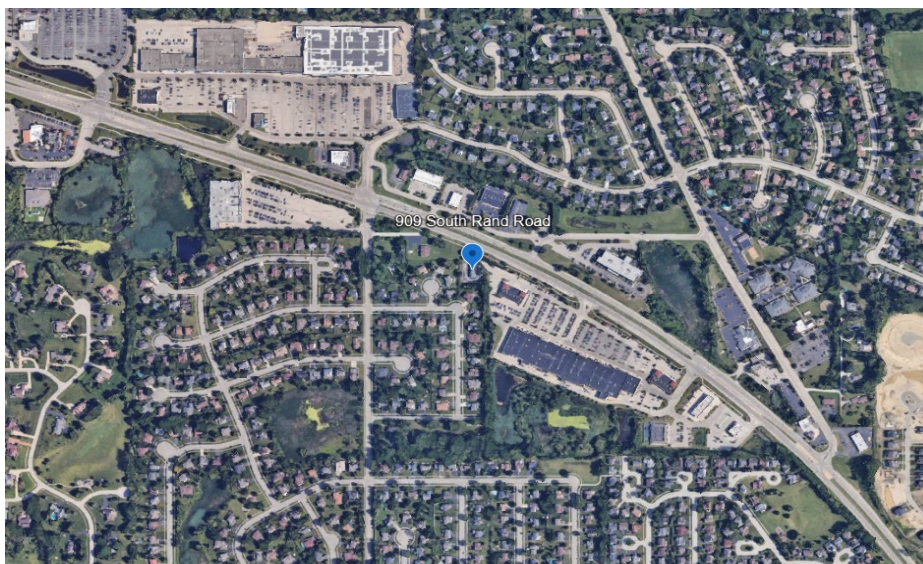
I. Request

The Applicant, Rubino Ventures, LLC, seeks a special use permit to establish a cannabis dispensing organization at 909 South Rand Road pursuant to Section 9-4-3(C)(15) of the Lake Zurich Zoning Code. The Applicant is eager to vitalize the subject property with a reliable business by eliminating a vacancy and bringing jobs to the surrounding area. The Applicant will establish a high-end cannabis dispensing organization providing the highest quality cannabis products for its clientele at affordable prices. This Applicant will provide comfort and trust to its customers by maintaining the consistency of the product. The Applicant will accomplish this by working closely with licensed adult-use cultivation centers, craft growers, processors, and infusers, that produce high-end quality products. Furthermore, the Applicant prides itself on its customer service by providing its customers with an efficient and intuitive experience.

The proposed use will require the Applicant to demolish the existing one-story building previously used as an automotive repair shop and construct a new one-story building at the subject property. The proposed cannabis dispensing organization will operate substantially similarly to the surrounding retail businesses with the added benefit of enhanced security.

II. Property Location

The subject property is located at 909 South Rand Road, Lake Zurich Illinois 60047 (the "Property").





The Property was last improved with a one-story building that is approximately 4,018 square feet on a 30,641 square-foot lot. The building was being used as an Automotive Repair Shop with a 10 x 12 frame shed in the rear. The Applicant plans to demolish the existing structure. The Property is connected to the Village of Lake Zurich's public sewer and water services and there are no known drainage issues at the site. There will be no changes to existing grades or increases in impervious surface areas which would modify or increase stormwater runoff. The proposed use will not require existing community facilities (transportation, utilities, or drainage) or services (police, fire, etc...) to a degree disproportionate to that normally expected of any permitted use in the district nor in a way as to place an undue burden on existing development in the area. None of the building areas are on wetlands or conservancy soils.

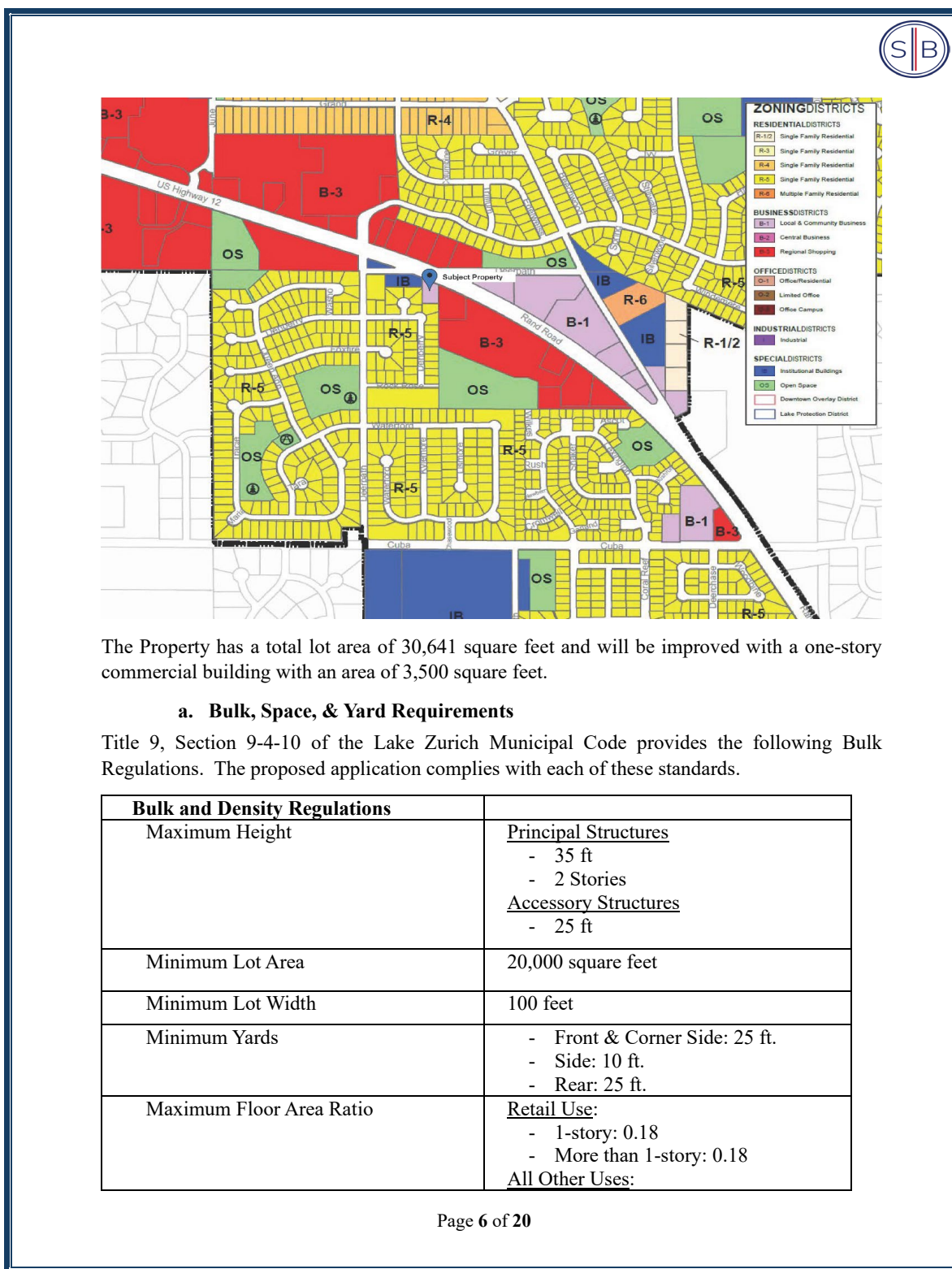
Rand Road is a public road that is commercial in nature as it is well populated with various commercial uses. The Property is within a B1-1 Local and Community Business District whose regulations are specifically designed to encourage a broad range of attractive retail service uses and permit the establishment of a cannabis dispensing organization subject to an approved special use. The proposed location is perfect for the proposed use because the Applicant seeks to replace a motor service use with a retail business that will revitalize the lot with a new code-compliant building.

The Property has natural screening provided by the various existing trees and other natural fauna at the site. The trees and shrubs span all corners of the subject property. Furthermore, the Property has an existing fence that also encompasses the entire lot. The proposed fencing, natural trees, and fauna will provide more than ample screening of the use. This will directly benefit the residential properties that abut the lot to the South and West, preventing the proposed use from interfering with the enjoyment or use of their residential properties or interfering with the health and safety of the neighborhood.

To the north of the Property, there are multiple commercial centers with uses such as restaurants, motor vehicle repair shops, and general retail shops. To the east of the Property lies a shopping center with commercial uses such as a veterinarian clinic, retail services, and restaurants. The proposed use will not negatively impact any of the surrounding uses.

III. Zoning

The Property lies within a B-1 Local and Community Business District, which permits a cannabis dispensing organization as a special use. Section 9-4-1 of Lake Zurich's Zoning Ordinance states that the purpose and intent of a B-1 is to "provide locations for major retail centers. The regulations are designed to encourage a broad range of attractive retail and compatible service uses in those centers."





	<ul style="list-style-type: none"> - 1-story: .25 - More than 1-story: .27
Minimum Landscaped Surface Area	<u>Retail Uses: 40%</u> <u>All Other Uses: 40%</u>

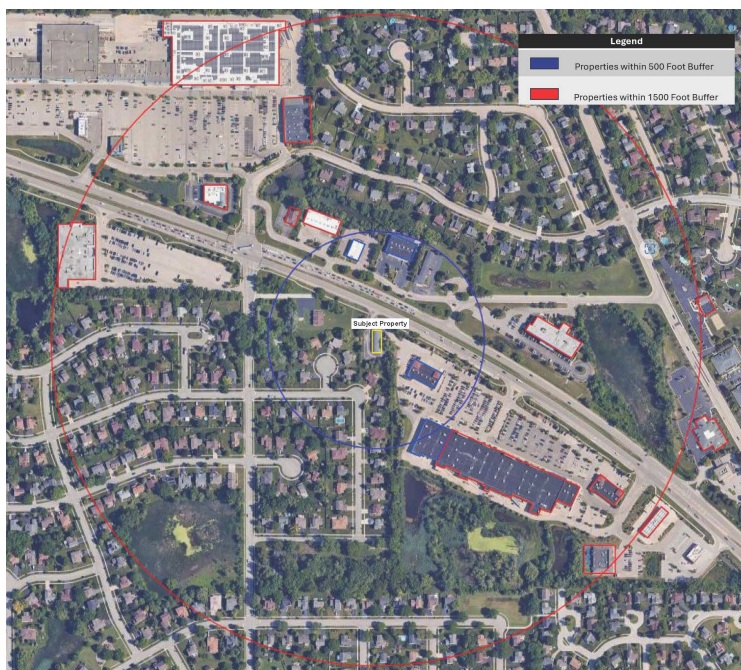
IV. Land Use

a. Existing Land Use

The Property is currently vacant. Prior to the vacancy, the former property owners ran a single-story auto repair shop that had a 10 X 12 shed in the rear. The Property is connected to the Village's public sewer and water services and there are no known drainage issues at the site. Further, none of the building areas are on wetlands or conservancy soils.

b. Surrounding Land Uses

Rand Road is a public road that is commercial in nature, and it is well-populated with various commercial uses. The Village has requirements for the surrounding land use of a cannabis dispensing organization. According to Village Code, section 9-4-3(C)(15), a cannabis dispensing organization must be at least 250 feet from the property line of any park or property intended for recreational purposes, 500 feet from the property line of any school, daycare facility or group home, and 1500 feet from any other cannabis business establishment. The Property complies with these requirements, and the map and accompanying table below show surrounding land uses within 500 feet and 1500 feet respectively. Vacant properties, excluding the Property, are not marked on the map.



