



AGENDA PACKET
VILLAGE OF LAKE ZURICH
Village Board of Trustees Meeting

July 18, 2022
07:00 pm

VILLAGE OF LAKE ZURICH

VILLAGE BOARD OF TRUSTEES MEETING

JULY 18, 2022
07:00 PM
AGENDA

1. CALL TO ORDER

2. ROLL CALL

Mayor Thomas Poynton, Trustee Dan Bobrowski, Trustee Mary Beth Euker, Trustee Janice Gannon, Trustee Marc Spacone, Trustee Jonathan Sprawka, Trustee Greg Weider.

3. PLEDGE OF ALLEGIANCE

4. PUBLIC COMMENT

This is an opportunity for residents to comment briefly on matters included on the agenda and otherwise of interest to the Board of Trustees. Public Comment is limited to 30 minutes total and up to 5 minutes per speaker.

5. PRESIDENT'S REPORT / COMMUNITY UPDATE

6. CONSENT AGENDA

(These titles will be read by the Village Clerk and approved by a single Roll Call Vote. Any item may be pulled from the Consent Agenda for discussion by any member of the Board).

A. Approval of Minutes of the Village Board Meeting, June 20, 2022

Attachment: [6a.pdf](#)

B. Ratification of Semi-Monthly Warrant Register Dated July 5, 2022 Totaling \$301,977.08

Attachment: [07-05-22 WARRANT.pdf](#)

C. Approval of Semi-Monthly Warrant Register Dated July 18, 2022 Totaling \$488,489.35

Attachment: [07-18-2022 WARRANT.pdf](#)

D. Paulus Park Pavilion Rental for Lake Property Owner's Association for Member Social on August 21, 2022

Summary: The LPOA requests to reserve the Playground Pavilion for its member social event at Paulus Park on Sunday, August 21, 2022 from 10 am -- 7 pm for approximately 100 -- 150 attendees. The Parks and Recreation Advisory Board recommended approval of this request at its June 14, 2022 meeting. This event proposal includes alcohol to be available to attendees, which will require a Class F -- Single Private Event liquor license for that day, which will be applied for upon approval of pavilion rental request.

Attachment: [6d.pdf](#)

E. Paulus Park Pavilion Rental for D & W Fine Pack Company Picnic on August 11, 2022

Summary: D & W Fine Pack requests to reserve the Lakeside Pavilion for its company picnic at Paulus Park on Thursday, August 11, 2022 from 11 am -- 6 pm for approximately 200 attendees. The Parks and Recreation Advisory Board has not reviewed this request due to the timing of its scheduled meetings but Staff recommends approval.

Attachment: [6e - 6f.pdf](#)

F. Paulus Park Pavilion Rental for Lake Zurich Girl Scouts Picnic on September 18, 2022

Summary: The Lake Zurich Girl Scouts requests to reserve the Center Stage Pavilion on Sunday, September 18, 2022 from 10 am -- 7 pm for approximately 120 attendees. The Parks and Recreation Advisory Board has not reviewed this request due to the timing of its scheduled meetings but Staff recommends approval.

Attachment: [6e - 6f.pdf](#)

G. Resolution Ratifying and Reauthorizing the Execution and Attestation of an Annexation Agreement for The Wildwood Estates of Lake Zurich at 24909 West Signal Hill Road / Honey Lake Road (Assign Reso. #2022-07-068)

Summary: The current owner and development of this approximately 34.5-acre property, Wildwood of Lake Zurich LLC, requests an amendment to the previously-approved annexation agreement to revise the signatories within the agreement. This property was annexed into Village boundaries on September 21, 2020 with Resolution #2020-09-052 to allow for its development.

On December 30, 2021, ownership title of the property was conveyed to a new owner "Wildwood of Lake Zurich, LLC," comprising of two members -- Projades LLC and Prestige Development LLC. As a result of the change in ownership and management, the original signatories of the Annexation Agreement will be amended with Mr. Ram Prashantha of Projades being the new signatory on the agreement document as owner and developer of the project.

Attachment: [6g.pdf](#)

H. Ordinance Amending Title 12 of the Lake Zurich Municipal Code to Amend Regulations Related to Construction Activity Signs (Assign Ord. #2022-07-468)

Summary: The Village of Lake Zurich has filed an application for a proposed text amendment to Title 12 of the Municipal Code entitled "Sign Code" for the purpose of increasing the allowable area of Construction Activity Signs, specifically on required construction fences associated with ongoing commercial development within the Village. The Planning and Zoning Commission held a public hearing on June 15, 2022 to consider the application and voted 4-0 in favor of recommending approval of the text amendment.

Attachment: [6h.pdf](#)

I. Ordinance Granting Relief for Setbacks and Minimum Landscape Requirement for Walgreen's at 910 North Rand Road (Assign Ord. #2022-07-469)

Summary: The Walgreens at 910 North Rand Road has filed an application for zoning variations for setbacks and minimum landscape requirements triggered by Lake County's acquisition of the southerly portion of its property for the Miller Road widening project. The Planning and Zoning Commission held a public hearing on June 15, 2022 to consider the application and voted 4-0 in favor of recommending approval of the Variations along the southern lot line. The Commission also recommended that continued conformance with the Lake County Watershed Development Ordinance be acknowledged within the approval ordinance.

Attachment: [6i.pdf](#)

J. Ordinance Amending Title 3 of Chapter 3 of the Village of Lake Zurich Municipal Code to Increase Authorized Class-A Restaurant Full Service Liquor License for Treehouse Ventures, LLC Doing Business as The Treehouse Café at 985 South Rand Road (Assign Ord. #2022-07-470)

Summary: Treehouse Ventures, LLC at 985 South Rand Road has requested a full-service restaurant Class-A Liquor License for the dispensing of alcoholic beverages. All required documentation, certification, and background checks have been successfully completed for the issuance of this liquor license.

Attachment: [6j.pdf](#)

7. NEW BUSINESS

(This agenda item includes matters coming to the Board of Trustees for discussion and possible action).

A. Ordinance Granting a Planned Unit Development for JP Morgan Chase Bank at 455 South Rand Road (Assign Ord. #2022-07-471) (Trustee Bobrowski)

Summary: JP Morgan Chase is requesting approval to demolish the existing vacant building located on the southwest corner of Rand Road and Route 22, 455 South Rand Road, and replace it with a new 6,282 square-foot retail banking center. The Applicant proposes to reconfigure a portion of the existing parking, which currently contains 48 parking spaces, creating a new parking area with 45 parking spaces. These will be located at the front of the building. Four new drive-through ATM lanes and one pass-through lane will be constructed along the side of the building.

The Planning and Zoning Commission considered this proposal at a public hearing on June 15, 2022, voting unanimously to recommend approval of this Planned Unit Development incorporating the conditions for approval provided by Village Staff in its report, with the addition of a condition related to the resolution of traffic circulation concerns on and off the property.

Recommended Action: A motion to approve Ordinance #2022-07-471 Granting a Planned Unit Development for JP Morgan Chase Bank at 455 South Rand Road.

Attachment: [7a.pdf](#)

B. Resolution Authorizing the Execution of an Intergovernmental Agreement Regarding Development of the Plan and Agreement to Consolidate Participating Lake County Public Safety Answering Points in the Amount Not-to-Exceed \$50,000 (Assign Reso #2022-07-069) (Trustee Gannon)

Summary: As a result of Illinois legislation mandating public safety dispatch center consolidation, the Lake County Emergency Telephone System Board (ETSB) commissioned a series of studies in 2013, 2015, and 2018. All of these concluded that public safety dispatch consolidation is a mutually beneficial path for public safety entities in Lake County and the communities they serve.

The most significant step toward regional dispatch consolidation occurred in October 2021 when the Lake County Board authorized entering into an agreement for the design and construction of a consolidated 911 center and Emergency Operations Center on the Lake County campus in Libertyville. The proposed design is scheduled to be complete at the end of 2022 with a goal of construction completion by 2026.

As consolidation efforts progress, all public safety dispatch centers in Lake County have been invited to participate in a future intergovernmental agreement establishing a new consolidation center for municipal partners. Each municipal partner is being asked to contribute \$50,000 to hire a project manager to development this future intergovernmental agreement.

Recommended Action: A motion to approve Resolution #2022-07-069 Authorizing the Execution of an Intergovernmental Agreement Regarding Development of the Plan and Agreement to Consolidate Participating Lake County Public Safety Answering Points in the Amount Not-to-Exceed \$50,000.

Attachment: [7b.pdf](#)

8. TRUSTEE REPORTS

9. VILLAGE STAFF REPORTS

- Village Manager's Office Presentation of 20-Year Community Investment Plan
- Village Manager's Office Presentation of Business Outreach Survey Results
- Finance Department Fiscal Year 2021 Treasurer's Report
- Monthly Data Metric Reports

Attachment: [Village Managers Office.pdf](#)

Attachment: [Finance Department.pdf](#)

Attachment: [Community Development Department.pdf](#)

Attachment: [Public Works Department.pdf](#)

Attachment: [Park and Rec Department.pdf](#)

Attachment: [Fire Department.pdf](#)

Attachment: [Police Department.pdf](#)

Attachment: [FY21 TREASURERS RPT.pdf](#)

10. EXECUTIVE SESSION called for the purpose of:

*5 ILCS 120 / 2 (c) (21) review of executive session minutes.

*5 ILCS 120 / 2 (c) (1) appointment, employment, compensation, discipline, performance or dismissal of specific employees.

11. ADJOURNMENT

UNAPPROVED MINUTES
VILLAGE OF LAKE ZURICH
Board of Trustees
70 East Main Street



AGENDA ITEM

6A

Monday, June 20, 2022. 7:00 p.m.

1. **CALL TO ORDER** by Mayor Thomas M. Poynton at 7.00pm.
2. **ROLL CALL:** Mayor Thomas Poynton, Trustee Dan Bobrowski, Trustee Mary Beth Euker, Trustee Marc Spacone, Trustee Jonathan Sprawka. Trustee Janice Gannon and Trustee Greg Weider was absent and excused. Also in attendance: - Village Manager Ray Keller, Village Atty. Scott Uhler, Management Services Dir. Michael Duebner, Fire Chief Dave Pilgard, Police Chief Steve Husak.
3. **PLEDGE OF ALLEGIANCE**
4. **PUBLIC COMMENT**
Tom Jarosinski, 127 Pinetree Row, addressed the Board on the issue of Bobbers Restaurant customers using his street for overflow parking. The restaurant has a sign directing patrons to the street parking. He shared photographs displaying the problem and he requested that the Village address the issue.
5. **PRESIDENT'S REPORT / COMMUNITY UPDATE**
 - A. **Oath of Office for Firefighter / Paramedic Joel Fishman.** Fire Chief Pilgard introduced Mike Hilt, Commissioner of the Police and Fire Commission and Fire Fighter Joel Fishman. The Fire Chief gave background information on Mr. Fishman. Mike Hilt administered the Oath of Office and Alison Fishman pinned her husband.
6. **CONSENT AGENDA**
 - A. Approval of Minutes of the Village Board Meeting, June 6, 2022
 - B. Approval of Semi-Monthly Warrant Register Dated June 20, 2022 Totaling \$598,166
 - C. Ordinance Approving a Special Use Permit for Scenthound at 708 South Rand Road ORD#2022-06-466
Summary: A Zoning Application has been filed with the Village seeking a Special Use Permit to establish a dog grooming and wellness business at 708 South Rand Road. This property is located within the B-3 Regional Shopping Zoning District. No overnight boarding or outdoor activity is proposed at this location. he Planning and Zoning Commission held a public hearing on June 15, 2022 to consider this request and voted 4-0 in favor of recommending approval.

Village of Lake Zurich Board of Trustees Regular Meeting. Monday, June 20th 2022. 2

D. Ordinance Approving a Special Use Permit for Tactic Sports Performance at 353 Enterprise Parkway ORD. #2022-06-467

Summary: A Zoning Application has been filed with the Village seeking a Special Use Permit to establish a private youth athletic training facility at 353 Enterprise Parkway. This property is located within the I-Industrial Zoning District. The anticipated traffic count per hour of operation is 10 vehicles with 2-4 employees working at one time, and the business seeing between 100-150 customers a week. The Planning and Zoning Commission held a public hearing on June 15, 2022 to consider this request and voted 4-0 in favor of recommending approval.

Recommended Action: A motion was made by Trustee Sprawka, seconded by Trustee Euker, to approve the Consent Agenda as presented.

AYES: 4 Trustees Bobrowski, Euker, Spacone, Sprawka.

NAYS: 0

ABSENT: 2 Trustees Gannon, Weider.

MOTION CARRIED.

7. NEW BUSINESS

None at this time.

8. TRUSTEE REPORTS

Trustee Sprawka responded to the resident's comment earlier on the parking issue in his neighbourhood. He advised bringing this problem to the CPAC committee along with the documentation. Police Chief Husak explained the job of CPAC. Mr. Sprawka addressed the social media comments that the village is not allowing parking on a grassy empty lot and he stated that is not correct. Village Manager Keller stated that the Village has not been approached by anyone on parking in the empty lot and it is against code. Discussion followed on changes to the Bobbers building and parking lot, possible parking at Kuechmann Park, parking grandfathered from Eng's Tea House, the previous owners.

9. VILLAGE STAFF REPORTS

A. Monthly Data Metric Reports

10. EXECUTIVE SESSION called for the purpose of:

5 ILCS 120 / 2 (c) (21) review of executive session minutes for March 21st and April 4th, 2022; 5 ILCS 120 / 2 (c) (2) collective bargaining and 5 ILCS 120 / 2 (c) (1) appointment, employment, compensation, discipline, performance or dismissal of specific employees with no further business being taken in Open Session

Motion was made by Trustee Spacone, seconded by Trustee Euker, to move to Executive Session for the purpose of: 5 ILCS 120 / 2 (c) (21) approval of executive session minutes; 5 ILCS 120 / 2 (c) (2) collective bargaining and 5 ILCS 120 / 2 (c) (1) appointment, employment, compensation, discipline, performance or dismissal of specific employees.

AYES: 4 Trustees Bobrowski, Euker, Spacone, Sprawka.

NAYS: 0

ABSENT: 2 Trustees Gannon, Weider.

MOTION CARRIED.

Village of Lake Zurich Board of Trustees Regular Meeting, Monday, June 20th 2022. 3

11. **ADJOURNMENT**

Meeting adjourned to Executive Session with no further Open Session business at 7.28pm

Respectfully submitted:

Kathleen Johnson, Village Clerk.

Approved by:

Mayor Thomas M. Poynton

Date

VILLAGE OF LAKE ZURICH
WARRANT REPORT - 07/05/2022
\$301,977.08

<i>GL Number</i>	<i>GL Desc</i>	<i>Vendor</i>	<i>Invoice Description</i>	<i>Amount</i>
Fund 101 GENERAL				
Dept 00000				
101-00000-15001	PREPAID EXPENDITURES	VERMONT SYSTEMS, INC.	MAINTENANCE FOR RECTRAC AND WEBTRAC	3,066.96
101-00000-21455	BUILDING DEPOSIT PAYABLES	ACKERMANN, PAUL	BD PAYMENT REF - PERMIT #PB21-1110	68.00
101-00000-21455	BUILDING DEPOSIT PAYABLES	PADDOCK PUBLICATIONS INC.	LEGAL NOTICE #4583159 - 353 ENTERPRISE	93.15
101-00000-21455	BUILDING DEPOSIT PAYABLES	PADDOCK PUBLICATIONS INC.	LEGAL NOTICE #4583160 - 910 N RAND	207.00
101-00000-21455	BUILDING DEPOSIT PAYABLES	PADDOCK PUBLICATIONS INC.	LEGAL NOTICE #4583163 - 455 S RAND	197.80
101-00000-21455	BUILDING DEPOSIT PAYABLES	PADDOCK PUBLICATIONS INC.	LEGAL NOTICE #4583164 - 708 RAND	115.00
101-00000-21455	BUILDING DEPOSIT PAYABLES	PADDOCK PUBLICATIONS INC.	LEGAL NOTICE #4583165 - 440 N OLD RAND	147.20
101-00000-21455	BUILDING DEPOSIT PAYABLES	SHEETZ, NOLAN	BD PAYMENT REF - WRG PERMIT	130.00
		Total For Dept 00000		<u>4,025.11</u>
Dept 12001 VILLAGE ADMIN ADMINISTRATION				
101-12001-51654	MEMBERSHIPS & SUBSCRIP	PIONEER PRESS	LZ COURIER SUBSCRIPTION	128.30
101-12001-52111	OTHER PROFESSIONAL SVCS	TESKA ASSOCIATES	INDUSTRIAL TIF RESEARCH	1,720.95
		Total For Dept 12001 VILLAGE ADMIN ADMINISTRATION		<u>1,849.25</u>
Dept 12120 VILLAGE ADMIN HUMAN RESOURCES				
101-12120-54305	EMPLOYEE EXAMS	ADVOCATE OCCUPATIONAL HEALTH	NEW HIRE - MGMT INTERN	123.00
101-12120-54305	EMPLOYEE EXAMS	ADVOCATE OCCUPATIONAL HEALTH	NEW HIRE - PD & PW SEASONAL	564.00
		Total For Dept 12120 VILLAGE ADMIN HUMAN RESOURCES		<u>687.00</u>
Dept 17001 TECHNOLOGY ADMINISTRATION				
101-17001-52111	OTHER PROFESSIONAL SVCS	GOOGLE	GOOGLE SERVICE - JUN 2022	24.00
101-17001-52111	OTHER PROFESSIONAL SVCS	ADOBE	CREATIVE CLOUD - MAY 2022	224.14
101-17001-52111	OTHER PROFESSIONAL SVCS	MICROSYSTEMS INC.	MS CLOUD SERVICES - MAY 2022	95.78
101-17001-52118	SOFTWARE MAINTENANCE	VERMONT SYSTEMS, INC.	MAINTENANCE FOR RECTRAC AND WEBTRAC	3,066.96
101-17001-53203	TELEPHONE & DATA SVCS	COMCAST CABLE COMMUNICATIONS MGM	COMBINED INTERNET - MAY/JUN 2022	4,323.96
		Total For Dept 17001 TECHNOLOGY ADMINISTRATION		<u>7,734.84</u>

VILLAGE OF LAKE ZURICH
WARRANT REPORT - 07/05/2022
\$301,977.08

<i>GL Number</i>	<i>GL Desc</i>	<i>Vendor</i>	<i>Invoice Description</i>	<i>Amount</i>
Dept 24001 POLICE ADMINISTRATION				
101-24001-51652	TRAINING AND MEETINGS	GRUNDER, ANTHONY	TRAINING SUPPLIES FOR HOSTING COURSES	77.09
101-24001-53203	TELEPHONE & DATA SVCS	COMCAST CABLE COMMUNICATIONS MGM	CABLE - PD	63.18
101-24001-53204	CELL PHONES & PAGERS	AT & T	CELL PHONES - PD MAY 2022	346.86
101-24001-53208	OFFICE SUPPLIES	AMAZON.COM SALES, INC	BATTERIES	14.99
101-24001-53208	OFFICE SUPPLIES	AMAZON.COM SALES, INC	DVD PACK	19.99
101-24001-53208	OFFICE SUPPLIES	AMAZON.COM SALES, INC	CD-R PACK	18.99
101-24001-53208	OFFICE SUPPLIES	AMAZON.COM SALES, INC	AAA BATTERIES	10.99
101-24001-53209	UNIFORMS	GALL'S, LLC	SMITH - POLO	38.70
Total For Dept 24001 POLICE ADMINISTRATION				590.79
Dept 24200 POLICE				
101-24200-44651	RED LIGHT/LOCAL ORDINANCE	MORPHEW, RODNEY L	REF - CITATION DUPLICATE PMT	30.00
Total For Dept 24200 POLICE				30.00
Dept 24210 POLICE OPERATIONS				
101-24210-53209	UNIFORMS	BRADSTREET, DENISE	DUTY WEAPON - ONTARGET	675.79
101-24210-53209	UNIFORMS	GALL'S, LLC	MARINE - POLOS	273.79
101-24210-53209	UNIFORMS	RAY O'HERRON COMPANY INC.	MARRA - PANTS	71.98
101-24210-53209	UNIFORMS	RAY O'HERRON COMPANY INC.	MARRA - CAP, PANTS	61.88
101-24210-53209	UNIFORMS	SIEBER, ANDREW	UNIFORM REIMB	60.00
101-24210-53211	OTHER SUPPLIES	AXON ENTERPRISES, INC	TASR AIR CARTRIDGES	3,712.00
Total For Dept 24210 POLICE OPERATIONS				4,855.44
Dept 25001 FIRE ADMINISTRATION				
101-25001-52203	LABOR ATTORNEY	CLARK HILL PLC	LABOR LEGAL ATTORNEY	1,526.50
101-25001-53203	TELEPHONE & DATA SVCS	COMCAST CABLE COMMUNICATIONS MGM	COMBINED INTERNET - MAY/JUN 2022	3,459.17
101-25001-53204	CELL PHONES & PAGERS	AT & T	CELL PHONES - FIRE MAY 2022	145.40
101-25001-53208	OFFICE SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	LETTER TRAY - OFFICE SUPPLIES	13.98
101-25001-53209	UNIFORMS	EAGLE ENGRAVING, INC	FIREGROUND TAGS - FISHMAN / MURRAY	43.40
101-25001-53209	UNIFORMS	ELEGANT EMBROIDERY INC	BULK TSHIRT ORDER	1,668.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	PROMOTION UNIFORM - YEE	49.50

VILLAGE OF LAKE ZURICH
 WARRANT REPORT - 07/05/2022
\$301,977.08

<i>GL Number</i>	<i>GL Desc</i>	<i>Vendor</i>	<i>Invoice Description</i>	<i>Amount</i>
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	SHIRTS, PANTS, HAT - RYAN	158.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	PANTS, ALTERATIONS - HALL	69.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	TROUSERS, CAP, POLO, WINDSHIRT - KLEINHEINZ	273.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	ALTERATIONS - LUCAS	22.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	ALTERATIONS - BROOKS	44.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	ALTERATIONS - GLASDER	22.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	ALTERATIONS - ERB	26.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	ALTERATIONS - HALL	11.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	ALTERATIONS - MOGGE	11.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	ALTERATIONS - WENZEL	11.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	ALTERATIONS - HAUTZINGER	6.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	ALTERATIONS, CLASS A CAP, SHIRTS, PANTS - GRIF	305.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	ALTERATIONS - KELLY	11.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	ALTERATIONS - GRIFFITHS	6.00
101-25001-53211	OTHER SUPPLIES	KMSCO INC	STATION SUPPLIES - BLANKET FOR STATION	420.00
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	TISSUES, SPONGE - ST. 1	39.05
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER TOWELS, WATER	80.97
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	Z FOLDS, PAPER TOWELS - ST. 2	149.96
Total For Dept 25001 FIRE ADMINISTRATION				8,570.93
Dept 25320 FIRE FIRE SUPPRESSION				
101-25320-52704	MAINT-EQUIPMENT	FIREGROUND SUPPLY	PPE MAINTENANCE & REPAIRS - BENE & ERB'S GE/	367.80
101-25320-52704	MAINT-EQUIPMENT	FIREGROUND SUPPLY	TURNOUT GEAR (3) & LION STAY SAFE ON GEAR	4,104.00
101-25320-53204	CELL PHONES & PAGERS	AT & T	CELL PHONES - FIRE MAY 2022	282.50
101-25320-53209	UNIFORMS	CITY OF WAUKEGAN	TURNOUT GEAR - FISHMAN	3,500.00
101-25320-53209	UNIFORMS	FIREGROUND SUPPLY	TURNOUT GEAR (3) & LION STAY SAFE ON GEAR	5,311.17
101-25320-53209	UNIFORMS	FIREGROUND SUPPLY	TURNOUT GEAR COATS (3)	7,405.86
101-25320-53211	OTHER SUPPLIES	FIREGROUND SUPPLY	TURNOUT BOOTS & GLOVES (3)	474.10
101-25320-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER TOWELS, WATER	29.97
101-25320-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	REHAB SUPPLIES - WATER	59.94
101-25320-55254	MACHINERY & EQUIPMENT	INTL FIRE EQUIPMENT	NEW CLASS D EXTINGUISHER FOR SQUAD 321	669.50
Total For Dept 25320 FIRE FIRE SUPPRESSION				22,204.84

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<u>GL Number</u>	<u>GL Desc</u>	<u>Vendor</u>	<u>Invoice Description</u>	<u>Amount</u>
Dept 25330 FIRE EMS				
101-25330-51651	LICENSING/CERTIFICATIONS	ERB, DOUGLAS	PARAMEDIC LICENSE REIMBURSEMENT	40.00
101-25330-52111	OTHER PROFESSIONAL SVCS	ANDRES MEDICAL BILLING	AMBULANCE FEES - MAY 2022	2,951.26
101-25330-53211	OTHER SUPPLIES	AMERICAN GASES CORP	OXYGEN RENTAL	67.26
101-25330-53211	OTHER SUPPLIES	HENRY SCHEIN EMS	EMS MEDICAL SUPPLIES - GAUZE, NEEDLES, CHEST	279.00
101-25330-53211	OTHER SUPPLIES	HENRY SCHEIN EMS	SUCTION CATHETERS, ACE BANDAGES	10.88
101-25330-53211	OTHER SUPPLIES	HENRY SCHEIN EMS	DRUG SEALS	102.18
		Total For Dept 25330 FIRE EMS		<u>3,450.58</u>
Dept 25340 FIRE SPECIAL RESCUE				
101-25340-53407	EQUIP MAINT PART&SUPPLIE	STODOLA, BRIAN	REIMBURSEMENT - TRT PARTS	25.49
101-25340-55254	MACHINERY & EQUIPMENT	HOME DEPOT CREDIT SERVICES	DIVE EQUIPMENT - FLOOR FLANGES, SCREWS	90.74
		Total For Dept 25340 FIRE SPECIAL RESCUE		<u>116.23</u>
Dept 25350 FIRE FIRE PREVENTION BUREAU				
101-25350-53204	CELL PHONES & PAGERS	AT & T	CELL PHONES - FIRE MAY 2022	180.33
		Total For Dept 25350 FIRE FIRE PREVENTION BUREAU		<u>180.33</u>
Dept 28001 COMMUNITY DEVELOPMENT ADMINISTRATION				
101-28001-53204	CELL PHONES & PAGERS	AT & T	CELL PHONES - WTR/CS/PW - MAY 2022	51.10
		Total For Dept 28001 COMMUNITY DEVELOPMENT ADMINISTRATION		<u>51.10</u>
Dept 36001 PUBLIC WORKS ADMINISTRATION				
101-36001-51651	LICENSING/CERTIFICATIONS	BONESTROO, AUSTIN	CDL REIMBURSE	5.00
101-36001-51651	LICENSING/CERTIFICATIONS	CUELLAR, JOHN	CDL REIMBURSE	5.00
101-36001-51651	LICENSING/CERTIFICATIONS	WALKINGTON, SHAWN	CDL REIMBURSE	5.00
101-36001-51651	LICENSING/CERTIFICATIONS	WICINSKI, MICHAEL	CDL RENEWAL	50.00
101-36001-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 06/16	35.18
101-36001-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 06/23	56.76
101-36001-52602	WASTE REMOVAL	SAFETY-KLEEN CORPORATION	WASTE OIL REMOVAL	217.00
101-36001-52603	LAKE/WATER QUALITY MGMT	MC GINTY BROS., INC.	2022 NATURAL AREA MAINT	340.00

VILLAGE OF LAKE ZURICH
WARRANT REPORT - 07/05/2022
\$301,977.08

<i>GL Number</i>	<i>GL Desc</i>	<i>Vendor</i>	<i>Invoice Description</i>	<i>Amount</i>
101-36001-52605	MOSQUITO ABATEMENT	CLARKE ENVIRON MOSQUITO MGMT	MOSQUITO CONTROL 2022	10,798.00
101-36001-52701	MAINT-BLDGS & GROUNDS	ANDERSON PEST SOLUTIONS	FIRE STA #1 PEST CONTROL - JULY	76.45
101-36001-52701	MAINT-BLDGS & GROUNDS	CINTAS CORPORATION #2	UNIFORMS/MATS 06/16	89.37
101-36001-52701	MAINT-BLDGS & GROUNDS	CINTAS CORPORATION #2	UNIFORMS/MATS 06/23	53.33
101-36001-52701	MAINT-BLDGS & GROUNDS	ECO CLEAN MAINTENANCE INC	CLEANING SVC - JUNE 2022	3,743.00
101-36001-52701	MAINT-BLDGS & GROUNDS	MARTIN ENTERPRISES HEATING/AIR COND	505 - HVAC	220.00
101-36001-52701	MAINT-BLDGS & GROUNDS	PAINT PLATOON USA CO	REPAINT PD & FD	6,680.00
101-36001-52702	MAINT-LAWN & LANDSCAPING	ST. AUBIN NURSERY & LANDSCAPING	2022 NON EAB PLANTING	450.00
101-36001-52702	MAINT-LAWN & LANDSCAPING	ST. AUBIN NURSERY & LANDSCAPING	2022 NON EAB PLANTING	3,345.00
101-36001-53204	CELL PHONES & PAGERS	AT & T	CELL PHONES - WTR/CS/PW - MAY 2022	275.18
101-36001-53208	OFFICE SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	RUBBER BANDS, MARKERS	27.46
101-36001-53210	SMALL TOOLS & EQUIP	ARLINGTON POWER EQUIPMENT	CHAINS	79.80
101-36001-53404	RIGHT OF WAY SUPPLIES	NAC SUPPLY, INC	TRAFFIC PAINT	261.70
101-36001-53405	BLDG & GROUNDS SUPPLIES	HOME DEPOT CREDIT SERVICES	HOSE	69.98
101-36001-53405	BLDG & GROUNDS SUPPLIES	HOME DEPOT CREDIT SERVICES	CONCRETE PATCH	74.85
101-36001-53405	BLDG & GROUNDS SUPPLIES	HOME DEPOT CREDIT SERVICES	STAKE & SEALANT	129.17
101-36001-53405	BLDG & GROUNDS SUPPLIES	MENARDS - LONG GROVE	CONCRETE PATCH & CABLE	73.55
		Total For Dept 36001 PUBLIC WORKS ADMINISTRATION		27,160.78
 Dept 36420 PUBLIC WORKS PARK MAINTENANCE				
101-36420-52701	MAINT-BLDGS & GROUNDS	AHERNS, KEVIN	PAULUS REPAIR	675.00
101-36420-52701	MAINT-BLDGS & GROUNDS	ANDERSON PEST SOLUTIONS	PAULUS PK PEST CONTROL - JUNE	76.40
101-36420-52701	MAINT-BLDGS & GROUNDS	ANDERSON PEST SOLUTIONS	BUFFALO CREEK PEST CONTROL - JULY	70.20
101-36420-52701	MAINT-BLDGS & GROUNDS	CINTAS CORPORATION #2	UNIFORMS/MATS 06/16	118.38
101-36420-52701	MAINT-BLDGS & GROUNDS	ECO CLEAN MAINTENANCE INC	CLEANING SVC - JUNE 2022	3,193.00
101-36420-53201	ELECTRICITY	COMMONWEALTH EDISON	WICKLOW	19.26
101-36420-53403	LANDSCAPING SUPPLIES	CONSERV FS, INC	BLANKET	221.70
101-36420-53403	LANDSCAPING SUPPLIES	CONSERV FS, INC	BLANKET	127.80
101-36420-53403	LANDSCAPING SUPPLIES	HOMER INDUSTRIES INC.	MULCH	1,235.00
101-36420-53403	LANDSCAPING SUPPLIES	KANZLER CONSTRUCTION LLC	TOPSOIL - TICKET #214171	105.00
101-36420-53405	BLDG & GROUND MAINT SUPP	BATTERIES PLUS HOLDING CORP	BATTERIES	69.12
101-36420-53405	BLDG & GROUND MAINT SUPP	FERGUSON ENTERPRISES LLC	SLOAN MODULES	249.00

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101-36420-53405	BLDG & GROUND MAINT SUPP	FERGUSON ENTERPRISES LLC	SLOAN VALVES	55.17
101-36420-53405	BLDG & GROUND MAINT SUPP	FERGUSON ENTERPRISES LLC	SLOAN VALVES	44.25
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	PAINT	40.98
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	PAULUS STAGE SUPPLIES	190.10
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	ROOF PATCH	146.38
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	ROOF PATCH	83.96
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	FUNBRELLA REPAIR	44.00
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	ROOF PATCH RTN	(99.90)
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	NOZZLE & SILCOCK KEY	45.82
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	GUTTER HANGERS	37.27
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	BREEZEWALD FENCE	374.92
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	DOOR DOWELS	1.80
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	MINI TORCH	29.97
Total For Dept 36420 PUBLIC WORKS PARK MAINTENANCE				7,154.58
Dept 36471 PUBLIC WORKS FLEET SERVICES				
101-36471-51651	LICENSING/CERTIFICATIONS	NEYFELDT, PETER	CDL RENEWAL REIMB	50.00
101-36471-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 06/16	44.04
101-36471-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 06/23	49.77
101-36471-52111	OTHER PROFESSIONAL SVCS	MIKE'S TOWING, INC	SAFETY INSPECTION	36.00
101-36471-52111	OTHER PROFESSIONAL SVCS	MIKE'S TOWING, INC	INSPECTION	36.00
101-36471-52111	OTHER PROFESSIONAL SVCS	STANDARD IND & AUTO EQUIPMENT	LIFT INSPECTION	335.00
101-36471-52602	WASTE REMOVAL	LIBERTY TIRE RECYCLING HOLDCO LLC	TIRE RECYCLING	327.76
101-36471-52701	MAINT-BLDGS & GROUNDS	PETROLEUM TECHNOLOGIES EQPT., INC	FUEL SYSTEM TESTING	1,595.00
101-36471-53211	OTHER SUPPLIES	ADAMS STEEL SERVICE & SUPPLY, INC	STEEL CHIPPER	47.00
101-36471-53211	OTHER SUPPLIES	AIRGAS USA, LLC	GAS CYLINDER RENTAL	165.21
101-36471-53211	OTHER SUPPLIES	HOME DEPOT CREDIT SERVICES	VAC FILTER	19.97
101-36471-53211	OTHER SUPPLIES	LAWSON PRODUCTS INC.	HARDWARE	292.64
101-36471-53211	OTHER SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	FUSES	9.79
101-36471-53211	OTHER SUPPLIES	RUBBER INC.	WHEEL WEIGHTS	401.80
101-36471-53406	AUTO PARTS & SUPPLIES	CHICAGO PARTS & SOUND LLC	FUEL FILTER 248	69.84
101-36471-53406	AUTO PARTS & SUPPLIES	MACQUEEN EQUIPMENT, LLC	DOOR SWITCH	239.39