Surrounding Land Use Table

Street Name	Name	Existing Use	Distance Buffer
825 S Rand Rd	LA Fitness	Health Club	1500 Feet
825 S Rand Rd	Express Nutrition LLC	Retail Trade	1500 Feet
890 S Rand Rd Ste C	Domino's Pizza	Restaurant	500 Feet
888 S Rand Rd	Midas	Auto Repair Shop	500 Feet
890 S Rand Rd Ste B	Lacey's Place	Coin Operated Amusement Devices	500 Feet
890 S Rand Rd Ste E	Sherwin-Willaims Paint Store	Paint Store	500 Feet
890 S Rand Rd Ste A	Lake County Barbell	Gymnasium	500 Feet
884 S Rand Rd Ste F	Sake Sushi & Grill	Restaurant	1500 Feet
884 S Rand Rd Ste B	Rush Physical Therapy	Miscellaneous Personal Services	1500 Feet
884 S Rand Rd	Eye Level of Lake Zurich	Educational Service	1500 Feet
884 S Rand Rd Ste E	Cozy nails Lake Zurich	Beauty Shop	1500 Feet
880 S Rand Rd	Alpine Animal Hospital	Veterinarian Services	1500 Feet
830 S Rand Rd	Chasers Sports Bar and Grill	Restaurant	1500 Feet



917 S Rand Rd	Companion Lake Zurich	Veterinarian Services	500 Feet
923 S Rand Rd	Tropical Smoothie Cafe	Restaurant	500 Feet
923 S Rand Rd	HassleLess Mattress	Home Furniture Store	500 Feet
935 S Rand Rd	Planet Fitness	Health Club	500 Feet
951 S Rand Rd	Lake Zurich Illinois Secretary of State Facility	State Administration Building	1500 Feet
955 S Rand Rd	House of Hope Resale	Used Merchandise Store	1500 Feet
965 S Rand Rd	The Tile Shop	Retail Trade	1500 Feet
975 S Rand Rd	Binnys	Liquor Store	1500 Feet
981 S Rand Rd	ALDI	Grocery Store	1500 Feet
985 S Rand Rd	The Treehouse Play Café	Children's Indoor Recreational Facility	1500 Feet
997 S Rand Rd	Panda Express	Restaurant	1500 Feet
1007 S Rand Rd	T Mobile	Consumer Electronic Store	1500 Feet
1011 S Rand Rd	Smoke Shop Pipes & Stuff	Tobacco Store	1500 Feet
1003 S Rand Rd	May's Lounge	Coin Operated Amusement Devices	1500 Feet
1015 S Rand Rd	ONE Dentistry	Dentist Office	1500 Feet
S Rand Rd	Murphy USA	Gas Station	1500 Feet
S Rand Rd	The Learning Experience – Lake Zurich	Child Daycare Services	1500 Feet
832 S Rand Rd	District 95 Administration Center	School District Administration Building	1500 Feet
820 S Rand Rd	Walmart Supercenter	Department Store	1500 Feet
820 S Rand Rd	Subway	Restaurant	1500 Feet
900 S Rand Rd	Avantara Lake Zurich	Miscellaneous services	1500 Feet
910 S Old Rand Rd	New Life Angelical Lutheran	Institutional Building	1500 Feet
941 S Old Rand Rd	Davenport Family Funeral Homes and Crematory – Lake Zurich	Funeral Home	1500 Feet

c. Proposed Land Use

The Applicant seeks to establish a cannabis dispensing organization that complies with the requirements established by the Village Code and pursuant to a validly issued license by the State of Illinois and in strict compliance with the Illinois Cannabis Regulation and Tax Act. The proposed use will not require existing community facilities (transportation, utilities, or drainage) or services (police, fire, etc...) to a degree disproportionate to that normally expected of any permitted use in the district nor in a way as to place an undue burden on existing development in



the area. This redevelopment will wholly revitalize this currently vacant plot of land by improving the existing structure to a one-story, state-of-the-art cannabis dispensing organization. The proposed land use will bring high-end commercial activity to this commercial corridor. Therefore, the proposed land use will be perfectly compatible with the existing improvements in the area.

d. Proposed Use Standards

Development of the surrounding area is comprised of typical commercial and retail uses found within the Village's B-1 local and community businesses and B-3 regional shopping districts. The proposed cannabis dispensing organization will operate similarly to all other retailers at this existing commercial node, with the exception that the proposed use will require photo identification and/or medical documentation to enter. It will be limited to those customers 21 years old and over and 18 years old and over with proper medical documentation, according to the pertinent state statutes. Therefore, the proposed use will be aligned with the character of the surrounding improvements while providing a public benefit through employment opportunities and tax revenue. The site's configuration prevents the vehicular traffic generated from interfering with other commercial uses that use the same side street.

The proposed use's site design removes the existing structure but protects the naturally existing fauna and provides new shrubbery around the site, protecting the character of the area. Lastly, due to prior use, the site has adequate public facilities and services to establish the proposed use. Consequently, the proposed use meets all of Lake Zurich's special use standards.

V. Impact on Existing or Planned Uses

Commercial uses are abundant on South Rand Road. The proposed use will not negatively impact the surrounding uses because (1) the location of the store while directly connected to Rand Road is fully encompassed on its own campus, (2) the proposed retail trade use sits within a commercial zoning district, and (3) the proposed commercial activity will take place completely inside thus not negatively impacted the surrounding use. The proposed use is a low-impact retail use that produces amount negligible amounts of additional noise and light while bringing pedestrian/vehicular traffic to the other commercial uses in the surrounding area.

While there is residential property to the west and south, the proposed special use will not have any negative impact on the nearby residences. As mentioned above, the Property has natural fauna and shrubbery scattered around the lot line which will provide natural screening to the surrounding uses including the residences to the west and south. The Applicant proposes to have over fifteen (15) trees such as the Bloodgood London Planetree and the Techny Arborvitae and over two hundred and seventy-five (275) shrubs such as Green Mound Currant and Blue Muffin Viburnum on the Property. This mixture of existing and new proposed landscaping will provide sufficient natural screening to prevent any negative impact on the surrounding uses.

Furthermore, none of the traffic generated by the new commercial use will affect the residential neighborhood because the ingress and egress from the property to South Rand Road are separate from the ingress and egress used for the residential neighborhood and the other commercial uses.



VI. Design

a. Site Circulation

Site circulation will occur from directly off S Rand Road to a small side road. Upon entering the site from the northern access point, circulation is provided into the parking lot via a two-way, parking lot drive aisle, approximately 24 feet in width. Then, upon entering the parking lot the prospective customer will enter the building at a north access point to enter the sales. The staff and product deliveries will enter from the single access point off of Rand Road but will enter the site from a south “receiving” entrance.

b. Parking Supply and Demand

The Village classifies cannabis dispensing organizations as a special use within its definition of retail trade in Section 9-4-3(C)(15) of the zoning code. Within the off-street parking requirements, listed in Section 9-10-1(F)(2)(b)(1), the “retail trade uses not otherwise listed” would encompass this proposed special use. This use requires 1 parking space for each 200 square feet of net floor area, except 1 for each 300 square feet of net floor area in the B-2 district. In this instance, the Property lies within a B-1 Local and Community Business District, so it must comply with the first off-street parking requirement listed. This results in 20 required parking spaces for this use. Currently, the proposed redevelopment will create 25 parking spaces, which will comply with the off-street parking requirements established by the Village. In addition, the Applicant has the ability, albeit not a need, to use the common parking spaces for Deerpath Commons. Presently, Deerpath Commons is overparked by approximately 40 parking spaces. Therefore, the Applicant has 65 parking spaces available to it.

VII. Building Design

a. Proposed Floor Plan Improvements

The new proposed building is a single-story retail facility with its largest room being the Sales Room. The prospective customer will enter an entry and exit point where their license will be first checked by staff. This entry/exit room will also be monitored by a security guard. The proposed building will provide the following rooms: (1) Sales, (2) Secure Storage, (3) Receiving, (4) Office, (5) IT, (6) Break, (7) Mech, and (8) two restrooms. The Sales Room will be built with a different type of display boxes with “prop” products, will have interior signage and marketing, and construct to efficiently handle pedestrian traffic.

b. Proposed Building Improvements

The site will be improved with a new single-story commercial building. The existing single-story commercial structure will be demolished. The footprint of the new building will move to the east of the lot to allow for the construction of an accessory parking lot. The proposed building will be 20 feet tall. Lastly, the proposed building will have signage in two places, above the entry/exit room or the west side of the building and facing the Rand Road or the north side of the building. The proposed construction will also have exterior lights, which fully comply with Lake Zurich's code requirements.



c. Signage

Signage will be provided in accordance with Title 12 of the Village Ordinance and in compliance with both the Illinois Cannabis Regulation and Tax Act and IDFPR regulations. This will include the monument sign and two façade mounted wall signs which will consist of internally illuminated channel letters with a uniform and compatible style and appearance. The building will also contain interior signage that fully complies with the Village and State regulations.



VIII. Business Operations

The proposed cannabis dispensing organization will be governed by the Village Code, Cannabis Regulation and Tax Act, and the Compassionate Use of Medical Cannabis Program Act. It will operate under the following:

Operation	Characteristic
Possession Limits	<p>State of IL Residents: 30 g of cannabis flower; no more than 500 mg of cannabis-infused product; 5 g of cannabis concentrate</p> <p>Non-IL Residents: 15 g of cannabis flower; no more than 250 mg of cannabis-infused product; 2.5 g of cannabis concentrate</p>



Age Restrictions	These establishments shall prohibit anyone under the age of 21 from entering, except cardholders who are over 18 and are granted medical access under the Compassionate Use of Medical Cannabis Program Act
Personal Information	The AIC, onsite leadership team, and the Regional Director/VP of Retail Operations will be responsible for enforcing the policies and procedures outlined in the Operations Manual. The company will maintain a hardcopy and/or digital copy of the Operations Manual at each dispensary location, which will be available to the Department upon request.
Security	The AIC will be in charge of managing and providing the security services. The implemented security plan or safety plan will comply with any applicable state and local regulations.
Sales Tax Benefits	<p>The cannabis dispensing organization will be subject to a statewide, sliding-scale excise tax which increases based on THC potency, and a 3% Village occupation tax.</p> <p>Those purchasing cannabis under the Compassionate Use of Medical Cannabis Program Act will not be subjected to the Village occupation tax.</p>

a. Hours of Operation

The proposed cannabis dispensing organization will have hours of operation typical of standard day-time retail uses and will be comparable to other retailers in the vicinity. Currently, the Applicant anticipates the hours of operation to be 9:00 a.m. to 9:00 p.m. Monday through Saturday and 9:00 a.m. to 8:00 p.m. on Sunday. These proposed hours of operation will comply with the requirements set forth in the Village's code for cannabis dispensing organizations.

b. Technology and Security

The building will be outfitted with enhanced security features including perimeter alarms on all entry points, shatterproof windows and accompanying glass break sensors, panic alarms and buttons, and high-resolution cameras installed on the building and surrounding the site to provide unobstructed video surveillance of all enclosed dispensary and outside areas. The plan also includes third-party, armed security guards on-site during hours of operation and when employees are on-site. The armed security will occasionally perform sweeps of the exterior of the building to ensure no one is loitering and no other security threats are present. Data backup of all footage is maintained according to State of Illinois requirements with access to the Illinois State Police on demand.

c. Professional Staff

All staff members will be required to complete state and federal background checks and will always wear photo identification badges. Staff will be trained to notify local law enforcement if they observe suspicious activity and/or emergency events with the assistance of the third-party



security staff. Further, staff will also be trained in how to assist purchasers and handle emergency events such as active shooters, robberies, and medical emergencies.

The Applicant intends to hire approximately twenty-two (22) employees with a priority towards hiring local residents, and during any given shift, the expectation will be to have seven (7) employees present at the store. All employees will earn competitive wages and receive full benefits as well as training and leadership programs that promote opportunities to grow within the organization.

IX. Procedure and Processes

a. Customer Check-In Process

Upon entering the store through the building's main entrance, customers will be greeted by a Dispensary Agent, who will utilize an ID scanner to verify proper credentials in compliance with Illinois State law for qualified purchasers and users. The identification presented by the Purchaser must be unexpired (except as otherwise deemed valid due to an executive order, etc.) and contain a photograph of the individual, date of birth, and the individual address (will be used to determine residency status for possession limits.). Upon confirmation, the customer will be directed to the sales floor where they can begin their shopping experience.

b. Sales and Distribution

The proposed cannabis dispensing organization will not sell or distribute cannabis other than as authorized by the Illinois Cannabis Regulation and Tax Act and regulated by the IDFPR. Sales of cannabis and cannabis-related products will be limited to two defined groups of customers. First, those who provide photo identification and verify their age of 21 years and older, and second, those 18 years and older who provide the proper medical documentation as set forth in the Compassionate Use of Medical Cannabis Program Act. Dispensary Agents will then check the order and verify that the amount of cannabis that the Provisional Patient is requesting for the transaction will not cause the qualifying customer to exceed the allowable possession during any 14-day calendar day period.

c. Inventory Management

An employee with an AIC designation will have primary oversight of the Company's point-of-sale system. For the Company's: (a) medical dispensaries, An AIC will have primary oversight of the Company's inventory State verification system and Illinois Cannabis Tracking system, and (b) An AIC will have primary oversight of the Company's cannabis inventory verification system. The Company will have an account with the State verification system and Illinois Cannabis Tracking System (for medical dispensaries) and State's verification system (adult-use dispensaries) that documents. Each sales transaction at the time of sale and each day's beginning inventory, acquisitions, sales, disposal, and ending inventory. At the end of each business day, the AIC will generate a report from BioTrack showing the remaining cannabis and cannabis products inventory on hand as of the end of business. Two employees will physically compare the physical count in-store with the amount being shown in BioTrack inventory every day. At least one staff member counting inventory must be an AIC.



d. On-Site Consumption

On-site consumption of cannabis and cannabis-related products, which includes ingestible products such as gummies or baked goods, is prohibited and will be strictly enforced. To enforce this prohibition, on-site security will perform periodic sweeps of the building and surrounding site to ensure no loitering or on-site consumption is occurring. Moreover, any customer or persons found in violation of the prohibition of on-site consumption will be promptly reported to the appropriate authorities.

e. Product Disposal

Cannabis waste shall be stored in a container separate from other cannabis products in the vault. Cannabis products quarantined for destruction shall be labeled with the date opened and quarantined. The AIC or designee will manage the waste storage area using the inventory tracking system. The cannabis waste storage area will be managed in conformance with the Act and the applicable waste destruction process. Access to the waste destruction area will be restricted to officers, AICs or designees, or other agents whose job responsibilities/duties require them to have access to the area. The Company will render cannabis waste unusable by grinding and incorporating the cannabis waste with other ground materials, so the resulting mixture is at least 50% non-cannabis waste by volume. The Company may utilize other methods to render cannabis waste unusable when approved by the Department. Material used to grind with the cannabis waste falls into two categories; Compostable Mixed Waste and Non-compostable Mixed Waste.

The waste destruction process will be performed by an AIC or under the supervision of an AIC in an area with video surveillance. The waste destruction process will be performed under the full view of the video surveillance system from the beginning to the end of the destruction process. Cannabis products deemed for destruction, including flower, gummies, topicals, and patches, will be opened, weighed, and placed in a commercial-grade food processor or other method as approved by the Department.

X. Special Use Standards

- 1. Zoning Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this zoning code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the official comprehensive plan.**

909 S. Rand Road is located in a B-1 Local and Community Business District. The B-1 Local and Community Business District is intended to serve the everyday shopping needs of Village residents as well as to provide opportunities for specialty shops attractive to the wider suburban residential community around the Village. It permits uses that are necessary to satisfy most basic, frequently occurring shopping needs. It also permits compatible uses that, although not used as frequently, would be desirably located in close proximity to potential users. The district is located principally on primary or secondary thoroughfares, is relatively small in size, and has bulk standards that



provide for compatibility with nearby residential uses. As a specialty retailer that operates synergistically with surrounding similar retail uses, the proposed project complies with the general and specific purposes for the B-1 Local and Community Business District. Further, Lake Zurich has adopted supplemental use regulations pertaining to cannabis dispensaries, such as hours of operation, design, and distance requirements. The proposed dispensary shall comply with all of the use regulations pertaining to cannabis dispensaries under the Lake Zurich Zoning Code.

In the Comprehensive Plan, 909 S. Rand Road is designated as a commercial use and Rand Road is identified as an attractive retail corridor. The proposed application meets the commercial goals and objectives of the Lake Zurich Comprehensive Plan. First, it adds a new use to Lake Zurich with only one potential competitor, and therefore provides an appropriate balance of retail opportunities to meet the needs of Village residents. Second, the project will undergo appearance review, and therefore promote a unified design concept with a strong retail orientation. Third, the site is safely accessible for pedestrians via a sidewalk. Fourth, the Applicant proposes a retail use in a retail corridor that will bring new shoppers to patronize surrounding businesses.

2. No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

The proposed Recreational Cannabis Dispensary will offer the surrounding area many benefits that will enhance the health, safety, and general welfare of the public. First, the Applicant seeks to add a retail use to the subject property, which was previously occupied by an incompatible auto repair shop, and has long been vacant. By activating a vacant commercial lot with a new commercial use, the Applicant will eliminate a long-time vacancy, which acts as a blight on the community, and increase the property tax revenue share to the community. Second, the Applicant intends to introduce a new retail use and service to the community. Currently, there are no other cannabis dispensing organizations in Lake Zurich with one location expected to open in Summer of 2024. Thus, the Applicant will conveniently provide the community with a new use and service presently unavailable to them and ensure competition in the marketplace to better serve the public. Third, the proposed cannabis dispensary will generate significant sales taxes that will contribute to Lake Zurich's public services and infrastructure available to the neighborhood. The increased sales taxes will contribute to the general welfare of the neighborhood by supporting Lake Zurich's ability to provide its exceptional services and infrastructure to its residents and businesses. Fourth, the proposed conditional use will add an alternative, beneficial health option for the public. The proposed cannabis dispensary will provide critical, even lifesaving, medicinal products and resources to the public and address wide range of ailments. Many customers who need cannabis to treat ailments may be deterred from the state registration requirements to qualify for medical cannabis, so the allowance for adult use cannabis, which does not have similar registration requirements as medical cannabis, will better serve those members of the public.

In addition to benefiting the surrounding area, the proposed cannabis dispensary will not endanger the health, safety, and general welfare of the area.



The proposed dispensary will be located in a site well-suited to handle traffic safely. The existing road network, as it is configured, provides safe and convenient access to the property. Access to the subject property occurs via a dedicated ingress/egress from Rand Road. Adequate parking is also provided on-site to meet the needs of the cannabis dispensary and the Lake Zurich Zoning Code. Accordingly, the well-structured site planning of this project preserves the health, safety, and general welfare of the surrounding community.

The proposed cannabis dispensary will not pose any safety issues. The building will be outfitted with enhanced security features in compliance with the Illinois Cannabis and Tax Regulation. Such security features include perimeter alarms on all entry points, glass break and shatterproof windows, panic alarms and buttons, and high-resolution cameras installed on the building and surrounding site to provide unobstructed video surveillance of all enclosed dispensary areas and outdoor areas. A comprehensive security plan will be in effect as required and approved by the State of Illinois. The security plan includes third-party, armed security on-site, during hours of operation and when employees are on-site. Security guards will occasionally perform sweeps of the exterior of the building to ensure no one is loitering and no other security threats are present. Data backup of all video footage is maintained according to the State of Illinois requirements with access provided to the Illinois State Police on demand. By incorporating state of the art security features and partnership with first responders, the proposed cannabis dispensary minimizes any potential safety threat.

The proposed special use will revitalize a dormant, vacant space with a new compatible use. Vacant buildings pose many dangers to the community. Activating this building will accordingly enhance the community's safety and general welfare.

The proposed cannabis dispensary is located on a site that is already developed, where similar-typical retail uses are operating on surrounding properties. Granting of a special use to allow sales of adult-use cannabis products will not materially differ from the current retail-oriented uses on surrounding properties. In addition to requiring conditional use approval, Lake Zurich has adopted additional regulations for operations for a cannabis dispensing organization, including distance restrictions from certain uses and other operational restrictions. The proposed conditional use will comply with all applicable requirements and use standards set forth in the Lake Zurich Zoning Code to ensure that the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair the value of other property in the neighborhood.

3. No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

The surrounding area is fully developed, and the Applicant is proposing a retail use at a location designated for retail uses compliant with all of the distance restrictions in the Lake Zurich Zoning



Code. Therefore, the proposed use will not impair any surrounding development or potential development of surrounding areas.

- 4. Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.**

The proposed location is accessible by Rand Road, a public street, and has sufficient utilities and infrastructure to serve the use. The building is connected to Village of Lake Zurich public sewer and water services and there are no known drainage issues at the site. There will be no changes to existing grades or increases in impervious surface areas which would modify or increase stormwater runoff. The proposed use will not require existing community facilities (transportation, utilities, or drainage) or services (police, fire, etc...) to a degree disproportionate to that normally expected of any permitted use in the district nor in a way as to place an undue burden on existing development in the area. None of the building areas are on wetlands or conservancy soils.

- 5. No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through surrounding streets.**

The Applicant will have 25 parking spaces, which satisfies the parking requirements for the cannabis dispensary and provides adequate parking to accommodate the typical traffic generated by the proposed use or any other comparable retail use. Rand Road will provide the only access to the site and therefore not draw any traffic through surrounding streets.

- 6. No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.**

The proposed use and development will simply be replacing a automotive repair and tire sales shop. Consequently, the proposed development will not result in the destruction of any significant features.

- 7. Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this zoning code authorizing such use.**

Section 9-4-3 of the Lake Zurich Zoning Code identifies several additional standards on cannabis dispensing organizations. The proposed cannabis dispensary shall comply with each of the additional standards in Section 9-4-3(15)(a-h).

- 8. Positive Effect. The proposed special use creating a positive effect for the zoning district, its purpose, and adjacent properties shall be placed before the benefits of the petitioner.**



The proposed Recreational Cannabis Dispensary will offer the surrounding area many benefits that will enhance the health, safety, and general welfare of the public. First, the Applicant seeks to add a retail use to the subject property, which was previously occupied by an incompatible auto repair shop, and has long been vacant. By activating a vacant commercial lot with a new commercial use, the Applicant will eliminate a long-time vacancy, which acts as a blight on the community, and increase the property tax revenue share to the community. Second, the Applicant intends to introduce a new retail use and service to the community. Currently, there are no other cannabis dispensing organizations in Lake Zurich with one location expected to open in Summer of 2024. Thus, the Applicant will conveniently provide the community with a new use and service presently unavailable to them and ensure competition in the marketplace to better serve the public. Third, the proposed cannabis dispensary will generate significant sales taxes that will contribute to Lake Zurich's public services and infrastructure available to the neighborhood. The increased sales taxes will contribute to the general welfare of the neighborhood by supporting Lake Zurich's ability to provide its exceptional services and infrastructure to its residents and businesses. Fourth, the proposed conditional use will add an alternative, beneficial health option for the public. The proposed cannabis dispensary will provide critical, even lifesaving, medicinal products and resources to the public and address wide range of ailments. Many customers who need cannabis to treat ailments may be deterred from the state registration requirements to qualify for medical cannabis, so the allowance for adult use cannabis, which does not have similar registration requirements as medical cannabis, will better serve those members of the public.

XI. Summary/Conclusion

Rubino Ventures, LLC seeks to establish a cannabis dispensing organization in an 877.2 square foot single-story commercial building pursuant to a validly issued license by the State of Illinois and in strict compliance with the Illinois Cannabis and Tax Regulation Act. The proposed cannabis dispensing organization will operate substantially similar to surrounding retail businesses with the added benefit of enhanced security comparable to financial institutions. Moreover, the proposed cannabis dispensing organization will provide substantial benefits with minimal, if any, impact on the surrounding area. Benefits include substantial sales taxes estimated to be more than \$1MM annually to the Village, increased property taxes, and local hiring. Rubino will ensure that no cannabis related uses will be maintained or operated in a manner that permits public view of cannabis or cannabis-related products from any public or private right of way.

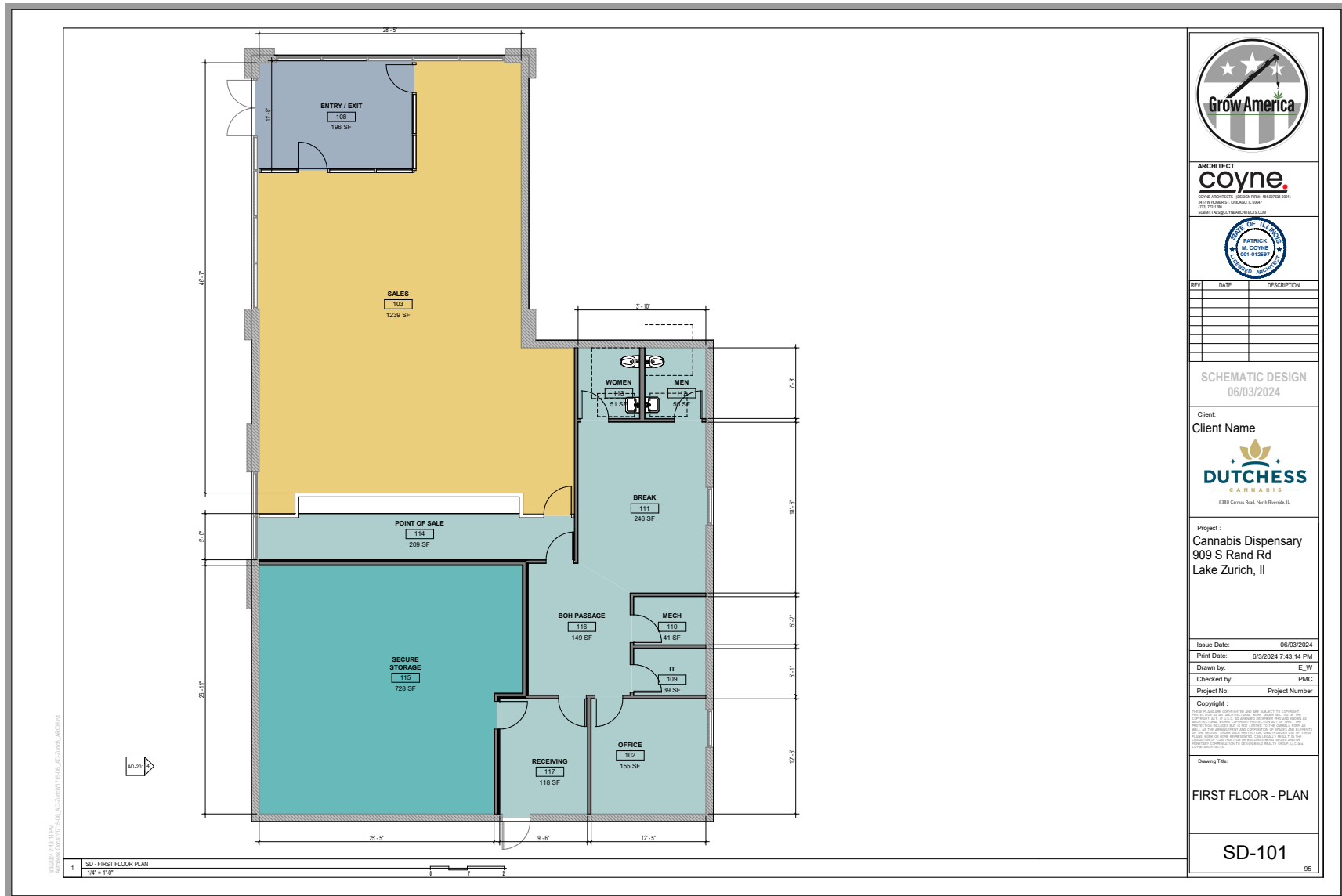


Appendix A

1. Exhibit 1: Site Plan
2. Exhibit 2: Floor Plan
3. Exhibit 3: Elevations
4. Exhibit 4: Signage

EXHIBIT 1

EXHIBIT 2



ARCHITECT
coyne.
COYNE ARCHITECTS, INC. (DESIGN FIRM: INCORPORATED)
3017 W. HENRI ST. CHICAGO, IL 60647
(773) 775-1100
SUBMITTAL@COYNEARCHITECTS.COM