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101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	FILTERS	304.90
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	FUSE	22.25
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	FILTERS	261.48
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	CORE CREDIT	(99.00)
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	CREDIT - WARRANTY	(252.39)
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	FUSE HOLDER	23.34
101-36471-53406	AUTO PARTS & SUPPLIES	OXIFERRIC CORP	TRANSMISSION 532	4,335.00
101-36471-53406	AUTO PARTS & SUPPLIES	POMP'S TIRE SERVICE	SQUAD TIRES	1,667.28
101-36471-53406	AUTO PARTS & SUPPLIES	TEREX USA LLC	BUCKET PARTS	198.28
101-36471-53407	EQUIP MAINT PART&SUPPLIE	ATLAS BOBCAT, LLC	FAN	555.70
101-36471-53407	EQUIP MAINT PART&SUPPLIE	ATLAS BOBCAT, LLC	HYDRAULIC CAP	37.30
101-36471-53407	EQUIP MAINT PART&SUPPLIE	MOTOR PARTS & EQUIPMENT CORP	FILTER	12.22
101-36471-53407	EQUIP MAINT PART&SUPPLIE	MOTOR PARTS & EQUIPMENT CORP	OIL FILTER	29.60
101-36471-53414	CHEMICALS	MOTOR PARTS & EQUIPMENT CORP	TARNS FLUSH	24.98
Total For Dept 36471 PUBLIC WORKS FLEET SERVICES				<u>10,840.15</u>
Dept 67001 RECREATION ADMINISTRATION				
101-67001-51654	MEMBERSHIPS & SUBSCRIP	BROADCAST MUSIC, INC	MUSIC LICENSE	391.00
101-67001-53207	PRINTING-STATIONERY/FORM	JMK DESIGN, LTD	DESGIN FALL 2022 WINTER 2023	4,098.00
101-67001-53211	OTHER SUPPLIES	FRANKENSTITCH PROMOTIONS, LLC	LAWNS SIGNS AND METAL SIGNAGE	305.00
Total For Dept 67001 RECREATION ADMINISTRATION				<u>4,794.00</u>
Dept 67920 RECREATION SPECIAL RECREATION				
101-67920-52116	SRA PROGRAMS	HOMER INDUSTRIES INC.	PLAYGROUND MULCH	1,440.00
101-67920-52116	SRA PROGRAMS	HOMER INDUSTRIES INC.	PLAYGROUND SURFACING	1,440.00
Total For Dept 67920 RECREATION SPECIAL RECREATION				<u>2,880.00</u>

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Dept 67965 RECREATION ATHLETICS				
101-67965-52115	RECREATION PROGRAM SERVIC	HOT SHOTS SPORTS	HOT SHOTS SPORTS SPRING INVOICE	4,372.20
101-67965-52115	RECREATION PROGRAM SERVIC	LZ FAMILY MARTIAL ARTS ACADEMY	JAN-JUNE 2022 PARTICIPANTS	867.20
101-67965-52115	RECREATION PROGRAM SERVIC	ON COURSE RIDING ACADEMY	5 ENROLLED SUMMER I HORSEBACK	<u>1,232.00</u>
Total For Dept 67965 RECREATION ATHLETICS				<u>6,471.40</u>
 Dept 67970 RECREATION AQUATICS				
101-67970-53414	CHEMICALS	GRAINGER	MURIATIC ACID - INV #9343520947	<u>199.84</u>
Total For Dept 67970 RECREATION AQUATICS				<u>199.84</u>
Total For Fund 101 GENERAL				<u>113,847.19</u>
 Fund 202 MOTOR FUEL TAX				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
202-36001-53201	ELECTRICITY	AEP ENERGY, INC	STREETLIGHT ELECTRIC	12,471.22
202-36001-53201	ELECTRICITY	COMMONWEALTH EDISON	STREETLIGHT ELECTRIC	<u>133.66</u>
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				<u>12,604.88</u>
Total For Fund 202 MOTOR FUEL TAX				<u>12,604.88</u>
 Fund 207 SPECIAL EVENTS FUND				
Dept 67600 RECREATION SPECIAL EVENTS ADMIN				
207-67600-53212	PROGRAM SUPPLIES	HOME DEPOT CREDIT SERVICES	HARDWARE FOR SIGNS	31.01
207-67600-53212	PROGRAM SUPPLIES	SIGNUPGENIUS WWW.SIGNUP	RECREATION SIGN UP - MAY	9.99
207-67600-53212	PROGRAM SUPPLIES	SIGNUPGENIUS WWW.SIGNUP	RECREATION SIGN UP - JUN	<u>9.99</u>
Total For Dept 67600 RECREATION SPECIAL EVENTS ADMIN				<u>50.99</u>
 Dept 67601 RECREATION ROCK THE BLOCK				
207-67601-54302	PUBLIC RELATIONS	FRANKENSTITCH PROMOTIONS, LLC	EVENT SIGNAGE	525.00
207-67601-54302	PUBLIC RELATIONS	FRANKENSTITCH PROMOTIONS, LLC	LAWNS SIGNS AND METAL SIGNAGE	<u>963.00</u>
Total For Dept 67601 RECREATION ROCK THE BLOCK				<u>1,488.00</u>

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Dept 67603 RECREATION FARMERS MARKET				
207-67603-52115	RECREATION PROGRAM SERV	LEAHY, JOHN	FARMERS MARKET BAND - LEAHY 7/8	125.00
207-67603-54302	PUBLIC RELATIONS	FRANKENSTITCH PROMOTIONS, LLC	LAWNS SIGNS AND METAL SIGNAGE	577.00
Total For Dept 67603 RECREATION FARMERS MARKET				702.00
Dept 67604 RECREATION FOURTH OF JULY FESTIVAL				
207-67604-54302	PUBLIC RELATIONS	FRANKENSTITCH PROMOTIONS, LLC	EVENT SIGNAGE	350.00
207-67604-54302	PUBLIC RELATIONS	FRANKENSTITCH PROMOTIONS, LLC	LAWNS SIGNS AND METAL SIGNAGE	808.00
Total For Dept 67604 RECREATION FOURTH OF JULY FESTIVAL				1,158.00
Dept 67605 RECREATION WINTER FESTIVAL				
207-67605-53212	PROGRAM SUPPLIES	FRANKENSTITCH PROMOTIONS, LLC	EVENT SIGNAGE	350.00
207-67605-53212	PROGRAM SUPPLIES	FRANKENSTITCH PROMOTIONS, LLC	LAWNS SIGNS AND METAL SIGNAGE	403.00
Total For Dept 67605 RECREATION WINTER FESTIVAL				753.00
Dept 67699 RECREATION MISC SPECIAL EVENTS				
207-67699-52115	RECREATION PROGRAM SERV	DANCE PARTY DJS INC	MIP '22 - SOUND & MOVIE SCREEN	800.00
207-67699-54302	PUBLIC RELATIONS	FRANKENSTITCH PROMOTIONS, LLC	EVENT SIGNAGE	565.25
207-67699-54302	PUBLIC RELATIONS	FRANKENSTITCH PROMOTIONS, LLC	LAWNS SIGNS AND METAL SIGNAGE	117.00
Total For Dept 67699 RECREATION MISC SPECIAL EVENTS				1,482.25
Total For Fund 207 SPECIAL EVENTS FUND				5,634.24
Fund 210 TIF #1				
Dept 10490 GENERAL GOVERNMENT TIF				
210-10490-51654	MEMBERSHIPS & SUBSCRIP	IL TAX INCREMENT ASSOCIATION	TIF ASSOCIATION DUES	650.00
Total For Dept 10490 GENERAL GOVERNMENT TIF				650.00
Total For Fund 210 TIF #1				650.00

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Fund 227 DISPATCH CENTER				
Dept 00000				
227-00000-15001	PREPAID EXPENDITURES	PRIORITY DISPATCH CORP	ANNUAL DISPATCH PRO Q A FEE	2,620.00
227-00000-15001	PREPAID EXPENDITURES	RADICOM INC.	FIRE POLICE ANNUAL MAINTENANCE CONTRACT	5,103.44
Total For Dept 00000				7,723.44
Dept 24220 POLICE DISPATCH				
227-24220-51652	TRAINING AND MEETINGS	VISION FOR CHANGE, LLC	TRAINING ROSENBAUM	99.00
227-24220-52118	SOFTWARE MAINTENANCE	PRIORITY DISPATCH CORP	ANNUAL DISPATCH PRO Q A FEE	2,620.00
227-24220-52704	MAINT-EQUIPMENT	RADICOM INC.	FIRE POLICE ANNUAL MAINTENANCE CONTRACT	5,103.44
227-24220-53209	UNIFORMS	GALL'S, LLC	KULIG - TEE	24.58
227-24220-53209	UNIFORMS	GALL'S, LLC	STEFFY - PANTS	68.27
227-24220-53209	UNIFORMS	RISICATO DESIGNS LLC	KROLL - PULLOVER	40.00
Total For Dept 24220 POLICE DISPATCH				7,955.29
Total For Fund 227 DISPATCH CENTER				15,678.73
Fund 401 VILLAGE CAPITAL PROJECTS				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
401-36001-55251	LAND IMPROVEMENTS	RUSSO POWER EQUIPMENT	WATERING BAGS	1,350.00
401-36001-55251	LAND IMPROVEMENTS	SOIL & MATERIAL CONSULTANT INC.	MATERAIL TESTING	667.00
401-36001-55251	LAND IMPROVEMENTS	ST. AUBIN NURSERY & LANDSCAPING	2022 EAB PLANTING	49,385.00
401-36001-55252	BLDG & BLDG IMPROVEMENTS	PAINT PLATOON USA CO	REPAINT PD & FD	16,704.00
401-36001-55252	BLDG & BLDG IMPROVEMENTS	R.B CUSTOM DESIGNS, INC	CHALET DECK PLANS	1,800.00
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				69,906.00
Total For Fund 401 VILLAGE CAPITAL PROJECTS				69,906.00
Fund 405 NHR CAPITAL PROJECTS				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
405-36001-53416	CONCRETE & ASPHALT	FISCHER BROS FRESH CONCRETE, INC.	CONCRETE TICKET #116695	1,100.01

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Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				1,100.01
Total For Fund 405 NHR CAPITAL PROJECTS				1,100.01
Fund 501 WATER & SEWER				
Dept 00000				
501-00000-21455	LC CONNECTION FEE PAYABLE	LAKE COUNTY PUBLIC WORKS DEPT	LC CONNECTION - 170CANTERBURY WAY	4,030.00
501-00000-21455	LC CONNECTION FEE PAYABLE	LAKE COUNTY PUBLIC WORKS DEPT	LC CONNECTION - 172 CANTERBURY WAY	4,030.00
501-00000-21455	LC CONNECTION FEE PAYABLE	LAKE COUNTY PUBLIC WORKS DEPT	LC CONNECTION - 174 CANTERBURY WAY	4,030.00
501-00000-21455	LC CONNECTION FEE PAYABLE	LAKE COUNTY PUBLIC WORKS DEPT	LC CONNECTION - 176 CANTERBURY WAY	4,030.00
Total For Dept 00000				16,120.00
Dept 36001 PUBLIC WORKS ADMINISTRATION				
501-36001-51651	LICENSING/CERTIFICATIONS	REUSCH, JEREMY	CDL LICENSE RENEWAL/UPGRADE	50.00
501-36001-51651	LICENSING/CERTIFICATIONS	STEFKA, FRANK W	CDL LICENSE RENEWAL/UPGRADE	50.00
501-36001-53204	CELL PHONES & PAGERS	AT & T	CELL PHONES WTR/CS/PW - MAY 2022	151.83
501-36001-53209	UNIFORMS	CINTAS CORPORATION #2	UNIFORMS/MATS 06/16	28.00
501-36001-53209	UNIFORMS	CINTAS CORPORATION #2	UNIFORMS/MATS 06/23	28.00
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				307.83
Dept 36550 PUBLIC WORKS WATER SERVICE				
501-36550-52708	MAINT-PUMPS	LAYNE CHRISTENSEN COMPANY	WELL 9 PREVENTATIVE MAINTENANCE	3,000.00
501-36550-52709	MAINT-METERS	HBK WATER METER SERVICE INC.	ANNUAL COMMERCIAL/INDUSTRIAL WATER METE	15,041.00
501-36550-53202	NATURAL GAS	NICOR GAS COMPANY	NATURAL GAS - WELLS #7	175.94
501-36550-53202	NATURAL GAS	NICOR GAS COMPANY	NATURAL GAS - WELLS #8	180.80
501-36550-53202	NATURAL GAS	NICOR GAS COMPANY	NATURAL GAS - WELLS #9	137.69
501-36550-53202	NATURAL GAS	NICOR GAS COMPANY	NATURAL GAS - WELLS #12	130.21
501-36550-53211	OTHER SUPPLIES	CORE & MAIN LP	MUELLER HYDRANT STEM	336.88
501-36550-53403	LANDSCAPING SUPPLIES	KANZLER CONSTRUCTION LLC	PULVERIZED TOPSOIL TICKET #202334	90.00
501-36550-53410	METERS PARTS & SUPPLIES	CORE & MAIN LP	1" WATER METER CONNECTORS	1,910.68
501-36550-53413	DISTRIBUTION SYS REPAIR	CORE & MAIN LP	B-BOXES	492.78

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501-36550-53414	CHEMICALS	MIDWEST SALT LLC	BULK WTR COND SALT - WELL #10	2,681.93
501-36550-55254	MACHINERY & EQUIPMENT	CONCENTRIC INTEGRATION, LLC	PARTIAL PHASE 2 SCADA IMPROVEMENTS-CELLUL	5,599.50
501-36550-55254	MACHINERY & EQUIPMENT	CONCENTRIC INTEGRATION, LLC	PARTIAL PHASE 2 SCADA IMPROVEMENTS-CELLUL	5,599.50
Total For Dept 36550 PUBLIC WORKS WATER SERVICE				35,376.91
 Dept 36560 PUBLIC WORKS SEWER SERVICE				
501-36560-52111	OTHER PROFESSIONAL SVCS	METROPOLITAN INDUSTRIES INC.	METROCLOUD MONITORING/11 LIFT STATIONS	360.00
501-36560-52113	ENGR/ARCHITECTURAL	BAXTER & WOODMAN, INC	ENGINEERING SERVICES	707.50
501-36560-52708	MAINT-PUMPS	METROPOLITAN INDUSTRIES INC.	PUMP REPAIR/CHURCH ST LIFT STATION	2,880.00
501-36560-52708	MAINT-PUMPS	METROPOLITAN INDUSTRIES INC.	PUMP REPAIR/CHURCH ST LIFT STATION	12,714.00
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1160 THORNDALE LN	280.04
501-36560-53408	LIFT STATION PARTS & SUP	METROPOLITAN INDUSTRIES INC.	PHASE MONITOR RELAY/CHURCH ST LIFT	314.91
501-36560-55253	INFRASTRUCTURE IMPRVMENTS	PADDOCK PUBLICATIONS INC	BID NOTICE - SEWER LINING BAL	0.80
Total For Dept 36560 PUBLIC WORKS SEWER SERVICE				17,257.25
Total For Fund 501 WATER & SEWER				69,061.99
 Fund 615 EQUIPMENT REPLACEMENT				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
615-36001-55254	MACHINERY & EQUIPMENT	KNAPHEIDE EQUIPMENT CO - CHICAGO	D RING	31.51
615-36001-55262	VEHICLES - FIRE	MACQUEEN EQUIPMENT, LLC	HOSE DIVIDER 214	2,019.40
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				2,050.91
Total For Fund 615 EQUIPMENT REPLACEMENT				2,050.91
 Fund 710 PERFORMANCE ESCROW				
Dept 00000				
710-00000-21455	BUILDING DEPOSIT PAYABLES	ATLAS RESTORATION	BD BOND REF - PERMIT #BBD22-0217	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	AVALON SALON SPA	BD PAYMENT REF - PERMIT #PB21-0845	510.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	CONTE, BONNIE	BD PAYMENT REF - PERMIT #PB21-0845	5,100.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	GENTRY, JAMES & OKSANA	BD BOND REF - PERMIT #BBD22-0189	105.00

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710-00000-21455	BUILDING DEPOSIT PAYABLES	IVERHOUS, JAMES B & KATHERINE I	BD PAYMENT REF - PERMIT #P18050107	1,000.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	KRAFT, KEVIN & KRYSTAL	BD BOND REF - PERMIT #BBD22-0245	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	MCMORROW, JEFF	BD BOND REF - PERMIT #BBD22-0308	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	MICHON SIDING & WINDOWS	BD BOND REF - PERMIT #BBD22-0329	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	MULLER EXTERIORS	BD BOND REF - PERMIT #BBD22-0238	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	NEXT DOOR AND WINDOW	BD BOND REF - PERMIT #BBD22-0031	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	NEXT DOOR AND WINDOW	BD BOND REF - PERMIT #BBD22-0030	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	RENEWAL BY ANDERSON	BD BOND REF - PERMIT #BBD22-0106	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	SHEETZ, NOLAN	BD PAYMENT REF - WRG PERMIT	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	SUNRUN INSTALLATION INC	BD BOND REF - PERMIT #BBD22-0307	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	SUNRUN INSTALLATION INC	BD BOND REF - PERMIT #BBD22-0274	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	SUNRUN INSTALLATION INC	BD BOND REF - PERMIT #BBD22-0195	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	WINDOWS AND EXTERIORS BY OLSON, IN	BD BOND REF - PERMIT #BBD21-0019	105.00
710-00000-25502	PEG CABLE FEES	COMCAST CABLE COMMUNICATIONS MGM	COMBINED INTERNET - MAY/JUN 2022	864.80
710-00000-25502	PEG CABLE FEES	MATTISON, JUSTIN N	MEDIA CREW - JUNE 2022	82.50
710-00000-25502	PEG CABLE FEES	VIRGILIO, OLIVIA C	MEDIA CREW - JUNE 2022	30.00
Total For Dept 00000				9,057.30
Total For Fund 710 PERFORMANCE ESCROW				9,057.30
Fund 720 PAYROLL CLEARING				
Dept 00000				
720-00000-22305	CHILD SUPPORT W/H	MAUER & MADOFF LLC	EMPL WAGE ORDER	2,161.95
720-00000-22502	PAYROLL PAYABLE	VENTRONE, SALVATORE	PR06102022	41.94
720-00000-22502	PAYROLL PAYABLE	ZETTLER, NATHAN J	PR06102022	41.94
Total For Dept 00000				2,245.83
Total For Fund 720 PAYROLL CLEARING				2,245.83

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Fund 734 SSA #11 LZ PINES SUBDV				
Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				
734-10099-52603	LAKE/WATER QUALITY MGMT	MC GINTY BROS., INC.	2022 NATURAL AREA MAINT	140.00
Total For Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				140.00
Total For Fund 734 SSA #11 LZ PINES SUBDV				140.00

Fund Totals:	
Fund 101 GENERAL	113,847.19
Fund 202 MOTOR FUEL TAX	12,604.88
Fund 207 SPECIAL EVENTS FUND	5,634.24
Fund 210 TIF #1	650.00
Fund 227 DISPATCH CENTER	15,678.73
Fund 401 VILLAGE CAPITAL PROJECTS	69,906.00
Fund 405 NHR CAPITAL PROJECTS	1,100.01
Fund 501 WATER & SEWER	69,061.99
Fund 615 EQUIPMENT REPLACEMENT	2,050.91
Fund 710 PERFORMANCE ESCROW	9,057.30
Fund 720 PAYROLL CLEARING	2,245.83
Fund 734 SSA #11 LZ PINES SUBDV	140.00
Total for All Funds	\$ 301,977.08

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Fund 101 GENERAL				
Dept 00000				
101-00000-21202	AMBULANCE FEES PAYABLE	CIGNA	AMB REF - VARGAS, M - DOS 8/29/21	151.26
101-00000-21202	AMBULANCE FEES PAYABLE	MEDICAID ILLINOIS	AMB REF - HILL, S - DOS 3/31/22	98.80
101-00000-21203	RECREATION CREDIT PAYABLE	YARBERRY, TARA	PRG CXL - HIP HOP 1	114.00
101-00000-21455	BUILDING DEPOSIT PAYABLES	HART, DERON & DONNA	BD BOND REF - ESCROW BALANCE	9.08
101-00000-21455	BUILDING DEPOSIT PAYABLES	JON JOZWIAK	BD PAYMENT REF - PERMIT #15030022	100.00
		Total For Dept 00000		473.14
Dept 12001 VILLAGE ADMIN ADMINISTRATION				
101-12001-52111	OTHER PROFESSIONAL SVCS	PADDOCK PUBLICATIONS INC.	TIF 4 LEGAL NOTICE	41.40
101-12001-53208	OFFICE SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER, OIL, RIBBON, TAPE, INK	132.92
		Total For Dept 12001 VILLAGE ADMIN ADMINISTRATION		174.32
Dept 12120 VILLAGE ADMIN HUMAN RESOURCES				
101-12120-52111	OTHER PROFESSIONAL SVCS	CAREERBUILDER EMPL. SCREENING, LLC	EMPLOYMENT SCREENING SERVICES	130.25
		Total For Dept 12120 VILLAGE ADMIN HUMAN RESOURCES		130.25
Dept 12180 VILLAGE ADMIN ECONOMIC DEVELOPMENT				
101-12180-54308	TAX REBATES	BRADFORD LAKE ZURICH 5 LLC	TAX REBATE - MARCH 2022	14,928.35
101-12180-54308	TAX REBATES	VILLAGE OF HAWTHORN WOODS	TAX REBATE - MARCH 2022	4,631.58
101-12180-54308	TAX REBATES	VILLAGE OF KILDEER	TAX REBATE - MARCH 2022	9,263.17
		Total For Dept 12180 VILLAGE ADMIN ECONOMIC DEVELOPMENT		28,823.10
Dept 13001 FINANCE ADMINISTRATION				
101-13001-51654	MEMBERSHIPS & SUBSCRIP	COSTCO MEMBERSHIP	MEMBERSHIP - 2022	35.00
101-13001-52704	MAINT-EQUIPMENT	PITNEY BOWES - LEASE	METER LEASE - APR - JUL 22	173.04
101-13001-53208	OFFICE SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER, OIL, RIBBON, TAPE, INK	119.97
		Total For Dept 13001 FINANCE ADMINISTRATION		328.01
Dept 17001 TECHNOLOGY ADMINISTRATION				
101-17001-52111	OTHER PROFESSIONAL SVCS	LEADINGIT SOLUTIONS, INC	SUPPORT AGMT 2022 - AUG 2022	2,095.60
101-17001-52118	SOFTWARE MAINTENANCE	TELCOM INNOVATIONS GROUP, LLC	SWA 2022	1,762.54

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101-17001-53203	TELEPHONE & DATA SVCS	AT & T	VH ELEVATORS	382.74
101-17001-53203	TELEPHONE & DATA SVCS	COMCAST CABLE COMMUNICATIONS MGN	COMBINED INTERNET - JUN/JUL 2022	4,323.96
101-17001-53203	TELEPHONE & DATA SVCS	PEERLESS NETWORK INC	ANALOG LINES - JUN 2022	232.60
101-17001-53203	TELEPHONE & DATA SVCS	WINDSTREAM	ANALOG LINES - JUL 2022	529.47
101-17001-56601	CAPITAL LEASE	TOSHIBA FINANCIAL SERVICES	FIRE & PD - COPIER LEASE	164.74
		Total For Dept 17001 TECHNOLOGY ADMINISTRATION		9,491.65
Dept 24001 POLICE ADMINISTRATION				
101-24001-51652	TRAINING AND MEETINGS	PETTY CASH - POLICE DEPARTMENT	TRAINING RM SUPPLIES	73.74
101-24001-53208	OFFICE SUPPLIES	PETTY CASH - POLICE DEPARTMENT	NOTEPADS	37.67
101-24001-53209	UNIFORMS	GALL'S, LLC	BUFFO - POLOS	87.16
101-24001-53209	UNIFORMS	GALL'S, LLC	ANDERSON - SOCKS, SHIRTS	79.28
		Total For Dept 24001 POLICE ADMINISTRATION		277.85
Dept 24210 POLICE OPERATIONS				
101-24210-51652	TRAINING AND MEETINGS	PETTY CASH - POLICE DEPARTMENT	KNIGHT - REIMB TRAINING CLASS	40.00
101-24210-51652	TRAINING AND MEETINGS	SIRCHIE	TRAINING CLASS	595.00
101-24210-51656	MILEAGE REIMBURSEMENT	PETTY CASH - POLICE DEPARTMENT	GAS REIMB - RECRUITEMENT EVENT	42.15
101-24210-52204	OTHER LEGAL	ALBARRAN, LUIS	LOCAL PROSECUTOR FEES	6,666.67
101-24210-52204	OTHER LEGAL	ETERNO, DAVID G	ADJUDICATION FEE	150.00
101-24210-52703	MAINT-VEHICLES	RACEWAY CAR WASH INC	SQUAD MAINTENANCE (34)	289.00
101-24210-53209	UNIFORMS	ELEGANT EMBROIDERY INC	MARINE UNIT HAT EMBROIDERY	84.00
101-24210-53209	UNIFORMS	GALL'S, LLC	BIKE UNIT - POLO	55.17
101-24210-53209	UNIFORMS	GALL'S, LLC	STRUGA - HANDCUFF	16.55
101-24210-53209	UNIFORMS	GALL'S, LLC	BIKE UNIT - BELT	26.81
101-24210-53209	UNIFORMS	GALL'S, LLC	MARRA - VEST	645.00
101-24210-53209	UNIFORMS	HEER, ANDREW	OPTIC & FIREARM	1,162.77
101-24210-53209	UNIFORMS	PETTY CASH - POLICE DEPARTMENT	PATCH SEWINGS	42.00
101-24210-53209	UNIFORMS	SIEBER, ANDREW	MARINE UNIT - PATCH REPL	24.00
101-24210-53211	OTHER SUPPLIES	PETTY CASH - POLICE DEPARTMENT	CRIME DOG REPLC PARTS	25.02
101-24210-53407	EQUIP MAINT PART&SUPPLIE	PETTY CASH - POLICE DEPARTMENT	NET POLICE BOAT	31.96
		Total For Dept 24210 POLICE OPERATIONS		9,896.10

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Dept 24230 POLICE CRIME PREVENTION				
101-24230-52111	OTHER PROFESSIONAL SVCS	TLO LLC	TLO	121.00
101-24230-52111	OTHER PROFESSIONAL SVCS	WEST PUBLISHING GROUP	BACKGROUND INVESTIGATIONS	207.95
Total For Dept 24230 POLICE CRIME PREVENTION				328.95
Dept 24240 POLICE INTERGOVERNMENTAL				
101-24240-53209	UNIFORMS	STRIKE TACTICAL SOLUTIONS	BALLISTIC PLATES - BEIDELMAN	657.00
101-24240-54305	EMPLOYEE EXAMS	NORTH SHORE OMEGA	NIPAS TESTING	48.00
Total For Dept 24240 POLICE INTERGOVERNMENTAL				705.00
Dept 25001 FIRE ADMINISTRATION				
101-25001-51654	MEMBERSHIPS & SUBSCRIP	COSTCO MEMBERSHIP	MEMBERSHIP - 2022	80.00
101-25001-52111	OTHER PROFESSIONAL SVCS	LEADINGIT SOLUTIONS, INC	SUPPORT AGMT 2022 - AUG 2022	1,128.40
101-25001-52118	SOFTWARE MAINTENANCE	TELCOM INNOVATIONS GROUP, LLC	SWA 2022	755.38
101-25001-52707	MAINT-OTHER	INTL FIRE EQUIPMENT	MAINTENANCE OF FIRE EXTINGUISHERS - FD	108.31
101-25001-53203	TELEPHONE & DATA SVCS	COMCAST CABLE COMMUNICATIONS MGV	COMBINED INTERNET - JUN/JUL 2022	3,459.17
101-25001-53203	TELEPHONE & DATA SVCS	PEERLESS NETWORK INC	ANALOG LINES - JUN 2022	27.99
101-25001-53204	CELL PHONES & PAGERS	AT & T	CELL PHONES - FIRE	36.36
101-25001-53210	SMALL TOOLS & EQUIP	LZ ACE LLC	TIME DELAY FUSE	5.31
101-25001-53210	SMALL TOOLS & EQUIP	LZ ACE LLC	DRILL BITS	22.94
101-25001-53211	OTHER SUPPLIES	KMSCO INC	STATION SUPPLIES - BLANKET FOR STATION	420.00
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER TOWEL, DETERGENT, KLEENEX, CLEANER -	160.99
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	TIDE WASHING MACHINE CLEANER	10.99
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER TOWELS, REHAB SUPPLIES	26.99
101-25001-53405	BLDG & GROUND MAINT SUPP	MAILBOX AND FLAG COMPANY	FLAGS FOR VEHICLES	239.75
101-25001-54305	EMPLOYEE EXAMS	PERSONNEL STRATEGIES, LLC	PSYCHOLOGICAL ASSESSMENTS - PORTILLO, DAH	2,100.00
101-25001-56601	CAPITAL LEASE	TOSHIBA FINANCIAL SERVICES	FIRE & PD - COPIER LEASE	164.73
Total For Dept 25001 FIRE ADMINISTRATION				8,747.31
Dept 25320 FIRE FIRE SUPPRESSION				
101-25320-51652	TRAINING AND MEETINGS	VILLAGE OF ROMEOVILLE	ENGINE COMPANY OPERATIONS CLASS - SPATA	500.00
101-25320-51652	TRAINING AND MEETINGS	VILLAGE OF ROMEOVILLE	COMPANY OFFICER - STAPLETON	600.00
101-25320-53211	OTHER SUPPLIES	FIREGROUND SUPPLY	TURNOUT BOOTS & GLOVES (3)	478.80

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101-25320-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER TOWELS, REHAB SUPPLIES	42.98
		Total For Dept 25320 FIRE FIRE SUPPRESSION		1,621.78
Dept 25330 FIRE EMS				
101-25330-51651	LICENSING/CERTIFICATIONS	BARTOLI, JACOB	PARAMEDIC LICENSE REIMBURSEMENT	40.00
101-25330-51654	MEMBERSHIPS & SUBSCRIP	NORTHWEST COMMUNITY HOSPITAL	CPR CARDS - AMERICAN HEART, HEARTSAVER	679.00
101-25330-53211	OTHER SUPPLIES	AMERICAN GASES CORP	OXYGEN RENTAL	149.16
		Total For Dept 25330 FIRE EMS		868.16
Dept 25340 FIRE SPECIAL RESCUE				
101-25340-53211	OTHER SUPPLIES	AFC INTERNATIONAL, INC	GAS MONITORING EQUIPMENT (FIRST PHASE)	458.86
101-25340-53211	OTHER SUPPLIES	AFC INTERNATIONAL, INC	GAS MONITORING EQUIPMENT (FIRST PHASE)	5,192.63
		Total For Dept 25340 FIRE SPECIAL RESCUE		5,651.49
Dept 28001 COMMUNITY DEVELOPMENT ADMINISTRATION				
101-28001-51652		VERBECKE, TIM	APR/MAY22 TRAVEL CONF - SAN DIEGO	935.28
		Total For Dept 28001 COMMUNITY DEVELOPMENT ADMINISTRATION		935.28
Dept 36001 PUBLIC WORKS ADMINISTRATION				
101-36001-51651	LICENSING/CERTIFICATIONS	KRAMER, JAKE M	CDL REIMBURSE	50.00
101-36001-51654	MEMBERSHIPS & SUBSCRIP	COSTCO MEMBERSHIP	MEMBERSHIP - 2022	30.00
101-36001-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 06-30	32.75
101-36001-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 07-08	32.76
101-36001-52113	ENGR/ARCHITECTURAL	CHRISTOPHER B. BURKE ENG., LTD	ENGINEERING SERVICES	2,177.69
101-36001-52113	ENGR/ARCHITECTURAL	GEWALT HAMILTON ASSOCIATES, INC	ENGINEERING SERVICES	715.20
101-36001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	ENGINEERING SERVICES	8,599.00
101-36001-52603	LAKE/WATER QUALITY MGMT	IL EPA	NPDES RENEWAL	1,000.00
101-36001-52603	LAKE/WATER QUALITY MGMT	MANHARD CONSULTING LTD	NPDES MS4	813.25
101-36001-52603	LAKE/WATER QUALITY MGMT	MC GINTY BROS., INC.	2022 NATURAL AREA MAINT	340.00
101-36001-52603	LAKE/WATER QUALITY MGMT	MC GINTY BROS., INC.	2022 NATURAL AREA MAINT	280.00
101-36001-52605	MOSQUITO ABATEMENT	CLARKE ENVIRON MOSQUITO MGMT	MOSQUITO CONTROL 2022	10,798.00
101-36001-52701	MAINT-BLDGS & GROUNDS	CINTAS CORPORATION #2	UNIFORMS/MATS 06-30	53.33
101-36001-52701	MAINT-BLDGS & GROUNDS	CINTAS CORPORATION #2	UNIFORMS/MATS 07-08	53.33