REV	DATE	DESCRIPTION

SCHEMATIC DESIGN
06/03/2024

Client:
Client Name

DUTCHESS
CANNABIS
8340 Cervock Road, North Riverside, IL

Project :
Cannabis Dispensary
909 S Rand Rd
Lake Zurich, IL

Issue Date: 06/03/2024
Print Date: 6/3/2024 7:43:14 PM
Drawn by: E_W
Checked by: PMC
Project No: Project Number

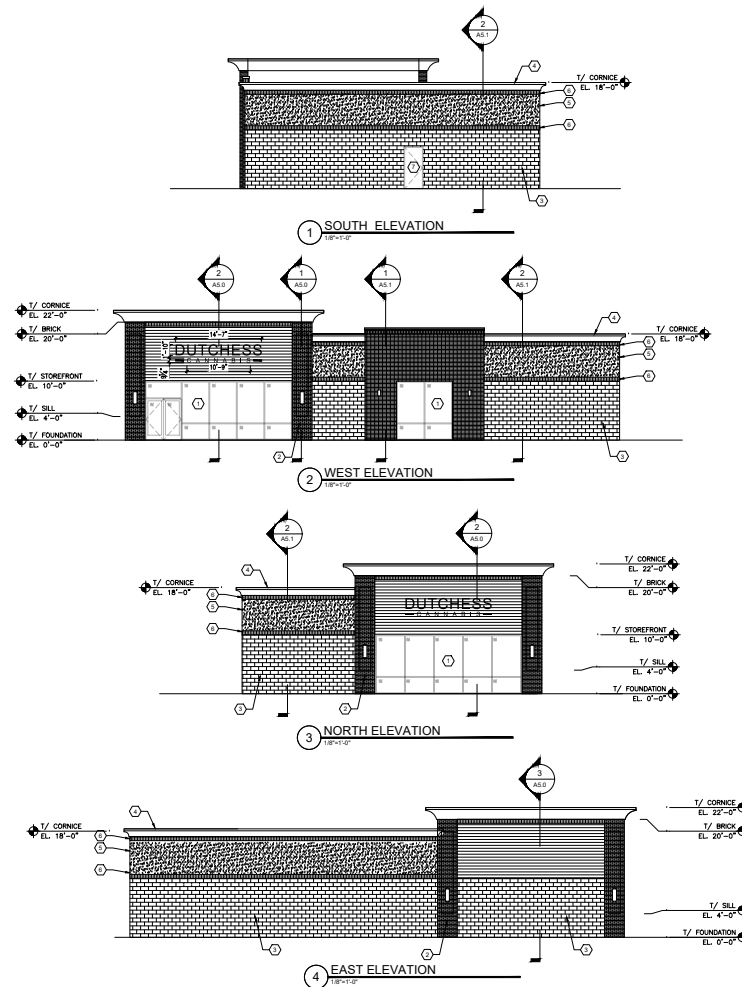
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Drawing Title:
FIRST FLOOR - PLAN

SD-101
95

EXHIBIT 3

THESE ELEVATIONS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.



EXTERIOR ELEVATION KEYNOTES	
①	ALUMINUM STOREFRONT SYSTEM W/ CLEAR 1" INSULATED GLAZING (NON-TINTED, NON-REFLECTIVE)
②	4" X 8" HARKER S401 - WHITE FINISH
③	MODULAR BRICK - RED
④	THIN STONE IRD
⑤	PVE-FINISHED ALUMINUM CORING - - WHITE FINISH - WOODS-FLAT BLACK - UNI-CLAD OR EQUAL
⑥	RFS
⑦	SOLDER COURSE
⑧	HOLLOW METAL DOOR - PAINT TO MATCH STOREFRONT

NOT FOR CONSTRUCTION

THE FIDELITY GROUP
PRELIMINARY PRICING
909 S RAND RD, LAKE ZURICH ILLINOIS

400 E. Highland Road Suite 202
Elk Grove Village, IL 60007
P 847.274.8070
www.jtsarchitects.com

JTS Architects

DATE	03/12/2024
TIME	12:56
PROJECT	A4.0

EXHIBIT 4

A
1 **NORTH ELEVATION - Sign Location**
SCALE: 3/16" = 1'



A
2 **SIGN DETAIL - Dimensions**
SCALE: 1/2" = 1'



EXISTING CONDITIONS



NIGHT VIEW



Customer / Job Site

DUTCHESS CANNABIS
909 S Rand Road
Lake Zurich, IL 60047

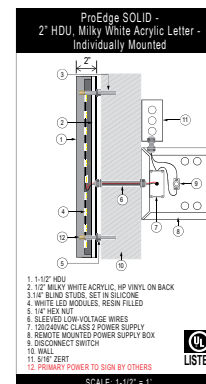
Scope of Work

**Furnish & Install
New Signage**

A. Lighted Letters

ProEdge SOLID LETTER SPECS	
MOUNTING SURFACE:	Individual
MOUNTING DEVICE:	3/16" fasteners
LETTER COLOR/FINISH:	MP METALLIC GOLD
LETTER FACE:	HDU
LETTER BACK:	Milky White Acrylic
OVERALL DEPTH:	2"
LED:	1" mini white bright 120° beam 120° beam 120° beam

45
SQ. FT.



**WALL SIGN
ALLOWANCE**
1.5x Frontage

IMPORTANT:
Dedicated primary power for sign to be run by others.
(If existing at time of install within 6 ft. of sign), final connection to be completed by the GC or electrician

**Scale is
Approximate
Must Verify.**

ACE SIGN CO.

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REF:

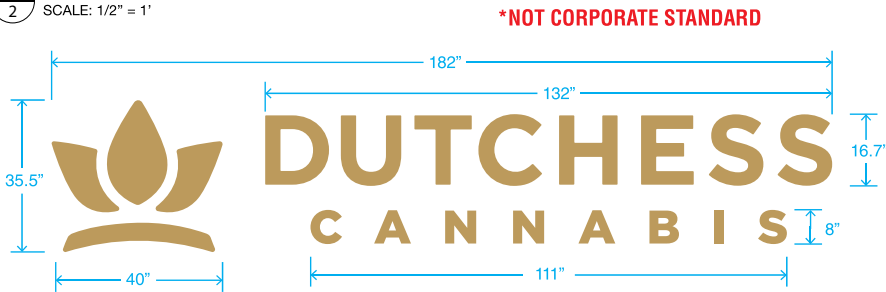
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designed by: MA ☐ APPROVED AS-IS ☐ APPROVED W/ CHANGES ☐ RE-DRAW W/ CHANGES

*Proofs will predict design layout, text accuracy, image proportion and placement. Colors on a digital screen or printed proof may not reflect actual color.

**B
1** WEST ELEVATION - Sign Location
SCALE: 3/16" = 1'



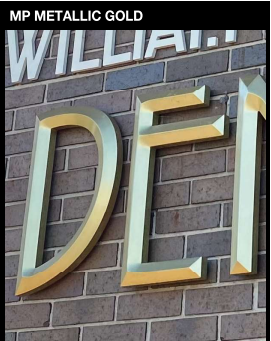
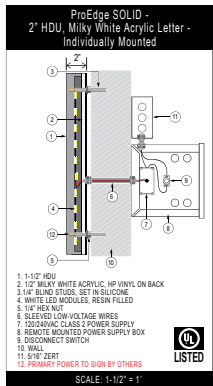
**B
2** SIGN DETAIL - Dimensions
SCALE: 1/2" = 1'



EXISTING CONDITIONS



NIGHT VIEW



Customer / Job Site

**DUTCHESS
CANNABIS**
909 S Rand Road
Lake Zurich, IL 60047

Scope of Work

**Furnish & Install
New Signage**

B. Lighted Letters

ProEdge SOLID LETTER SPECS			
MOUNTING SURFACE	Individual		
MOUNTING DEVICE	3/16" Fasteners		
LETTER COLOR/FINISH	MP METALLIC GOLD		
LETTER FACE	HDU		
LETTER BACK	Milky White Acrylic		
OVERALL DEPTH	2"		
LED	1" mini	4" mini	4" mini

**45
SQ. FT.**

**WALL SIGN
ALLOWANCE
1.5x Frontage**

IMPORTANT:
Dedicated primary power for
sign to be run by others.
(If existing at time of install
(within 6 ft. of sign),
final connection to be
completed by the
GC's electrician

**Scale is
Approximate
Must Verify.**

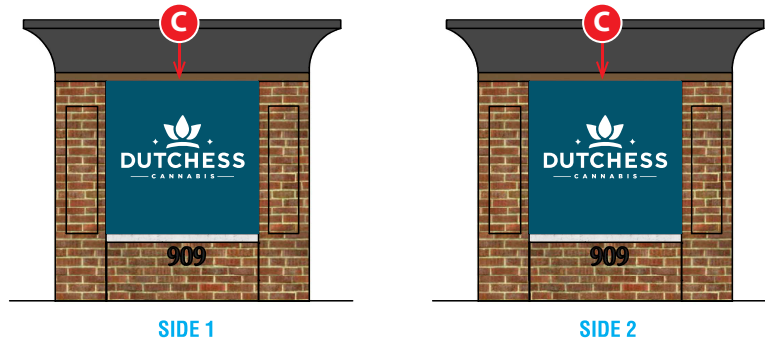
ACE SIGN CO. This design belongs to the ACE SIGN CO. and becomes the property of the customer only upon completion of an order, and is otherwise not to be used in whole or in part without written permission of ACE SIGN CO. • 2540 S. 1ST ST. • SPRINGFIELD, IL 62704 • 217 522-8417

REF:

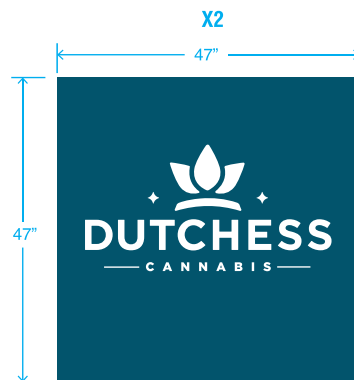
JOB#: 114324 PROOF DATE: 06/11/24 SCALE: Varies, See Drawing Title
designed by: MA ☐ APPROVED AS-IS ☐ APPROVED W/ CHANGES ☐ RE-DRAW W/ CHANGES

*Proofs will predict design layout, text accuracy, image proportion and placement. Colors on a digital screen or printed proof may not reflect actual color.

MONUMENT SIGN - Sign Location
SCALE: 3/8" = 1'



SIGN DETAIL - Dimensions
SCALE: 3/4" = 1'



Customer / Job Site

**DUTCHESS
CANNABIS**
909 S Rand Road
Lake Zurich, IL 60047

Scope of Work

**Furnish & Install
New Signage**

**C. X2 - New Sign
Panels**

- Specs TBD
- Monument Sign
by Others

IMPORTANT:
Dedicated primary power for
sign to be run by others.
(if existing at time of install
(within 6 ft. of sign),
final connection to be
completed by the
GC's electrician

**Scale is
Approximate
Must Verify.**



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JOB#: 114324
designed by: MA

PROOF DATE: 06/11/24

SCALE: Varies, See Drawing Title

☐ APPROVED AS-IS ☐ APPROVED W/ CHANGES ☐ RE-DRAW W/ CHANGES

REF:

*Proofs will predict design layout, text accuracy, image proportion and placement. Colors on a digital screen or printed proof may not reflect actual color.

D
1
INTERIOR ELEVATION - Sign Location
SCALE: 3/16" = 1'

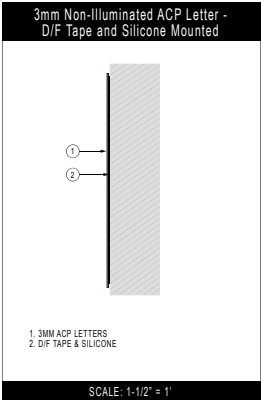


*WALL MUST BE PAINTED AND CURED FOR 2 WEEKS MINIMUM
FOR ADHESIVE & SILICONE TO EFFECTIVELY STICK*

D
3
SIGN DETAIL - Dimensions
SCALE: 3/8" = 1'



D
2
SIGN DETAIL - Section/Attachment
SCALE: 1-1/2" = 1'



SITE PLAN

*SITE PLAN NOT AVAILABLE

Customer / Job Site

**DUTCHESS
CANNABIS**

908 S Rand Road
Lake Zurich, IL 60047

Scope of Work

**Furnish & Install
New Signage**

**D.1. NON-LIGHTED
INTERIOR LETTERS**

NON-LIGHTED DIMENSIONAL	
QUANTITY	1 SET
DESCRIPTION	Brushed GOLD 3mm ACP
THICKNESS	3mm
FINISH	Brushed GOLD
INSTALLATION	FLAT
ADHESIVE SURFACE	Painted Drywall
ADHESIVE TYPE	D/F Tape & Silicone

IMPORTANT:
Dedicated primary power for
sign to be run by others.
If existing at time of install
(within 6 ft. of sign),
final connection to be
completed by the
GC's electrician

**Scale is
Approximate
Must Verify.**

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JOB#: 114324
designed by: MA

PROOF DATE: 06/11/24

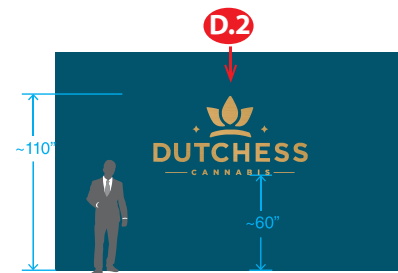
SCALE: Varies, See Drawing Title

☐ APPROVED AS-IS ☐ APPROVED W/ CHANGES ☐ RE-DRAW W/ CHANGES

REF:

*Proofs will predict design layout, text accuracy, image proportion and placement. Colors on a digital screen or printed proof may not reflect actual color.
11" x 17" paper size

**D
1** **INTERIOR ELEVATION - Sign Location**
SCALE: 3/16" = 1'

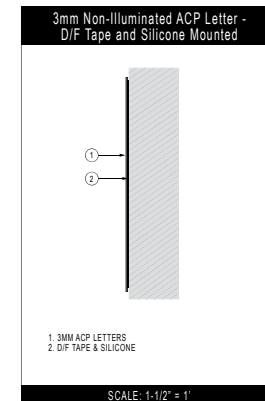


WALL MUST BE PAINTED AND CURED FOR 2 WEEKS MINIMUM FOR ADHESIVE & SILICONE TO EFFECTIVELY STICK

**D
3** **SIGN DETAIL - Dimensions**
SCALE: 1/2" = 1'



**D
2** **SIGN DETAIL - Section/Attachment**
SCALE: 1-1/2" = 1'



SCALE: 1-1/2" = 1'

SITE PLAN

***SITE PLAN NOT AVAILABLE**

Customer / Job Site

**DUTCHESS
CANNABIS**

908 S Rand Road
Lake Zurich, IL 60047

Scope of Work

**Furnish & Install
New Signage**

**D.2. NON-LIGHTED
INTERIOR LETTERS**

NON-LIGHTED DIMENSIONAL	
DESCRIPTION	QUANTITY
Brushed GOLD 3mm ACP	1 Set
Brushed GOLD	3mm
FLAT	
ADHESIVE SURFACE	Painted Drywall
MOUNTING METHOD	D/F Tape & Silicone

IMPORTANT:
Dedicated primary power for sign to be run **by others**.
If existing at time of install (within 6 ft. of sign), final connection to be completed by the GC's electrician

**Scale is
Approximate
Must Verify.**

ACE Sign CO.

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JOB#: 114324
designed by: MA

PROOF DATE: 06/11/24
☐ APPROVED AS-IS ☐ APPROVED W/ CHANGES ☐ RE-DRAW W/ CHANGES

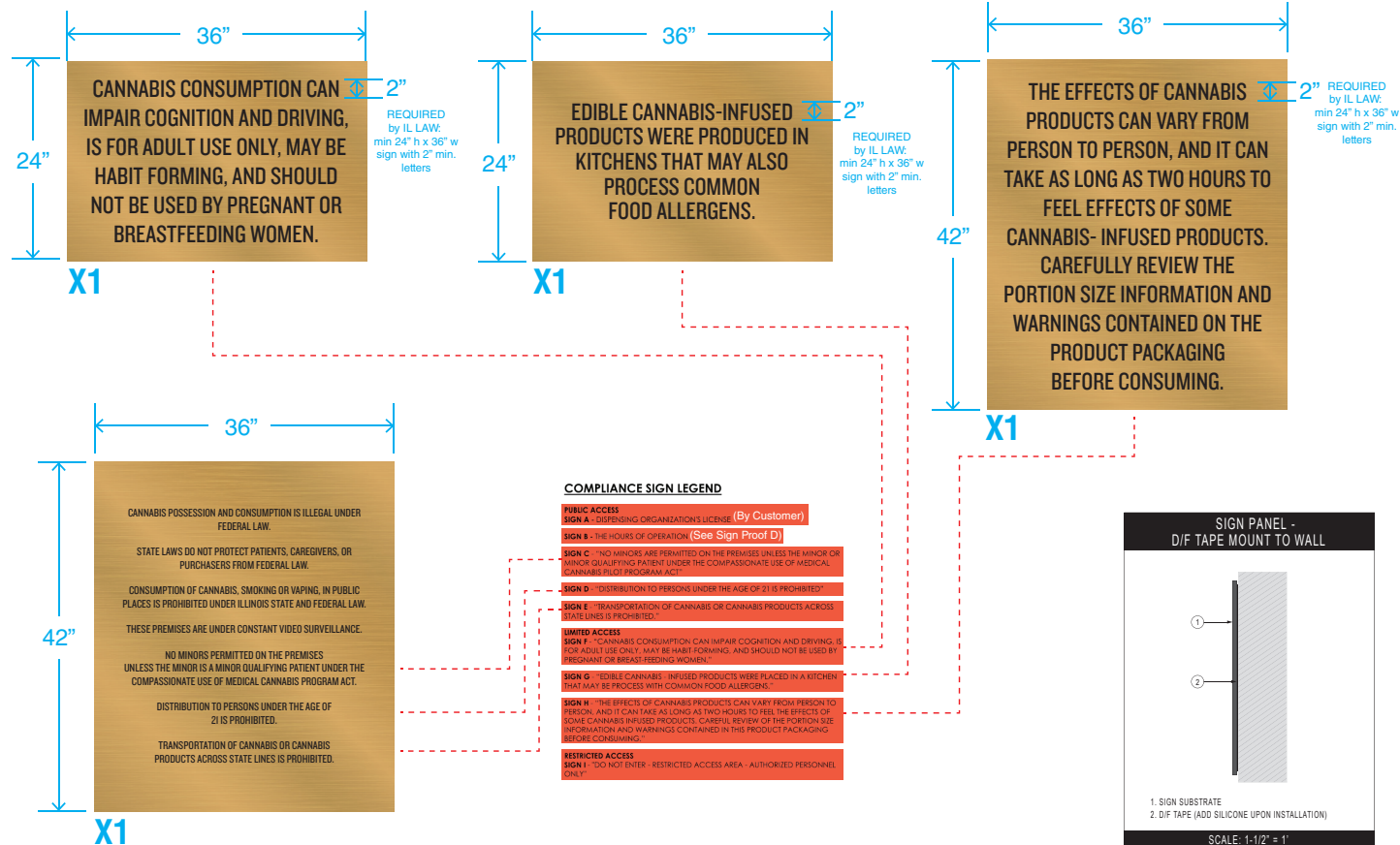
SCALE: Varies, See Drawing Title

REF:

*Proofs will predict design layout, text accuracy, image proportion and placement. Colors on a digital screen or printed proof may not reflect actual color.
11" x 17" paper size

E
1**SIGN DETAIL - Sign Types & Dimensions**

SCALE: 1" = 1'

**Customer / Job Site****DUTCHESS CANNABIS**908 S Rand Road
Lake Zurich, IL 60047**Scope of Work****New Store Signage****E. Standard IL Compliance Signs (Interior)**

CUT VINYL PANEL	
VINYL TYPE	
HP*	
VINYL COLOR	
Black	
QUANTITY	
4 Total	
SEE	
Varies, See Proof	
FIRST SURFACE	
SECOND SURFACE	
Brushed GOLD 3mm ACP	
REMARKS	
Plot	
DOUBLE FACE	
SINGLE SIDED	
BACK TO BACK	
SQUARE CORNERS	
ROUNDED CORNERS	
CUSTOM	
MOUNTING SURFACE	
Painted Drywall	
MOUNTING MEDIA	
D/F Tape & Silicone	

Exact Placement TBD*IMPORTANT:**
Dedicated primary power for sign to be run by others. If existing at time of install (within 6 ft. of sign), final connection to be completed by the GC's electrician**Scale is Approximate Must Verify.****ACE Sign CO.**

This design belongs to the ACE SIGN CO. and becomes the property of the customer only upon completion of an order, and is otherwise not to be used in whole or in part without written permission of ACE SIGN CO. • 2540 S. 1ST ST. • SPRINGFIELD, IL 62704 • 217-522-8417

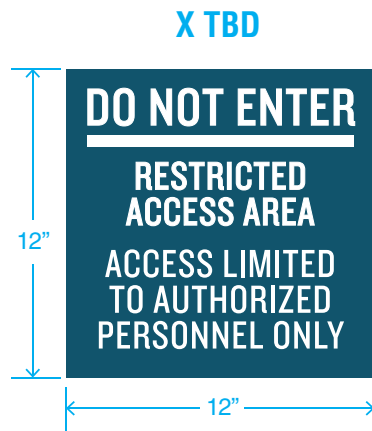
JOB#: 114324
designed by: MA**PROOF DATE:** 06/11/24
☐ APPROVED AS IS ☐ APPROVED W/ CHANGES ☐ RE-DRAW W/ CHANGES**SCALE:** Varies, See Drawing Title

REF:

*Proofs will predict design layout, text accuracy, image proportion and placement. Colors on a digital screen or printed proof may not reflect actual color.
11" x 17" paper size

F
1

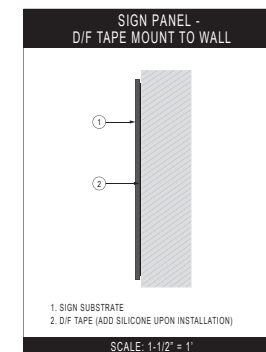
SIGN DETAIL - Sign Types & Dimensions
SCALE: 3" = 1'



REQUIRED
by IL LAW:
min 12" h x 12" w
sign with 1" min.
letters



REQUIRED
by IL LAW:
min 12" h x 12" w
sign with 1" min.
letters



Customer / Job Site

**DUTCHESS
CANNABIS**

908 S Rand Road
Lake Zurich, IL 60047

Scope of Work

New Store Signage

**F. Standard IL
Compliance Signs
(Interior)**

CUT VINYL PANEL			
WALL TYPE		HP	
VINYL COLOR		White	
QUANTITY		TBD	
SIZE		12" x 12"	
FIRST SURFACE	SECOND SURFACE		
BACKSHEET MATERIAL			
3mm ACP			
BACKSHEET COLOR		Method	
PMS 3025C		Painted	
DOUBLE FACE	SINGLE SIZED	BACK TONE	
SQUARE CORNERS	ROUND CORNERS	CUSTOM	
MOUNTING SURFACE			
Painted Drywall			
MOUNTING MEDIA			
D/F Tape & Silicone			

***Exact
Placement
TBD**

IMPORTANT:
Dedicated primary power for
sign to be run **by others**.
If existing at time of install
(within 6 ft. of sign),
final connection to be
completed by the
GC's electrician

**Scale is
Approximate
Must Verify.**

ACE Sign CO.