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101-36001-52701	MAINT-BLDGS & GROUNDS	INTL FIRE EQUIPMENT	FD DRY SYSTEM LEAK	1,901.50
101-36001-52701	MAINT-BLDGS & GROUNDS	INTL FIRE EQUIPMENT	FAID 505 TELSER	211.75
101-36001-52701	MAINT-BLDGS & GROUNDS	INTL FIRE EQUIPMENT	FAID VH	211.75
101-36001-52701	MAINT-BLDGS & GROUNDS	SMITHEREEN PEST MANAGEMENT SERVICE	PW PEST CONTROL - JUL	49.00
101-36001-52701	MAINT-BLDGS & GROUNDS	SMITHEREEN PEST MANAGEMENT SERVICE	PD PEST CONTROL - JUL	93.00
101-36001-52702	MAINT-LAWN & LANDSCAPING	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - JUN	6,780.18
101-36001-52704	MAINT-EQUIPMENT	INTL FIRE EQUIPMENT	MAINTENANCE OF FIRE EXTINGUISHERS - FD	142.52
101-36001-53201	ELECTRICITY	COMMONWEALTH EDISON	LOT 42	32.50
101-36001-53208	OFFICE SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER	399.90
101-36001-53401	CUSTODIAL SUPPLIES	VALDES, LLC	TRASH BAGS	410.00
101-36001-53401	CUSTODIAL SUPPLIES	VALDES, LLC	BATH TISSUE AND BAGS	415.00
101-36001-53403	LANDSCAPING SUPPLIES	POTSIE'S INC.	TOPSOIL PYMTS - CREDITS	(75.00)
101-36001-53404	RIGHT OF WAY SUPPLIES	MULTIPLE CONCRETE ACCESS CORP	LATHES	47.00
101-36001-53405	BLDG & GROUNDS SUPPLIES	CITY ELECTRIC SUPPLY	CONTROL SWITCH	70.35
101-36001-53405	BLDG & GROUNDS SUPPLIES	CITY ELECTRIC SUPPLY	PD CONTROL SWITCHES	70.35
101-36001-53405	BLDG & GROUNDS SUPPLIES	HOME DEPOT CREDIT SERVICES	PIPE CLAMPS	10.04
101-36001-53405	BLDG & GROUNDS SUPPLIES	HOME DEPOT CREDIT SERVICES	GANG BOX	16.98
101-36001-53405	BLDG & GROUNDS SUPPLIES	HOME DEPOT CREDIT SERVICES	GANG BOX	9.98
101-36001-53405	BLDG & GROUNDS SUPPLIES	HOME DEPOT CREDIT SERVICES	DISH SOAP	21.94
101-36001-53405	BLDG & GROUNDS SUPPLIES	LZ ACE LLC	PEST CONTROL SPRAY	6.79
101-36001-54305	EMPLOYEE EXAMS	NORTHWEST COMMUNITY HOSPITAL	EMPLOYEE EXAMS - DUPLICATE PMT	210.00
101-36001-54305	EMPLOYEE EXAMS	NORTHWEST COMMUNITY HOSPITAL	DOT TESTING - DUPLICATE PMT	255.00
		Total For Dept 36001 PUBLIC WORKS ADMINISTRATION		36,265.84
Dept 36420 PUBLIC WORKS PARK MAINTENANCE				
101-36420-52701	MAINT-BLDGS & GROUNDS	INTL FIRE EQUIPMENT	BC PANEL FAIL	168.50
101-36420-52702	MAINT-LAWN & LANDSCAPING	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - JUN	26,036.00
101-36420-53201	ELECTRICITY	COMMONWEALTH EDISON	PAULUS PK FENCE	713.64
101-36420-53201	ELECTRICITY	COMMONWEALTH EDISON	7 E MAIN ST	24.21
101-36420-53202	NATURAL GAS	NICOR GAS COMPANY	BEV PAV - MAY 2022	100.67
101-36420-53210	SMALL TOOLS & EQUIP	LZ ACE LLC	SIGNS	16.14
101-36420-53401	CUSTODIAL SUPPLIES	VALDES, LLC	BATH TISSUE AND BAGS	630.70
101-36420-53403	LANDSCAPING SUPPLIES	CONSERV FS, INC	FERTALIZER-WEED CONTROL-SPRAYER	398.70

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101-36420-53403	LANDSCAPING SUPPLIES	KANZLER CONSTRUCTION LLC	TOPSOIL - TICKETS #214150 - 214151	180.00
101-36420-53405	BLDG & GROUND MAINT SUPP	CITY ELECTRIC SUPPLY	BARN BREAKER	49.00
101-36420-53405	BLDG & GROUND MAINT SUPP	CITY ELECTRIC SUPPLY	001792 CREDIT MEMO - PO REPLACEMENT FIX	(58.92)
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	ROOF PATCH RTN	(99.90)
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	BATTERIES	12.87
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	PIER RAMP AND OUTLETS	127.18
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	CLEANOUT PLUG	4.05
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	WIBIT SHACKLES	148.00
101-36420-53405	BLDG & GROUND MAINT SUPP	LZ ACE LLC	SHELTER SCREWS	4.11
101-36420-53405	BLDG & GROUND MAINT SUPP	LZ ACE LLC	SIGNS	4.06
101-36420-53405	BLDG & GROUND MAINT SUPP	LZ ACE LLC	SIGNS	6.10
101-36420-53405	BLDG & GROUND MAINT SUPP	LZ ACE LLC	SIGNS	4.15
101-36420-53405	BLDG & GROUND MAINT SUPP	LZ ACE LLC	FASTENERS	2.05
101-36420-53405	BLDG & GROUND MAINT SUPP	MENARDS - LONG GROVE	LOT 58 BRIDGE REPAIR	1,388.70
101-36420-53405	BLDG & GROUND MAINT SUPP	METROPOLITAN INDUSTRIES INC.	CHALET PUMP	3,120.00
101-36420-54306	EQUIPMENT RENTAL	SERVICE SANITATION, INC	PAULUS PARK PORT-O-POTTY	140.69
101-36420-54306	EQUIPMENT RENTAL	SERVICE SANITATION, INC	CHESTNUT PORT-O-POTTY	127.33
		Total For Dept 36420 PUBLIC WORKS PARK MAINTENANCE		33,248.03
Dept 36471 PUBLIC WORKS FLEET SERVICES				
101-36471-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 06-30	79.20
101-36471-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 07-08	44.04
101-36471-52111	OTHER PROFESSIONAL SVCS	MIKE'S TOWING, INC	SAFETY INSPECTION	70.00
101-36471-52703	MAINT-VEHICLES	RACEWAY CAR WASH INC	CAR WASH (11)	93.50
101-36471-52703	MAINT-VEHICLES	RACEWAY CAR WASH INC	CAR WASH (5)	42.50
101-36471-53206	POSTAGE & SHIPPING	TNK SHIPPING, INC	PARTS RETURN SHIPPING	12.63
101-36471-53211	OTHER SUPPLIES	FASTENAL COMPANY	NYLOCK NUTS 214	14.19
101-36471-53211	OTHER SUPPLIES	GRAINGER	CASTERS	53.87
101-36471-53211	OTHER SUPPLIES	LZ ACE LLC	STEEL NEW ENGINE	35.99
101-36471-53211	OTHER SUPPLIES	LZ ACE LLC	HARDWARE 214	45.58
101-36471-53211	OTHER SUPPLIES	LZ ACE LLC	HARDWARE	5.90
101-36471-53406	AUTO PARTS & SUPPLIES	CHICAGO PARTS & SOUND LLC	CREDIT	(75.00)
101-36471-53406	AUTO PARTS & SUPPLIES	CHICAGO PARTS & SOUND LLC	ALTERNATOR 432	192.97

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101-36471-53406	AUTO PARTS & SUPPLIES	CHICAGO PARTS & SOUND LLC	PARTS RETURN CREDIT	(58.60)
101-36471-53406	AUTO PARTS & SUPPLIES	CHICAGO PARTS & SOUND LLC	CREDIT-PARTS RETURN	(55.27)
101-36471-53406	AUTO PARTS & SUPPLIES	LAKESIDE INTERNATIONAL LLC	DEF SENSOR 439	358.09
101-36471-53406	AUTO PARTS & SUPPLIES	LZ ACE LLC	BULB 251	7.64
101-36471-53406	AUTO PARTS & SUPPLIES	MACQUEEN EQUIPMENT, LLC	CREDIT-PARTS RETURN	(34.42)
101-36471-53406	AUTO PARTS & SUPPLIES	MACQUEEN EQUIPMENT, LLC	ROD GUIDE	56.62
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	CORE CREDIT	(99.00)
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	CREDIT - WARRANTY	(252.39)
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	LIGHT BAR CLUSTER	42.56
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	FILTERS	98.68
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	WARRENTY CREDIT	(162.84)
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	DEF	66.81
101-36471-53406	AUTO PARTS & SUPPLIES	WICKSTROM AUTO GROUP, INC	WINDOW PARTS 339	296.41
101-36471-53407	EQUIP MAINT PART&SUPPLIE	MOTOR PARTS & EQUIPMENT CORP	CREDIT - WARRANTY	(6.11)
101-36471-53407	EQUIP MAINT PART&SUPPLIE	MOTOR PARTS & EQUIPMENT CORP	FILTERS	37.57
101-36471-53407	EQUIP MAINT PART&SUPPLIE	MOTOR PARTS & EQUIPMENT CORP	AIR FILTER	155.64
101-36471-53415	FUELS	BELL FUELS SERVICE CO	FUEL - 6/24	13,935.97
101-36471-53418	LUBRICANTS & FLUIDS	MOTOR PARTS & EQUIPMENT CORP	DEF	165.90
		Total For Dept 36471 PUBLIC WORKS FLEET SERVICES		15,168.63
 Dept 67001 RECREATION ADMINISTRATION				
101-67001-51654	MEMBERSHIPS & SUBSCRIP	COSTCO MEMBERSHIP	MEMBERSHIP - 2022	35.00
101-67001-53207	PRINTING-STATIONERY/FORM	KK STEVENS PUBLISHING COMPANY	BROCHURE PRINTING	5,704.70
101-67001-53208	OFFICE SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER, HIGHLIGHTERS, MARKERS, FOLDERS	315.52
		Total For Dept 67001 RECREATION ADMINISTRATION		6,055.22
 Dept 67935 RECREATION DANCE				
101-67935-53212	PROGRAM SUPPLIES	BOURKE, GILLIAN	REIMB - NYC DANCE THE WORLD JULY 22	330.50
101-67935-53212	PROGRAM SUPPLIES	JOHNSON, MOLLEE	REIMB - NYC DANCE THE WORLD JULY 22	330.50
		Total For Dept 67935 RECREATION DANCE		661.00

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Dept 67945 RECREATION YOUTH PROGRAMS				
101-67945-52115	RECREATION PROGRAM SERVICE	BARNETT, JENA	9 PARTICIPANTS PAINT AND CLAY SUMMER	585.00
101-67945-52115	RECREATION PROGRAM SERVICE	KANTOR, GARY	SUMMER MAGIC 8 PARTICIPANTS	120.00
Total For Dept 67945 RECREATION YOUTH PROGRAMS				705.00
Dept 67960 RECREATION CAMPS				
101-67960-52115	RECREATION PROGRAM SERVICE	SAFARILAND, LLC	TEEN CAMP FIELD TRIP	255.00
Total For Dept 67960 RECREATION CAMPS				255.00
Dept 67965 RECREATION ATHLETICS				
101-67965-52115	RECREATION PROGRAM SERVICE	KALLISH, DEACON	SUMMER 1 GOLF - 6 ADULT 3 YOUTH	594.00
101-67965-52115	RECREATION PROGRAM SERVICE	NFRONT ATHLETICS LLC	SUMMER 1- 5 PARTICIPANTS TRACK & FIELD	276.50
Total For Dept 67965 RECREATION ATHLETICS				870.50
Dept 67970 RECREATION AQUATICS				
101-67970-53211	OTHER SUPPLIES	FRANKENSTITCH PROMOTIONS, INC	BEACH SIGNAGE	355.00
101-67970-53414	CHEMICALS	GRAINGER	MURIATIC ACID INVOICE# 9365866251	199.84
101-67970-53414	CHEMICALS	GRAINGER	SPRAYGROUND CHEMICALS	(149.88)
101-67970-53414	CHEMICALS	GRAINGER	SPRAYGROUND CHEMICALS	149.88
Total For Dept 67970 RECREATION AQUATICS				554.84
Total For Fund 101 GENERAL				162,236.45
Fund 202 MOTOR FUEL TAX				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
202-36001-52701	MAINT-BLDGS & GROUNDS	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - JUN	6,053.73
202-36001-52701	MAINT-BLDGS & GROUNDS	MEADE, INC	MN STREET SIGNAL MAINT	200.00
202-36001-53201	ELECTRICITY	COMMONWEALTH EDISON	45 S OLD RAND RD	26.65
202-36001-53201	ELECTRICITY	COMMONWEALTH EDISON	CLAIRVIEW	29.26
202-36001-53405	BLDG & GROUND MAINT SUPP	COMPASS MINERALS AMERICAN INC	ROAD SALT - CREDIT CK#124136 12/31	(27.00)
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				6,282.64
Total For Fund 202 MOTOR FUEL TAX				6,282.64

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Fund 207 SPECIAL EVENTS FUND				
Dept 67603 RECREATION FARMERS MARKET				
207-67603-52115	RECREATION PROGRAM SERV	BAGOT, FRANCIS J.	FARMERS MARKET BAND - BAGOT 7/22	125.00
207-67603-52115	RECREATION PROGRAM SERV	HABEL-RAMSEY, MANDY	FARMERS MARKET BAND - MANDY HABEL RAMS	225.00
Total For Dept 67603 RECREATION FARMERS MARKET				350.00
Dept 67604 RECREATION FOURTH OF JULY FESTIVAL				
207-67604-53212	PROGRAM SUPPLIES	HOME DEPOT CREDIT SERVICES	JULY 4TH SUPPLIES	88.38
207-67604-53212	PROGRAM SUPPLIES	JIMMY JOHNS # 770 - E 847-726-2	4TH OF JULY STAFF	805.87
Total For Dept 67604 RECREATION FOURTH OF JULY FESTIVAL				894.25
Dept 67699 RECREATION MISC SPECIAL EVENTS				
207-67699-52115	RECREATION PROGRAM SERV	WHEATLAND, PAUL	GROOVE GROVE BAND 7/27	500.00
Total For Dept 67699 RECREATION MISC SPECIAL EVENTS				500.00
Total For Fund 207 SPECIAL EVENTS FUND				1,744.25
Fund 214 TIF #2 DOWNTOWN				
Dept 10490 GENERAL GOVERNMENT TIF				
214-10490-52201	VILLAGE ATTORNEY	KATHLEEN FIELD ORR & ASSOCIATES	TIF LEGAL SERVICES - JUNE 2022	319.00
214-10490-55253	INFRASTRUCTURE IMPROVEMT	MANHARD CONSULTING LTD	SOR IMPV	7,184.75
214-10490-55253	INFRASTRUCTURE IMPROVEMT	MANHARD CONSULTING LTD	BLOCK A IMPV	5,228.30
Total For Dept 10490 GENERAL GOVERNMENT TIF				12,732.05
Total For Fund 214 TIF #2 DOWNTOWN				12,732.05
Fund 227 DISPATCH CENTER				
Dept 00000				
227-00000-15001	PREPAID EXPENSES	PRIORITY DISPATCH CORP	ANNUAL DISPATCH PRO Q A FEE	2,620.00
227-00000-15001	PREPAID EXPENSES	RADICOM INC.	FIRE POLICE ANNUAL MAINT	5,103.44
Total For Dept 00000				7,723.44

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Dept 24220 POLICE DISPATCH				
227-24220-51652	TRAINING AND MEETINGS	SAVANT LEARNING SYSTEMS	TRAINING PROGRAM	690.00
227-24220-52118	SOFTWARE MAINT	PRIORITY DISPATCH CORP	ANNUAL DISPATCH PRO Q A FEE	2,620.00
227-24220-52704	MAINT-EQUIPMENT	RADICOM INC.	DISPATCH EQUIPMENT REPAIRS	2,375.00
227-24220-52704	MAINT-EQUIPMENT	RADICOM INC.	FIRE POLICE ANNUAL MAINT	5,103.44
227-24220-53209	UNIFORMS	GALL'S, LLC	KULIG - SHIRTS	49.17
227-24220-53209	UNIFORMS	GALL'S, LLC	KROLL - JACKET, SHIRT	95.00
227-24220-53209	UNIFORMS	GALL'S, LLC	KULIG - LACES, SHIRTS	74.01
227-24220-53209	UNIFORMS	RISICATO DESIGNS LLC	CIPOLLA - POLOS	83.85
Total For Dept 24220 POLICE DISPATCH				11,090.47
Total For Fund 227 DISPATCH CENTER				18,813.91
Fund 310 TIF #1 DEBT SERVICE				
Dept 10490 GENERAL GOVERNMENT TIF				
310-10490-56603	INTEREST	BANK OF NEW YORK MELLON	DEBT PAYMENTS 2016A	69,496.25
Total For Dept 10490 GENERAL GOVERNMENT TIF				69,496.25
Total For Fund 310 TIF #1 DEBT SERVICE				69,496.25
Fund 401 VILLAGE CAPITAL PROJECTS				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
401-36001-55251	LAND IMPROVEMENTS	AHERNS, KEVIN	STAPLES KEYING	1,766.00
401-36001-55251	LAND IMPROVEMENTS	HITCHCOCK DESIGN INC	PAULUS PARK PLANNING - OSLAD	2,367.80
401-36001-55251	LAND IMPROVEMENTS	HOME DEPOT CREDIT SERVICES	TREE STAKES	13.43
401-36001-55251	LAND IMPROVEMENTS	SHERWIN WILLIAMS CO	STAPLES DOOR PAINT	97.28
401-36001-55252	BLDG & BLDG IMPROVEMENTS	MANHARD CONSULTING LTD	NOR PARKING IMPV	1,980.75
401-36001-55252	BLDG & BLDG IMPROVEMENTS	MANHARD CONSULTING LTD	PARING LOT IMPV	6,036.75
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				12,262.01
Dept 36470 PUBLIC WORKS STORM WATER CONTROL				
401-36470-55253	INFRASTRUCTURE IMPROVEMT	MANHARD CONSULTING LTD	STORM WTR IMPV - BC	3,132.00
Total For Dept 36470 PUBLIC WORKS STORM WATER CONTROL				3,132.00

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Total For Fund 401 VILLAGE CAPITAL PROJECTS				15,394.01
 Fund 405 NHR CAPITAL PROJECTS				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
405-36001-53416	CONCRETE & ASPHALT	PETER BAKER & SON COMPANY	BLACKTOP 6/28	339.95
405-36001-55253	INFRASTRUCTURE IMPROVEMT	MANHARD CONSULTING LTD	2022 ROAD RESURFACING	7,022.00
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				7,361.95
Total For Fund 405 NHR CAPITAL PROJECTS				7,361.95
 Fund 501 WATER & SEWER				
Dept 00000				
501-00000-21206	WATER BILLING REFUNDS	SIDDIQUE, FARHAN	UB REF A/C #000914-01 FINAL	41.45
501-00000-21455	LC CONNECTION FEE PAYABLE	LAKE COUNTY PUBLIC WORKS DEPT	LC CONNECTION FEE - 159 CANTERBURY WAY	4,030.00
501-00000-21455	LC CONNECTION FEE PAYABLE	LAKE COUNTY PUBLIC WORKS DEPT	LC CONNECTION FEE - 157 CANTERBURY WAY	4,030.00
501-00000-21455	LC CONNECTION FEE PAYABLE	LAKE COUNTY PUBLIC WORKS DEPT	LC CONNECTON FEE - 155 CANTERBURY WAY	4,030.00
501-00000-21455	LC CONNECTION FEE PAYABLE	LAKE COUNTY PUBLIC WORKS DEPT	LC CONNECTION FEE - 153 CANTERBURY WAY	4,030.00
Total For Dept 00000				16,161.45
 Dept 36001 PUBLIC WORKS ADMINISTRATION				
501-36001-51651	LICENSING/CERTIFICATIONS	REUSCH, JEREMY	CLASS A CDL LICENSE PERMIT	6.00
501-36001-53203	TELEPHONE & DATA SVCS	PEERLESS NETWORK INC	ANALOG LINES - JUNE 2022	19.27
501-36001-53203	TELEPHONE & DATA SVCS	WINDSTREAM	ANALOG LINES - JUL	2,117.86
501-36001-53209	UNIFORMS	CINTAS CORPORATION #2	UNIFORMS/MATS 06-30	61.54
501-36001-53209	UNIFORMS	CINTAS CORPORATION #2	UNIFORMS/MATS 07-08	129.45
501-36001-53209	UNIFORMS	REDWING BUSINESS ADVANTAGE A/CS	SAFETY TOE WORK BOOTS - JAMES ROGERS	197.99
501-36001-54305	EMPLOYEE EXAMS	NORTHWEST COMMUNITY HOSPITAL	DOT TESTING - DUPLICATE PMT	75.00
501-36001-56605	PAYING AGENT FEES	BANK OF NEW YORK MELLON	PAYING AGENT FEES - 2016B BOND	750.00
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				3,357.11

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Dept 36530 PUBLIC WORKS WATER BILLING				
501-36530-52111	OTHER PROFESSIONAL SVCS	DATAPROSE, LLC	WATER BILL PROCESSING - JUNE 2022	704.86
501-36530-53206	POSTAGE & SHIPPING	DATAPROSE, LLC	WATER BILL PROCESSING - JUNE 2022	2,535.70
Total For Dept 36530 PUBLIC WORKS WATER BILLING				3,240.56
Dept 36550 PUBLIC WORKS WATER SERVICE				
501-36550-52607	WATER SAMPLE ANALYSIS	SUBURBAN LABORATORIES, INC.	WATER SAMPLE ANALYSIS - JUN	673.55
501-36550-52701	MAINT-BLDGS & GROUNDS	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - JUN	987.03
501-36550-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	WELL #11	62.40
501-36550-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	WELL #12	4,619.40
501-36550-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	WELL #9	2,763.47
501-36550-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	WELL #7	2,545.23
501-36550-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	WELL #8	4,196.15
501-36550-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	WELL #10	4,465.71
501-36550-53211	OTHER SUPPLIES	BLACKBURN MANUFACTURING CO.	JULIE LOCATE FLAGS	557.41
501-36550-53211	OTHER SUPPLIES	LZ ACE LLC	HYDRANT REPAIR	19.68
501-36550-53403	LANDSCAPING SUPPLIES	POTSIE'S INC.	TOPSOIL PYMTS - CREDITS	(75.00)
501-36550-53410	METERS PARTS & SUPPLIES	CORE & MAIN LP	WATER METERS, CONNECTORS & MXU'S	9,309.00
501-36550-53413	DISTRIBUTION SYS REPAIR	LZ ACE LLC	B-BOX REPAIR	35.98
501-36550-53414	CHEMICALS	MIDWEST SALT LLC	BULK WTR COND SALT - WELL #10	2,736.16
501-36550-53414	CHEMICALS	MIDWEST SALT LLC	BULK WTR COND SALT - WELL #8	2,760.11
501-36550-53414	CHEMICALS	MIDWEST SALT LLC	BULK WTR COND SALT - WELL #12	2,628.98
501-36550-53414	CHEMICALS	MIDWEST SALT LLC	BULK WTR COND SALT - WELL #9	2,739.94
501-36550-53414	CHEMICALS	VIKING CHEMICAL COMPANY	CHLORINE	2,347.50
501-36550-53417	SAND & GRAVEL	THELEN MATERIALS, LLC	SAND & GRAVEL	2,721.30
501-36550-55252	BLDG & BLDG IMPROVEMENTS	MANHARD CONSULTING LTD	2022 WATER MAIN IMPV	7,297.51
Total For Dept 36550 PUBLIC WORKS WATER SERVICE				53,391.51
Dept 36560 PUBLIC WORKS SEWER SERVICE				
501-36560-52111	OTHER PROFESSIONAL SVCS	STATE INDUSTRIAL PRODUCTS CORP	HYDROGEN SULFIDE REDUCTION PROGRAM - QU	5,000.00
501-36560-52607	WATER SAMPLE ANALYSIS	FIRST ENVIRONMENTAL LABORATORIES, I	WATER SAMPLE ANALYSES	895.50
501-36560-52710	MAINT-INST & SCADA	VORTEX TECHNOLOGIES INC.	LIFT STATION FLOW METER CALIBRATIONS	5,265.00
501-36560-53201	ELECTRICITY	COMMONWEALTH EDISON	ELECTRICITY- FLOW CONTROL	50.98

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501-36560-53201	ELECTRICITY	COMMONWEALTH EDISON	ELECTRICITY- VACUUM PRIMING STRUCTURES	27.17
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 805 CHURCH ST	22.98
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1115 BETTY DR	26.23
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1297 BERKSHIRE LN	106.84
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 719 CPRESS BRIDGE RD	34.18
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1150 DEERPATH RD	41.62
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 90 S PLEASANT RD	63.87
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 61 W MAIN ST	38.08
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1100 QUENTIN	606.22
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1160 THORNDALE LN	169.26
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1005 MARCH ST	70.25
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 750 N RAND RD	782.55
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 825 W MAIN ST	228.45
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1080 HONEY LAKE RD	30.55
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1160 BRISTOL TRAIL	95.63
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 700 OLD MILL GROVE	43.87
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 620 CHURCH ST	149.62
501-36560-53211	OTHER SUPPLIES	BLACKBURN MANUFACTURING CO.	JULIE LOCATE FLAGS	310.40
501-36560-53408	LIFT STATION PARTS & SUP	CITY ELECTRIC SUPPLY	10A FUSE/WICKLOW LIFT	162.40
501-36560-55253	INFRASTRUCTURE IMPROVEMT	MANHARD CONSULTING LTD	2022 SANITARY SEWER LINING	3,175.00
501-36560-55254	MACHINERY & EQUIPMENT	XLEM WATER SOLUTIONS USA, INC	RSR LIFT STATION REPLACEMENT PUMPS/WILDW	13,389.00
Total For Dept 36560 PUBLIC WORKS SEWER SERVICE				30,785.65
Total For Fund 501 WATER & SEWER				106,936.28
Fund 601 MEDICAL INSURANCE				
Dept 10001 GENERAL GOVERNMENT ADMINISTRATION				
601-10001-52342	LOCAL 150 HEALTH INS PRE	MIDWEST OPERATING ENG L/150	LOCAL 150 INS PREMIUM - AUG 2022	41,600.00
601-10001-52342	LOCAL 150 HEALTH INS PRE	MIDWEST OPERATING ENG L/150	ROGERS, J - AUGUST 2022	839.00
Total For Dept 10001 GENERAL GOVERNMENT ADMINISTRATION				42,439.00
Total For Fund 601 MEDICAL INSURANCE				42,439.00

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Fund 603 RISK MANAGEMENT				
Dept 10001 GENERAL GOVERNMENT ADMINISTRATION				
603-10001-52114	LIABILITY INSURANCE CLAIMS	INTERGOVERNMENTAL RISK MGMT AGENC	IRMA CLAIMS APRIL 2022	8,315.02
603-10001-52114	LIABILITY INSURANCE CLAIMS	INTERGOVERNMENTAL RISK MGMT AGENC	VOLUNTEER COVERAGE 11/21 - 11/22	850.00
603-10001-52114	LIABILITY INSURANCE CLAIMS	LZ BASEBALL & SOFTBALL ASSOC	FENCE AGRMENT	<u>20,000.00</u>
Total For Dept 10001 GENERAL GOVERNMENT ADMINISTRATION				<u>29,165.02</u>
Total For Fund 603 RISK MANAGEMENT				<u>29,165.02</u>
Fund 615 EQUIPMENT REPLACEMENT				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
615-36001-55262	VEHICLES - FIRE	GRAINGER	GLOVE BOX HOLDER	38.45
615-36001-55262	VEHICLES - FIRE	GRAINGER	EXTINGUISHER BRACKET 214	71.06
615-36001-55262	VEHICLES - FIRE	HOME DEPOT CREDIT SERVICES	STRAP HOOKS	12.24
615-36001-55262	VEHICLES - FIRE	HOME DEPOT CREDIT SERVICES	BUCKLE STRAP 214	15.90
615-36001-55262	VEHICLES - FIRE	KNOX ASSOCIATES, INC	BRACKET 214	92.00
615-36001-55262	VEHICLES - FIRE	SUBURBAN ACCENTS, INC	DECALS 214	<u>1,300.00</u>
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				<u>1,529.65</u>
Total For Fund 615 EQUIPMENT REPLACEMENT				<u>1,529.65</u>
Fund 710 PERFORMANCE ESCROW				
Dept 00000				
710-00000-21455	BUILDING DEPOSIT PAYABLES	ABSOLUTE CONSTRUCTION	BD BOND REF - PERMIT #BBD22-0330	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	ALHAMED, ZACHARY & ALISON S	BD PAYMENT REF - PERMIT #PB21-1048	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	ALLADI, KARTHEEK & MUTHA, DEEPA	BD BOND REF - PERMIT #BBD22-0270	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	BARTELS LANDSCAPE SERVICE	BD BOND REF - PERMIT #BBD22-0194	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	CERTASUN LLC	BD BOND REF - PERMIT #BBD22-0228	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	DOBOSZ BY DESIGN INC	BD BOND REF - PERMIT #BBD22-0337	510.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	FELDCO FACTORY	BD BOND REF - PERMIT #BBD22-0134	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	GRECO REMODELING SERVICES	BD BOND REF - PERMIT #BBD22-0192	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	JMLJ CONSTRUCTION CO INC	BD PAYMENT REF - PERMIT #PB20-0752	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	KERO, DON	BD BOND REF - PERMIT #BBD22-0094	105.00

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710-00000-21455	BUILDING DEPOSIT PAYABLES	M/I HOMES OF CHICAGO	BD PAYMENT REF - PERMIT #PB21-1208	3,060.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	M/I HOMES OF CHICAGO	BD PAYMENT REF - PERMIT #PB21-1208	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	MENY, KEITH & ANNE	BD BOND REF - PERMIT #BBD21-0086	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	NEXT DOOR AND WINDOW	BD BOND REF - PERMIT #BBD22-0213	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	POUL'S LANDSCAPING & NURSERY I	BD BOND REF - PERMIT #BBD22-0317	1,020.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	R PROFESSIONAL GROUP, INC.	BD BOND REF - PERMIT #BBD22-0107	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	REGENCY HOME REMODELING	BD PAYMENT REF - PERMIT #PB20-1385	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	REGENCY HOME REMODELING	BD PAYMENT REF - PERMIT #PB20-0735	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	RENEWAL BY ANDERSON	BD BOND REF - PERMIT #BBD22-0190	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	RICHER, JEREMY	BD PAYMENT REF - PERMIT #PB21-0794	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	SAFE HOME ELECTRIC LLC	BD BOND REF - PERMIT #BBD22-0387	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	SDI INC	BD BOND REF - PERMIT #BBD22-0260	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	SOUTHER, KEVIN	BD BOND REF - PERMIT #BBD22-0183	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	TRISTONE DEVELOPMENT	BD BOND REF - PERMIT #BBD22-0011	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	WEBER INSTALLATIONS INC	BD BOND REF - PERMIT #BBD22-0340	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	WINDOW CONCEPTS, INC	BD BOND REF - PERMIT #BBD22-0276	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	WINDOW WORLD OF WESTERN CHICAGO	BD BOND REF - PERMIT #BBD22-0219	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	ZOHN, PHILLIP C & PATRICIA A	BD PAYMENT REF - PERMIT #PB20-0207	105.00
710-00000-25502	PEG CABLE FEES	COMCAST CABLE COMMUNICATIONS MGV	COMBINED INTERNET - JUN/JUL 2022	864.80
		Total For Dept 00000		8,079.80
		Total For Fund 710 PERFORMANCE ESCROW		8,079.80
Fund 720 PAYROLL CLEARING				
Dept 00000				
720-00000-12001	ACCOUNT RECEIVABLE	AFLAC INC	JUN 2022 - SKALSKI	51.24
720-00000-22404	SUPPLEMENTAL LIFE INS PAYABLE	NCPERS-IL IMRF - 0157	GROUP LIFE INSURANCE	204.00
720-00000-22502	PAYROLL PAYABLE	BOURKE, G	PR11122021 - REPLC DD	421.82
720-00000-22502	PAYROLL PAYABLE	MEYER, M	PR06242022 - REPLC DD	2,526.32
		Total For Dept 00000		3,203.38
		Total For Fund 720 PAYROLL CLEARING		3,203.38

VILLAGE OF LAKE ZURICH
 WARRANT REPORT - 7/18/2022
\$488,489.35

<i>GL Number</i>	<i>GL Desc</i>	<i>Vendor</i>	<i>Invoice Description</i>	<i>Amount</i>
Fund 731 SSA #8 HEATHERLEIGH SUBDV				
Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				
731-10099-52604	SWEEPING & MOWING	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - JUN	459.59
Total For Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				459.59
Total For Fund 731 SSA #8 HEATHERLEIGH SUBDV				459.59
Fund 734 SSA #11 LZ PINES SUBDV				
Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				
734-10099-52604	SWEEPING & MOWING	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - JUN	19.77
Total For Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				19.77
Total For Fund 734 SSA #11 LZ PINES SUBDV				19.77
Fund 735 SSA #13 CONVENTRY CRK SUB				
Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				
735-10099-52603	LAKE/WATER QUALITY MGMT	MC GINTY BROS., INC.	2022 NATURAL AREA MAINT SSA 13	2,200.00
735-10099-52604	SWEEPING & MOWING	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - JUN	395.35
Total For Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				2,595.35
Total For Fund 735 SSA #13 CONVENTRY CRK SUB				2,595.35

VILLAGE OF LAKE ZURICH
 WARRANT REPORT - 7/18/2022
\$488,489.35

<u>GL Number</u>	<u>GL Desc</u>	<u>Vendor</u>	<u>Invoice Description</u>	<u>Amount</u>
Fund Totals:				
			Fund 101 GENERAL	162,236.45
			Fund 202 MOTOR FUEL TAX	6,282.64
			Fund 207 SPECIAL EVENTS FUND	1,744.25
			Fund 214 TIF #2 DOWNTOWN	12,732.05
			Fund 227 DISPATCH CENTER	18,813.91
			Fund 310 TIF #1 DEBT SERVICE	69,496.25
			Fund 401 VILLAGE CAPITAL PROJECTS	15,394.01
			Fund 405 NHR CAPITAL PROJECTS	7,361.95
			Fund 501 WATER & SEWER	106,936.28
			Fund 601 MEDICAL INSURANCE	42,439.00
			Fund 603 RISK MANAGEMENT	29,165.02
			Fund 615 EQUIPMENT REPLACEMENT	1,529.65
			Fund 710 PERFORMANCE ESCROW	8,079.80
			Fund 720 PAYROLL CLEARING	3,203.38
			Fund 731 SSA #8 HEATHERLEIGH SUBDV	459.59
			Fund 734 SSA #11 LZ PINES SUBDV	19.77
			Fund 735 SSA #13 CONVENTRY CRK SUB	2,595.35
Total for All Funds				<u><u>\$ 488,489.35</u></u>



At the Heart of Community

PARKS AND RECREATION DEPARTMENT

200 South Rand Road
Lake Zurich, Illinois 60047

(847) 438-5146
LakeZurich.org

AGENDA ITEM
6D

MEMORANDUM

Date: July 18, 2022
To: Ray Keller, Village Manager *PK*
From: Bonnie Caputo, Recreation Director
Subject: **Paulus Park LPOA Pavilion Rental Request**

Issue: Every year we receive several Special Event Requests to take place at Paulus Park with anticipated attendance in excess of 100. According to the Village of Lake Zurich Special Events Guidelines, these requests to be reviewed, if time allows, by the Park Advisory Board and presented to the Village Board of Trustees for approval.