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JOB#: 114324
designed by: MA

PROOF DATE: 06/11/24

SCALE: Varies, See Drawing Title

☐ APPROVED AS-IS ☐ APPROVED W/ CHANGES ☐ RE-DRAW W/ CHANGES

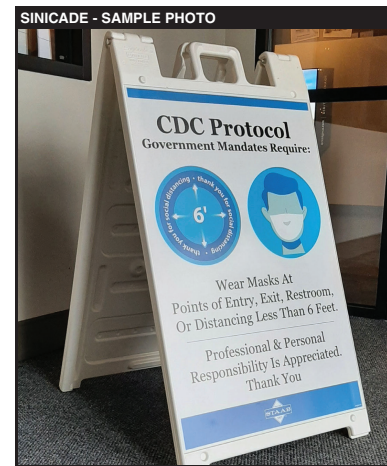
REF:

*Proofs will predict design layout, text accuracy, image proportion and placement. Colors on a digital screen or printed proof may not reflect actual color.
11" x 17" paper size

G
1 **SIGN DETAIL - Dimensions**
SCALE: 3" = 1'



*SIGN IS DOUBLE-SIDED



Customer / Job Site

**DUTCHESS
CANNABIS**

909 S Rand Road
Lake Zurich, IL 60047

Scope of Work

New Store Signage

**G. QTY 2 -
Double-Sided
A-Frame Signs**

GRAPHICS PANEL			
BACKGROUND MATERIAL			
3mm ACP			
QUANTITY			
2 panels per sign (4 total)			
SIZE			
23.75" h x 35.75" w x 3mm d			
BACKGROUND COLOR		TEXT COLOR	
TBD		TBD	
FRONT FACE	FRONT FACE	FRONT FACE	FRONT FACE
DOUBLE BACK	DOUBLE BACK	DOUBLE BACK	DOUBLE BACK
DOUBLE CORNER	DOUBLE CORNER	DOUBLE CORNER	DOUBLE CORNER
DOUBLE CORNER	DOUBLE CORNER	DOUBLE CORNER	DOUBLE CORNER
MATERIALS LISTED			
White signacade			

IMPORTANT:
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sign to be run by others.
If existing at time of install
(within 6 ft. of sign),
final connection to be
completed by the
GC's electrician

**Scale is
Approximate
Must Verify.**

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JOB#: 114324 **PROOF DATE:** 06/11/24 **SCALE:** Varies, See Drawing Title
designed by: MA ☐ APPROVED AS-IS ☐ APPROVED W/ CHANGES ☐ RE-DRAW W/ CHANGES

REF:

*Proofs will predict design layout, text accuracy, image proportion and placement. Colors on a digital screen or printed proof may not reflect actual color.
11" x 17" paper size

H 1 WEST ELEVATION - Sign Location
SCALE: 3/16" = 1'



H 2 SIGN DETAIL - Dimensions
SCALE: 1-1/2" = 1'



ACE Sign CO.

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JOB#: 114324 PROOF DATE: 06/11/24 SCALE: Varies, See Drawing Title
designed by: MA ☐ APPROVED AS-IS ☐ APPROVED W/ CHANGES ☐ RE-DRAW W/ CHANGES

REF:

*Proofs will predict design layout, text accuracy, image proportion and placement. Colors on a digital screen or printed proof may not reflect actual color.
11" x 17" paper size

Customer / Job Site

**DUTCHESS
CANNABIS**

908 S Rand Road
Lake Zurich, IL 60047

Scope of Work

New Store Signage

H. Door Vinyl

CUT VINYL GRAPHICS

VEHICLE

HP

INK COLOR

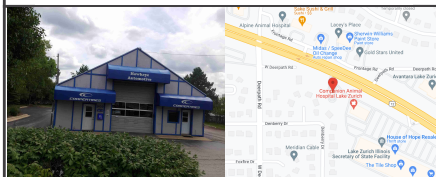
Gold Metallic

IMPORTANT:
Dedicated primary power for
sign to be run by others.
If existing at time of install
(within 6 ft. of sign),
final connection to be
completed by the
GC's electrician

**Scale is
Approximate
Must Verify.**



www.exactaland.com | office: 773.305.4011



PROPERTY ADDRESS:
909 S RAND ROAD, LAKE ZURICH, ILLINOIS 60047

SURVEY NUMBER: 2206.6657

DATE SIGNED: 07/27/22

FIELD WORK DATE: 7/25/2022

REVISION DATE(S):
(REV.1 7/27/2022)

POINTS OF INTEREST
NONE VISIBLE

STATE OF ILLINOIS } SS
COUNTY OF LASALLE }

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 11/30/2022
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008



Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450



2206.6657
BOUNDARY SURVEY
LAKE COUNTY

LEGEND:
SM = SANITARY MARKER
SMLT = SIGN LIGHT
CO = CLEAN OUT
WM = WATER MARKER
CD = CONCRETE DRAIN
TELEPHONE PEDestal

TABLE A ITEMS:
3. FLOOD ZONE: PROPERTY IS LOCATED IN FLOOD ZONE X PER FEMA MAP NUMBER 17031 C0257K.
9. PARKING: 1 IS REGULAR AND 1 ADA PARKING SPACES WERE NOTED ON THE PROPERTY

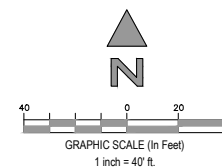
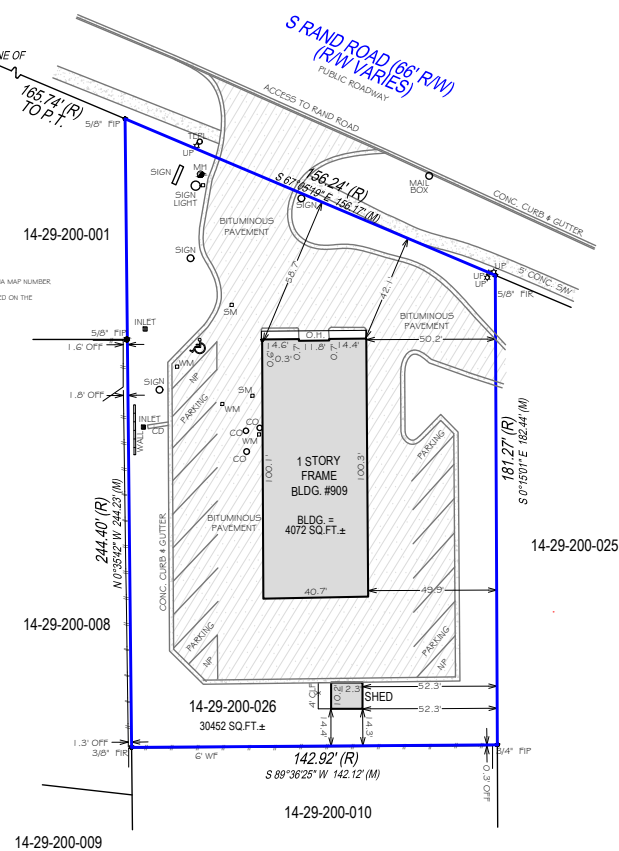
LEGEND:
NP = NO PARKING

TO: JAS MANAGEMENT, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY
PROPER TITLE, LLC
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA AND NSPS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7a, & 9 AND 14 OF TABLE A. FIELDWORK WAS COMPLETED ON JULY 25, 2022, DATED THIS 27TH DAY OF JULY, 2022.

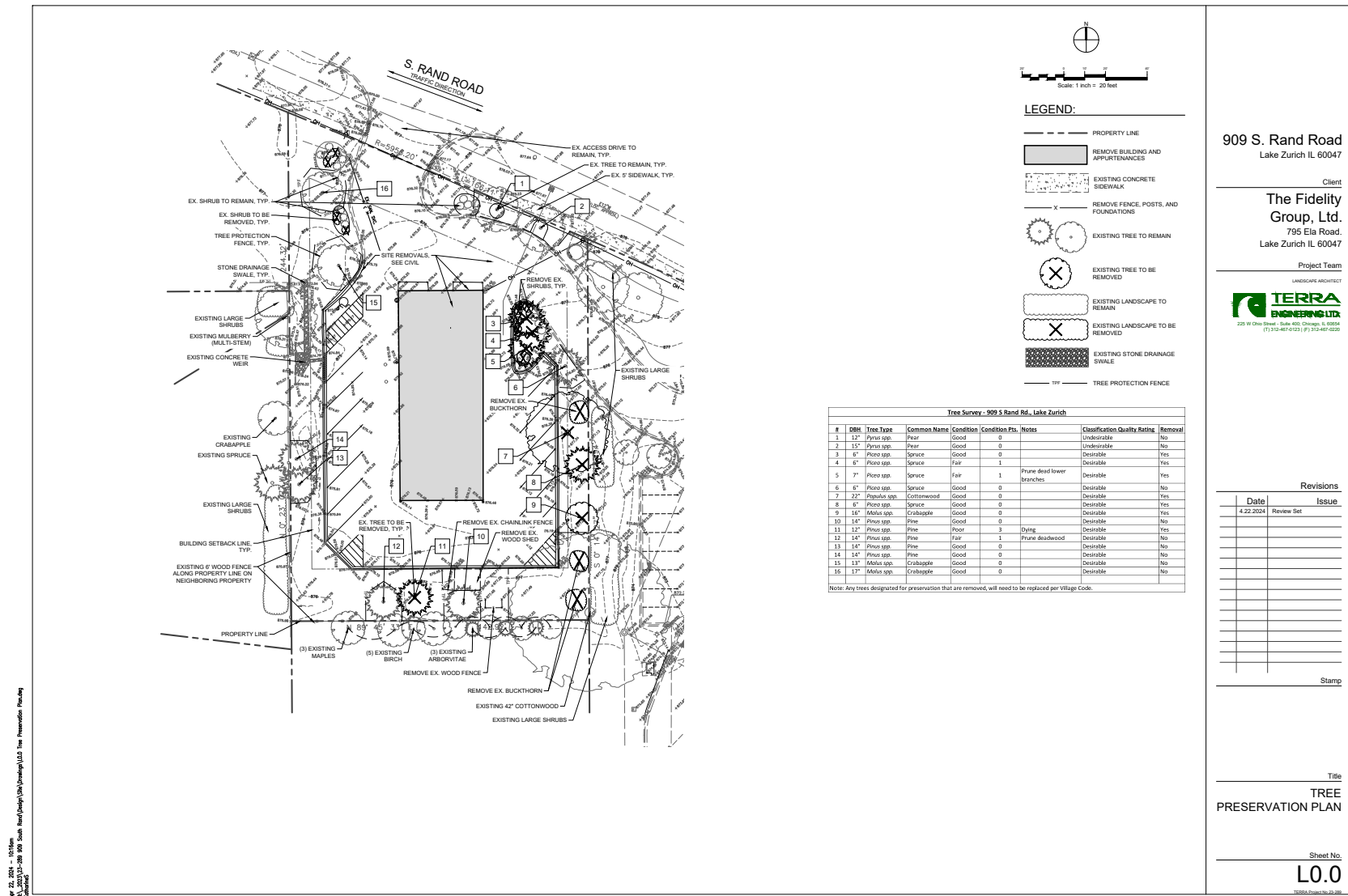
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2971
LICENSE EXPIRES 11/30/2022
EXACTA LAND SURVEYORS
PROFESSIONAL DESIGN FIRM 184008059-0008

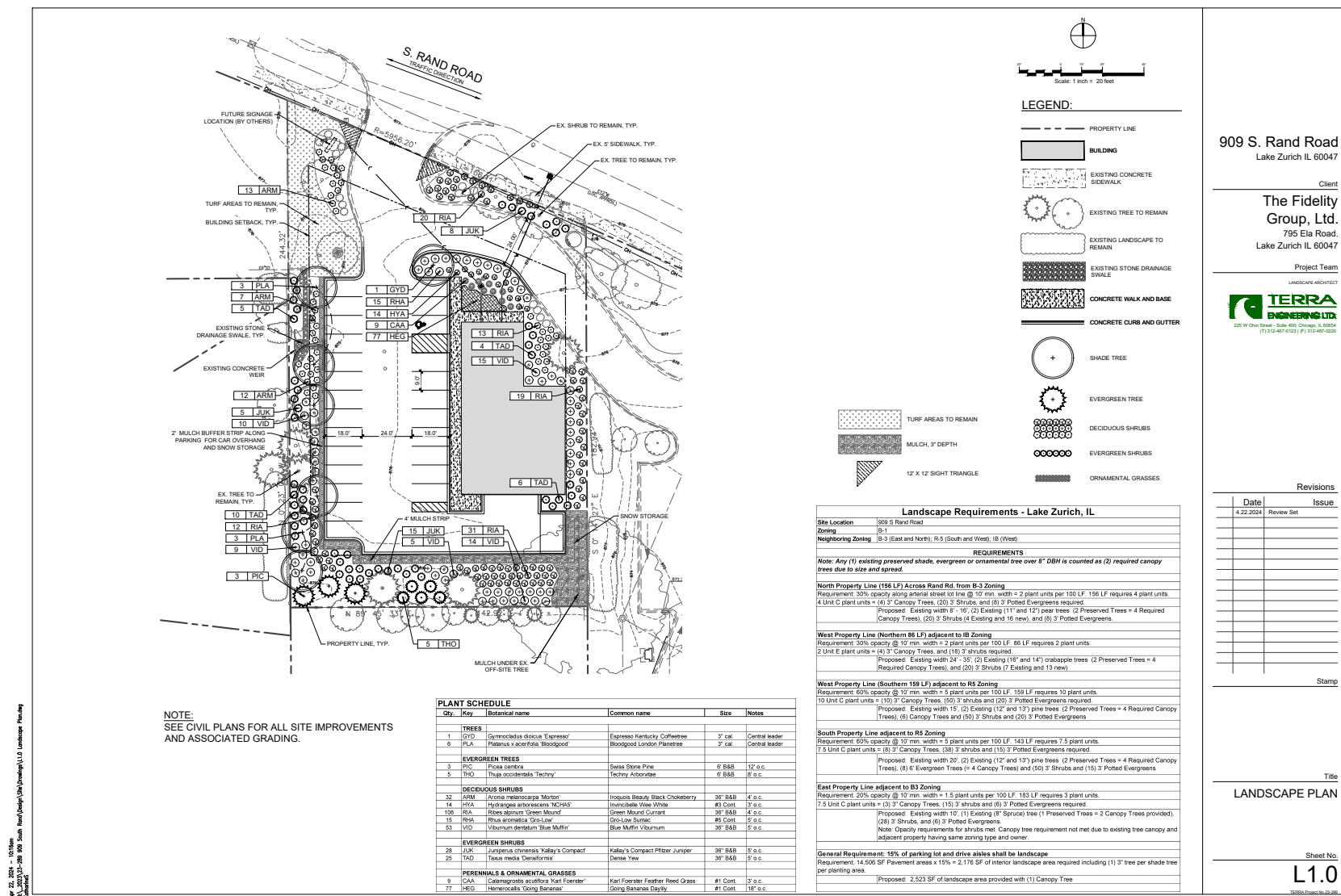
NOTE: PROPER TITLE, LLC COMMITMENT NO. CP122-85483 DATED JUNE 16, 2022 WAS UTILIZED IN THE PREPARATION OF THIS SURVEY



SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

<div>PROPERTY ADDRESS: 909 S RAND ROAD, LAKE ZURICH, ILLINOIS 60047</div> <div>SURVEY NUMBER: 2206.6657</div> <div>CERTIFIED TO: JAS MANAGEMENT, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY; PROPER TITLE, LLC, CHICAGO TITLE INSURANCE COMPANY</div> <div>DATE OF SURVEY: 07/27/22</div> <div>BUYER: JAS MANAGEMENT, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY</div> <div>LENDER:</div> <div>TITLE COMPANY: PROPER TITLE, LLC</div> <div>COMMITMENT DATE: NOT REVIEWED</div> <div>CLIENT FILE NO: CPT22-85483</div> <div>LEGAL DESCRIPTION: THAT PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF RAND ROAD AND THE EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 29; THENCE SOUTH ALONG SAID EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 181.27 FEET; THENCE WEST AT 90 DEGREES TO THE LAST DESCRIBED COURSE 142.92 FEET; THENCE WEST AT 90 DEGREES TO THE LAST DESCRIBED COURSE 142.92 FEET; THENCE NORTH PARALLEL WITH THE SAID EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 244.40 FEET TO THE SOUTHWESTERLY LINE OF SAID RAND ROAD; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY LINE OF RAND ROAD 156.24 FEET, TO THE POINT OF BEGINNING IN LAKE COUNTY, ILLINOIS.</div> <div>FLOOD ZONE INFORMATION:</div> <div>JOB SPECIFIC SURVEYOR NOTES:</div>	<div>GENERAL SURVEYORS NOTES:</div> <div><div>1. The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.</div><div>2. The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.</div><div>3. If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.</div><div>4. This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.</div><div>5. Alterations to this survey map and report by other than the signing surveyor are prohibited.</div><div>6. Dimensions are in feet and decimals thereof.</div><div>7. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.</div><div>8. Unless otherwise noted "SIR" indicates a set iron rebar, 5/8 inch in diameter and twenty-four inches long.</div><div>9. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.</div><div>10. Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.</div><div>11. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.</div><div>12. The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.</div><div>13. Due to varying construction standards, building dimensions are approximate and are not intended to be used for new construction or planning.</div><div>14. Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.</div><div>15. THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.</div></div>	<div>SURVEYORS LEGEND:</div> <div><div><div>LINETYPES</div><div><div>Boundary Line</div><div>Center Line</div><div>Chain Link or Wire Fence</div><div>Easement</div><div>Edge of Water</div><div>Iron Fence</div><div>Overhead Lines</div><div>Structure</div><div>Survey Tie Line</div><div>Vinyl Fence</div><div>Wall or Party Wall</div><div>Wood Fence</div></div></div><div><div>SURFACE TYPES</div><div><div>Asphalt</div><div>Brick or Tile</div><div>Concrete</div><div>Covered Area</div><div>Water</div><div>Wood</div></div></div><div><div>SYMBOLS</div><div><div>Benchmark</div><div>Center Line</div><div>Central Angle or Delta</div><div>Common Ownership</div><div>Control Point</div><div>Catch Basin</div><div>Fire Hydrant</div><div>Find or Set Monument</div><div>Guywire or Anchor</div><div>Manhole</div><div>Tree</div><div>Utility or Light Pole</div><div>Well</div></div></div></div> <div><div>ABBREVIATIONS</div><div><div>(C) - Calculated</div><div>(D) - Deed</div><div>(F) - Field</div><div>(M) - Measured</div><div>(P) - Plat</div><div>(R) - Record</div><div>(S) - Survey</div><div>A/C - Air Conditioning</div><div>AE - Access Easement</div><div>ANE - Anchor Easement</div><div>ASBL - Accessory Setback Line</div><div>B/W - Bay/Box Window</div><div>BC - Block Corner</div><div>BFP - Backflow Preventer</div><div>BLDG - Building</div><div>BLK - Block</div><div>BM - Benchmark</div><div>BR - Bearing Reference</div><div>BRL - Building Restriction Line</div><div>BSMT - Basement</div><div>C - Curve</div><div>C/L - Center Line</div><div>C/P - Covered Porch</div><div>C/S - Concrete Slab</div><div>CATV - Cable TV Riser</div><div>CB - Concrete Block</div><div>CH - Chord Bearing</div><div>CHIM - Chimney</div><div>CLF - Chain Link Fence</div><div>CME - Canal Maintenance Easement</div><div>CO - Clean Out</div><div>CORC - Concrete</div><div>COR - Corner</div><div>CS/W - Concrete Sidewalk</div><div>CUE - Control Utility Easement</div><div>CVG - Concrete Valley Gutter</div><div>D/W - Driveway</div><div>DE - Drainage Easement</div><div>DF - Drain Field</div><div>DH - Drill Hole</div><div>DUE - Drainage & Utility Easement</div><div>ELEV - Elevation</div><div>EM - Electric Meter</div><div>ENCL - Enclosure</div><div>ENT - Entrance</div><div>EOP - Edge of Pavement</div><div>EOW - Edge of Water</div><div>ESMT - Easement</div><div>EUB - Electric Utility Box</div><div>F/DH - Found Drill Hole</div><div>FCM - Found Concrete Monument</div><div>FF - Finished Floor</div></div></div> <div><div>FIP - Found Iron Pipe</div><div>FIPC - Found Iron Pipe & Cap</div><div>FIR - Found Iron Rod</div><div>FIRC - Found Iron Rod & Cap</div><div>FN - Found Nail</div><div>FN&D - Found Nail & Disc</div><div>FRRSPPK - Found Rail Road Spike</div><div>GAR - Garage</div><div>GM - Gas Meter</div><div>ID - Identification</div><div>IE/EE - Ingress/Egress Easement</div><div>ILL - Illegible</div><div>INST - Instrument</div><div>INT - Intersection</div><div>IRRE - Irrigation Easement</div><div>L - Length</div><div>LAE - Limited Access Easement</div><div>LB# - License No. (Business)</div><div>LBE - Limited Buffer Easement</div><div>LE - Landscape Easement</div><div>LME - Lake/Landscape Maintenance Easement</div><div>LS# - License No. (Surveyor)</div><div>MB - Map Book</div><div>MEW - Sewer</div><div>ME - Maintenance Easement</div><div>MES - Mitered End Section</div><div>MF - Metal Fence</div><div>MH - Manhole</div><div>MHWL - Mean High Water Line</div><div>NR - Non-Radial</div><div>NTS - Not to Scale</div><div>NAV/D88 - North American Vertical Datum 1988</div><div>NGVD29 - National Geodetic Vertical Datum 1929</div><div>OG - On Ground</div><div>ORB - Official Records Book</div><div>ORV - Official Record Volume</div><div>O/A - Overall</div><div>O/S - Offset</div><div>OFF - Outside Subject Property</div><div>OH - Overhang</div><div>OHL - Overhead Utility Lines</div><div>OHWL - Ordinary High Water Line</div><div>ON - Inside Subject Property</div><div>P/E - Pool Equipment</div><div>PB - Plat Book</div><div>PC - Point of Curvature</div><div>PCC - Point of Compound Curvature</div><div>PCP - Permanent Control Point</div><div>PI - Point of Intersection</div><div>PLS - Professional Land</div></div> <div><div>Surveyor</div><div>PLT - Planter</div><div>POB - Point of Beginning</div><div>POC - Point of Commencement</div><div>PRC - Point of Reverse Curvature</div><div>PRM - Permanent Reference Monument</div><div>PSM - Professional Surveyor & Mapper</div><div>PT - Point of Tangency</div><div>PUE - Public Utility Easement</div><div>R - Radius or Radial</div><div>R/W - Right of Way</div><div>RES - Residential</div><div>RGE - Range</div><div>ROE - Roof Overhang Easement</div><div>RP - Radius Point</div><div>S/W - Sidewalk</div><div>SBL - Setback Line</div><div>SCL - Survey Closure Line</div><div>SCR - Screen</div><div>SEC - Section</div><div>SEP - Septic Tank</div><div>SEW - Sewer</div><div>SIRC - Set Iron Rod & Cap</div><div>SMWE - Storm Water Management Easement</div><div>SN&D - Set Nail and Disc</div><div>SQFT - Square Feet</div><div>STL - Survey Tie Line</div><div>STY - Story</div><div>SV - Sewer Valve</div><div>SWE - Sidewalk Easement</div><div>TBM - Temporary Bench Mark</div><div>TEL - Telephone Facilities</div><div>TOB - Top of Bank</div><div>TUE - Technological Utility Easement</div><div>TWP - Township</div><div>TX - Transformer</div><div>TYP - Typical</div><div>UE - Utility Easement</div><div>UG - Underground</div><div>UP - Utility Pole</div><div>UR - Utility Riser</div><div>VF - Vinyl Fence</div><div>W/C - Witness Corner</div><div>W/F - Water Filter</div><div>WF - Wood Fence</div><div>WM - Water Meter/Valve Box</div><div>WV - Water valve</div></div>
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Proper Title LLC
1530 E. Dundee Road, Ste 250
Palatine, IL 60074
(847) 603-2525

January 19, 2023

Salvi, Salvi & Wifler, P.C.
335 Chancery Lane
Lake Zurich, IL 60047

PT File No.: CPT22-85483
RE: Purchase of 909 S Rand Road, Lake Zurich, IL 60047

To whom it may concern:

In connection with your recent Purchase of the above-referenced property, please find enclosed the following items for your records:

1. Original Trustee's Deed
2. Final Owner's Title Insurance Policy No. 7230600-229423877.

We appreciate the opportunity to be of service to you, and if you need any further assistance, please do not hesitate to contact us.

Sincerely,

Proper Title, LLC

Policy Production Department
postclosing@proptitle.com
(224)513-5137

Encl.

PT Owners Policy Cover Letter

CPT22-85483



Policy No.: 130472-2-CPT22-85483-2023.7230600-229423877

OWNER'S POLICY OF TITLE INSURANCE

Issued by

CHICAGO TITLE INSURANCE COMPANY

Any notice of claim and any other notice or statement in writing required to be given the Company under this Policy must be given to the Company at the address shown in Section 18 of the Conditions.

COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B, AND THE CONDITIONS, CHICAGO TITLE INSURANCE COMPANY, a Florida corporation, (the "Company") insures as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the Title. This Covered Risk includes but is not limited to insurance against loss from
 - (a) A defect in the Title caused by
 - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
 - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
 - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
 - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
 - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
 - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
 - (vii) a defective judicial or administrative proceeding.
 - (b) The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
 - (c) Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.
4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (a) the occupancy, use, or enjoyment of the Land;
 - (b) the character, dimensions, or location of any improvement erected on the Land;
 - (c) the subdivision of land; or
 - (d) environmental protection
 if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.
6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. Title being vested other than as stated Schedule A or being defective
 - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
 - (b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records
 - (i) to be timely, or

7230600 ALTA Owners Policy 06/17/2006_306_NS
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- (ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.
10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions

IN WITNESS WHEREOF, CHICAGO TITLE INSURANCE COMPANY has caused this policy to be signed and sealed by its duly authorized officers.

CHICAGO TITLE INSURANCE COMPANY

Proper Title, LLC
1530 East Dundee Rd Ste 250
Palatine, IL 60074
Tel: 847-603-2525
Fax:



By:

Michael J. Nolan

President

Attest:

Marjorie Nemzura

Secretary

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;
 or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters:
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

CONDITIONS

1. DEFINITION OF TERMS

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The following terms when used in this policy mean:

- (a) "Amount of Insurance": The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b), or decreased by Sections 10 and 11 of these Conditions.
- (b) "Date of Policy": The date designated as "Date of Policy" in Schedule A.
- (c) "Entity": A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) "Insured": The Insured named in Schedule A.
 - (i) The term "Insured" also includes
 - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
 - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
 - (C) successors to an Insured by its conversion to another kind of Entity;
 - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the

Title

- (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured,
- (2) if the grantee wholly owns the named Insured,
- (3) if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
- (4) if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes.
- (ii) With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.
- (e) "Insured Claimant": An Insured claiming loss or damage.
- (f) "Knowledge" or "Known": Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.
- (g) "Land": The land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.
- (h) "Mortgage": Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.
- (i) "Public Records": Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.
- (j) "Title": The estate or interest described in Schedule A.
- (k) "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

5. DEFENSE AND PROSECUTION OF ACTIONS

(a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party



asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters

insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.