Analysis: The Lake Zurich Lake Property Owner's Association (LPOA) are requesting to reserve the Playground Pavilion (formerly shelter A) for their member social event proposed to be held at Paulus Park Sunday, August 21st from 10am-7pm for approximately 100-150 attendees. Event proposal also includes alcohol to be available to attendees and will require a liquor license. Pavilion reservation fee has already been collected with the liquor license to be applied for upon approval of pavilion request (certificate of insurance will be required).

Recommendation: The Park and Recreation Advisory Board recommends to accept the above applicant request to utilize the Playground Pavilion at Paulus Park for their event on Sunday, August 21, 2022.

w/ Attachments; 2022 Paulus Park Pavilion & Field Rental Application

PAULUS PARK PAVILION & FIELD

PLEASE NOTE, PICNIC TABLES ARE ONLY AVAILABLE AT PAULUS PARK DRIVING IN OUR PARKS IS STRICTLY PROHIBITED FOR ANY REASON

PAVILION RENTALS

- Woodland Trails Pavilion - 200 S. Rand Rd
- Playground Pavilion - 200 S. Rand Rd
- Center Stage Pavilion - 200 S. Rand Rd
- Lakeside Pavilion - 200 S. Rand Rd
- Paulus Park Stage - 200 S. Rand Rd

1 Date of Rental Sunday - 8/21/2022

Arrival 10a Departure 7p

2 Contact Thomas Ryko

Phone # 847-708-2337

3 Street Address 272 W. Main Street

City Lake Zurich

4 E-Mail Address thomasryko@hotmail.com

Date of Birth 08/03/1980

5 Purpose of Rental LPOA - Summer Fest

6 Expected Attendance 100-150

Will Alcohol Be Served? Yes No (If yes, see policy 13)

7 Please describe any material, literature or equipment you will supply for your group:

8 Americans with Disabilities Act Special Needs:

Yes No (If so, please specify)

9 Will there be an admission charge/donation?

Yes No (If so, please specify)

FIELD RENTALS

- Braemar Park - 608 Chesterfield Ln
- Bristol Trails Park - 1130 Bristol Trails Rd
- Buffalo Creek Park - 675 Old Mill Grove Rd
- Chestnut Corners/Hunters Creek - 1235 Pheasant Ridge Dr
- Countryside East Soccer - 683 Old Mill Grove
- Countryside West Soccer - 1200 Deerpath
- Manor Park - 5 Miller Rd
- Old Mill Grove Park - 285 Old Mill Grove
- Orchards Park - 567 Lawrence
- Staples Park - 510 Red Bridge Rd
- Wicklow Ball Field - 815 March Street
- Wicklow West Park - 1154 O'Malley Street
- Zurites Park - 71 Pleasant



WILL YOU BE USING SPECIAL EQUIPMENT?

Yes No (If so, please specify) _____

The Village does not supply special equipment. You must request permission & obtain a certificate of insurance naming Village of Lake Zurich as an additional insured to use special equipment on Village property. The use of generators and other noisy equipment is prohibited. Water is not available at any of the parks. TENT PERMITS/FEE'S ARE APPLICABLE.



FACILITY RENTAL POLICIES

Please read all Shelter and Field Policies before submitting application

- 1** The Lake Zurich Park and Recreation Department reserves the right to cancel any reservation for the use of an athletic field if it is needed for the use of a Lake Zurich affiliated youth or adult league. The Lake Zurich Park and Recreation Department shall endeavor a 72 hour notice in the event a reservation is required to be canceled.

- 2** Reservations are on a first-come, first-served basis. Applications are accepted in January for the current year only. No reservations are taken over the phone. Availability may be checked by calling 847-438-5146 x1. No dates can be reserved until the park usage application has been submitted, paid in full and approved by the Recreation Director. Sheltered pavilions include 5 picnic tables at Paulus Park shelters only. Any additional picnic tables needed must be brought in or you can use any unused picnic tables around the park. All other parks, please stop out to your site prior to the rental as no additional tables will be brought out.

- 3** The applicant is required to be at least 21 years of age and must remain on-site at all times during the use period. The renter must produce their receipt upon request by Police or Park and Recreation personnel and shall be responsible for the conduct of their group and maintenance clean-up at the end of their rental. Please note that if you should have any issues at the shelter rental (outside of business hours Monday-Friday), please keep the beach phone number of 847-540-5067 on hand as a manager can help to assist you on the weekends (June-July).

- 4** The Village of Lake Zurich needs to approve all equipment used on Village property. Certificate of insurances are needed for tents, catering and any special equipment brought onto Village property. This certificate of insurance must be for at least \$1,000,000 coverage in commercial general liability insuring the Village of Lake Zurich as additional insured and yourself. Please note that additional equipment approved to be used at your rental that needs to be staked down into the ground requires the applicant to contact JULIE (Call 811 OR 1-800-892-0123 to place a local request) for locates (may require you to be on site for locate of your shelter site).

- 5** Fires are only permitted in the shelter grill. Bonfires are not allowed in the park or on the beach. Charcoal is only to be used in the grills provided at the shelter. Gas and propane grills are allowed. The grills base must be at least 24 inches from the surface on which it rests; grills are not permitted on picnic tables. Coals must be thoroughly extinguished, cooled and disposed of in disposal receptacles NOT garbage cans. All fires must be carefully supervised and extinguished before the group leaves the site.

- 6** All Village of Lake Zurich park rules apply to rentals. No fireworks allowed at any time. No vehicles are allowed in any of our parks (park pathways, grass, etc.) except for the parking lots. Driving through the park even down to your shelter is prohibited (all supplies for your rental including catering, tables, chairs, grills, etc. must be brought down by hand). Smoking is not permitted in the Village of Lake Zurich facilities. All trash and garbage must be placed in appropriate receptacles. No glass of any kind is allowed on park grounds.

- 7** For parks near the water, swimming is only allowed in the designated beach areas when a lifeguard is on duty. Group swim information can be obtained at the office.

- 8** Fishing is allowed on Lake Zurich. Anyone over 15 years old requires an Illinois fishing license.

- 9** Loudspeakers, public address systems, musical instruments, bands or amplified equipment are not allowed without the permission of the Park and Recreation Department.

- 10** Any violation of the park rules and regulations, Park and Recreation or Village ordinances, shall be just cause for immediately revoking the reservation and may be cause for future denial for use of shelter. This includes area being cleaned up at the end of the event.

- 11** Groups with youth under the age of 18 must have one adult over age 21 for every 10 youths. Any group which does not have adequate supervision or fails to maintain discipline will be asked to leave.

- 12** Proof of liability insurance may be required by the Village of Lake Zurich. Organized athletic leagues renting the fields will be required to provide the Village of Lake Zurich with a copy of their certificate of insurance, a league schedule and a copy of the team roster (if applicable) prior to league play. Payment of fees must be made prior to any scheduled league games.

- 13** No alcoholic beverages of any kind are permitted in the facilities or on the grounds unless you have approval from the Recreation Director and meet the following requirements (LAKE ZURICH RESIDENTS ONLY):
 - a) pay a non-refundable fee per event to allow your party to be added to the Village of Lake Zurich's insurance policy as an additional insured or see section b below.
 - b) by providing a Certificate of Insurance. This Certificate must be for \$2,000,000 Host Liquor Liability with the Village of Lake Zurich added as an additional insured through the homeowner's or renter's insurance.
 - c) by providing your local liquor license from Village Hall, 70 E. Main Street (\$50). Your reservation form will indicate whether alcohol is permitted or not. If underage drinking is going on, staff will be required to contact the police.
 - d) further information on obtaining a liquor license can be found at lakezurich.org/liquor. Please note that alcohol is prohibited on Village beaches.

- 14** Renter must begin their party set up at their scheduled reservation time. Place all refuse in garbage cans prior to your reserved ending time as no additional clean up time is allowed. Each Paulus Park shelters have 5 picnic tables -- Any additional tables needed must be brought in or you can use any unused picnic tables around the park.

- 15** Only certain parks have restroom facilities or portable toilets during the summer season. Paulus and Breezewald parks have indoor restroom facilities on the park property (on a locked timer opened dawn to dusk).

- 16** Leashed dogs are welcome to use park pathways, except as posted for special events or conditions. Please care for your pet: A \$250 fine will be assessed for individuals who do not clean up after their dog. A \$500 fine will be assessed for dogs that are off leash. Please refrain from feeding wildlife.

- 17** Any custodial service required over and above the group's normal clean-up will be charged at the rate of \$25 per hour.

- 18** In an emergency, please call the non-emergency police at 847-438-2349 or 911. If your shelter rental is during the week from 8:30am-4pm and you experience any issues you need assistance with, please contact the Barn at 847-438-5146. If your rental is on the weekend and you need assistance, you may contact the Beach Manager as early as 10am (during regular season hours or 12pm for pre/post season hours) at 847-540-5067 for assistance.

- 19** In the event of inclement weather (lightning, thunder, etc.), reservations will be given a full refund or transferred to an alternate date. No rain dates can be made in advance. The Village of Lake Zurich reserves the right to cancel athletic field reservations in the event of wet weather conditions that could result in damage to turf areas. Any rescheduled reservations MUST be cleared through the Park & Recreation department to avoid conflicts.

CANCELTION POLICY

If you need to cancel your rental, please contact us immediately. Cancellations made within 15 days of the rental date will receive the full amount of the rental fee refunded less a 10% service charge (minimum \$5, maximum \$15) with a full refund of your deposit. If a cancelation is made with less than 15 days notice, the Park and Recreation will retain the rental fee and refund; this includes reservations made less than 15 days from the rental date.

RENTAL CATEGORIES & HOURLY RATES

R = Resident NR = Non-Resident CR = Civic Resident CNR = Civic Non-Resident

	R	NR	CR	CNR
Shelter Rental under 100 people	\$90/day	\$125/day	\$45/day	\$62.50/day
Shelter Rental over 100 people	\$120/day	\$175/day	\$60/day	\$87.50/day
Field Rentals (up to 3 hours)	\$50/day	\$70/day	\$25/day	\$40/day

- Shelter rentals for 100+ people require both Park Advisory Board and Village Board approval
- Events such as weddings, races, etc. may be subject to park use fees which vary from \$400 to \$100 per day.

RENTAL GROUP CATEGORIES

Resident:

Individuals residing within the Village of Lake Zurich whose usage is not intent on making a profit or charging a donation (parties, showers, receptions, social events).

Non-Resident:

Individuals not residing within the Village of Lake Zurich whose usage is not intent on making a profit or charging a donation (parties, showers, receptions, social events).

Civic-Resident:

Non-profit groups, civic organizations, governmental units, etc. whose usage is not intent on making a profit or charging a donation (church groups, scouts, homeowners' associations, SAA). There is a maximum of 3 hours for rentals by civic organizations.

WAIVER AND RELEASE OF ALL CLAIMS

The undersigned participant agrees to obey all Village of Lake Zurich rules and regulations, as well as Village of Lake Zurich employees.

As a user of this facility, I recognize and acknowledge that there are certain risks of physical injury and I agree to assume the full risk of any injuries, including death, damages or loss which I, or any of my guests may sustain as a result of participating in any and all activities connected with or associated with use of stated facility. I do hereby fully release and discharge the Village of Lake Zurich and its officers, agents, servants and employees from any and all claims resulting from injuries, damages and losses sustained during the use of stated facility. I have read and fully understand the above details and waiver and release of all claims.

I have read the Village of Lake Zurich's policies and agree to abide by them or risk forfeiture of our facility rental or security payment.

Tom D/... 5/15/2022
Signature of Applicant Date

CONFIDENTIAL stamp. Amount of Charge \$ 60

OFFICE USE ONLY

Paid Date 5/15/22 Amount 60. Other Charges =. Total Owed =. Recreation Supervisor/Director. [Handwritten notes: Go to PAB/OB in June].



At the Heart of Community

PARKS AND RECREATION DEPARTMENT

200 South Rand Road
Lake Zurich, Illinois 60047

(847) 438-5146
LakeZurich.org

AGENDA ITEM
6E - 6F

MEMORANDUM

Date: July 18, 2022
To: Ray Keller, Village Manager *PK*
From: Bonnie Caputo, Recreation Director
Subject: **Paulus Park Pavilion Reservation Requests**

Issue: Every year we receive several Special Event Requests to take place at Paulus Park with anticipated attendance in excess of 100. According to the Village of Lake Zurich Special Events Guidelines, these requests to be reviewed, if time allows, by the Park Advisory Board and presented to the Village Board of Trustees for approval.

Analysis: D & W Fine Pack is requesting permission to hold their company picnic at Paulus Park on Thursday, August 11, 2022 from 11am-6pm at the Lakeside Pavilion for approximately 200 people in attendance. Planned activities include a cookout.

Lake Zurich Girl Scouts is requesting permission to hold a welcome back picnic for their members at Paulus Park. They have put in a special event request for the grounds and Center Stage Pavilion Sunday, September 18, 2022 from 10am- 7pm for approximately 120+ scouts, their families and volunteers to attend.

Recommendation: Village staff recommends to accept the above applicants requests to utilize Paulus Park for their events in 2022. Applicable shelter rental fees have been paid and certificates of insurance (listing the Village of Lake Zurich as additionally insured) will be obtained prior to their pavilion reservation dates if necessary.

w/ Attachments; 2022 Paulus Park Pavilion & Field Rental Applications

PAULUS PARK PAVILION & FIELD

PLEASE NOTE, PICNIC TABLES ARE ONLY AVAILABLE AT PAULUS PARK DRIVING IN OUR PARKS IS STRICTLY PROHIBITED FOR ANY REASON

PAVILION RENTALS

- Woodland Trails Pavilion - 200 S. Rand Rd
- Playground Pavilion - 200 S. Rand Rd
- Center Stage Pavilion - 200 S. Rand Rd
- Lakeside Pavilion - 200 S. Rand Rd
- Paulus Park Stage - 200 S. Rand Rd

FIELD RENTALS

- Braemar Park - 608 Chesterfield Ln
- Bristol Trails Park - 1130 Bristol Trails Rd
- Buffalo Creek Park - 675 Old Mill Grove Rd
- Chestnut Corners/Hunters Creek - 1235 Pheasant Ridge Dr
- Countryside East Soccer - 683 Old Mill Grove
- Countryside West Soccer - 1200 Deerpath
- Manor Park - 5 Miller Rd
- Old Mill Grove Park - 285 Old Mill Grove
- Orchards Park - 567 Lawrence
- Staples Park - 510 Red Bridge Rd
- Wicklow Ball Field - 815 March Street
- Wicklow West Park - 1154 O'Malley Street
- Zurites Park - 71 Pleasant

1 Date of Rental 8/11/22
 Arrival 11:00 ^{am} Departure 6:00 ^{pm}

2 Contact Natalia Lira
 Phone # 847-430-4592

3 Street Address 800 Ela Rd
 city Lake Zurich, IL 60047

4 E-Mail Address Nlira@dwsp.com
 Date of Birth 10/19/74

5 Purpose of Rental Company Picnic
 (could be less)

6 Expected Attendance 200
 Will Alcohol Be Served? Yes No (If yes, see policy 13)

7 Please describe any material, literature or equipment you will supply for your group:

8 Americans with Disabilities Act Special Needs:
 Yes No (If so, please specify)

9 Will there be an admission charge/donation?
 Yes No (If so, please specify)



WILL YOU BE USING SPECIAL EQUIPMENT?

Yes No (If so, please specify) Tables / chairs / grill

The Village does not supply special equipment. You must request permission & obtain a certificate of insurance naming Village of Lake Zurich as an additional insured to use special equipment on Village property. The use of generators and other noisy equipment is prohibited. Water is not available at any of the parks. **TENT PERMITS/FEE'S ARE APPLICABLE.**



RENTAL GROUP CATEGORIES

Resident:

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WAIVER AND RELEASE OF ALL CLAIMS

The undersigned participant agrees to obey all Village of Lake Zurich rules and regulations, as well as Village of Lake Zurich employees.

As a user of this facility, I recognize and acknowledge that there are certain risks of physical injury and I agree to assume the full risk of any injuries, including death, damages or loss which I, or any of my guests may sustain as a result of participating in any and all activities connected with or associated with use of stated facility. I do hereby fully release and discharge the Village of Lake Zurich and its officers, agents, servants and employees from any and all claims resulting from injuries, damages and losses sustained during the use of stated facility. I have read and fully understand the above details and waiver and release of all claims.

I have read the Village of Lake Zurich's policies and agree to abide by them or risk forfeiture of our facility rental or security payment.

Signature of Applicant

[Signature]

Member Name JOSEPH A. HARTMANN

Expiration Date 02/2023 Amount of Charge \$ 16120.00

Authorized Signature *[Signature]*

OFFICE USE ONLY

Paid Date _____ Amount _____

Other Charges _____

Total Owed = _____

Recreation Supervisor/Director _____

Approved Disapproved Date _____

Alcohol Permit Provided Certificate of Insurance Provided

Special Event Application: Yes No

Tent Permit Required: Yes No

Outlook Calendar _____ Calendar _____

Restruc _____

PAULUS PARK PAVILION & FIELD

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PAVILION RENTALS:

- Woodland Trails Pavilion - 200 S. Rand Rd
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- Old Mill Grove Park - 285 Old Mill Grove
- Orchards Park - 567 Lawrence
- Stables Park - 510 Red Bridge Rd
- Wicklow Ball Field - 815 March Street
- Wicklow West Park - 1154 O'Malley Street
- Zuriles Park - 71 Pleasant

12 Date of Rental 9/10/22
 Arrival 10:00 Departure 1:00 actual event = 12-10 pm

24 Contact Benee McBride / Girl Scouts
 Phone # 847-452-5008 or North

25 Street Address 137 Lorraine Dr.
 City Lake Zurich

26 E-Mail Address 1250446@vents.com
 Date of Birth 4/13/79

27 Purpose of Rental Girl Scouts Wilson
Back Picnic ~ 120

28 Expected Attendance ~ 120

Will Alcohol Be Served? Yes No (If yes, see policy)

29 Please describe any material, literature or equipment you will supply for your group: N/A

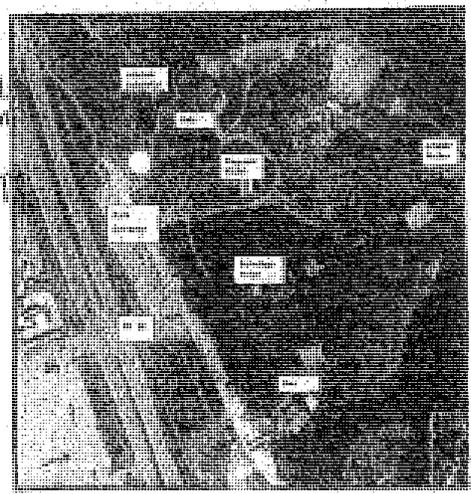
30 Americans with Disabilities Act Special Needs:
 Yes No (If so, please specify)

31 Will there be an admission charge/donation?
 Yes No (If so, please specify)

WILL YOU BE USING SPECIAL EQUIPMENT?

Yes No (If so, please specify)

The Village does not supply special equipment. You must request permission & obtain a certificate of insurance from the Village of Lake Zurich as an additional insured to use special equipment on Village property. The use of generator or other noisy equipment is prohibited. Water is not available at any of the parks. TENT PERMITS/FEES ARE



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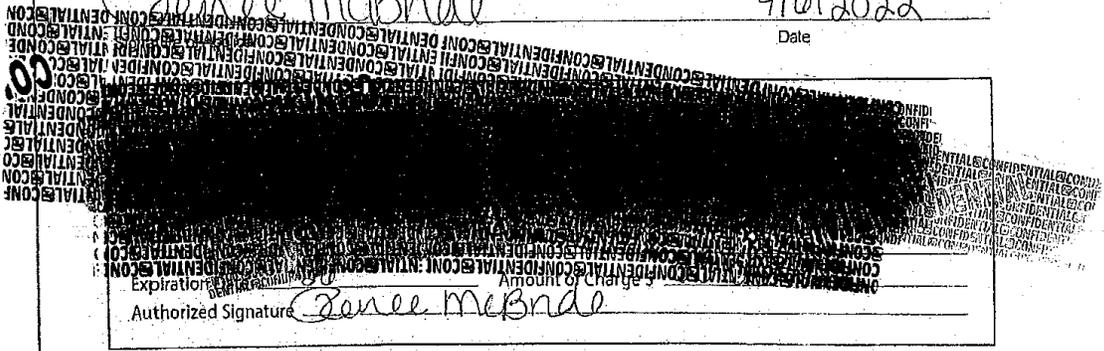
As a user of this facility, I recognize and acknowledge that there are certain risks of physical injury and I agree to assume the full risk of any injuries, including death, damages or loss which I, or any of my guests may sustain as a result of participating in any and all activities connected with or associated with use of stated facility. I do hereby fully release and discharge the Village of Lake Zurich and its officers, agents, servants and employees from any and all claims resulting from injuries, damages and losses sustained during the use of stated facility. I have read and fully understand the above details and waiver and release of all claims.

I have read the Village of Lake Zurich's policies and agree to abide by them or risk forfeiture of our facility rental or security payment.

Zenee McBride

7/6/2022

Date



Expiration Date: _____ Amount of Charge: _____
Authorized Signature: *Zenee McBride*

OFFICE USE ONLY:

Paid Date: *7/7/22* Amount: *60*

Other Charges: _____

Total Owed: *60*

Recreation Supervisor/Director: *[Signature]*

- Approved Disapproved Canceled
- Alcohol Permit Provided Certificate of Insurance Provided
- Special Event Application: *[Signature]*
- Tent Permit Provided:
- Outdoor Catering:
- Reservations: *[Signature]*



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AGENDA ITEM
6E - 6F

MEMORANDUM

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To: Ray Keller, Village Manager *PK*
From: Bonnie Caputo, Recreation Director
Subject: **Paulus Park Pavilion Reservation Requests**

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Analysis: D & W Fine Pack is requesting permission to hold their company picnic at Paulus Park on Thursday, August 11, 2022 from 11am-6pm at the Lakeside Pavilion for approximately 200 people in attendance. Planned activities include a cookout.

Lake Zurich Girl Scouts is requesting permission to hold a welcome back picnic for their members at Paulus Park. They have put in a special event request for the grounds and Center Stage Pavilion Sunday, September 18, 2022 from 10am- 7pm for approximately 120+ scouts, their families and volunteers to attend.

Recommendation: Village staff recommends to accept the above applicants requests to utilize Paulus Park for their events in 2022. Applicable shelter rental fees have been paid and certificates of insurance (listing the Village of Lake Zurich as additionally insured) will be obtained prior to their pavilion reservation dates if necessary.

w/ Attachments; 2022 Paulus Park Pavilion & Field Rental Applications

PAULUS PARK PAVILION & FIELD

PLEASE NOTE, PICNIC TABLES ARE ONLY AVAILABLE AT PAULUS PARK DRIVING IN OUR PARKS IS STRICTLY PROHIBITED FOR ANY REASON

PAVILION RENTALS

- Woodland Trails Pavilion - 200 S. Rand Rd
- Playground Pavilion - 200 S. Rand Rd
- Center Stage Pavilion - 200 S. Rand Rd
- Lakeside Pavilion - 200 S. Rand Rd
- Paulus Park Stage - 200 S. Rand Rd

FIELD RENTALS

- Braemar Park - 608 Chesterfield Ln
- Bristol Trails Park - 1130 Bristol Trails Rd
- Buffalo Creek Park - 675 Old Mill Grove Rd
- Chestnut Corners/Hunters Creek - 1235 Pheasant Ridge Dr
- Countryside East Soccer - 683 Old Mill Grove
- Countryside West Soccer - 1200 Deerpath
- Manor Park - 5 Miller Rd
- Old Mill Grove Park - 285 Old Mill Grove
- Orchards Park - 567 Lawrence
- Staples Park - 510 Red Bridge Rd
- Wicklow Ball Field - 815 March Street
- Wicklow West Park - 1154 O'Malley Street
- Zurites Park - 71 Pleasant

1 Date of Rental 8/11/22
 Arrival 11:00 ^{am} Departure 6:00 ^{pm}

2 Contact Natalia Lira
 Phone # 847-430-4592

3 Street Address 800 Ela Rd
 city Lake Zurich, IL 60047

4 E-Mail Address Nlira@dwsp.com
 Date of Birth 10/19/74

5 Purpose of Rental Company Picnic
 (could be less)

6 Expected Attendance 200
 Will Alcohol Be Served? Yes No (If yes, see policy 13)

7 Please describe any material, literature or equipment you will supply for your group:

8 Americans with Disabilities Act Special Needs:
 Yes No (If so, please specify)

9 Will there be an admission charge/donation?
 Yes No (If so, please specify)



WILL YOU BE USING SPECIAL EQUIPMENT?

Yes No (If so, please specify) Tables / chairs / grill

The Village does not supply special equipment. You must request permission & obtain a certificate of insurance naming Village of Lake Zurich as an additional insured to use special equipment on Village property. The use of generators and other noisy equipment is prohibited. Water is not available at any of the parks. **TENT PERMITS/FEE'S ARE APPLICABLE.**



RENTAL GROUP CATEGORIES

Resident:

Individuals residing within the Village of Lake Zurich whose usage is not intent on making a profit or charging a donation (parties, showers, receptions, social events).

Non-Resident:

Individuals not residing within the Village of Lake Zurich whose usage is not intent on making a profit or charging a donation (parties, showers, receptions, social events).

Civic-Resident:

Non-profit groups, civic organizations, governmental units, etc. whose usage is not intent on making a profit or charging a donation (church groups, scouts, homeowners' associations, SAA). There is a maximum of 3 hours for rentals by civic organizations.

WAIVER AND RELEASE OF ALL CLAIMS

The undersigned participant agrees to obey all Village of Lake Zurich rules and regulations, as well as Village of Lake Zurich employees.

As a user of this facility, I recognize and acknowledge that there are certain risks of physical injury and I agree to assume the full risk of any injuries, including death, damages or loss which I, or any of my guests may sustain as a result of participating in any and all activities connected with or associated with use of stated facility. I do hereby fully release and discharge the Village of Lake Zurich and its officers, agents, servants and employees from any and all claims resulting from injuries, damages and losses sustained during the use of stated facility. I have read and fully understand the above details and waiver and release of all claims.

I have read the Village of Lake Zurich's policies and agree to abide by them or risk forfeiture of our facility rental or security payment.

Signature of Applicant

Approved Disapproved Date _____
 Alcohol Permit Provided Certificate of Insurance Provided
 Special Event Application: Yes No
 Tent Permit Required: Yes No
 Outlook Calendar _____ Calendar _____
 Restroom _____

Pad Date _____ Amount _____
 Other Charges _____
 Total Owed = _____
 Recreation Supervisor/Director _____

Rental Order Name JOSEPH A. HARTMANN
 Expiration Date 02/2023 Amount of Charge \$ 16120.00
 Authorized Signature Joseph A. Hartmann

OFFICE USE ONLY

PAULUS PARK PAVILION & FIELD

PLEASE NOTE, PICNIC TABLES ARE ONLY AVAILABLE AT PAULUS PARK DRIVING IN OUR PARKS IS STRICTLY PROHIBITED FOR ANY REASON

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- Old Mill Grove Park - 285 Old Mill Grove
- Orchards Park - 567 Lawrence
- Stables Park - 510 Red Bridge Rd
- Wicklow Ball Field - 815 March Street
- Wicklow West Park - 1154 O'Malley Street
- Zuriles Park - 71 Pleasant

121 Date of Rental 9/10/22
 Arrival 10:00 Departure 1:00 actual event = 12-10pm

122 Contact Benee McBride / Girl Scouts of Northern IL
 Phone # 847-452-5008

123 Street Address 137 Lorraine Dr.
 City Lake Zurich

124 E-Mail Address 1250446vents@gmail.com
 Date of Birth 4/13/79

125 Purpose of Rental Girl Scouts Wildon Back Picnic ~ 120

126 Expected Attendance ~ 120

Will Alcohol Be Served? Yes No (If yes, see policy)

127 Please describe any material, literature or equipment you will supply for your group: N/A

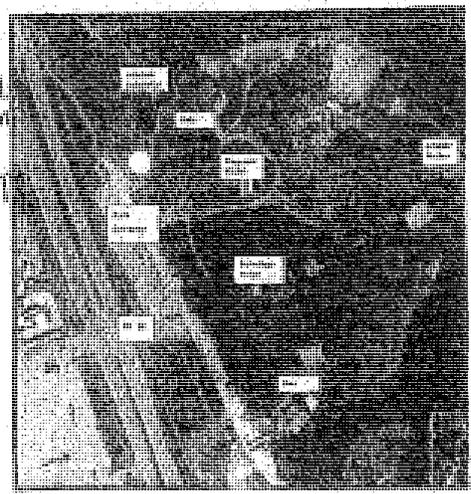
128 Americans with Disabilities Act Special Needs:
 Yes No (If so, please specify)

129 Will there be an admission charge/donation?
 Yes No (If so, please specify)

WILL YOU BE USING SPECIAL EQUIPMENT?

Yes No (If so, please specify)

The Village does not supply special equipment. You must request permission & obtain a certificate of insurance from the Village of Lake Zurich as an additional insured to use special equipment on Village property. The use of generator or other noisy equipment is prohibited. Water is not available at any of the parks. TENT PERMITS/FEES ARE



RENTAL GROUP CATEGORIES:

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Non-profit groups, civic organizations, governmental units, etc. whose usage is not intent on making a profit or charging a donation (church groups, scouts, homeowners' associations, SAA). There is a maximum of 3 hours for rentals by civic organizations.

WAIVER AND RELEASE OF ALL CLAIMS:

The undersigned participant agrees to obey all Village of Lake Zurich rules and regulations, as well as Village of Lake Zurich employees.

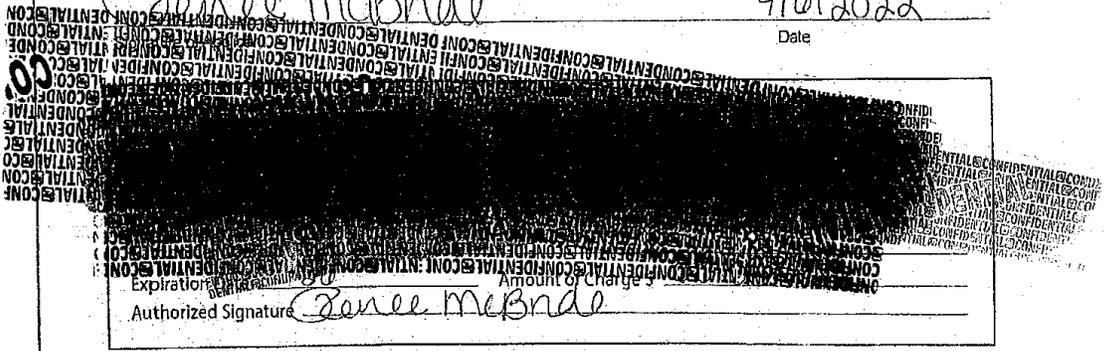
As a user of this facility, I recognize and acknowledge that there are certain risks of physical injury and I agree to assume the full risk of any injuries, including death, damages or loss which I, or any of my guests may sustain as a result of participating in any and all activities connected with or associated with use of stated facility. I do hereby fully release and discharge the Village of Lake Zurich and its officers, agents, servants and employees from any and all claims resulting from injuries, damages and losses sustained during the use of stated facility. I have read and fully understand the above details and waiver and release of all claims.

I have read the Village of Lake Zurich's policies and agree to abide by them or risk forfeiture of our facility rental or security payment.

Zenee McBride

7/16/2022

Date



Expiration Date: _____ Amount of Charge: _____
Authorized Signature: *Zenee McBride*

OFFICE USE ONLY:

Paid Date: *7/17/22* Amount: *60*

Other Charges: _____

Total Owed: *60*

Recreation Supervisor/Director: *[Signature]*

- Approved Disapproved Date: _____
- Alcohol Permit Provided _____
- Special Event Application _____
- Tent Permit Provided (L) _____
- Outdoor Catering _____
- Reservations _____



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telsler Road
Lake Zurich, Illinois 60047

Phone (847) 540-1696
Fax (847) 726-2182
LakeZurich.org

AGENDA ITEM

66

MEMORANDUM

Date: July 18, 2022

To: Ray Keller, Village Manager *PK*

From: Sarosh Saher, Community Development Director

CC: Tim Verbeke, Planner
Mary Meyer, Building Services Supervisor

Re: **Amendment to Annexation Agreement
Wildwood Estates of Lake Zurich - Honey Lake Road**

Issue: The current owner and developer of the property, Wildwood of Lake Zurich, LLC, requests an amendment to the Annexation Agreement to revise the signatories within the Agreement. No additional amendments are being requested.

Village Strategic Plan: This agenda item is consistent with the following objectives under Goal #2 – Development:

- Development: Become more business friendly and customer oriented.

Background: The approximately 34.5-acre property located on the south side of Honey Lake Road and to the west of Rand Road (Route 12) was annexed to the village on September 21, 2020. The property was annexed to Lake Zurich to allow for its development with 24 duplex residences on 12 duplex lots within 6.2 acres along Honey Lake Road, while leaving the southerly approximately 28.3 acres as undeveloped open space.

The terms and conditions of annexation and development were memorialized through an Annexation Agreement approved through Resolution No. 2020-09-052 entitled "A Resolution Approving and Authorizing the Execution and Attestation of an Annexation Agreement with Prestige Development LLC, an Illinois Limited Liability Company and C&J Enterprises LLC, an Illinois Limited Liability Company." dated September 21, 2020.

Wildwood Estates of Lake Zurich - Annexation Agreement Amendment
July 18, 2022

2

The signatories to the approved agreement were the developer Prestige Development, LLC, represented by Mr. Gregory Schmitt and the property owner C & H Enterprises, LLC, represented by Mr. Ronald L. Spiekhout. Prestige Development coordinated the various reviews for the development of the property.

On December 30, 2021, ownership title of the property was conveyed to a new owner “Wildwood of Lake Zurich, LLC,” comprising of two members – Projades LLC and Prestige Development LLC.

Following the closing of the property, the partner of Mr. Greg Schmitt (Prestige Development), Mr. Ram Prashantha, the owner of Projades LLC, notified the Village that he would be the lead developer on the project. Projades is a development group that builds custom homes and townhomes and is based in South Barrington. Mr. Prashantha indicated that Mr. Greg Schmitt had handed the active management of the project over to Projades, but would remain involved on certain aspects of the project.

As a result of the change in ownership and management, the original signatories of the Annexation Agreement will need to be amended with Mr. Ram Prashantha of Projades being the new signatory on the agreement document as owner and developer of the project.

For reference, the list of officers of the ownership “Wildwood of Lake Zurich, LLC” is as follows:

- Ramu Prashantha, Member/Manager of Projades LLC (signatory)
- Pinkey Rauniyar, Member/Manager of Projades LLC
- Gregory C. Schmitt, Member of Prestige Development, LLC
- Simone Constanze Osterhues, Member Prestige Development, LLC

Recommendation: Staff finds the new ownership, managers and officers of the development to be acceptable and therefore recommends amending the Annexation Agreement to provide for the new signatories. All other terms and conditions of the agreement shall remain unchanged.

Exhibits:

- Resolution Approving Annexation Agreement Amendment
- Amended Annexation Agreement Document

VILLAGE OF LAKE ZURICH



Resolution No. 2022-07-____

**RESOLUTION RATIFYING AND REAUTHORIZING
THE EXECUTION AND ATTESTATION OF AN ANNEXATION AGREEMENT
*The Wildwood Estates of Lake Zurich
24909 West Signal Hill Road (Honey Lake Road)***

WHEREAS, previously an annexation agreement was negotiated by and between the Village of Lake Zurich and Prestige Development, LLC, an Illinois Limited Liability Company and C & H Enterprises, LLC, an Illinois Limited Liability Company (the "Annexation Agreement"); and

WHEREAS, said Annexation Agreement was approved by the Village on September 23, 2020 by Resolution #2020-09-052; and

WHEREAS, the property subject to the Annexation Agreement is comprised of 34.553 acres located at 24909 West Signal Hill Road on the west side of Lake Zurich and contiguous to the boundaries of the Village (the "Subject Property"); and

WHEREAS, the Subject Property is proposed for development as a residential subdivision with open space, with the northerly 6.2 acres along Honey Lake Road developed with duplex residences on 12 duplex lots containing 2 duplex residences each and with the southern 28.3 acres undeveloped open space (the "Project"); and

WHEREAS, certain ownership and development rights in this Project have changed and revisions to the Annexation Agreement are appropriate to memorialize those changes; and

WHEREAS, the current owner desires to have the Subject Property annexed to the Village with the established and continuing terms and conditions set forth in the Annexation Agreement for a period of twenty (20) years; and

WHEREAS, all public hearings and other actions required to be held and taken prior to the adoption and execution of this Agreement, in order to make the same effective, have been held or taken, such public hearings and other actions having been held pursuant to public notice as required by law and in accordance with all requirements of law prior to the adoption and execution of this Agreement.

NOW THEREFORE, the Mayor and Board of Trustees of the Village of Lake Zurich resolve as follows:

Section 1: Annexation Agreement. The Board of Trustees of the Village of Lake Zurich hereby ratifies and reauthorizes the annexation of the Subject Property to the Village of Lake Zurich, and those terms and conditions of that Annexation Agreement attached hereto as Exhibit A, governing said annexation, the terms and conditions of said Agreement to be the same as those previously agreed to by the Village of Lake Zurich and Prestige Development, LLC, an Illinois Limited Liability Company and C & H Enterprises, LLC, an Illinois Limited Liability Company and approved by the Village of Lake Zurich on September 23, 2020 by Resolution #2020-09-052.

Section 2: Execution of Agreement. The President and Village Clerk of the Village of Lake Zurich are hereby authorized and directed to execute and attest to the Annexation Agreement, as approved herein, on behalf of the Board of Trustees of the Village of Lake Zurich.

Section 3: Annexation. Subject to the provisions of Article 7 of Chapter 65 of the Illinois Municipal Code, and following the execution of the Annexation Agreement, the Subject Property shall be annexed to the Village of Lake Zurich. The plat of annexation of the Subject Property is attached to the Annexation Agreement.

Section 4: Continuity of Obligations. The provisions of the Annexation Agreement shall inure to the benefit of and shall be binding upon the Owners and signatories thereto and each of their respective successors in any manner in title.

Section 5: Recordation. The Village Clerk shall be and is hereby authorized and directed to record the Annexation Agreement and plat of annexation on behalf of the Village upon receipt of the signed Annexation Agreement from owner and after execution by the Mayor and attestation by Village Clerk.

Section 6: Effective Date. This Resolution shall be in full force and effect upon passage by the Mayor and Board of Trustees of the Village of Lake Zurich and said Annexation Agreement shall be in full force and effect for a term of twenty (20) years from and after the execution date of the Annexation Agreement.

PASSED THIS ____ day of July, 2022.

Ayes:

Nays:

Absent:

EFFECTIVE on this ___ day of July, 2022.

Tom Poynton, Mayor

Kathleen Johnson, Village Clerk

*This Agreement Prepared by
(and return after recording to):*
Village Manager
VILLAGE OF LAKE ZURICH
70 East Main Street
Lake Zurich, Illinois 60047



**AMENDED ANNEXATION AND DEVELOPMENT AGREEMENT
[The Wildwood Estates of Lake Zurich - 24909 West Signal Hill Road (Honey Lake Road)]**

THIS AGREEMENT is made and entered into this ____ day of July, 2022, (the “Execution Date”), by and between the Village of Lake Zurich, a municipal corporation (hereinafter referred to as “Village”), Projades, LLC, an Illinois limited liability company (hereinafter referred to as “Developer”) and Wildwood of Lake Zurich, LLC, an Illinois limited liability company (hereinafter referred to as “Owner”).

WITNESSETH:

WHEREAS, the Property which is the subject of this annexation agreement is legally described on **Exhibit A** attached hereto and hereby made a part hereof, hereinafter referred to as the “Subject Property”; and

WHEREAS, the Owner is the legal title holder of the Subject Property at 24909 West Signal Hill Road (whereby Signal Hill Road is also referred to as “Honey Lake Road”); and

WHEREAS, Developer has entered into a certain Real Estate Purchase Contract with Owner entitled “Agreement of Purchase and Sale” dated October 24, 2019, (as amended, the “Purchase Contract”), pursuant to which, among other things, Developer has agreed to purchase the Subject Property from Owner; and

WHEREAS, the annexation of the Subject Property as provided herein will promote the sound planning and development of the Village as a balanced community and will be beneficial to the Village; and

WHEREAS, the Owner and Developer desire to have the Subject Property annexed to the Village, and the Owner, Developer and Village desire to obtain assurances from each other as to certain matters covered by this Agreement for a period of twenty (20) years from and after the Execution Date; and

WHEREAS, the Subject Property comprises of 34.553 acres located on the west side of Lake Zurich and is currently contiguous to the existing boundaries of the Village; and

WHEREAS, there are currently no electors residing upon the Subject Property; and

WHEREAS, pursuant to Chapter 18 of the Lake Zurich Zoning Code entitled “Amendments,” an application has heretofore been filed with the Village of Lake Zurich for rezoning of the Subject Property; and

WHEREAS, said application was forwarded to the Planning and Zoning Commission (PZC) of the Village of Lake Zurich; and

WHEREAS, a public hearing was held by the PZC on said rezoning as required by the Zoning Code of the Village and the Planning and Zoning Commission has submitted to the Corporate Authorities of the Village (hereinafter referred to as the “Corporate Authorities”) their findings of fact and recommendation with respect to said rezoning; and

WHEREAS, after due notice as required by law, a public hearing on this Annexation Agreement (“Agreement”) has been held by the Corporate Authorities of the Village; and

WHEREAS, the parties wish to enter into a binding agreement with respect to the said annexation of the Subject Property and for other related matters pursuant to the provisions of Division 15.1 of Article 11 of the Illinois Municipal Code (65 ILCS 5/11-15.1-1 et seq.), upon the terms and conditions contained in this Agreement; and

WHEREAS, all public hearings and other actions required to be held or taken prior to the adoption and execution of this Agreement, in order to make the same effective, have been held or taken, such public hearings and other actions having been held pursuant to public notice as required by law and in accordance with all requirements of law prior to the adoption and execution of this Agreement; and

WHEREAS, Owner is the owner of record of the Subject Property and has signed a petition for annexation of the Subject Property to the Village, which petition is hereinafter referred to as the “Annexation Petition”; and

WHEREAS, the Corporate Authorities of the Village, Developer and the Owner deem it to be to the mutual advantage of the parties and in the public interest that the Subject Property be annexed to the Village and developed as hereinafter provided.

NOW THEREFORE, in consideration of the premises and the mutual promises herein set forth, the parties hereto agree as follows:

1. Annexation: Subject to the provisions of Article 7 of Chapter 65 of the Illinois Municipal Code, the parties deem it to be to the mutual advantage of the parties and in the public interest to have the Subject Property annexed to the Village. The parties agree to do all things necessary or appropriate to cause the Subject Property (legally described in Exhibit A) to be duly

and validly annexed to the Village after approval of this Agreement and as described below. The parties shall cause such annexation to be effected pursuant to the provisions of Section 7-1-8 of Chapter 65 of the Illinois Municipal Code. The plat of annexation of the Subject Property is attached hereto as **Exhibit C** and made a part hereof. The Village, Owner and Developer acknowledge that as of the time of approval of this Annexation Agreement, Developer is a contract purchaser. Therefore, this Annexation Agreement shall be valid and enforceable against the parties hereto as of the Execution Date and shall be recorded with the Lake County Recorder. Upon recording of this Annexation Agreement, it shall become effective to annex the Subject Property to the Village and the date of such recording shall be referred to herein as the "Effective Date".

2. Zoning: Upon annexation of the Subject Property to the Village as set forth herein, the Corporate Authorities shall immediately rezone and classify the Subject Property within the R-6 Multiple Family Residential District and the OS Open Space District under the Lake Zurich Zoning Code unless otherwise recommended after a public hearing by the PZC.

3. Sidewalk Improvements: The Village, Developer and Owner acknowledge and agree that sidewalks and parkway trees are required within and along the right of way as set forth on the Preliminary Plan attached hereto and made a part hereof as **Exhibit D** (the "Preliminary Plan").

The Developer shall install a sidewalk along the frontage of the development with Honey Lake Road, namely along the south side of Honey Lake Road. Such new sidewalk constructed by the developer as described herein, shall extend eastward to connect to an existing village sidewalk that terminates at the property commonly known as 166 Tyler Ct generally located just east of the private Clubhouse Lane, and at a distance of approximately 630 feet from the easterly boundary of the Subject Property. Such sidewalks shall be installed in compliance with the applicable standards of the Village of Lake Zurich. No home within the Development shall be occupied for longer than nine (9) months without a sidewalk along that property frontage being completed. When at least seventy five percent (75%) of the Development has completed homes on it, the Developer shall install the remaining sidewalk for any vacant lots within the Development.

4. Street Improvements: The Village, Developer and Owner acknowledge and agree that street improvements are required for the Development. Honey Lake Road required to provide access to the Development for general traffic shall be constructed in accordance with, and as required by or pursuant to the standards of the Village of Lake Zurich, and as follows:

- a. The surface of Honey Lake Road shall be improved for its entire width, such width being as determined by the village. Right-of-way width at any point along the frontage of the new development shall be no less than 60 feet.
- b. Curb and Gutter shall be installed along the southerly edge of the right-of-way. No curb and gutter shall be required along the northerly edge of the right-of-way.
- c. One street light shall be installed by and at the expense of Developer within the right-of-way of Honey Lake Road. The Street light shall be dedicated to Village in conformance with requirements of ComEd. Design of the light standard shall be as approved by the village. The final street light location shall be determined

by the village. The street light shall be energized prior to the first occupancy permit issued.

5. **Water and Sewer Service:** The Development on the Subject Property shall be connected to public water and sewer mains/systems. Developer shall be required to construct and install any required extension to the existing water main from the current location of such main(s), bringing the line to the Subject Property from the appropriate location(s) designated by the Village. The water main extension shall be looped for water quality purposes. Un-looped extensions with fire protection service shall not be permitted on a dead end. Such water and sewer connections shall be made for any homes to be built on the Subject Property prior to and as a condition of the issuance of an occupancy permit. Additionally, no work related to water and sanitary improvements shall commence prior to obtaining approval of the pertinent local, county or state agencies and posting of any and all required improvement guaranties.

All connections to said water and sewer systems shall be made by the Developer in accordance with the requirements of the Village Engineer and with final engineering plans to be approved by the Village and Developer shall pay all applicable water connection fees to the Village for the standard water connection fees as required by Village Codes. Developer shall additionally pay all applicable Lake County sewer connection fees at rates that are established at the time of requesting such permits.

The Developer agrees to connect to the Village water and sanitary sewerage systems of the Village as required by the codes and ordinances of the Village. The Village represents and warrants that it owns, operates and maintains (i) a potable water supply and distribution system, and (ii) a sanitary sewer system, each of which system and main has, and at all times will have, sufficient capacity to accommodate the anticipated potable water, fire protection and sanitary sewer needs of the Subject Property and the residents of the Subject Property to the extent that the Subject Property is developed in accordance with the Development Plan. Such Development Plan will be reviewed by the Corporate Authorities of the Village, and approved for the development of the Subject Property subject to all applicable codes and ordinances. The Village agrees that said Development Plan shall constitute the Final Plan for the Development as required by the terms of the Village's Land Development Code. Said Development Plan approval shall be effective for the term as outlined within the provisions contained within the Land Development Code. Developer agrees that no work related to water and sanitary improvements shall commence prior to obtaining approval of the pertinent local, county or state agencies and posting of the required improvement guaranties. No such approval by the pertinent local, county or state agencies and/or posting of the required improvement guaranties by Developer shall hold up the permitting or construction described in Section 9 below.

The developer shall contribute funds towards the upgrade of the RSR Lift Station in an amount not to exceed \$100,000. In the event the developer chooses to complete the necessary upgrades, such upgrades will be at the sole cost of the developer and be completed in conformance with the specifications of the village.

6. **Stormwater Improvements:** The development on the Subject Property shall be constructed by Developer in compliance with all applicable Village and Lake County stormwater

restrictions and requirements in accordance the requirements of the Village Engineer and with final engineering plans to be approved by the Village.

7. **Back-up Open Space, Stormwater Management, Special Service Area.** Owner hereby agrees to the establishment of a backup Special Service Area (“SSA”) on the Property and agrees to provide a written waiver of any objection to such an SSA as part of the procedure to establish the SSA. Promptly after the approval of the Final Plat of Subdivision by the Village, the Village shall give all notices required by, and shall hold a public hearing pursuant to, the Illinois Special Service Area Tax Law, 35 ILCS 200/27-5 et seq., for the purpose of considering and establishing a back-up special service area exclusively for the subject Residential Subdivision (the “back-up Special Service Area”), for the purpose of generating revenues sufficient to allow the Village to assume the obligations of maintaining within the Residential Subdivision its common areas/outlots, open space, natural area(s), the stormwater management and stormwater retention/detention areas within the Residential Subdivision, should the Owner and its successors default on their obligations to do so. The Owner agrees to cooperate with the creation of the back-up Special Service Area and shall not, and hereby agrees not to, object to the creation of the back-up Special Service Area. The Owner shall pay to the Village, immediately upon presentation of a written invoice therefor, all reasonable legal, engineering, and other consulting or administrative fees, costs, and expenses reasonably estimated to be, or actually, incurred or accrued in connection with the review and processing of plans for, and the creation of, the back-up Special Service Area, including without limitation all reasonable costs incurred by the Village for publications and recordings required in connection with the foregoing. The Owner and its successors acknowledge their responsibility to timely pay for all property owned by the Owner and its successors, all tax levies in the event of the ultimate institution of the Special Service Area.

Owner also agrees to include easement language within the Final Plat of Subdivision for the Subject Property for the Village to access the Residential Subdivision for the performance of the above maintenance using the revenues from the backup SSA, including for the common maintenance of the stormwater and any natural resource protection areas within the Residential Subdivision that requires the homeowners to maintain the stormwater and any natural resource protection areas and all other common areas. Such language shall also create the right, without obligation, for the Village to enter the stormwater and any natural resource protection areas for necessary or emergency maintenance and/or maintain and preserve the areas and impose the costs of such work on the homeowners, with lien rights in the event of nonpayment, or by recourse to the imposition of the revenues derived from the backup SSA.

As a condition of the approval of the Final Plat of Subdivision, Owner and/or Applicant shall be responsible for the preparation (and submittal to the Village for review and approval) and ultimate recording of an appropriate declaration of covenants, restrictions and easements creating a homeowners’ association (the “Home Owners Association”) to assume the ongoing maintenance responsibilities for the stormwater and any natural resource protection areas and all other common areas within the Residential Subdivision.

8. **Conservation of the Open Space Area:** It is the intention of the Developer to convey the approximately 28.385 acres of land proposed to remain as open space to a not-for-profit entity for the long-term maintenance of such portion of the development. The Developer has

chosen and the Village has found it acceptable for the land to be conveyed to Citizens for Conservation (hereinafter referred to as "CFC"), a volunteer-based, Illinois 501(c)(3) not-for-profit organization, whose mission is "saving living space for living things through protection, restoration, and stewardship of land, conservation of natural resources and education."

CFC agrees to take ownership of the open space portion of the Development and to conduct its long-term maintenance for the benefit of preserving the land and for the conveyance of stormwater from tributary properties thereby preventing flooding of the Subject Property and adjacent developed property. The terms, conditions, provisions and funding of the long-term maintenance of such portion of the development shall be contained within the document entitled "_____," and attached hereto as **Exhibit _____**.

Developer also agrees to include easement language within the Final Plat for the Subject Property for the long-term maintenance of the open space portion of the development by CFC. Such language shall additionally create the right, without obligation, for the Village to enter such open space area for necessary or emergency maintenance and/or maintain and preserve the areas and impose the costs of such work on the owner(s) of such open space portion on the Owner or its successors, with lien rights in the event of nonpayment, or by recourse to the imposition of maintenance funds collected and allocated towards the maintenance of such portion of the Development and included within the document described in the preceding paragraph. Until such time of this open space portion is conveyed to CFC or other entity, Developer and its successors shall remain fully responsible for all necessary or emergency maintenance and/or maintain and preserve the areas and impose the costs of such work on the Developer or its successors, with responsibility to reimburse the Village and with lien rights in the event of nonpayment.

9. **Impact Fees/Building Fees/Village Fees:** Developer shall be responsible for payment of the following Impact Fee amounts as a condition of the approval of the Final Plat:

- a. The required school donation fee:
 - 1-2 bedroom - \$795.00
 - 3 bedroom - \$1,275.00
 - 4 bedroom - \$2,445.00
- b. The required park donation fee:
 - 1-2 bedroom - \$5,166.00
 - 3 bedroom - \$6,598.80
 - 4 bedroom - \$9,540.00
- c. The required library donation fee: - \$125.00

The school impact, park impact fees, and library impact fees are paid pro-rata and due at the time a building permit is issued for the applicable lot. The Village hereby represents that there are currently no recapture agreements applicable to the Subject Property.

The Village agrees that no fee increases or new types or classification of land development, subdivision, impact or building permit fees, donations, requirements, costs or impositions not in

existence as of the date of this Annexation Agreement will be imposed upon the Subject Property or the Developer in connection with its development of the Subject Property for a period of four (4) years after recording of the Final Plat for the Subject Property. Upon expiration of said four (4) year period, the Village may thereafter adopt other and further development fees or requirements or modify any then-existing fees or requirements as long as such fees or requirements are imposed by a Village ordinance of general applicability. The provisions in this paragraph exclude any sewer connection and other development related fees owed to Lake County.

10. **Easements:** Developer and Owner, with respect to the residential portion of the Subject Property then owned by such party, shall provide all easements, both on-site and off-site (if applicable), which may be required by the Village Engineer to enable the Subject Property to receive water and sanitary sewer service and other public utilities, including cable television, with the Village being the named grantee in all said easements. Such required easements and easement provisions shall be depicted on the Final Plat of Subdivision. The location for all public improvements, including public utilities, streets, fire protection and emergency services shall be as approved by the Village and as shown on final engineering plans approved by the Village, with all utilities to be placed underground. Any and all Deed Restricted areas (wetlands, natural resource protection areas, etc.) required by the Village and United States Army Corps of Engineers (USACE) shall be depicted and legally described on the Final Plat.

11. **Final Plan:** Developer intends to request approval of the Development Concept Plan (Preliminary Plan) and Final Plan concurrently. Developer may therefore submit one or more final plats of subdivision for the Subject Property and the Village shall approve such final plats of subdivision so submitted provided they are in substantial conformance with the terms and conditions of this Agreement and the Final Plan and otherwise meet all requirements of the Village Land Development Code, as modified by this Agreement. All final plats of subdivision shall comply with the Village Land Development Code in all respects unless specifically stated otherwise in this Agreement, and as indicated on the Final Plan inclusive of final subdivision plats, final planned unit development plans, final landscape plans, final engineering plans, and final building floor plans and elevations which are in substantial conformance and subject to compliance with the Land Development Code approved with this Annexation Agreement. The final plat(s) of subdivision approved by the Village for the Subject Property is/are herein referred to individually and collectively, as the case may be, as the "Final Plat".

12. **Plan Changes:** Subject to staff review and approval, and without the requirement to amend this Annexation Agreement, the Developer may add additional floor plans, models, elevations, and building types so long as they are consistent with Village Municipal Code Requirements, and in general conformance with such floor plans, models, elevations, and building types approved as part of the Final Plan. Any change or modification to the engineering plans and specifications or any change or modification to the building plans or changes in the Preliminary Plan which are determined by the Village Manager as: (i) in substantial compliance with the Preliminary Plan or other plans or plats as approved by the Village Board; (ii) in compliance with the Lake Zurich Municipal Code, as amended, except as specifically varied herein; and (iii) in compliance with good engineering practice are herein referred to as an "Incidental Change." Any change in the home product mix set forth in the Final Plan that does not affect the configuration or increase the overall density shall be an Incidental Change hereunder. Incidental Changes may

be approved or rejected by the Village Manager without PZC or Village Board review or public hearing.

13. **Code Compliance:** Except state or county mandates which are outside of the control of the Village, for a period of two years from the Effective Date of this Annexation Agreement, any changes to the Village's Building, Plumbing, Electrical, Fire Prevention, Zoning and Development codes ("Village Codes") shall not be applicable to the development of the Subject Property. In the event that any modifications or amendments to the above referenced codes affecting the Subject Property benefit Developer, said modification shall be effective as to the Subject Property.

14. **Marketing Signage/Storage Trailers:** The Developer may place and utilize one (1) construction supply storage trailer upon such parts of the residentially zoned portion of the Subject Property as required for development and/or construction purposes. Developer shall have the right to install and maintain marketing signage per the requirements of Title 12 of the Lake Zurich Municipal Code.

15. **Subdivision Improvement Guarantee:** Developer shall post a performance guarantee for the required Subdivision Improvements in the form of a Letter of Credit (the "LOC") in the format attached to this Agreement as **Exhibit H** and approved by the Village. The LOC shall be prepared to be in the amount of 110% of the authorized land development improvements as contained within the Engineers Opinion of Probable costs as approved by the Village Engineer.

Periodic reductions in the LOC will be approved by the Village based upon the Village Engineer's certifying completion of work on the affected public improvements based upon documentation supplied from time to time by the Developer and the inspection of such public improvements by the Village Engineer. Reductions in the LOC will be determined and the Developer notified without unreasonable delay. Such notice shall: (i) identify, with specificity, any deficiencies in the work on the affected public improvements or incomplete work on such public improvements; and (ii) list, in detail, all corrections to defective work and/or work to be completed in order to obtain the Village Engineer's certification of completion of the work on the affected public improvements. Any necessary re-inspection shall be completed within fifteen (15) days following notice from the Developer to the Village Engineer that it has corrected such deficiencies and/or completed such work, as the case may be.

Once complete, the Village shall accept the public improvements and maintenance provisions (i.e. underground utilities before road improvements are complete) after such improvements have been installed, tested and approved by the Village and the Developer has satisfied the Village's final acceptance and maintenance requirements. The LOC may then be reduced to 10% as maintenance surety for a period of 2 years. No such acceptance of the public improvements by the Village and/or posting of the required LOC by Developer shall hold up the permitting or construction described in Section 11 hereof.

16. **Demolition, Soil Erosion Control & Grading Plan Approval (Initial Plans):** Upon review and approval of the Initial Plans and required NPDES permit for the Subdivision, the Village will allow Developer to proceed with site demolition, site clearing and earthwork prior to

the approval of any Final Plans (i.e. Final Subdivision Improvement Plans and Final Plats) provided Developer posts with the Village a surety in the form of a letter of credit approved by the village for such site demolition, site clearing and earthwork in the amount sufficient to restore the affected area, including, without limitation, the costs of erosion control, re-spreading topsoil and seeding the disturbed area. Such Demolition, Soil Erosion Control & Grading Plan Approval (Initial Plans) shall only pertain to “mass grading” and not to excavation for the construction and installation of utilities.

The Village also agrees to allow CFC to proceed with site testing, analysis, site vegetation clearing and restoration of the open space area prior to the approval of such Final Plans described in the preceding paragraph.

17. **IEPA Permits.** The Developer shall prepare and Village will execute (review and provide signature) and return to Developer both IEPA Sanitary Sewer Main Extension and IEPA Water Main Extension Permits (“IEPA Permits”) within one (1) week of submittal thereof by Developer.

18. **Sanitary Sewer and Water Main Improvements:** Upon Village review and approval of the Final Utility Plan, the required LOC described in Section 15 above in the amount of such work contemplated with such improvements, and approval of all necessary permits by the Illinois Environmental Protection Agency (IEPA), the Village shall allow Developer to install the sanitary sewer main and water main and associated upgrades and improvements for this Subdivision.

19 **Building Permits:** The Village shall allow the permitting and construction of one (1) model building consisting of two duplex homes and one (1) speculative building consisting of two duplex homes, of which the model homes may be utilized for the purpose of a sales office. Developer shall have the right to occupy and use said models, as well as their garages for sale, sales promotions and offices for sales personnel, all as may be desirable or in any way connected with the sales of homes on the Subject Property. Each model building and speculative homes shall only be allowed for construction after Honey Lake Road is constructed to binder course and prior to potable water and sanitary service being available to such homes. Permits for such model building and speculative homes shall only be issued after the village staff and fire prevention bureau are satisfied that access to these structures is safe and adequate. No final certificate of occupancy for any new home within the Development shall be issued until water and sanitary service is connected, inspected and approved by the Village.

20. **Impact Requirements:** Developer and Owner agree that any and all recaptures, contributions, dedications, donations and easements provided for in this Agreement substantially advance legitimate governmental interests of the Village including, but not limited to, providing its residents, and in particular the residents of the Subject Property, with access to and use of public utilities, streets, fire protection and emergency services. Developer and Owner further agree that the recaptures, contributions, dedications, donations and easements required by this Agreement are uniquely attributable to, reasonably related to and made necessary by the annexation of the Subject Property. Developer and Owner agree to waive any possible objections to any of these recaptures, contributions, dedications, donations or easements.

Any subsequent purchasers or successors of all or a portion of the Subject Property (or any of the parcels or any lot created hereunder individually) by purchasing or receiving all or any part of the Subject Property shall by such purchase or receivership automatically acknowledge agreement with all of the provisions of this Paragraph, and shall be deemed to have done so without any other confirming documentation.

21. **Disconnection from Fire Protection District:** Once the Subject Property is annexed to the Village, the Developer shall agree to the disconnection of the property from the Lake Zurich Rural Fire Protection District, as the property will be served by the Lake Zurich Fire Department.

Notwithstanding the preceding paragraph, the Developer and Owner and each of their respective successors, heirs, executors and assigns all agree that during the term of this Agreement they will not seek to disconnect any portion or all of the Subject Property or any of the respective parcels from the Village, and that they will oppose any disconnection proceeding that may be filed.

22. **Warranties and Representations:** Developer and Owner, with respect to the portion of the Subject Property then owned by such party, represent and warrant to the Village as follows:

A. As of the Execution Date of this Agreement, the legal title holder of record of the Subject Property is as set forth on the first page of this Agreement.

B. That other than the Owner, Owner’s mortgagee(s), and Developer and CFC, no other entity or person has any interest in the Subject Property or any of the matters as herein proposed.

C. That Developer has provided the legal descriptions of the Subject Property set forth in this Agreement and that said legal descriptions are accurate and correct.

23. **General Provisions:**

A. **Notices:** Notice or other writings which any party is required to, or may wish to, serve upon any other party in connection with this Agreement shall be in writing and shall be delivered personally or sent by registered or certified mail, return receipt requested, postage prepaid, or by Federal Express, UPS or other nationally recognized courier, addressed as follows:

(1) If to the Village or Corporate Authorities:

Village Mayor
 VILLAGE OF LAKE ZURICH
 70 East Main Street
 Lake Zurich, Illinois 600 7

With a copy to:

Village Administrator

VILLAGE OF LAKE ZURICH
70 East Main Street
Lake Zurich, Illinois 60047; and

KLEIN, THORPE AND JENKINS, LTD.
20 North Wacker Drive, Suite 1660
Chicago, Illinois 60606-2903
Attn: Scott Uhler

(2) If to the Owner:

Wildwood of Lake Zurich, LLC
35 W. Higgins Road, Suite 720
South Barrington, IL 60010

With a copy to:

Projades LLC
35 W. Higgins, Suite 720
South Barrington, IL 60010
Attn: Ramu Prashantha

And to:

Prestige Development LLC
3177 Paar Circle
Port Charlotte, FL 33981
Attn: Gregory C. Schmitt

(3) If to the Developer:

Projades LLC
35 W. Higgins, Suite 720
South Barrington, IL 60010
Attn: Ramu Prashantha

or to such other address as any party may from time to time designate in a written notice to the other parties.

B. Continuity of Obligations:

(1) The provisions of this Agreement shall inure to the benefit of and shall be binding upon Developer and Owner, and each of their respective successors in any manner in title and shall be binding upon the Village and the successor Corporate Authorities of the Village and any successor municipality. Developer and Owner, with respect to the portion of the Subject Property then owned by such party, and each of their respective successors shall at all times during the term of this Agreement remain liable to the Village for the faithful performance of all obligations imposed upon Developer and Owner by this Agreement until such obligations have been fully performed or until the Village, at its sole option, has otherwise released the Developer and/or Owner from any or all of such obligations.

(2) All terms and conditions of this Agreement shall constitute covenants running with the land and shall bind each subsequent record owner of any portion or all of the Subject Property, including individual lot owners. Nothing contained in this Agreement shall be construed to restrict or limit the right of an owner to sell or convey all or any portion of the Subject Property, whether improved or unimproved. Upon transfer of any or all of the Subject Property, all rights, duties and interest of the legal title owner hereunder with respect to the portion of the Subject Property so conveyed shall run to the benefit of and be binding upon owner's successors in interest, and such owner's obligations under this Agreement with respect to the portion of the Subject Property so conveyed shall terminate; provided, however, that solely with respect to transfer by Developer of any undeveloped portion of the Subject Property, or other applicable development security with respect to such undeveloped portion of the Subject Property so conveyed are posted by the new owner and/or developer and are approved and accepted by the Village, which approval and acceptance shall not be unreasonably withheld, conditioned and/or delayed. In the event of any sale, transfer or assignment of all or any part of the Subject Property by Developer to another builder or developer for the purposes of building and development, such subsequent owner, builder or developer shall be entitled to all rights and benefits with respect to such portion of the Subject Property conveyed to such subsequent owner, builder or developer, as the case may be.

C. Court Contest: In the event that the annexation of the Subject Property or other terms of this Agreement are challenged in any court proceeding, the period of time during which such litigation is pending, including (without limitation) the appeal time therefor, shall not be included, if allowed by law, in calculating the twenty (20) year period provided in subparagraph P below.

D. Remedies: The Village, Developer and Owner, and each of their respective successors and assigns, covenant and agree that in the event of default of any of the terms, provisions or conditions of this Agreement by any of the parties, or their successors or assigns, which default exists uncorrected for a period of ten (10) days after written notice to any party to such default, the party seeking to enforce said provision shall have the right of specific performance and if said party prevails in a court of law, it shall be entitled to specific performance. It is further expressly agreed by and between the parties hereto that the remedy of specific performance herein given shall not be exclusive of any other remedy afforded by law to the parties, or their successor or successors in title. In no event shall a default by Developer hereunder be deemed a default by Owner hereunder and Owner shall not be liable for any default of Developer.