(b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.

(c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal any adverse judgment or order.

6. DUTY OF INSURED CLAIMANT TO COOPERATE

(a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title, or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligations to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

(b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath, produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

(a) To Pay or Tender Payment of the Amount of Insurance.

To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay.

Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in this subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

(b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

(i) To pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or

(ii) To pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

(a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of

(i) the Amount of Insurance; or

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(ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.

(b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,

(i) the Amount of Insurance shall be increased by 10%, and

(ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.

(c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

9. LIMITATION OF LIABILITY

(a) If the Company establishes the Title, or removes the alleged defect, lien or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.

(b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.

(c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY

All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.

11. LIABILITY NONCUMULATIVE

The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.

12. PAYMENT OF LOSS

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT

(a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies.

If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

(b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.

14. ARBITRATION

Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT

(a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.

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(b) Any claim of loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.

(c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.

(d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.

16. SEVERABILITY

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

17. CHOICE OF LAW; FORUM

(a) Choice of Law: The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefore in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located.

Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

(b) Choice of Forum: Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

18. NOTICES, WHERE SENT

Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at CHICAGO TITLE INSURANCE COMPANY, Attn: Claims Department, P.O. Box 45023, Jacksonville, FL 32232-5023.



FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Effective August 1, 2021

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, “FNF,” “our,” or “we”) respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary’s website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver’s license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an “FNF Website”) from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a “cookie” may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer’s hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

Effective August 1, 2021

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Web Beacons. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to “Do Not Track” features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates’, and others’ products and services, jointly or independently.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see “Choices with Your Information” to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an “opt out” request as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the “California Privacy” link on our website (<https://fnf.com/pages/californiaprivacy.aspx>) or call (888) 413-1748.

For Nevada Residents: You may be placed on our internal Do Not Call List by calling (888) 714-2710 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

For Vermont Residents: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF’s headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the “Service Websites”). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender’s privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender’s privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the

Effective August 1, 2021

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mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

Accessing and Correcting Information; Contact Us

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, visit FNF's [Opt Out Page](#) or contact us by phone at (888) 714-2710 or by mail to:

Fidelity National Financial, Inc.
601 Riverside Avenue,
Jacksonville, Florida 32204
Attn: Chief Privacy Officer

Effective August 1, 2021

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Proper Title, LLC
as an Agent for Chicago Title Insurance Company
1530 E. Dundee Rd. Ste. 250, Palatine, IL 60074

SCHEDULE A

File No.: CPT22-85483
Policy No.: 7230600-229423877
Amount of Insurance: \$550,000.00

Premium: \$2,575.00

Date of Policy: January 11, 2023 at 12:16 PM

1. Name of Insured:

JAS Management, LLC, an Illinois limited liability company

2. The estate or interest in the land which is covered by this policy is:

FEE SIMPLE

3. Title to the estate or interest in the land is vested in:

JAS Management, LLC, an Illinois limited liability company

4. The land referred to in this policy is described as follows:

SEE SCHEDULE C ATTACHED HERETO

Proper Title LLC



Charity Murow

ALTA Owner's
Schedule A
(06/17/2006)

CPT22-85483

Proper Title, LLC
as an Agent for Chicago Title Insurance Company
1530 E. Dundee Rd. Ste. 250, Palatine, IL 60074

SCHEDULE B

File No.: CPT22-85483

Policy No.: 7230600-229423877

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Standard Exceptions

1. Rights or claims of parties in possession not shown by the public records.
 2. Easements, or claims of easements, not shown by the public records.
 3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the land.
 4. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
 5. Taxes or special assessments which are not shown as existing liens by the public records.
 6. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this commitment.
2. The lien of taxes for the years 2022 and thereafter.

Permanent Index Number: 14-29-200-026

Taxes for the years 2022 and thereafter are not yet due, payable or delinquent.
 3. Designation and establishment of Federal Aid Route No. 60, n/k/a U. S. Route #12, as a "freeway" (pursuant to the statutes of the State of Illinois) by instrument dated March 30, 1959 and recorded April 21, 1959 as document 1027587 denying new highway, street, road, alley or other public way to land from State Route No. 60, except upon written consent of the Department of Public Works and Buildings of the State of Illinois.
 4. Easement in favor of Northern Illinois Gas Company, and its successors and assigns, to install, operate and maintain all equipment necessary for the purpose of serving the land and other property, together with the right of access to said equipment, and the provisions relating thereto contained in the grant recorded July 7, 1967 as document no. 1342858, affecting that part of the land described on Exhibit "A" attached to said instrument.
 5. Rights of the public and of the State of Illinois, in and to so much of the land as dedicated for road

ALTA Owner's/Leasehold Owner's
Schedule B (06/17/2006)

CPT22-85483

Chicago Title Insurance Company

Policy No.: 7230600-229423877

SCHEDULE B
(Continued)

purposes by instrument dated February 18, 1961 and recorded February 24, 1961 as document 1099717.

6. Rights of the public of the State of Illinois in and to so much of the land used for highway purposes as dedicated for road purposes by instrument dated May 13, 1938 and recorded December 12, 1938 as document 456867.

7. Rights of way for drainage tiles, ditches, feeders, laterals and underground pipes, if any.

8. Rights of the public and quasi-public utilities to maintain clean out, water meter/ valve box, inlet, sewer manhole and utility pole as disclosed by survey made by Exacta Land Surveyors, LLC, order number 2206.6657 and dated July 27, 2022.

ALTA Owner's/Leasehold Owner's
Schedule B (06/17/2006)

CPT22-85483

Proper Title, LLC
as an Agent for Chicago Title Insurance Company
1530 E. Dundee Rd. Ste. 250, Palatine, IL 60074

SCHEDULE C

PROPERTY DESCRIPTION

The land referred to in this Policy is described as follows:

THAT PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF RAND ROAD AND THE EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 29; THENCE SOUTH ALONG SAID EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 181.27 FEET; THENCE WEST AT 90 DEGREES TO THE LAST DESCRIBED COURSE 142.92 FEET; THENCE WEST AT 90 DEGREES TO THE LAST DESCRIBED COURSE 142.92 FEET; THENCE NORTH PARALLEL WITH THE SAID EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 244.40 FEET TO THE SOUTHWESTERLY LINE OF SAID RAND ROAD; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY LINE OF RAND ROAD 156.24 FEET, TO THE POINT OF BEGINNING IN LAKE COUNTY, ILLINOIS.

ALTA
(Schedule C)

CPT22-85483

PROPER TITLE, LLC

OPT-22-85483
**TRUSTEE'S DEED
 (ILLINOIS)**

Type: DTR
 Recorded: 1/11/2023 12:16:08 PM
 Fee Amt: \$885.00 Page 1 of 3
 Receipt#: 202300001440
 IL Rental Housing Fund: \$9.00
 State Stamp Fee: \$550.00
 County Stamp Fee: \$275.00
 Lake County IL
 Anthony Vega Lake County Clerk

File# 7953505

REAL ESTATE TRANSFER TAX

County:	\$275.00
Illinois:	\$550.00
Total:	\$825.00
Stamp No:	0-943-159-432
Declaration ID:	90231204918729
Instrument No:	7953505
Date:	11-Jan-2023

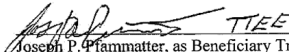
THE GRANTORS, Joseph P. Pfammatter, as Beneficiary Trustee of The Sharon E. Pfammatter Living Trust dated July 28, 2010, of the Village of Lake Zurich, County of Lake, State of Illinois for and in consideration of TEN AND 00/100 DOLLARS (\$10.00), in hand paid, convey to JAS Management, LLC, an Illinois limited liability company, of the Village of Lake Zurich, County of Lake, State of Illinois all interest in the following described real estate commonly known as 909 S Rand Road, Lake Zurich, IL 60047 and legally known as:

THAT PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF RAND ROAD AND THE EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 29; THENCE SOUTH ALONG SAID EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 181.27 FEET; THENCE WEST AT 90 DEGREES TO THE LAST DESCRIBED COURSE 142.92 FEET; THENCE WEST AT 90 DEGREES TO THE LAST DESCRIBED COURSE 142.92 FEET; THENCE NORTH PARALLEL WITH THE SAID EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 244.40 FEET TO THE SOUTHWESTERLY LINE OF SAID RAND ROAD; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY LINE OF RAND ROAD 156.24 FEET, TO THE POINT OF BEGINNING IN LAKE COUNTY, ILLINOIS.

Permanent Real Estate Index Number(s): 14-29-200-026

This deed is executed by the parties of the first part, as Trustees, as aforesaid, pursuant to and in the exercise of the power and authority granted to and vested in them by the terms of said Deed or Deeds in Trust and the provisions of said Trust Agreement above mentioned, and of every other power and authority thereunto enabling, SUBJECT, HOWEVER, to: all unpaid general taxes and special assessments; pending litigation, if any, affecting the said real estate; building lines; building, liquor and other restrictions of record, if any; Zoning and Building Laws and Ordinances; easements of record, if any; and rights and claims of parties in possession; and to those additional items, if any, listed on the reverse side hereof which are hereby incorporated by reference herein.

Dated this 25 day of November, 2022.

 **TRUSTEE**
 Joseph P. Pfammatter, as Beneficiary Trustee
 of The Sharon E. Pfammatter Living Trust
 dated July 28, 2021

~~STATE OF ILLINOIS~~)
) SS
 COUNTY OF ~~HAMILTON~~)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT Joseph P. Pfammatter personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he signed, sealed and delivered in the instrument as his free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal, this 25 day of November, 2022.



STEPHEN G. WHEELER
 NOTARY PUBLIC, STATE OF OHIO
 HAMILTON COUNTY
 My Commission Expires 06/18/2023

Stephen G. Wheeler
 Notary Public

THIS INSTRUMENT PREPARED BY
 Minchella & Associates, Ltd.
 7538 St. Louis Ave.
 Skokie, IL 60076

MAIL TO:
 Peter J. Wifler
 Salvi, Salvi & Wifler, P.C.
 335 Chancery Lane
 Lake Zurich, IL 60047

SEND SUBSEQUENT TAX BILLS TO:
 JAS Management, LLC
745 E 19 RD STE 110
LAKE ZURICH IL 60047

18 N. County Street
Waukegan, IL 60085

Mary Ellen Vanderventer
Lake County Recorder of Deeds

(847)350-6673
(FAX) (847)625-7200

PLAT ACT AFFIDAVIT

STATE OF ILLINOIS Document No.: _____
COUNTY OF LAKE
Joseph Plummer, Successor Trustee of the commercial property at 404 Landea
being duly sworn on oath, states that resides at 610 Michaels & Associates, Ltd., 7530 St. Louis
Avenue, Skokie, IL 60076; and that the attached deed is not in violation of the Plat Act, Ch. 765 ILCS 205/1.1(b), Lake
as the provision of this Act do not apply and no plat is required due to the following Exception: Surich, IL

1. The division or subdivision of the land into parcels or tracts of five (5) acres or more in size which does not involve any new streets or easements of access;
2. The divisions of lots or blocks of less than one (1) acre in any recorded subdivision which does not involve any new streets or easements of access;
3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
4. The conveyance of parcels of land or interests therein for use as right of way for railroads or other public utility facilities and other pipe lines which does not involve any new streets or easements of access;
5. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access;
6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
7. Conveyances made to correct descriptions in prior conveyances;
8. The sale or exchange of parcels or tracts of land following the division into no more than two (2) parts of a particular parcel or tract of land existing on July 17, 1959 and not involving any new streets or easements of access;
9. The sale of a single lot of less than five (5) acres from a larger tract when a survey is made by a registered surveyor; provided, however, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that this exemption does not invalidate any local requirements applicable to the subdivision of land.
10. The conveyance of land does not involve any land division and is described in the same manner as title was taken by grantor(s).

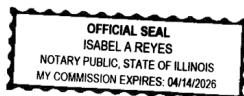
CIRCLE NUMBER ABOVE WHICH IS APPLICABLE TO ATTACHED DEED.

Affiant further states that this affidavit is made for the purpose of inducing the Recorder of Lake County, Illinois to accept the attached deed for recording.

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Joseph Plummer, Successor
Sharon E. Plummer, as Trustee of the Sharon E. Plummer Living Trust dated July 28, 2010
BY Sharon E. Plummer Sharon E. Plummer
Trustee Sharon E. Plummer

SUBSCRIBED and SWORN to before me this 25 day
of November, 2022



Notary [Signature]
(seal)

Revised: September 7, 2010 11:40 AM