E. Survival of Representations: The parties agree that the representations, warranties and recitals set forth in the preambles to this Agreement are material to this Agreement and the parties hereby confirm and admit their truth and validity and hereby incorporate such representations, warranties and recitals into this Agreement and the same shall continue during the period of this Agreement.

F. Captions and Paragraph Headings: The captions and paragraph headings used herein are for convenience only and are not a part of this Agreement and shall not be used in construing it.

G. No Waiver or Relinquishment of Right to Enforce Agreement: Failure of any party to this Agreement to insist upon the strict and prompt performance of the terms, covenants, agreements and conditions herein contained, or any of them, upon the other party imposed, shall not constitute or be construed as a waiver or relinquishment of either party's right thereafter to enforce any such term, covenant, agreement or condition, but the same shall continue in full force and effect.

H. Village Approval or Direction: Where Village approval or direction is required by this Agreement, such approval or direction means the approval or direction of the Corporate Authorities of the Village unless otherwise expressly provided herein or required by law, and any such approval may be required to be given only after and if all requirements for granting such approval have been met unless such requirements are inconsistent with the express provisions of this Agreement.

I. Recording: This Agreement, and any subsequent amendments thereto shall be recorded by the Village in the office of the Recorder of Deeds in Lake County, Illinois at the expense of the Village.

J. Amendment: This Agreement sets forth all the promises, inducements, agreements, conditions and understandings between the parties relative to the subject matter thereof, and there are no promises, agreements, conditions or understandings, either oral or written, express or implied, between them, other than are herein set forth. Except as herein otherwise provided, no subsequent alteration, amendment, change or addition to this Agreement shall be binding upon the parties hereto unless authorized in accordance with law and reduced in writing and signed by them.

K. Counterparts: This Agreement may be executed in two (2) or more counterparts, each of which taken together, shall constitute one and the same instrument.

L. Conflict: In the event of a conflict in the provisions of the text of this Agreement and the Exhibits attached hereto, the text of the Agreement shall control and govern. In the event that any regulations, resolutions, or ordinances of the Village are inconsistent with or conflict with the terms or provisions of this Annexation Agreement, the terms or provisions of this Annexation Agreement shall supersede the regulations, resolutions, or ordinances in question to the extent of such inconsistency or conflict.

M. Definition of Village: When the term Village is used herein it shall be construed as referring to the Corporate Authorities of the Village unless the context clearly indicates otherwise.

N. Execution of Agreement: This Agreement shall be signed last by the Village and the President of the Village shall affix the date on which he signs this Agreement on Page 1 hereof, which date shall be the Execution Date of this Agreement. The Effective Date of this Agreement shall be the date set forth in Section 1 above.

O. Term of Agreement: Subject to the terms set forth in Section 1 hereof, this Agreement shall be in full force and effect for a term of twenty (20) years from and after the Execution Date of this Agreement.

P. Automatic Expiration of Agreement: This Agreement shall automatically be void and otherwise invalid if it is not signed by all necessary parties within one hundred and eighty (180) days of the effective date of the Ordinance authorizing the President and Clerk of the Village of Lake Zurich to sign this Agreement on behalf of said Village.

Q. Mutual Assurances. The parties agree to do all things necessary and appropriate to carry out the terms and conditions of this Agreement and to aid and assist each other in furthering the intent of the parties as reflected by the terms of this Agreement, including without limitation, the holding of public hearings, enactment by the Village of such resolutions and ordinances as are required herein, the execution of permits, applications and agreements and the taking of such other actions as may be necessary to enable the parties to comply with the terms and provisions of this Agreement. Owner shall have no liability, obligation or expense payments related to such mutual assurances and cooperation.

R. Cooperation. Village, Developer and Owner shall do all things necessary or appropriate to carry out the terms and provisions of this Agreement and to aid and assist each other in carrying out the terms and objectives of this Agreement and the intentions of the parties as reflected by said terms, including the terms of the any ordinance passed concurrently herewith. Village, Developer and Owner shall act in good faith, reasonably and promptly with respect to all consents, approvals and actions required or requested of it or taken by it hereunder or in connection with the development of the Subject Property. During the term of this Agreement, Developer and Owner, with respect to that portion of the Subject Property then owned by it, may continue the current uses on the Subject Property including farming and general agricultural uses as to those portions of the Subject Property not then developed. Owner shall have no liability, obligation or expense payments related to such mutual assurances and cooperation.

S. Reimbursement to Village for Legal and Other Fees and Expenses:

To Effective Date of Agreement: Developer, concurrently, with the approval of this Agreement, shall reimburse the Village for the following expenses incurred in the preparation and review of this Agreement, and any ordinances, letters of credit, plats, easements or other documents relating to the Subject Property. Such fees shall be paid in addition to annexation and zoning fees and building permit fees required under the Lake Zurich Municipal Code:

- (a) The costs incurred by the Village for engineering services;
- (b) All attorneys' fees incurred by the Village in connection with this Agreement and the annexation and zoning of the Subject Property; and
- (c) Miscellaneous Village expenses, such as legal publication costs, recording fees, landscape architect fees and copying expenses.

In the event Developer fails to pay any such amounts, Owner shall have no liability related thereto.

From and After Effective Date of Agreement: Except as otherwise expressly provided in the paragraph immediately following this paragraph, upon written demand by Village made by and through its Mayor, Developer from time to time but not more frequently than once a month shall promptly reimburse Village for all expenses and costs incurred by Village in the administration of this Agreement, including engineering fees, attorneys' fees and out-of-pocket expenses involving various and sundry matters such as, but not limited to, preparation and publication, if any, of all notices, resolutions, ordinances and other documents required hereunder. In the event Developer fails to pay any such amounts, Owner shall have no liability related thereto.

Notwithstanding the immediately preceding paragraph, Developer shall in no event be required to reimburse Village or pay for any expenses or costs of the Village as aforesaid more than once, whether such are reimbursed or paid through special assessment proceedings, through fees established by Village ordinances or otherwise.

Such costs and expenses incurred by Village in the administration of this Agreement shall be evidenced to Developer upon its request, by a sworn statement of the Village; and such costs and expenses may be further confirmed by Developer at its option from additional documents designated from time to time by Developer relevant to determining such costs and expenses.

In any event that any third party or parties institute any legal proceedings against the Owner, Developer and/or the Village, which relate to the terms of this Agreement, then, in that event, Developer, on notice from Village shall assume, fully and vigorously, the entire defense of such lawsuit and all expenses of whatever nature relating thereto; provided, however:

- (a) Developer shall not make any settlement or compromise of the lawsuit, or fail to pursue any available avenue of appeal of any adverse judgment, without the approval of the Village.
- (b) If the Village, in its sole discretion, determines there is, or may probably be, a conflict of interest between Village and Developer, on an issue of importance to the Village having a potentially substantial adverse effect on the Village, then the Village shall have the option of being represented by its own legal counsel. In the event the Village exercises such option, then Developer shall reimburse the Village, from time to time on written demand from the Mayor of Village and notice of the amount due, for any expenses, including but not limited to court costs, attorneys' fees and witnesses' fees, and other expenses of litigation, incurred by the Village in connection therewith.

In the event the Village institutes legal proceedings against Developer and/or Owner for violation of this Agreement and secures a judgment in its favor, the court having jurisdiction thereof shall determine and include in such judgment all expenses of such legal proceedings incurred by Village, including but not limited to the court costs and attorneys' fees, witnesses' fees, etc., incurred by the Village in connection therewith (and any appeal thereof). Developer and Owner, as the case may be, may, in the sole discretion of such party, appeal any such judgment rendered in favor of

the Village against Developer and/or Owner. Owner shall have no liability related to any obligations of and/or legal proceedings against Developer for violation of this Agreement or any obligations, acts or omissions of Developer hereunder.

(Signature pages follow)

IN WITNESS WHEREOF, the parties hereto have set their hands and seals to this Agreement on the day and year first above written.

VILLAGE OF LAKE ZURICH,
an Illinois municipal corporation

By: _____
Village Mayor

ATTEST:

By: _____
Village Clerk

Owner: Wildwood of Lake Zurich, LLC

By: _____

Name: _____

Its: _____

Developer: Projades, LLC

By: _____

Name: _____

Its: _____

VILLAGE ACKNOWLEDGMENT

STATE OF ILLINOIS)
)
COUNTY OF _____)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that _____ and _____, respectively the Lake Zurich Village Mayor and Village Clerk, are personally known to me to be the same persons whose names are subscribed to the foregoing instrument, and that they appeared before me this day in person and severally acknowledged that they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed thereto, pursuant to authority given by the Board of Trustees of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this _____ day of _____, 2020__.

Notary Public

DEVELOPER ACKNOWLEDGMENT

STATE OF ILLINOIS)
)
COUNTY OF _____)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO
HEREBY CERTIFY that _____, who is personally
known to me to be the same person whose name is subscribed to the foregoing instrument as such,
and that he appeared before me this day in person and acknowledged that he signed and delivered
the said instrument as his free and voluntary act, and as the free and voluntary act of said limited
liability company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this ____ day of _____, 2020__.

Notary Public

Exhibits Under Separate Attachment



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

305 Telser Road
Lake Zurich, Illinois 60047

Phone (847) 540-1696
Fax (847) 726-2182
LakeZurich.org

AGENDA ITEM

6H

MEMORANDUM

Date: July 18, 2022

To: Ray Keller, Village Manager *PK*

From: Sarosh Saher, Community Development Director

CC: Tim Verbeke, Planner
Mary Meyer, Building Services Supervisor

Re: Amendments to Text of the Sign Code (Title 12)
Regulations for Construction Activity Signs

Issue: The Village of Lake Zurich (the “Applicant”), has filed an application for proposed text amendments to the Lake Zurich Sign Code. Specifically, the Village is seeking to amend the following section in the Sign Code:

- Section 12-1-9: Exempt Signs – No Permit Required; Subsection C. Exempt Permanent And Temporary Signs - “Construction Activity Signs.”

Village Strategic Plan: This agenda item is consistent with the following objectives under Goal #2 – Development:

- Update regulations and develop proactive policies which will include revision of the Comprehensive Plan
- Become more business friendly and customer oriented

Background: The Village of Lake Zurich, (the “Applicant”) requests an amendment to the text of the sign code for the purpose of increasing the allowable area of Construction Activity Signs specifically on required construction fences associated with ongoing commercial development within the Village.

Construction Activity Signs are currently provided for within Title 12 of the Lake Zurich Municipal Code entitled “Sign Code” with limitations on their total surface area. From time to time, developers have requested enhancing their construction fences with vinyl banners or custom fence screens (mesh banners) with graphics containing information about the development itself.

Text Amendments – Amendments to the Sign Code – Construction Activity Signs
July 18, 2022

The Planning and Zoning Commission (PZC) held a public hearing on June 15, 2022 to consider the application and voted 4-0, in favor of recommending approval of the sign code amendment. The video stream from the PZC meeting can be accessed via the following link:
<https://play.champds.com/lakezurichil/event/58>

Further analysis of the proposed amendments is contained with the attached staff report to the PZC.

Analysis: Staff proposes allowing the installation of construction activity signs in the form of screens or banners while meeting the following requirements:

- The signs would no longer be considered exempt signs, rather require a permit for installation.
- The signs would only be allowed to depict information related to the development on the premises such as name of the development, associated development graphics, developer and/or contractor name and contact information.
- No advertising or off-premise message or graphics will be permitted (per the sign code).
- The sign application would require specifications for their installation on fences including but not limited to material, anchoring method, location on the property (facing public right-of-way), area of coverage requested, and a graphical representation of the design.
- The material would need to be weather-proof and be maintained in a good state of repair at all times.
- The signs would need to be removed upon removal of the temporary construction fence.
- Construction Activity Signs would not be permitted on permanent fences. In such cases, upon completion of construction and removal of the temporary construction fence, real estate activity signs could be installed per the current requirements of the sign code.

Recommendation: At their meeting on June 15, 2022, the Planning and Zoning Commission recommended approval of the text amendments.

Staff concurred with the PZC and found that the amended zoning code:

1. Will enhance the effectiveness of the Lake Zurich Sign Code;
2. Will not negatively affect Lake Zurich's efforts to promote a positive image; and
3. Will not adversely affect the Village's ability in enforcing other regulations pertaining to Building, Zoning, Land Development, Sign Code or any other code or ordinance that protects the health, safety and welfare of the community.

Attachments:

- Approval Ordinance including the following exhibits:
 - Exhibit A – Notice of Public Hearing
 - Exhibit B - June 15, 2022 staff report and Planning and Zoning Commission final recommendation/conditions

VILLAGE OF LAKE ZURICH



ORDINANCE NO. 2022-07-_____

**AN ORDINANCE AMENDING TITLE 12 OF THE
LAKE ZURICH MUNICIPAL CODE**
(Construction Activity Signs)

WHEREAS, the Village of Lake Zurich ("Applicant") filed an application with the Village of Lake Zurich that was received on May 11, 2022, seeking to amend certain provisions of the Village Municipal Code contained within Title 12 ("Sign Code") of the Lake Zurich Municipal Code, said provisions set forth in Section 12-1-9 of said Sign Code, ("Application"); and

WHEREAS, in compliance with the law, and the requirements of Title 9 of the Lake Zurich Municipal Code, notice was published on May 28, 2022, in the *Daily Herald* newspaper informing the public of a public hearing to be held before the Lake Zurich Planning and Zoning Commission ("PZC") on June 15, 2022, to consider this Application for amendments to the current provisions of Title 12 of the Lake Zurich Municipal Code, a copy of said notice attached hereto as **Exhibit A**; and

WHEREAS, the PZC received the STAFF REPORT dated June 15, 2022, consisting of 4 pages, all as set forth in **Exhibit B**, and considered the Application for these amendments to Title 12 of the Lake Zurich Municipal Code, and, after the conclusion of the public hearing, the PZC voted to recommend that the Board of Trustees approve such amendments to the existing provisions of the Municipal Code.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: ADOPTION AND INCORPORATION OF RECITALS. The foregoing recitals are hereby incorporated into this Ordinance as the findings of the Mayor and Board of Trustees.

SECTION 2: APPROVAL OF AMENDMENTS TO SECTION 12-1-9, C.2. OF TITLE 12 OF THE VILLAGE MUNICIPAL CODE. The Board of Trustees, pursuant to the authority vested in it under the laws of the State of Illinois and the Lake Zurich Municipal Code, hereby approves the following amendments to Title 12 of the Lake Zurich Municipal Code, specifically as to Subsection C.2., entitled "Construction Activity Sign", of Section

12-1-9, entitled “Exempt Signs – No Permit Required”, of Title 12 of the Lake Zurich Municipal Code to delete Subsection C.2. in its entirety by showing all of the provisions of said Subsection C.2. of Section 12-1-9 to be deleted with strike-through, and by renumbering the Subsections thereafter sequentially, the renumbering shown as striking through that number to be deleted and showing the new number with underscoring and in bold, as follows:

12-1-9 EXEMPT SIGNS - NO PERMIT REQUIRED

A. Exempt Alteration and Maintenance on Existing Signs; The following activities are exempt from requiring a sign permit:

1. Painting, cleaning, or other normal maintenance and repair of a sign, not involving structural changes, or changes in the electrical components of the sign, including the removal and replacement of electrical components. Any activity that increases the sign area, sign height, or any sign dimension, or moves the location of a sign, requires a sign permit. The changing of a sign face is not exempt from a sign permit.
2. Changing the copy of a changeable message sign or electronic message sign.

B. Exempt Ancillary Signs

1. Signs not visible from any public right-of-way up to 32 square feet in sign area.
2. Logos and labels located on mechanical equipment, recycling bins, trash containers, and the like, which are part of the equipment as manufactured and/or installed, are exempt.
3. A maximum of one sign mounted on each gas station pump island is permitted and is limited to 1.5 square feet in sign area. Such signs must be oriented to face the vehicle fueling.
4. Signs identifying only the address and name of a building or the name of an occupant thereof. A maximum of one such sign is allowed per street frontage or primary building entry, whichever is greater. Signs must be wall-mounted and no more than two square feet in area, unless authorized by the Village.

C. Exempt Permanent and Temporary Signs

1. A-Frame Sign
 - a. A-frame signs are permitted in the business district and the O-1 and O-2 Districts.

- b. One A-frame sign is permitted per establishment, including one for each tenant in a multi-tenant development. A minimum 15-foot separation is required between all A-frame signs.
- c. An A-frame sign must be placed within 15 feet of the primary entrance of the business, and must not interfere with pedestrian traffic or violate standards of accessibility as required by the ADA or other accessibility codes. A-frame signs may be placed in the public right-of-way concurrent with the lot of the establishment being advertised, but must maintain a five-foot sidewalk clearance at all times.
- d. A-frame signs are limited to six square feet in area per side and four feet in height.
- e. The placement of A-frame signs outdoors is limited to business hours only. A-frame signs must be stored indoors at all other times.
- f. A-frame signs must not be used outdoors when high winds, heavy rain, or snow conditions exist.
- g. Illumination of A-frame signs is prohibited.
- h. No A-frame sign may have any type of electronic component.

~~2. Construction Activity Sign. On a lot where, active construction is taking place, a temporary sign is permitted in conjunction with such construction and may identify the proposed use for the property even if such use is not yet established, subject to the following:~~

~~a. Construction activity signs are permitted in all districts on all sites with active construction projects.~~

~~b. Construction activity signs may be installed only after approval of a building permit for such activity. Construction activity signs must be removed as follows:~~

~~i. For additions, alterations, or repairs to an existing structure: 60 days or when the building permit expires, whichever occurs first.~~

~~ii. For new construction: once construction is complete or the building permit expires, whichever occurs first.~~

~~c. Construction activity signs may be constructed as either freestanding signs, wall signs, or installation on accessory structures such as fences, and subject to the following:~~

~~i. Signs are limited to 16 square feet in area for construction sites for individual single-family or two-family dwellings, and for any site of less than one acre in lot area. Signs are limited to 32 square feet in area for all other construction sites.~~

~~ii. Freestanding signs are limited to seven feet in height and must be located five feet from any lot line.~~

~~iv. Signs may not be illuminated.~~

- 3-2. Flags. Flags are permitted in any district.
- a. Flags may be freestanding or wall-mounted.
 - b. Flagpoles are limited to the maximum number of three poles and a maximum height of 30 feet.
 - c. Flagpoles must be setback a minimum of 10 feet from any lot line.
 - d. Wall-mounted flags may not extend over the public right-of-way.
 - e. External illumination of flags is permitted but must be focused on the flagpole and flag.
 - f. All flags must be maintained in good condition.
- 4-3. Government Sign. Federal, state, or local governments or taxing bodies may install signs in the public interest in any number, configuration, or size in any district. Such signs may be illuminated as required by the agency. Any electronic message signs require Village approval, with the exception of temporary roadway work, utility work, or emergency information signs.
- 5-4. Holiday Decorations. Decorations on private property clearly incidental and customary, and commonly associated with, national, local, or religious holidays, are allowed but are limited to a maximum display period of 45 days for each holiday.
- 6-5. Light Pole Banner. Light pole banners on private property are allowed as follows:
- a. Light pole banners are permitted for light poles on private property and must be mounted so that they are held taut between support posts.
 - b. Light pole banners are limited to a maximum area of 15 square feet.

- c. Light pole banners must be mounted to project perpendicular from light poles.
 - d. Light pole banners must not be used as a temporary off-premise sign.
- 7-6. Memorial Signs. To memorialize a historic person, event, structure, or site, a sign is permitted as follows:
- a. Memorial signs are permitted in any district.
 - b. Memorial signs may be constructed as either freestanding or wall signs, subject to the following:
 - i. Memorial signs are limited to four square feet.
 - ii. Freestanding signs are limited to four feet in height and must be located five feet from any lot line.
 - iii. Wall mounted signs shall be inlaid so as to be an integral part of the structure, cut into stone or masonry, or be a permanently affixed plaque of bronze or aluminum
 - iv. Signs may be internally or externally illuminated.
 - c. Memorial signs are limited to one per street frontage.
- 8-7. Multiple Tenant Building Entryway Sign. Multiple tenant buildings, such as townhouse dwellings, multi-family dwellings, and non-residential developments with multiple tenants, are permitted an additional building entryway sign subject to the following.
- a. Multiple tenant building entryway signs may be constructed as either freestanding or wall signs, subject to the following:
 - i. Signs are limited to six square feet in area.
 - ii. Freestanding signs are limited to five feet in height, and must be located within five feet of the building entry and no less than five feet from any lot line. Freestanding building entryway signs must be installed so that they are primarily viewable from the building entryway and not intended to be viewed from a public right-of-way.
 - iii. Signs may only be internally illuminated.
 - b. Multiple tenant building entryway signs are limited to one per building entry.

9-8. Noncommercial Message Sign. Signs used for the expression of *noncommercial* ideas and *messages*, which include but are not limited to signs advocating a public issue, recommending a candidate for public office, alerts, or warnings, are permitted in all districts.

- a. Noncommercial message signs may be constructed as either freestanding, wall, or window signs. There is no limit on the number of signs permitted.
- b. Freestanding and wall-mounted noncommercial message signs in residential districts are limited to 16 square feet in area. Noncommercial message signs in all other districts are limited to 32 square feet in area.
- c. Window-mounted noncommercial message signs must meet the coverage limitations of window signs. If no coverage is specified, the limitation is 30% of the window area.
- d. Freestanding noncommercial message signs must be located five feet from any lot line.
- e. Noncommercial message signs posted on private property must have the permission of the property owner.
- f. Noncommercial message signs may not be illuminated.
- g. Noncommercial message signs cannot be used as a temporary off-premise sign.

10-9. Not-for-Profit Community Event Signs

1. Not-for-profit community events are permitted temporary signs. Signs allowed for not-for-profit community events cannot be used as temporary off-premise signs, which are prohibited, that direct attention to a for-profit commercial activity.
2. When located on private property, permission from the property owner is required. When located on public property, permission from the Village or other applicable authority is required.
3. Signs for not-for-profit community events are limited to six square feet in area.
4. Signs for not-for-profit community event are limited to the following display periods:
 - a. When the sign for not-for-profit community event advertises an event that has a specific start and end time: A total display

period of 30 days prior to the start of the event, the time period of the event, and three days following the end of the event.

- b. All other attention-getting device advertises (non-time specific): 30 days.

~~11~~10. Parking Lots and Structures: Additional Signs. Parking lots and structures are permitted additional signs, whether such parking lots or structures a principal or ancillary use.

- a. An additional sign is permitted at each entrance/exit, driveway intersection, drive-through lane, and other circulation points.
- b. Signs are limited to four square feet in area.
- c. A freestanding sign is limited to six feet in height and must be five feet from any lot line that abuts a street.
- d. Signs located at an entrance/exit, driveway intersection, drive-through lane, and other circulation points may be internally or externally illuminated.

~~12~~11. Real Estate Activity Sign. When a structure or lot is offered for sale, lease, or rent, such lot is permitted an additional temporary sign as follows:

- a. Real estate activity signs are permitted in all districts. Real estate signs must be located on the site of the property for sale, lease, or rent.
- b. Real estate signs are limited to one per street frontage.
- c. Real estate activity signs may be constructed as either freestanding, wall, or window signs.
- d. Real estate activity signs are limited to 16 square feet in residential districts and 32 square feet in all other districts.
- e. Freestanding signs are limited to five feet in height and must be located within five feet from any lot line.
- f. Real estate activity signs may not be illuminated.
- g. Real estate activity signs must be removed within five days of final closing, lease, or rental. If such real estate signs are used in conjunction with a promotional event related to the sale, lease or

rent, such signs may be installed 48 hours prior to event and must be removed within 24 hours of the end of the event

~~13~~-12. Window Sign

- a. Window signs are permitted for all non-residential uses in all districts.
- b. All window signs, whether temporary or permanent, are limited to no more than 30% of the surface of each window area. Window area is counted as a continuous surface until divided by an architectural or structural element. Mullions are not considered an element that divides window area.
- c. Up to 5% of window area may be an illuminated, including any neon or LED sign, but this area is included in the maximum total area of 30%. Flashing or animation is prohibited.

SECTION 3: APPROVAL OF AMENDMENTS TO SECTION 12-1-10 OF TITLE 12 OF THE VILLAGE MUNICIPAL CODE TO ADD NEW SUBSECTION B, CONSTRUCTION ACTIVITY SIGNS. The Board of Trustees, pursuant to the authority vested in it under the laws of the State of Illinois and the Lake Zurich Municipal Code, hereby approves the following amendments to Title 12 of the Lake Zurich Municipal Code, specifically to add a new Subsection B to current Section 12-1-10, entitled “Sign Permit Required – Permanent and Temporary Signs”, said new Subsection B entitled “Construction Activity Sign” and the provisions therein shown hereinafter with underscoring and in bold, and re-designating, alphabetically thereafter each Subsection, the re-alphabetizing shown as striking through that letter to be deleted and showing the new letter with underscoring and in bold, as follows:

12-1-10: SIGN PERMIT REQUIRED - PERMANENT AND TEMPORARY SIGNS:

This section describes the types of signs allowed with a sign permit. Specific regulations on each sign type may include further restrictions on which districts and/or uses within a district may utilize these sign types.

- A. **Attention-Getting Device:**
 1. Attention-getting devices are permitted for non-residential uses in the non-residential districts.
 2. Each establishment may have one (1) freestanding and one (1) wall-mounted attention-getting device installed or mounted simultaneously.
 3. Attention-getting devices are limited to the following display periods:

- a. When the attention-getting device advertises an event that has a specific start and end time: a total display period of thirty (30) days prior to the start of the event, the time period of the event, and three (3) days following the end of the event.
 - b. All other attention-getting device advertises (non-time specific): Thirty (30) days.
 - c. A maximum of four (4) display periods per year is permitted with a minimum of thirty (30) days between displays.
4. Attention-getting devices for multi-tenant sites are subject to the following rules:
- a. The display period and separation period apply to each establishment individually rather than the site as a whole.
 - b. For multi-tenant sites, the property owner(s) and/or tenants must coordinate display of attention-getting devices among tenants.
5. Freestanding attention-getting devices are subject to the following:
- a. One (1) freestanding attention-getting device is allowed for every seventy-five feet (75') of street frontage. There must be a fifteen-foot (15') separation between freestanding attention-getting devices.
 - b. Freestanding attention-getting devices are limited to a maximum height of fifteen feet (15') and thirty-two (32) square feet in area.
 - c. Freestanding attention-getting devices must be located a minimum of five feet (5') from a lot line, as measured from the outermost portion of the sign. No part of a freestanding attention-getting device may extend over the lot line.
6. Wall-mounted attention-getting devices are limited to thirty-two (32) square feet.

B. Construction Activity Signs. On a lot where active construction is taking place, a temporary construction activity sign is permitted in conjunction with such construction and may identify the proposed use for the property even if such use is not yet established, subject to the following:

- 1. **Construction activity signs shall be considered temporary signs and are permitted in all districts on all sites with active construction projects.**
- 2. **Construction activity signs may be installed only after approval of a building permit for such construction activity.**

3. **Construction activity signs may be constructed as either freestanding signs, wall signs, or installed on accessory structures such as fences, and subject to the following:**
 - a. **Free Standing and Wall mounted signs are limited to 16 square feet in area for construction sites for individual single-family or two-family dwellings. Free standing or wall mounted signs are limited to 32 square feet in area for all other construction sites of two or more dwelling units or on commercial sites.**
4. **Freestanding signs are limited to seven feet in height and must be located five feet from any lot line.**
5. **Signs may not be illuminated.**
6. **Construction activity signs must be removed as follows:**
 - a. **For additions, alterations, or repairs to an existing structure: 60 days or when the building permit expires, whichever occurs first.**
 - b. **For new construction: once construction is complete or the building permit expires, whichever occurs first.**
7. **Construction Activity Signs mounted on construction fences shall be subject to the following:**
 - a. **The signs shall only depict information related to the development on the premises such as name of the development, associated development graphics, developer and/or contractor name and contact information.**
 - b. **No advertising or off-premise message or graphics shall be permitted.**
 - c. **The application for a permit for such sign shall include specifications for installation on fences including but not limited to material, anchoring method, location on the property (facing public right-of-way), area of coverage, and a graphical representation of the design.**
 - d. **The material of the sign shall be weather-proof and be maintained in a good state of repair at all times.**
 - e. **Upon completion of construction and removal of the temporary construction fence, the sign shall be removed**
 - f. **No temporary construction activity signs shall be installed on permanent fences.**

C. **Awning Sign:**

1. Awning signs are permitted for multi-family dwellings and non-residential uses in any district.
2. Awning signs must maintain a minimum vertical clearance of seven feet six inches (7'6").
3. Awning signs may encroach into the public right-of-way but must be located at least two feet (2') from the curb line.
4. Awning signs must be made of a durable, weather-resistant material such as canvas, canvas-like material, nylon, vinyl-coated fabric, or permanent building material such as metal.
5. Sign copy on any awning sign surface is limited to twenty five percent (25%) of each surface area. A valance is considered a separate surface area.
6. Solid awnings are permitted lettering attached to and located above the top of the awning to a maximum height of twenty-four inches (24").
7. Awning signs may be externally illuminated and lighting must be focused on the printed area.
8. Back-lit awnings are prohibited.

D. Blade Sign (Projecting Signs):

1. Blade signs are permitted for non-residential uses in the districts indicated in [table 10-1](#), "Blade Signs", of this section. [Table 10-1](#) of this section also indicates permitted blade sign area maximums.

**TABLE 10-1
BLADE SIGNS**

District	Maximum Area
District	Maximum Area
R-1	Prohibited
R-2	Prohibited
R-3	Prohibited
R-4	Prohibited
R-5	Prohibited
R-6	Prohibited
B-1	16 square feet

B-2	24 square feet
B-3	32 square feet
O-1	16 square feet
O-2	24 square feet
O-3	32 square feet
I	32 square feet
OS	Prohibited
IB	16 square feet

2. One (1) blade sign is permitted per establishment with frontage on a street. For a corner lot, one (1) blade sign is permitted for each street frontage.
3. Blade signs may encroach into the public right-of-way but must be located at least two feet (2') from the curb line.
4. Blade signs must maintain a minimum vertical clearance of seven feet six inches (7'6"). No blade sign affixed to a building may project higher than the building height, including the sign support structure.
5. Blade signs must be constructed of wood or simulated wood, metal, durable, weather-resistant material like canvas, canvas-like material, nylon or vinyl-coated fabric, plastic, or high-density urethane (HDU) foam board or similar durable foam construction. Blade signs constructed of canvas or similar material must be mounted so that they are held taut between support posts.
6. Blade signs may be internally or externally illuminated. If externally illuminated, all lighting must be directed onto the sign face from above.

E. Canopy Sign: Canopy signs are divided into the following types: non-structural and structural.

1. Non-Structural Canopy Signs:
 - a. Non-structural canopy signs are permitted for multi-family dwellings and non-residential uses in all districts.
 - b. Non-structural canopy signs must maintain a minimum vertical clearance of seven feet six inches (7'6").
 - c. Non-structural canopy signs may encroach into the public right-of-way but must be located at least two feet (2') from the

curb line. Support posts must maintain a minimum separation of five feet (5') between posts and five feet (5') between the posts and any building wall.

- d. Non-structural canopy signs must be made of a durable, weather-resistant material such as canvas, canvas-like material, nylon, or vinyl-coated fabric.
- e. Sign copy on any canopy sign surface is limited to twenty five percent (25%) of each surface area.
- f. Non-structural canopy signs may be externally illuminated and lighting must be focused on the printed area.
- g. Back-lit canopies are prohibited.

2. Structural Canopy Signs:

- a. Structural canopy signs are permitted as follows:
 - 1. Structural canopy signs attached to the principal structure are permitted for multi-family dwellings. Freestanding structural canopy signs are prohibited.
 - 2. Structural canopy signs attached to the principal structure are permitted for non-residential uses. Freestanding structural canopy signs are prohibited.
 - 3. Freestanding structural canopy signs are permitted for non-residential uses in the B-3 and I Districts.
- b. Structural canopy signs attached to the principal structure may encroach into the public right-of-way but must be located at least two feet (2') from the curb line. Support posts must maintain a minimum separation of five feet (5') between posts and five feet (5') between the posts and any building wall.
- c. Freestanding structural canopy signs are subject to the setback requirements of the district where they are located or ten feet (10') from any lot line, whichever is greater. Freestanding structural canopy signs are limited to a maximum height of twenty-five feet (25').
- d. All structural canopy signs attached to a building must maintain a minimum vertical clearance of seven feet six inches (7'6"). Freestanding structural canopy signs must maintain a minimum vertical clearance of fifteen feet (15').
- e. For structural canopies attached to a building, sign copy is limited to twenty five percent (25%) of each surface area. Such signs are permitted lettering attached to and located above the top of a structural canopy to a maximum height of twenty-four inches (24").
- f. For freestanding structural canopies, sign copy is limited to a maximum of twenty five percent (25%) of the area of each

facade. No sign may be mounted above the top of the roof of the structural canopy, but a sign mounted on the structural canopy facade may extend a maximum of twelve inches (12") above the roofline.

- g. Structural canopy signs must be made of permanent building material, such as metal, brick, stucco, or concrete.
- h. Structural canopy signs may be internally or externally illuminated. If externally illuminated, the lighting must be focused on the sign. In addition, freestanding structural canopies for gas stations are permitted an illuminated band along each facade of the canopy. The illuminated band is limited to twenty percent (20%) of the overall height of the facade of the canopy.

F. Electronic Message Sign:

1. Electronic message signs are permitted in commercial districts abutting the Route 12 and Route 22 roadways and the IB District on sites that are a minimum of one (1) acre in size. The following exception applies:
 - a. Motor vehicle service stations in any district are permitted an electronic message sign to display copy graphic that is required to be displayed by law, such as fuel prices. Only motor vehicle service stations located in commercial districts abutting the Route 12 and Route 22 roadways are permitted an additional electronic message sign, however the total sign area of the electronic message signs, including copy required by law, cannot exceed that permitted by this section.
2. Electronic message signs are permitted as part of a ground sign - standard, ground sign - multi-tenant retail center, wall sign, or marquee sign and are subject to the requirements for those sign types within that district.
3. Electronic message signs must be a minimum of twenty-five feet (25') from the lot line of any residential district. This is measured from sign face to the residential lot line, including any public right-of-way.
4. Electronic message signs must be integrated into the larger sign structure. The electronic component is limited to a maximum of seventy percent (70%) of the total area of a sign.
5. Only one (1) electronic message sign per lot is permitted. For the purposes of this regulation, a multi-tenant development where the development as a whole is comprised of separate lots of record, the entire development, including outlot parcels and inline development, is considered one (1) lot.

6. Each message or image displayed on an electronic message sign must be static for a minimum of four (4) seconds. Multi-color messages and static images are permitted. Any change in an electronic message must be instantaneous, without scrolling, fading in, dropping in, or similar moving copy changes.
7. Electronic message signs cannot operate as a commercial off-premises sign, that is to direct attention to a specific business, product, service, entertainment event or activity, or other commercial activity that is not sold, produced, manufactured, furnished, or conducted at the property upon which the sign is located.
8. Electronic message signs must display static text messages only, with no animation or effects simulating animation or video. Any scrolling, flashing, spinning, revolving, or shaking animation, or movement of the message or any component of the sign is prohibited. Any message change sequence must be accomplished immediately by changing from one (1) screen to another without transition by means of, for example, fade or dissolve mode. Video display screens are prohibited.

G. Ground Sign:

1. Ground Sign Types: Ground signs are regulated as the following types in this title:
 - a. Ground signs - standard are permitted for multi-family dwellings and non-residential uses in any district.
 - b. Ground signs - multi-tenant retail center are permitted for multi-tenant retail centers in any district.
 - c. Ground signs - residential subdivision are permitted for residential subdivisions in any district.
2. General Ground Sign Regulations: The following regulations apply to all ground signs:
 - a. When the ground sign is designed with the base of the ground sign structure installed at grade, the monument base must be designed as an integral part of the sign structure. The width of the top of the sign face must be a minimum of seventy percent (70%) and a maximum of one hundred thirty percent (130%) of the width of the base.
 - b. In order to create flexibility for ground signs installed where the ground is not level, structural (non-decorative) posts may extend out of the ground but are limited to a maximum of six inches (6") above the adjacent ground where they are installed.

- c. A ground sign may be designed with decorative posts that are part of the overall sign structure and sign design, and such decorative posts may extend out of the ground for a maximum of two feet (2') above the adjacent ground where they are installed.
 - d. Ground signs must be set back five feet (5') from any lot line. No ground sign may project into, over, or otherwise encroach on a public right-of-way.
 - e. Ground signs may be internally or externally illuminated. If externally illuminated, all light must be directed onto the sign face.
 - f. Ground signs must be constructed of brick, wood or simulated wood, stone, concrete, metal, plastic, or high-density urethane (HDU) foam board or similar durable foam construction. The base on which a ground is principally supported should typically be constructed of masonry material.
3. Ground Signs - Standard: Ground signs - standard are subject to the following limitations on sign area, sign height, and sign number:
- a. One (1) ground sign - standard is permitted per street frontage. When a lot has over one hundred fifty feet (150') of street frontage, an additional ground sign is permitted for each additional access point to the lot along that frontage.
 - b. Ground sign - standard height and area are limited to the maximums indicated in table 10-2, "Ground Signs - Standard", of this section.
 - c. Any business or office district with frontage along Route 12 and IL Route 22 is permitted a ground sign that meets the standards of the B-3 District, as shown in table 10-2 of this section.

TABLE 10-2
GROUND SIGNS - STANDARD

District	Maximum Area	Maximum Height
R-1	Prohibited	
R-2	Prohibited	
R-3	Prohibited	

R-4	Prohibited	-
R-5	Prohibited	-
R-6	Prohibited	-
B-1	24 sq. ft.	12'
B-2	24 sq. ft.	12'
B-3	Less than 200' of lot frontage and less than 2 acres of lot area: 50 sq. ft.	12'
	200' or more of lot frontage and 2 acres or more of lot area: 120 sq. ft.	
O-1	24 sq. ft.	12'
O-2	24 sq. ft.	12'
O-3	50 sq. ft.	12'
I	36 sq. ft.	12'
OS	36 sq. ft.	12'
IB	50 sq. ft.	12'

4. Ground Signs - Multi-Tenant Retail Center: Ground signs - multi-tenant retail center are subject to the following sign area, sign height, and sign number permissions:
 - a. One (1) ground sign - multi-tenant retail center is permitted per street frontage of a lot. An additional ground sign is permitted for each additional access point to the lot, however a minimum separation of fifty feet (50') is required between ground signs. For the purposes of this regulation, a multi-tenant development where the development as a whole is comprised of separate lots of record, the entire development, including outlot parcels and inline development, is considered one (1) lot.
 - b. Ground signs - multi-tenant retail center permissions are as follows:

1. Maximum sign area of one hundred twenty (120) square feet of area per sign.
 2. Maximum sign height of twelve feet (12').
5. Ground Signs - Residential Subdivision: Ground signs - residential subdivision are subject to the following sign area, sign height, and sign number permissions.
- a. One (1) ground sign - residential subdivision is permitted for each access point to the development. A minimum separation of fifty feet (50') is required between ground signs.
 - b. Ground signs - residential subdivision are permitted a maximum sign area of one hundred twenty (120) square feet per sign and a maximum sign height of eight feet (8') per sign.
6. Ground Sign Landscaping: All ground signs must be landscaped at the base of the sign in accordance with the following:
- a. Landscape must extend a minimum of two feet (2') from the sign base on all sides with small shrubs a minimum of eighteen inches (18") in height at planting in a single row around the perimeter of the sign base. The remainder of the required landscape area must be planted with trees, perennials, or other live groundcover.
 - b. If a ground monument sign is designed with a decorative base and such decorative base extends to the ground, the single row of shrubs around the perimeter of the sign base is not required. Landscape must extend a minimum of two feet (2') from the sign base around a minimum of fifty percent (50%) of the perimeter of the sign base, and must be planted with shrubs, trees, perennials, or other live groundcover.
 - c. If landscape is required on a site, ground sign landscape is included in the total amount of landscape required on a site. Where a sign is installed in any landscape area of a site, the specific landscape requirements of this section do not apply and the sign landscape must be integrated into the overall site landscape plan. Sign landscape must be shown on the landscape plan.
 - d. All landscape must be maintained in good condition, and free and clear of rubbish and weeds.

H. Marquee:

1. Marquees are permitted for commercial uses in the District.
2. Marquees must be supported solely by the building to which they are attached. No exterior columns or posts are permitted for supports.

3. The roof of a marquee may not be used for any purpose other than to form and constitute a roof and must be constructed of noncombustible material.
4. Water from the roofs of a marquee may not drain, drip, or flow onto the surface of a public right-of-way. Sufficient downspouts, drains, and gutters must be installed as part of each marquee to prevent water from the roof of the marquee from flowing onto the surface of a public right-of-way.
5. Marquees must be erected over a building entrance and are limited to the width of the building entrance plus an additional five feet (5') on each side of the entrance doors covered by the marquee.
6. All marquees must maintain a minimum vertical clearance of eight feet (8'), and the roof of the marquee structure must be erected below the second-floor windowsill, and must not conceal any significant architectural features or ornamentation of the building.
7. Marquees may encroach into the public right-of-way but must be located at least two feet (2') from the curb line.
8. Marquees are permitted lettering attached to and located above the roof of a marquee to a maximum height of forty-eight inches (48").
9. Marquees are permitted an electronic message component if the district allows electronic message signs. Marquees are also permitted a changeable message board as part of the marquee structure. However, the marquee may only have either a changeable message board sign or an electronic message sign.
10. Marquees may be internally illuminated.
11. Marquees bare-bulb illumination outlining is prohibited.

I. Menuboard:

1. Menubords are permitted for all drive-through facilities in any district.
2. Menubords are limited to a maximum of two (2) per drive-through lane.
3. Menubords are limited to seventy-five (75) square feet in sign area and eight feet (8') in height. The menuboard may be designed as separate freestanding signs grouped together and may include the use of preview boards designed as separate freestanding signs installed a distance earlier in the drive-through lane, however the total area of all signs must not exceed seventy-five (75) square feet.
4. Menubords are permitted an additional ten (10) square feet of sign area for temporary signs attached to the top or sides of the menuboard.

5. Menuboards must be located a minimum of fifteen feet (15') from any residential district lot line. This is measured from sign face to lot line, including any public right-of-way.
 6. Menuboards may be internally illuminated. Menuboards may also contain an electronic screen for interaction with each customer.
- J. Suspended Signs: These standards also apply to signs suspended or mounted under awnings, canopies, galleries, or arcades.
1. Suspended signs must be attached to the underside of an awning, canopy, gallery, or arcade. Suspended signs must not project beyond the awning, canopy, gallery, or arcade.
 2. Suspended signs must maintain a minimum vertical clearance of seven feet (7').
 3. A maximum of one (1) suspended sign is permitted per business establishment with frontage where the awning, canopy, gallery, or arcade is located.
 4. Suspended signs are limited to a maximum of six (6) square feet in area.
 5. Suspended signs must be securely fixed to the awning with metal supports.
 6. Suspended signs must be made of wood, metal, plastic, or high-density urethane (HDU) foam board or similar durable foam construction.
- K. Wall Sign:
1. Wall signs are permitted for all non-residential uses in any district.
 2. Wall signs are permitted on all facades of a structure. On a site consisting of multiple structures, each structure is permitted wall signs per the regulations of this section. The square footage from different structures cannot be combined to create a larger sign on any one (1) structure.
 3. The maximum size of a wall sign is established at one and one-half (1½) square feet per linear foot of building wall where the wall sign will be mounted or forty (40) square feet, whichever is greater. The square footage from different facades cannot be combined to create a larger sign on any one (1) facade.
 4. In a multi-tenant structure, each tenant is permitted a wall sign of one and one-half (1½) square feet per linear foot of business frontage or forty (40) square feet, whichever is greater, for each tenant. The square footage from different tenants cannot be combined to create a larger sign than allowed in this section.

5. The number of individual wall signs on a facade is not limited, however the cumulative sign area of all signs on that facade cannot exceed the maximum allowable sign area per subsection J3 of this section.
6. Wall signs may be internally or externally illuminated. If externally illuminated, all light must be directed onto the sign face.
7. Wall signs must be safely and securely attached to the building wall. Wall signs must project less than eighteen inches (18") from the building wall. Wall signs may encroach into the public right-of-way no more than eighteen inches (18").
8. No wall sign affixed to a building, including sign support structure, may project beyond the ends or top of the wall or higher than the roofline of the structure to which it is attached.
9. Wall signs must be constructed of wood or simulated wood, metal, durable, weather-resistant material like canvas, canvas-like material, nylon or vinyl-coated fabric, plastic, or high-density urethane (HDU) foam board or similar durable foam construction. Wall signs constructed of material must be mounted so that they are held taut against the wall. Painted wall signs are prohibited.
10. Wall signs are permitted on architectural appurtenances, such as chimneys or penthouses, which are part of the structure. Wall signs must not cover any window, windowsill, transom sill, or significant architectural feature of the structure.

SECTION 4: FINDINGS AND RECOMMENDATION. The findings and recommendations of the PZC and the STAFF REPORT and other filings provided to the PZC are hereby accepted as the Board's own and shall be made a part of the official record for the Application and are attached hereto as **Exhibit B**.

SECTION 5: SEVERABILITY. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 6: CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 7: EFFECTIVE DATE. This Ordinance shall be in full force and effect upon its passage and approval, as provided by law.

PASSED THIS _____ day of July, 2022.

Ayes:

Nays:

Absent:

Abstain:

APPROVED this _____ day of July, 2022.

Mayor
Tom Poynton

ATTEST:

Village Clerk
Kathleen Johnson

Exhibit A

**Copy of the Public Notice to the Daily Herald Newspaper
published on May 28, 2022**

**VILLAGE OF LAKE ZURICH
NOTICE OF PUBLIC HEARING**

PUBLIC NOTICE IS HEREBY GIVEN to all persons that the Village of Lake Zurich Planning & Zoning Commission shall conduct a public hearing on **June 15, 2022**, at 7:00 P.M. in the Board Room of the Lake Zurich Village Hall, 70 East Main Street, Lake Zurich, Illinois for the purpose of considering a zoning application filed by the Village requesting Amendments to the Text of the Zoning Code and other pertinent sections of the Municipal Code for regulations related to construction activity signs in the Village of Lake Zurich. A copy of the application and the Municipal Code are on file with, and available for public inspection during regular Village business hours at the Lake Zurich Community Development Department.

All interested persons are invited to attend and be heard.

DATED: May 23, 2022

Orlando Stratman
Chairperson, Planning & Zoning Commission

Published: *The Daily Herald*, May 28, 2022

Exhibit B

**Staff Report and Findings of the Planning and Zoning Commission
Dated June 15, 2022.**



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telsler Road
Lake Zurich, Illinois 60047

Phone (847) 340-1696
Fax (847) 726-2182
LakeZurich.org

APPLICATION PZC 2022-08
PZC Hearing Date: June 15, 2022

AGENDA ITEM 4.E

STAFF REPORT

To: Chairperson Stratman and Members of the Planning & Zoning Commission
From: Sarosh Saher, Community Development Director
CC: Mary Meyer, Building Services Supervisor
Tim Verbeke, Planner
Date: June 15, 2022
Re: PZC 2022-08 Zoning Application for Amendments to the Lake Zurich Sign Code

SUBJECT

The Village of Lake Zurich, (the "Applicant") requests an amendment to the text of the sign code for the purpose of increasing the allowable area of Construction Activity Signs specifically on required construction fences associated with ongoing commercial development within the Village.

Construction Activity Signs are currently provided for within Title 12 of the Municipal Code entitled "Signs".

GENERAL INFORMATION

Requested Action: Text Amendment
Applicant: Village of Lake Zurich
Staff Coordinator: Sarosh Saher, Community Development Director

LIST OF EXHIBITS

- A. Development Application and Attachments

Staff Report
APPLICATION PZC 2022-08

Community Development Department
PZC Hearing Date: June 15, 2022

B. Draft Ordinance Language

BACKGROUND

The Village of Lake Zurich (the “Applicant”), is the Applicant for the proposed text amendment to the Lake Zurich Zoning and Land Development Codes.

Staff offers the following additional information:

- A. **Courtesy Review.** A proposal to amend the sign code related to this matter was presented to the Village Board at a Courtesy Review on April 18, 2022. Favorable feedback was obtained. The video stream of the meeting discussion can be viewed at the following link: <https://play.champds.com/lakezurichil/event/53>
- B. **Proposed Amendments.** The following is a summary of the language that is proposed to be amended in the Sign Code:
 - Amending Section 12-1-9: Exempt Signs – No Permit Required; Subsection C. Exempt Permanent And Temporary Signs - “Construction Activity Signs.”

Construction activity signs on construction fences: All construction sites are required to be protected by a construction fence which in most cases takes the form of a temporary chain link fence no less than 6 feet in height. While not a requirement of the codes, these fences are sometimes clad in a fabric to screen the construction site. Over time, the fabric deteriorates or comes undone requiring it to be reattached or replaced.

Construction activity signs are currently permitted on these fences but with limitations on their total surface area. From time to time, developers have requested enhancing the construction fences with vinyl banners or custom fence screens (mesh banners) with graphics containing information about the development itself.

Staff proposes allowing the installation of construction fence screens or banners while meeting the following requirements:

- The signs would no longer be considered exempt signs, rather require a permit for installation.
- The signs would only be allowed to depict information related to the development on the premises such as name of the development, associated development graphics, developer and/or contractor name and contact information.
- No advertising or off-premise message or graphics will be permitted (per the sign code).
- The sign application would require specifications for their installation on fences including but not limited to material, anchoring method, location on the property (facing public right-of-way), area of coverage requested, and a graphical representation of the design.
- The material would need to be weather-proof and be maintained in a good state of repair at all times.
- The signs would need to be removed upon removal of the temporary construction fence.

Staff Report
APPLICATION PZC 2022-08

Community Development Department
PZC Hearing Date: June 15, 2022

- Construction Activity Signs would not be permitted on permanent fences. In those cases, upon completion of construction and removal of the temporary construction fence, real estate activity signs could be installed per the current requirements of the sign code.

GENERAL FINDINGS

Staff of the Community Development Department offers the following findings on the amendments to the sections of the Code.

9-18-3 STANDARDS FOR AMENDMENTS

A. Standards: Amending the zoning map or the text of the zoning code (or in this case, the sign code) is a matter committed to the sound legislative discretion of the board of trustees and is not dictated by any set standard. However, in determining whether a proposed amendment should be granted or denied, the board of trustees shall act in what it reasonably believes to be in the best interest of the general public, and may consider, among other factors, the following factors as they may be relevant to a particular application:

1. The consistency of the proposed amendment with the purposes of the sign code.

Staff Response: Standard met. The proposed are amendments to the text of the sign code. Staff has found the proposed amendments will enhance the purposes of the sign code by being more business friendly without compromising the purpose and intent of the code.

2. The community need for the proposed amendment and for the uses and development it would allow.

Staff Response: Standard met. The amendments to the code are to offer a business-friendly means to announce ongoing development on a property, but only during the period of development.

3. If a specific parcel of property is the subject of the proposed amendment, then the following factors:

Staff Response: Not Applicable. The text amendments do not pertain to any specific property, rather they are applicable to all property within the community.

RECOMMENDATION

The recommendation of the Planning and Zoning Commission should be based on the standards included in the following Sections of the Lake Zurich Municipal Code:

Staff Report
APPLICATION PZC 2022-08

Community Development Department
PZC Hearing Date: June 15, 2022

- Section 9-18-3: Standards for Amendments

Staff of the Community Development Department recommends the incorporation of the standards into the Findings of the PZC and recommends approval of Application PZC 2022-08.

Staff further finds that the amended zoning code:

1. Will enhance the effectiveness of the Lake Zurich Sign Code;
2. Will not negatively affect Lake Zurich's efforts to promote a positive image; and
3. Will not adversely affect the Village's ability in enforcing other regulations pertaining to Building, Zoning, Land Development, Sign Code or any other code or ordinance that protects the health, safety and welfare of the community.

Respectfully Submitted,

Sarosh Saher,
Community Development Director

Staff Report
APPLICATION PZC 2022-08

Community Development Department
PZC Hearing Date: June 15, 2022

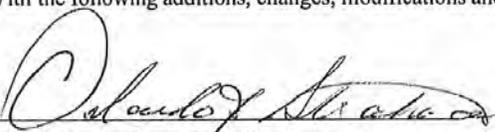
**LAKE ZURICH PLANNING & ZONING COMMISSION
FINAL FINDINGS & RECOMMENDATIONS**

**AMENDMENTS TO THE LAKE ZURICH ZONING SIGN CODE
June 15, 2022**

The Planning & Zoning Commission recommends approval of Application PZC 2022-08, and the Planning & Zoning Commission adopts the findings as contained within the Staff Report dated **June 15, 2022** for this Application for the following reasons:

- 1. Will enhance the effectiveness of the Lake Zurich Sign Code;
- 2. Will not negatively affect Lake Zurich's efforts to promote a positive image; and
- 3. Will not adversely affect the Village's ability in enforcing other regulations pertaining to Building, Zoning, Land Development, Sign Code or any other code or ordinance that protects the health, safety and welfare of the community.

- Without any further additions, changes, modifications and/or approval conditions.
- With the following additions, changes, modifications and/or approval conditions:



Planning & Zoning Commission Chairman



ANNEXATION AND ZONING APPLICATION

Community Development Department
505 Telser Rd.
Lake Zurich, IL 60047
Phone: (847) 540-1696
Fax: (847) 540-1769

(Please Type or Print)

1. Address of Subject Property: N/A
2. Please attach complete legal description
3. Property Identification number(s): N/A
4. Owner of record is: N/A Phone: _____
E-Mail _____ Address: _____
5. Applicant is (if different from owner): Village of Lake Zurich Phone: 847-540-1696
E-Mail _____ Address: 70 E Main Street
6. Applicant's interest in the property (owner, agent, realtor, etc.): N/A
7. All existing uses and improvements on the property are: N/A
8. The proposed uses on the property are: N/A
9. List any covenants, conditions, or restrictions concerning the use, type of improvements, setbacks, area, or height requirements placed on the Subject Property and now of record and the date of expiration of said restrictions:
N/A
10. Describe any contract or agreement of any nature relevant to the sale or disposal of the Subject Property:
N/A
11. For applications requiring a public hearing, please attach a list which contains the PIN, owner, and owner's mailing address of all properties located within 250 feet (excluding all Public Right-of-Ways) of the Subject Property.

THE APPLICANT'S SIGNATURE BELOW INDICATES THE INFORMATION CONTAINED IN THIS APPLICATION AND ON ANY ACCOMPANYING DOCUMENTS IS TRUE AND CORRECT. THE APPLICANT ALSO ACKNOWLEDGES IF THE CONSULTANT EXPENSES EXCEED THE INITIAL ESCROW DEPOSIT, THE APPLICANT WILL REIMBURSE THE ACCOUNT IMMEDIATELY.

Village of Lake Zurich
(Name of applicant)

[Signature]
(Signature of applicant)

Subscribed and sworn to before me this 11 day of May, ~~2018~~ 2022

(Notary Public)

My Commission Expires _____

(Name of Owner, if different)

(Signature of Owner, if different)

Subscribed and sworn to before me this 11 day of May, ~~2018~~ 2022

[Signature]
(Notary Public)

My Commission Expires _____



Please indicate what form of zoning relief your application requires. For assistance, please contact Staff:

- Zoning Code **Map** Amendment to change zoning of Subject Property from ____ to ____
- Zoning Code **Text** Amendment to amend the following section(s) of the Zoning Code See attached description.

(See Section 18-103 of the Lake Zurich Zoning Code for specific standards. If a specific parcel is the subject of this amendment, then provide the additional information listed in Section 18-103C.)

- Special Use Permit/Amendment for _____

(See Section 19-103 of the Lake Zurich Zoning Code for specific standards.)

- Planned Unit Development/Major Adjustment/Amendment

(Planned Unit Developments are a distinct category of special use and are intended to create a more desirable environment than through strict application of the zoning and subdivision regulations. See Section 22-105 of the Lake Zurich Zoning Code for specific standards. Please list all the 'modifications' requested in the cover letter.)

- Variation for _____

(See Section 17-104 of the Lake Zurich Zoning Code for specific standards. Please indicate what your specific hardships are in the cover letter.)

- Modification to the Land Development Code (includes retaining walls more than 2 feet in height)

(See Section 10-6-18 of the Land Development Code for specific standards.)

- Preliminary Plat of Subdivision

- Final Plat of Subdivision or Amendment to Plat of Subdivision

(See Sections 10-5-2 and 10-5-9 of the Land Development Code for specific standards.)

- Site Plan Approval/Major Adjustment/Amendment

(See Section 20-103 of the Lake Zurich Zoning Code for specific standards.)

- Exterior Appearance Approval or Amendment

(See Section 21-103 of the Lake Zurich Zoning Code for specific standards.)

APPLICATION TO ANNEX CERTAIN TERRITORY

All land annexed to the Village is classified automatically after such annexation in the R-1\2 Single Family Residential District. The owner must file an application for a Zoning Map amendment if he or she desires a different zoning classification for the Subject Property.

- Petition to Annex Certain Territory (Please complete attached petition)

- Application to Annex Certain Territory

COMPREHENSIVE PLAN APPLICATION

- Comprehensive Plan **Map** Amendment for _____

- Comprehensive Plan **Text** Amendment for _____

**Village of Lake Zurich
Proposed Text Amendment**

Amendments to Title 12 of the Lake Zurich Zoning Code entitled "Signs"

Proposal: Increase the allowable area of Construction Activity Signs specifically on required construction fences associated with ongoing commercial development within the Village. Construction Activity Signs are currently provided for within Title 12 of the Municipal Code entitled "Signs".

Section: Current Section 12-1-9: Exempt Signs – No Permit Required; Subsection C. Exempt Permanent And Temporary Signs provide for "Construction Activity Signs."

Proposed Conditions for Approval:

- The signs would no longer be considered exempt signs and require a permit for installation.
- The signs would only be allowed to depict information related to the development on the premises such as name of the development, associated development graphics, developer and/or contractor name and contact information.
- No advertising or off-premise message or graphics will be permitted (per the sign code).
- The signs would specifications for their installation on fences including but not limited to material, anchoring method, location on the property (facing public right-of-way), area of coverage requested, etc.
- The material would be weather-proof and be maintained in a good state of repair
- The signs would be removed upon removal of the temporary construction fence.
- Construction Activity Signs would not be permitted on permanent fences. In those cases, upon completion of construction and removal of the temporary construction fence, real estate activity signs could be installed per the current requirements of the sign code.

Exhibit A: Current provisions of code for Construction Activity Signs

Applicant: The Village of Lake Zurich (the "Applicant"), is the Applicant for the proposed text amendment to the Lake Zurich Zoning Code.

Submitted by:



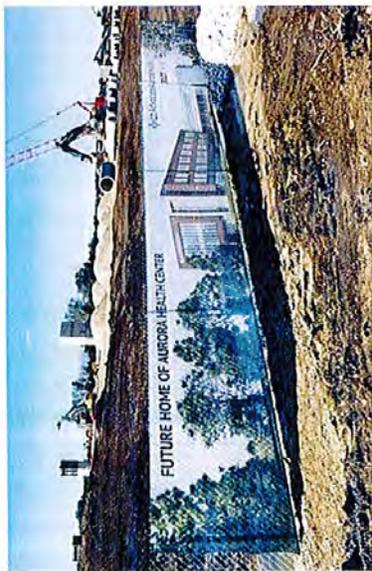
Sarosh Saher, Community Development Director
Village of Lake Zurich
505 Telsler Road
Lake Zurich, IL 60047

Dated: April 19, 2022

Examples of Construction Activity Signs



Examples of Construction Activity Signs



Examples of Construction Activity Signs



Exhibit A**12-1-9 EXEMPT SIGNS - NO PERMIT REQUIRED****C. Exempt Permanent and Temporary Signs****2. Construction Activity Sign**

On a lot where active construction is taking place, a temporary sign is permitted in conjunction with such construction and may identify the proposed use for the property even if such use is not yet established, subject to the following:

- a. Construction activity signs are permitted in all districts on all sites with active construction projects.
- b. Construction activity signs may be installed only after approval of a building permit for such activity. Construction activity signs must be removed as follows:
 - i. For additions, alterations, or repairs to an existing structure: 60 days or when the building permit expires, whichever occurs first.
 - ii. For new construction: once construction is complete or the building permit expires, whichever occurs first.
- c. Construction activity signs may be constructed as either freestanding signs, wall signs, or installed on accessory structures such as fences, and subject to the following:
 - i. Signs are limited to 16 square feet in area for construction sites for individual single-family or two-family dwellings, and for any site of less than one acre in lot area. Signs are limited to 32 square feet in area for all other construction sites.
 - ii. Freestanding signs are limited to seven feet in height and must be located five feet from any lot line.
 - iv. Signs may not be illuminated.



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telsr Road
Lake Zurich, Illinois 60047

Phone (847) 540-1696
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LakeZurich.org

AGENDA ITEM

6 I

MEMORANDUM

Date: July 18, 2022

To: Ray Keller, Village Manager *PK*

From: Sarosh Saher, Community Development Director

CC: Mary Meyer, Building Services Supervisor
Tim Verbeke, Planner

Re: Variation for Setbacks and Minimum Landscape Requirements
Walgreens Pharmacy at 910 North Rand Road

Issue: Ms. Lauren E. Ryan of Ryan & Ryan Law, LLC (the "Applicant"), Attorney on behalf of Renault Properties, LLC ("Owners") has filed a zoning application for the property at 910 North Rand Road (the "Subject Property"). Specifically, the Applicant is seeking:

- Section 9-4-10.C.1: "Front and Corner Side Yard Setback" to reduce the required 25-foot setback along the South lot line
- Section 12-1-10.F.2.D: "Ground Sign Setback" to reduce the required 5-foot setback of the existing ground sign along the south lot line
- Section 9-8A-3: "Landscape requirement" to reduce the required landscape material along the south lot line.
- Amendment to Ordinance 98-01-889 to approve the requested variations which will result in an amendment to the Site Plan and other site and development characteristics approved through such ordinance.

Village Strategic Plan. This agenda item is consistent with the following objectives under Goal #2 – Development:

- Continue Route 12 Corridor Development
- Become more business friendly and customer oriented

Variation setback and landscape requirements – 910 North Rand Road
July 18, 2022

Analysis: The Application for variations was triggered by Lake County's acquisition of the southerly portion of the Subject Property through the process of eminent domain adjudicated through the Nineteenth Judicial Circuit of Lake County. The land was acquired to accommodate a County project for the widening of Miller Road at the Rand Road intersection and extending both east and west of the intersection. To allow for the road widening project, approximately 6,918 square feet of property was acquired by the County along Miller Road (south property line). Additionally, 2,938 square feet of property was required as a temporary easement for 5 years during the period of construction. The acquisition of the property rendered the setbacks and landscape requirements along the south property line non-conforming thereby requiring a variation.

Section 9-17-3.A.11 of the Lake Zurich Zoning Code authorizes a Variation of the bulk, yard, and space requirements when a zoning lot, whether vacant or legally used, is reduced in size, by reason of the exercise of the right of eminent domain by an authorized governmental body or by reason of a conveyance made under the specific threat of an eminent domain proceeding, so that the remainder of said zoning lot, or any structure or use on said zoning lot, does not conform with one or more of such bulk, yard, or space requirements of the district in which said zoning lot is located.

The changes to the site plan also require the removal of the detention area along Miller Road. While this does not require a zoning variation, such removal has been reviewed by the Village Engineer and Enforcement Officer, and the remaining property was found to be in compliance with the Watershed Development Ordinance (stormwater ordinance) of Lake County.

The Planning and Zoning Commission (PZC) held a public hearing on June 15, 2022 to consider the application and voted 4-0, in favor of recommending approval of the Variations along the south lot line. The PZC also recommended that continued conformance with the Lake County Watershed Development Ordinance be acknowledged within the approval ordinance. No additional conditions were added other than those recommended by staff. The video stream from the PZC meeting can be accessed via the link:
<https://play.champds.com/lakezurichil/event/58>

A detailed evaluation and summary of the project can be found in the Staff Report that was provided to the PZC, which is made a part of the attached Ordinance.

Recommendation: At their meeting on June 15, 2022, the Planning and Zoning Commission recommended approval of the Variations and ordinance Amendment incorporating the conditions for approval provided by staff in its report.

The PZC also recognized the required modifications to the stormwater management facilities and acknowledged that the facilities would continue remain in conformance with the requirements of the Lake County Watershed Development Ordinance (stormwater ordinance).

Staff therefore recommends approval of the attached ordinance, with its specific attachments based on the following conditions for approval that are contained within said ordinance:

● Page 2

Variation setback and landscape requirements – 910 North Rand Road
July 18, 2022

1. Substantial conformance with the following documentation submitted as part of the application and subject to revisions required by Village Staff, Village Engineer, and any applicable governmental agencies:
 - a. Zoning Application and Cover Letter prepared by Ms. Lauren E. Ryan of Ryan & Ryan Law, LLC, dated April 13, 2022.
 - b. Plat of Highways for Miller Road prepared by Lake County Division of Transportation dated January 16, 2020 and last updated September 17, 2021.
 - c. Annotated Plat of Highways for Miller Road prepared by Lake County Division of Transportation dated January 16, 2020 and last updated September 17, 2021 indicating Fee Taking (Parcel 0005) and Temporary Easement (Parcel 005 T.E.)
 - d. Site Plan, NEC US Rt 12 and Miller Rd for Aetna Development, prepared by KMA & Associates, Inc. Architects, dated March 29, 2022.
 - e. Photographic exhibits of Subject Property prepared by D. Lanzo, dated June 11, 2021.
 2. The Applicant shall ensure that existing landscape material on the Subject Property and along the south lot line shall continue to be properly maintained within the reduced 6.6-foot setback, to continue its function as approved through the PUD Ordinance 98-01-889.
 3. The remaining property shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.
- Approval Ordinance including the following exhibits
 - Exhibit A – Legal description of the property
 - Exhibit B – June 15, 2022 Staff Report and PZC final findings, recommendation conditions and attachments dated

VILLAGE OF LAKE ZURICH



ORDINANCE NO. 2022-07-___

**VARIATION GRANTING RELIEF FOR SETBACKS AND
MINIMUM LANDSCAPE REQUIREMENTS
*910 North Rand Road – Walgreen’s Pharmacy Store***

WHEREAS, Lauren E. Ryan of Ryan & Ryan Law, LLC (the “Applicant”), Attorney on behalf of Renault Properties, LLC (“Owners”), is the Applicant for variations and zoning relief for the property at *910 North Rand Road* (“Property”), said Property legally described in Exhibit A hereto; and

WHEREAS, the Property is zoned within the B-1 Local and Community Business District and is improved with a Walgreen’s Pharmacy Store and associated parking lot, free-standing sign and stormwater management facilities; and

WHEREAS, Lake County has acquired approximately 6,918 square feet of the Property along the south lot line through the process of eminent domain adjudicated through the Nineteenth Judicial Circuit of Lake County for the purpose of a road widening project on Miller Road; and

WHEREAS, the acquisition of such portion of the Property has rendered the setbacks and landscape requirements along the south Property line non-conforming with respect to the bulk requirements of the B-1 District; and

WHEREAS, the Applicant has filed zoning application PZC 2022-07, dated April 13, 2022, (the “Application”) seeking the grant and approval of the following for the Property:

- A variation from Section 9-4-10.C.1: “Front and Corner Side Yard Setback” to reduce the required 25-foot setback along the South lot line; and
- A variation from Section 12-1-10.F.2.D: “Ground Sign Setback” to reduce the required 5-foot setback of the existing ground sign along the south lot line; and
- A variation from Section 9-8A-3: “Landscape requirement” to reduce the required landscape material along the south lot line; and
- An amendment to Ordinance 93-01-889 due to the approval of the requested variations which will result in an amendment to the Site Plan and

other site and development characteristics approved through such ordinance.

and

WHEREAS, the Applicant seeks these variations under Section 9-17-3.A.11 of the Zoning Code of the Village of Lake Zurich for the Property that authorizes a variation of the bulk, yard, and space requirements when a zoning lot, whether vacant or legally used, is reduced in size, by reason of the exercise of the right of eminent domain by an authorized governmental body or by reason of a conveyance made under the specific threat of an eminent domain proceeding; and

WHEREAS, in compliance with the law, and the requirements of the Village of Lake Zurich Zoning Code, notice was published on May 28, 2022, in *The Daily Herald*, and the Village posted a public hearing sign on the Property on May 23, 2022, both the newspaper and sign notices informing the public of a public hearing to be held before the Lake Zurich Planning and Zoning Commission (PZC) on June 15, 2022, to consider the Application for this requested zoning relief; and

WHEREAS, the PZC received and considered the STAFF REPORT dated June 15, 2022, addressing the request for a variation of setback and landscape requirements; and considered all information presented by the Applicant, and the applicable factors required under the Zoning Code; and, after the conclusion of the public hearing, the PZC recommended that the Board of Trustees approve the zoning relief and approval requested in this Application, with no additional conditions of approval, except those set forth hereinafter; and

WHEREAS, the President and Board of Trustees of the Village of Lake Zurich met on July 18, 2022, and considered the findings and recommendations of the PZC, including the STAFF REPORT dated June 15, 2022, consisting of 10 pages, attached hereto as Exhibit B and having considered all of the facts and circumstances affecting the Application and these approvals, the President and Board of Trustees have determined that the applicable standards related to this zoning approval under the Village Zoning Code, Title 9, Chapter 17, have been met.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: ADOPTION AND INCORPORATION OF RECITALS. The foregoing recitals, findings, recommendations, exhibits and plans are incorporated herein as findings and requirements of the President and Board of Trustees, and all Exhibits referenced herein are made a part of and incorporated into this Ordinance and related approvals, except as otherwise provided below.

SECTION 2: GRANT OF VARIATIONS. The President and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Chapter 17 of Title 9 of the Lake Zurich Zoning Code, hereby grant the following approval for the requested variation to allow for the Property to remain in conformance with the provisions of Title 9 of the Lake Zurich Municipal Code, as shown and provided in the

STAFF REPORT dated June 15, 2022, and PZC findings and recommendation, all consisting of 10 pages. Such variations are granted in accordance with the standards for the grant of a variation set forth at Chapter 17 of the Zoning Code, at Section 9-17-3.A.11 and at Section 9-17-4, entitled “Standards for Variation”:

- A. A variation from Section 9-4-10.C.1: “Front and Corner Side Yard Setback” which establishes the minimum required front and corner side yard setback of 25 feet, , to allow for an 18.4-foot encroachment into the minimum front yard setback of 25 feet.
- B. A variation from Section 12-1-10.F.2.D: “Ground Sign Setback” which establishes the minimum required setback of a ground sign from a front lot line, to allow for the existing ground sign and its concrete pad to remain in its current location and be located at, but no closer than its current location, to the front lot line. (The base of the sign is coterminous with the front lot line).
- C. A variation from Section 9-8A-3: “Landscape requirement” which establishes the minimum required landscape material in the form of trees and shrubs along the perimeter of a zoning lot, to allow for the existing landscape material within the reduced 6.6-foot setback to remain as currently installed without the need for additional trees and plants to be installed.

SECTION 3: GRANT OF AMENDMENT TO SITE PLAN. The President and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Chapter 20 of the Lake Zurich Zoning Code, hereby grant approval of the Site Plan, entitled NEC US Rt 12 and Miller Rd for Aetna Development, prepared by KMA & Associates, Inc. Architects, dated March 29, 2022, as amended from Ordinance 98-01-889 to allow for the Property to remain in conformance with the provisions of Title 9 of the Lake Zurich Municipal Code, as shown and provided in the STAFF REPORT dated June 15, 2022, and PZC findings and recommendation, all consisting of 10 pages.

Section 4: GRANT OF APPROVAL OF STORMWATER MANAGEMENT FACILITIES: The President and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Title 11 of the Lake Zurich Municipal Code “Flood Control Regulations,” hereby grant approval of the revised Stormwater Management Facilities on the site resulting from the reduction of the land area of the Property as amended from Ordinance 98-01-889 to allow for the Property to remain in conformance with the provisions of Title 11 of the Lake Zurich Municipal Code entitled “Flood Control,” and pursuant to review and approval of a Watershed Development Permit (WDP) by the Lake County SMC for compliance with the Watershed Development Ordinance (WDO) and verified by the Lake Zurich Village Engineer and Enforcement Officer.

SECTION 5: GRANT OF AMENDMENT TO PUD. The President and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Title 9 and Title 10 of the Lake Zurich Zoning Code, hereby grant approval of an amendment to Ordinance 98-01-889 to allow for the preceding approvals contained

within Sections 3 and 4 herein, as shown and provided in the STAFF REPORT dated June 15, 2022, and PZC findings and recommendation, all consisting of 10 pages.

SECTION 6: FINDINGS IN SUPPORT OF APPROVAL OF VARIATION, REVISED SITE PLAN AND STORMWATER MANAGEMENT FACILITIES. The findings, conditions and recommendations of the PZC as set forth in the STAFF REPORT dated July 21, 2021, and PZC recommendation, all consisting of 10 pages, are hereby accepted as the Board's own and shall be made a part of the official record for the Application and this grant of approval and subject to the following conditions for approval:

1. Substantial conformance with the following documentation submitted as part of the application and subject to revisions required by Village Staff, Village Engineer, and any applicable governmental agencies:
 - a. Zoning Application and Cover Letter prepared by Ms. Lauren E. Ryan of Ryan & Ryan Law, LLC, dated April 13, 2022.
 - b. Plat of Highways for Miller Road prepared by Lake County Division of Transportation dated January 16, 2020 and last updated September 17, 2021.
 - c. Annotated Plat of Highways for Miller Road prepared by Lake County Division of Transportation dated January 16, 2020 and last updated September 17, 2021 indicating Fee Taking (Parcel 0005) and Temporary Easement (Parcel 005 T.E.)
 - d. Site Plan, NEC US Rt 12 and Miller Rd for Aetna Development, prepared by KMA & Associates, Inc. Architects, dated March 29, 2022.
 - e. Photographic exhibits of Subject Property prepared by D. Lanzo, dated June 11, 2021.
2. The Applicant shall ensure that existing landscape material on the Subject Property and along the south lot line shall continue to be properly maintained within the reduced 6.6-foot setback, to continue its function as approved through the PUD Ordinance 98-01-889.
3. The remaining property shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

SECTION 6: SEVERABILITY. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 7: CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 8: EFFECTIVE DATE. This Ordinance shall be in full force and effect upon its passage and approval, as provided by law.

PASSED THIS _____ day of July, 2022.

Ayes:

Nays:

Absent:

Abstain:

APPROVED this _____ day of July, 2022.

Mayor Tom Poynton

Village Clerk
Kathleen Johnson

EXHIBIT A
Legal description of Property

LOTS 8, 9, AND 10 IN JACOBSEN'S RAND ROAD SUBDIVISION, BEING A SUBDIVISION OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 3, 1948 AS DOCUMENT 659001, IN BOOK 902 OF RECORDS, PAGE 615, IN LAKE COUNTY, ILLINOIS.

EXCEPTING THEREFROM THAT PORTION OF THE PROPERTY TO BE ACQUIRED BY THE COUNTY OF LAKE IN THE EMINENT DOMAIN MATTER FILED IN THE NINETEENTH JUDICIAL CIRCUIT, LAKE COUNTY, ILLINOIS, AS CASE NO. 21 ED 3, LEGALLY DESCRIBED AS FOLLOWS:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS, BEARINGS AND DISTANCES ARE BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 (2011) EAST ZONE, WITH A COMBINATION FACTOR OF 0.9999447337, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 10 IN THE JACOBSEN'S RAND ROAD SUBDIVISION, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 3, 1948 AS DOCUMENT NUMBER 659001, THENCE NORTH 00 DEGREES 00 MINUTES 33 SECOND WEST ALONG THE WEST LINE OF SAID LOT 10, BEING ALSO THE EAST RIGHT OF WAY LINE OF RAND ROAD (ROUTE 12), 17.00 FEET TO A LINE THAT IS 17.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID LOT 10, SAID SOUTH LINE BEING ALSO THE NORTH RIGHT OF WAY LINE OF MILLER ROAD; THENCE SOUTH 89 DEGREES 42 MINUTES 10 SECONDS EAST ALONG SAID PARALLEL LINE, 53.75 FEET; THENCE NORTH 00 DEGREES 17 MINUTES 50 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 4.00 FEET TO A LINE THAT IS 21.00 FEET NORTH OF AND PARALLEL WITH SAID NORTH RIGHT OF WAY LINE; THENCE SOUTH 89 DEGREES 42 MINUTES 10 SECOND EAST ALONG SAID PARALLEL LINE, 259.96 FEET; THENCE SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 6.00 FEET TO A LINE THAT IS 15.00 FEET NORTH OF AND PARALLEL WITH THE NORTH RIGHT OF WAY LINE OF MILLER ROAD; THENCE SOUTH 89 DEGREES 42 MINUTES 10 SECONDS EAST ALONG SAID PARALLEL LINE TO THE EAST LINE OF SAID LOT 10; THENCE SOUTH 00 DEGREES 07 MINUTES 42 SECONDS EAST ALONG SAID EAST LINE, 15.00 FEET TO THE NORTH RIGHT OF WAY LINE OF MILLER ROAD; THENCE NORTH 89 DEGREES 42 MINUTES 10 SECONDS WEST ALONG SAID LINE, 350.07 FEET TO THE POINT OF BEGINNING.

Parcels Involved: 14-07-401-009; 14-07-401-010; 14-07-401-070; and 14-07-401-071

EXHIBIT B

**June 15, 2022 staff report and PZC recommendation/conditions
consisting of 10 total pages and accompanying Exhibits**



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

(847) 540-1696
Fax (847) 726-2182
LakeZurich.org

APPLICATION PZC 2022-07
PZC Hearing Date: June 15, 2022

AGENDA ITEM 4.A

STAFF REPORT

To: Chairperson Stratman and Members of the Planning & Zoning Commission

From: Sarosh Saher, Community Development Director

CC: Mary Meyer, Building Services Supervisor
Tim Verbeke, Planner

Date: June 15, 2022

Re: PZC 2022-07 – Variation for Setbacks and Minimum Landscape Requirements
Walgreens Pharmacy at 910 North Rand Road

SUBJECT

Lauren E. Ryan of Ryan & Ryan Law, LLC (the “Applicant”), Attorney on behalf of Renault Properties, LLC (“Owners”) request a Variation from Zoning Code pursuant to Section 9-17-3.A.11 – “Eminent Domain,” to allow for the reduction of the setbacks and a reduction in the minimum landscape requirements along the south property line at the property commonly known as 910 North Rand Road, legally described in Exhibit A attached hereto (the “Subject Property”).

GENERAL INFORMATION

Requested Action: Variation

Current Zoning: B-1 Local Community Business District

Current Use: Drugstore with Drive-through Facility

Property Location: 910 North Rand Road

Applicant: Lauren E. Ryan of Ryan & Ryan Law, LLC, Attorney for Owner

Owner: Renault Properties, LLC

Staff Coordinator: Tim Verbeke Planner

Staff Report
APPLICATION PZC 2022-07

Community Development Department
PZC Hearing Date: June 15, 2022

LIST OF EXHIBITS

- A. Legal Description
- B. Public Hearing Sign
- C. Site Photos
- D. Aerial Map
- E. Zoning Map
- F. Parcel Map
- G. Development Application and Attachments
- H. Development Review Comments

BACKGROUND

Lauren E. Ryan of Ryan & Ryan Law, LLC (the "Applicant"), has filed an application with the Village of Lake Zurich received on April 13, 2022 (the "Application") seeking a Variation of the Bulk, Yard and Space requirements of the Zoning Code pursuant to Section 9-17-3.A.11 – "Eminent Domain." The property is developed with a Walgreens Store with a drive-through facility.

The Subject Property is located within the Village's B-1 Local and Community Business District which provides for the everyday shopping needs of the Village. The Walgreens Store is a permitted use within the B-1 District.

The Application for variations was triggered by Lake County's acquisition of the southerly portion of the Subject Property through the process of eminent domain adjudicated through the Nineteenth Judicial Circuit of Lake County. The land was acquired to accommodate a County project for the widening of Miller Road at the Rand Road intersection and extending both east and west of the intersection. To allow for the road widening project, approximately 6,918 square feet of property was acquired by the County along Miller Road (south property line). Additionally, 2,938 square feet of property was required as a temporary easement for 5 years during the period of construction. The acquisition of the property rendered the setbacks and landscape requirements along the south property line non-conforming thereby requiring a variation.

Section 9-17-3.A.11 authorizes a Variation of the bulk, yard, and space requirements when a zoning lot, whether vacant or legally used, is reduced in size, by reason of the exercise of the right of eminent domain by an authorized governmental body or by reason of a conveyance made under the specific threat of an eminent domain proceeding, so that the remainder of said zoning lot, or any structure or use on said zoning lot, does not conform with one or more of such bulk, yard, or space requirements of the district in which said zoning lot is located."

The following changes to the site plan will occur rendering the Subject Property non-conforming with respect to bulk yard and space requirements of the zoning code:

1. The setback of the parking lot along the south property line will be reduced from 25 feet to 6.6 feet

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Community Development Department
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2. The setback of the ground sign located at the southwest corner of the property will be reduced from approximately 17 feet to 4 feet- 4.5 inches. The sign is located on an approximately 10x15 concrete pad that is approximately 12 feet from the existing south lot line. The setback of the pad will be eliminated as it will be located adjacent to the new lot line.
3. The existing landscape material along the south lot line is currently located in an area that will be acquired by the County, and may be eventually removed. The remaining 6.6 feet between the back of curb of the parking lot and the new south lot line will not be sufficient to accommodate the required amount of landscape material and therefore will be maintained with any remaining reduced amount of landscape material.

The property owner does not intend to nor is required to adjust the size of the parking lot, move the existing ground sign or reinstate landscape material and additional detention facilities on the property as a result of the changes along the south lot line and is therefore requesting the requested variations to bring the property into conformance with the codes.

Specifically, variations from following Code Sections of the Lake Zurich Municipal Code are being requested:

- Section 9-4-10.C.1: "Front and Corner Side Yard Setback" to reduce the required 25-foot setback along the South lot line
- Section 12-1-10.F.2.D: "Ground Sign Setback" to reduce the required 5-foot setback of the existing ground sign along the south lot line
- Section 9-8A-3: "Landscape requirement" to reduce the required landscape material along the south lot line.
- Amendment to Ordinance 98-01-889 to approve the requested variations which will result in an amendment to the Site Plan and other site and development characteristics approved through such ordinance.

The changes to the site plan will also require the removal of the detention area along Miller Road. While this does not require a zoning variation, such removal has been reviewed by Mr. Peter Stoehr of Manhard Consulting, the Village Engineer and Enforcement Officer, and found the remaining property to be in compliance with the Watershed Development Ordinance (stormwater ordinance) of Lake County.

Pursuant to public notice published on May 28, 2022, in the Daily Herald, a public hearing has been scheduled with the Lake Zurich Planning & Zoning Commission for June 15, 2022, to consider the Application. On May 23, 2022, the Village posted a public hearing sign on the Subject Property (Exhibit B).

Staff offers the following additional information:

- A. **Courtesy Review.** Due to the low impact of this project, courtesy review was not recommended.
- B. **Zoning History.** The property lay vacant until 1998 when it was developed with the current Walgreen Store. Development approval was granted through Ordinance No. 98-01-889 –

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“An ordinance granting zoning map amendment, a zoning code text amendment, a special use permit, site plan approval, and exterior appearance approval for the Walgreen’s development at Rand and Miller Roads”

The ordinance provided for the zoning entitlements including a map amendment, a special use permit, site plan approval and exterior appearance approval for the site and building development.

- C. Surrounding Land Use and Zoning.** The subject property is zoned within the B-1 Local and Community Business District. The properties to east are zoned within the R-5 Single Family Residential District and are improved with single-family residences within Jacobsen’s Rand Subdivision immediately to the east and Miller’s Grove Subdivision developed in the 1980s farther to the east. The property to the south across Miller Road is zoned within the B-1 district and is currently vacant. The properties to the north and west across Rand Road are located within unincorporated Lake County and improved with single-family homes.
- D. Trend of Development.** The Walgreens store was constructed in 1999. It is a single-story commercial retail building located at the intersection of Rand Road and Miller Road. The store is located within the Rand Road Retail Corridor of the community and serves the residences in the surrounding neighborhoods.
- E. Zoning District.** The zoning code provides for three (3) zoning districts for business and commercial uses. When taken together, these districts are intended to permit development of property for the full range of business and commercial uses needed to serve the citizens of Lake Zurich and the surrounding suburban area.
- The B-1 Local and Community Business District is intended to serve the everyday shopping needs of Village residents as well as to provide opportunities for specialty shops attractive to the wider suburban residential community around the Village. It permits uses that are necessary to satisfy most basic, frequently occurring shopping needs. It also permits compatible uses that, although not used as frequently, would be desirably located in close proximity to potential users. The district is located principally on primary or secondary thoroughfares, is relatively small in size, and has bulk standards that provide for compatibility with nearby residential uses.
- F.** General provisions for the granting of variations. The purpose of the variation procedure is intended to provide a narrowly circumscribed means by which relief may be granted from unforeseen particular applications of the zoning code that create practical difficulties or particular hardships for which no other remedy is available.
- G.** Section 9-17-3 entitled “Authorized Variations” provides a list of the zoning code provisions that may be varied by authority of the Village Board. The granting of the requested variation due to reduction of the property due to eminent domain is an authorized variation.

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GENERAL FINDINGS

Staff of the Community Development Department and its development review team have evaluated the development against the various standards and provisions of the Lake Zurich Municipal Code and offer findings on specific sections of the Code as they relate to the development of the property.

9-17-4: STANDARDS FOR VARIATIONS.

- A. General Standard: No variation shall be granted pursuant to this chapter unless the applicant shall establish that carrying out the strict letter of the provisions of this zoning code would create a particular hardship or a practical difficulty. Such a showing shall require proof that the variation being sought satisfies each of the standards set forth in this section.

Staff Response: Standard met. The acquisition of a portion of the property was made under the proceedings of eminent domain, thereby rendering the remainder of the zoning lot and structures nonconforming with respect to one or more bulk, yard, or space requirements of the B-1 district in which the subject zoning lot is located.

- B. Unique Physical Condition: The subject property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use or structure, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

Staff Response: Not Applicable. The variation is not being requested due to any unique physical condition of the lot, rather through the action of a governmental agency acquiring a portion of the property rendering certain zoning characteristics of the property nonconforming.

Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this zoning code, for which no compensation was paid.

Staff Response: Standard met. The unique physical condition is not the result of any action of the property owner, rather a result of governmental action.

- C. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variation is sought would deprive the owner of the subject property of substantial rights commonly enjoyed by owners of other lots subject to the same provision.

Staff Report
APPLICATION PZC 2022-07

Community Development Department
PZC Hearing Date: June 15, 2022

Staff Response: Standard met. The denial of the variation would not deny the owner of substantial rights and the continued use of the property. However, the owner is requesting the variations to bring the reductions in zoning characteristics into conformance through the variation process.

- D. Not Merely Special Privilege: The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.

Staff Response: Standard met. The hardship does not involve the inability of the owner to enjoy any special privilege in using the property. Granting the variation will allow the property to remain in conformance with the zoning and development codes.

- E. Code and Plan Purposes: The variation would not result in a use or development of the subject property that would be not in harmony with the general and specific purposes for which this zoning code and the provision from which a variation is sought were enacted or the general purpose and intent of the official comprehensive plan.

Staff Response: Standard met. Granting the variation would not change the location design and operation of the property. The acquisition of the property along the south lot line would not detract from any stormwater drainage on the property as it is currently designed to accommodate stormwater through the existing facilities on the northeast portion of the lot.

- F. Essential Character of the Area: The variation would not result in a use or development on the subject property that:

1. Detrimental to Enjoyment: Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or

Staff Response: Standard met. Granting of the variation will not create a negative effect on public welfare, enjoyment, use development, or value of property if the Applicant is granted the requested variation. The use and operation of the property would continue as before.

2. Light and Air: Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or

Staff Response: Standard met. Granting of the variation would have no effect on the supply of light and air to the subject property or those properties in the vicinity as there will be no change to the characteristics of the physical structures on the property.

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RECOMMENDATION

The recommendation of the Planning and Zoning Commission should be based on the standards included in the following Sections of the Lake Zurich Municipal Code:

- Section 9-17-4: Standards for Variations

Staff recommends approval of the Variation contingent upon the following conditions:

1. Substantial conformance with the following documentation submitted as part of the application and subject to revisions required by Village Staff, Village Engineer, and any applicable governmental agencies:
 - a. Zoning Application and Cover Letter prepared by Ms. Lauren E. Ryan of Ryan & Ryan Law, LLC, dated April 13, 2022.
 - b. Plat of Highways for Miller Road prepared by Lake County Division of Transportation dated January 16, 2020 and last updated September 17, 2021.
 - c. Annotated Plat of Highways for Miller Road prepared by Lake County Division of Transportation dated January 16, 2020 and last updated September 17, 2021 indicating Fee Taking (Parcel 0005) and Temporary Easement (Parcel 005 T.E.)
 - d. Site Plan, NEC US Rt 12 and Miller Rd for Aetna Development, prepared by KMA & Associates, Inc. Architects, dated March 29, 2022.
 - e. Photographic exhibits of Subject Property prepared by D. Lanzo, dated June 11, 2021.
2. The Applicant shall ensure that existing landscape material on the Subject Property and along the south lot line shall continue to be properly maintained to continue its function as approved through the PUD Ordinance 98-01-889.
3. The remaining property shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

Respectfully Submitted,

Tim Verbeke, Planner

Staff Report
APPLICATION PZC 2022-07

Community Development Department
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LAKE ZURICH PLANNING & ZONING COMMISSION
FINAL FINDINGS & RECOMMENDATIONS

910 North Rand Road
June 15, 2022

The Planning & Zoning Commission recommends approval of Application PZC 2022-07, subject to any changes or approval conditions as listed below:

1. Substantial conformance with the following documentation submitted as part of the application and subject to revisions required by Village Staff, Village Engineer, and any applicable governmental agencies:
 - a. Zoning Application and Cover Letter prepared by Ms. Lauren E. Ryan of Ryan & Ryan Law, LLC, dated April 13, 2022.
 - b. Plat of Highways for Miller Road prepared by Lake County Division of Transportation dated January 16, 2020 and last updated September 17, 2021.
 - c. Annotated Plat of Highways for Miller Road prepared by Lake County Division of Transportation dated January 16, 2020 and last updated September 17, 2021 indicating Fee Taking (Parcel 0005) and Temporary Easement (Parcel 005 T.E.)
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 - e. Photographic exhibits of Subject Property prepared by D. Lanzo, dated June 11, 2021.
2. The Applicant shall ensure that existing landscape material on the Subject Property and along the south lot line shall continue to be properly maintained to continue its function as approved through the PUD Ordinance 98-01-889.
3. The remaining property shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

Without any further additions, changes, modifications and/or approval conditions.

With the following additions, changes, modifications and/or approval conditions:

The changes to the site plan will also require the removal of the detention area along Miller Road. The remaining property will be in compliance with the Watershed Development Ordinance (stormwater ordinance) of Lake County.


Planning & Zoning Commission Chairman

Staff Report
APPLICATION PZC 2022-07

Community Development Department
PZC Hearing Date: June 15, 2022

EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY

LOTS 8,9, AND 10 IN JACOBSEN'S RAND ROAD SUBDIVISION, BEING A SUBDIVISION OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 3, 1948 AS DOCUMENT 659001, IN BOOK 902 OF RECORDS, PAGE 615, IN LAKE COUNTY, ILLINOIS.

EXCEPTING THEREFROM THAT PORTION OF THE PROPERTY TO BE ACQUIRED BY THE COUNTY OF LAKE IN THE EMINENT DOMAIN MATTER FILED IN THE NINETEENTH JUDICIAL CIRCUIT, LAKE COUNTY, ILLINOIS, AS CASE NO. 21 ED 3, LEGALLY DESCRIBED AS FOLLOWS:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS, BEARINGS AND DISTANCES ARE BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 (2011) EAST ZONE, WITH A COMBINATION FACTOR OF 0.9999447337, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 10 IN THE JACOBSEN'S RAND ROAD SUBDIVISION, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 3, 1948 AS DOCUMENT NUMBER 659001, THENCE NORTH 00 DEGREES 00 MINUTES 33 SECOND WEST ALONG THE WEST LINE OF SAID LOT 10, BEING ALSO THE EAST RIGHT OF WAY LINE OF RAND ROAD (ROUTE 12), 17.00 FEET TO A LINE THAT IS 17.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID LOT 10, SAID SOUTH LINE BEING ALSO THE NORTH RIGHT OF WAY LINE OF MILLER ROAD; THENCE SOUTH 89 DEGREES 42 MINUTES 10 SECONDS EAST ALONG SAID PARALLEL LINE, 53.75 FEET; THENCE NORTH 00 DEGREES 17 MINUTES 50 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 4.00 FEET TO A LINE THAT IS 21.00 FEET NORTH OF AND PARALLEL WITH SAID NORTH RIGHT OF WAY LINE; THENCE SOUTH 89 DEGREES 42 MINUTES 10 SECOND EAST ALONG SAID PARALLEL LINE, 259.96 FEET; THENCE SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 6.00 FEET TO A LINE THAT IS 15.00 FEET NORTH OF AND PARALLEL WITH THE NORTH RIGHT OF WAY LINE OF MILLER ROAD; THENCE SOUTH 89 DEGREES 42 MINUTES 10 SECONDS EAST ALONG SAID PARALLEL LINE TO THE EAST LINE OF SAID LOT 10; THENCE SOUTH 00 DEGREES 07 MINUTES 42 SECONDS EAST ALONG SAID EAST LINE, 15.00 FEET TO THE NORTH RIGHT OF WAY LINE OF MILLER ROAD; THENCE NORTH 89 DEGREES 42 MINUTES 10 SECONDS WEST ALONG SAID LINE, 350.07 FEET TO THE POINT OF BEGINNING.

Parcels Involved: 14-07-401-009; 14-07-401-010; 14-07-401-070; and 14-07-401-071

Staff Report
APPLICATION PZC 2022-07

Community Development Department
PZC Hearing Date: June 15, 2022

EXHIBIT B
HEARING SIGN ON SUBJECT PROPERTY



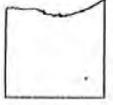
910 N Rand Road







 Lake County
Map Printed on 5/12/2022

 Lake County, Illinois

Disclaimer: The selected feature may not occur anywhere in the current map extent. A Registered Land Surveyor should be consulted to determine the precise location of property boundaries on the ground. This map does not constitute a regulatory determination and is not a base for engineering design. This map is intended to be viewed and printed in color.



Walgreens

910 N Rand Road



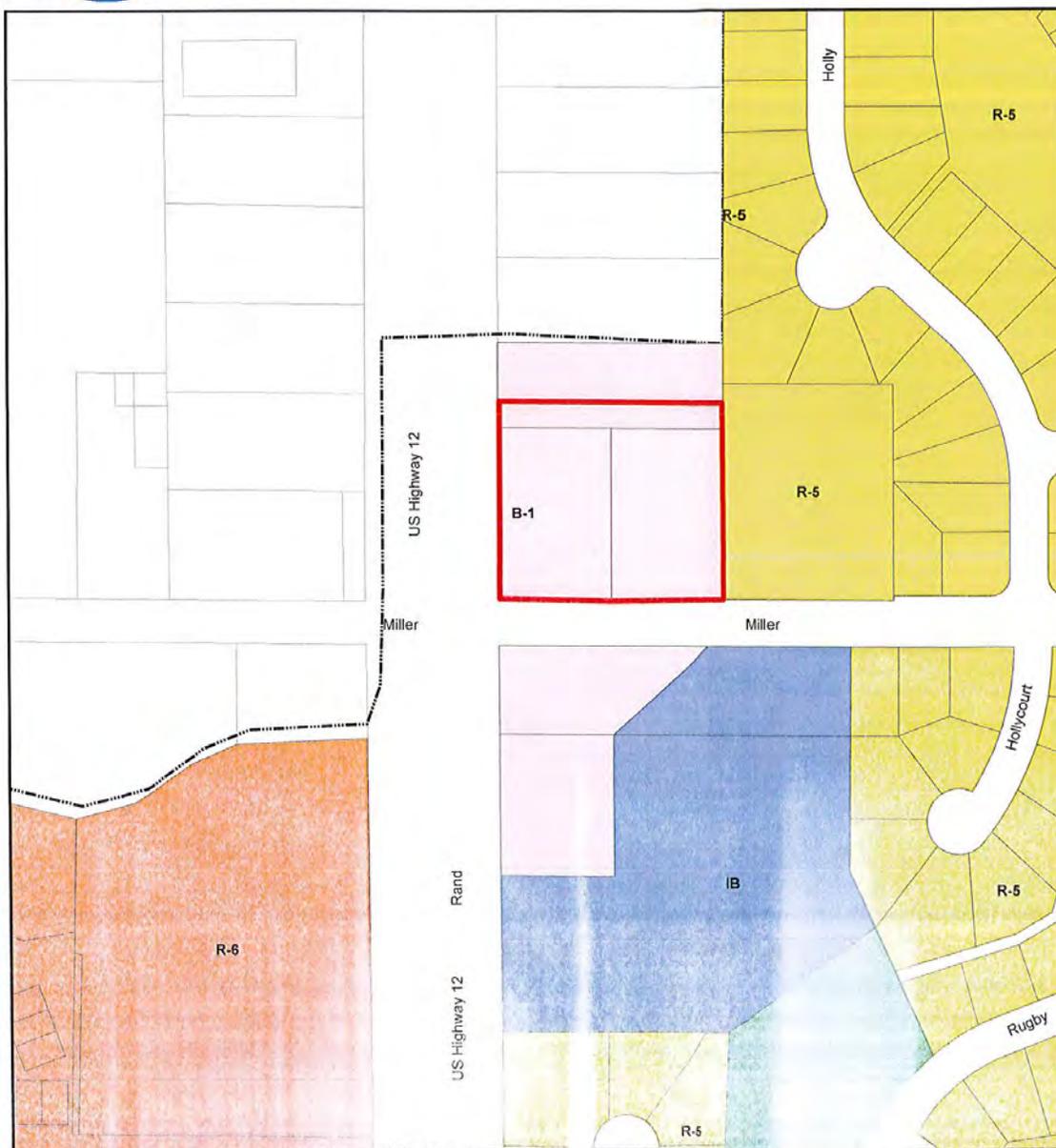
COMMUNITY SERVICES DEPARTMENT
Building and Zoning Division
505 Telser Road, Lake Zurich, Illinois 60047

(847) 540-1696
Fax: (847) 726-2182
LakeZurich.org



Walgreens

910 N Rand Road



COMMUNITY SERVICES DEPARTMENT
Building and Zoning Division
505 Telser Road Lake Zurich, Illinois 60047

(847) 540-1696
Fax: (847) 726-2182
LakeZurich.org



ZONING APPLICATION

Community Development Department
505 Telser Rd.
Lake Zurich, IL 60047
Phone: (847) 540-1696
Fax: (847) 540-1769

(Please Type or Print)

1. Address of Subject Property: 910 N. Rand Road, Lake Zurich 60047
2. Please attach complete legal description
3. Property Identification number(s): 14-07-401-009, -010, -070 & -071
4. Owner of record is: Renault Properties, L.L.C. Phone: 312-332-4172
E-Mail andrea@nationalplazas.com Address: 200 W. Madison St., Ste. 4200, Chicago, IL 60606
Lauren E. Ryan
5. Applicant is (if different from owner): Ryan & Ryan Law, LLC Phone: 847-825-8600
E-Mail lryan@ryanryanlaw.com Address: 9501 W. Devon Ave., Ste. 300, Rosemont, IL 60018
6. Applicant's interest in the property (owner, agent, realtor, etc.): Attorney for owner
7. All existing uses and improvements on the property are: Commercial retail building, currently leased to Walgreens.
8. The proposed uses on the property are: Same as above.
9. List any covenants, conditions, or restrictions concerning the use, type of improvements, setbacks, area, or height requirements placed on the Subject Property and now of record and the date of expiration of said restrictions:
10. Describe any contract or agreement of any nature relevant to the sale or disposal of the Subject Property:
Lake County seeks to acquire fee simple title to 6,918 SF of the property and a five-year temporary easement for construction purposes over 2,938 SF of the property. Lake County filed a complaint for condemnation in the Nineteenth Judicial Circuit (Case No. 21 ED 3) to acquire said property interests.
11. For applications requiring a public hearing, please attach a list which contains the PIN, owner, and owner's mailing address of all properties located within 250 feet (excluding all Public Right-of-Ways) of the Subject Property.

THE APPLICANT'S SIGNATURE BELOW INDICATES THE INFORMATION CONTAINED IN THIS APPLICATION AND ON ANY ACCOMPANYING DOCUMENTS IS TRUE AND CORRECT. THE APPLICANT ALSO ACKNOWLEDGES IF THE CONSULTANT EXPENSES EXCEED THE INITIAL ESCROW DEPOSIT, THE APPLICANT WILL REIMBURSE THE ACCOUNT IMMEDIATELY.

Lauren E. Ryan, Attorney for Owner
(Name of applicant)

Lauren E. Ryan
(Signature of applicant)

Subscribed and sworn to before me this 11th day of April, 2022.

[Signature]
(Notary Public)



My Commission Expires _____

Renault Properties, L.L.C.
(Name of Owner, if different)

[Signature]
(Signature of Owner, if different)

Subscribed and sworn to before me this 8th day of July, 2022.

[Signature]
(Notary Public)



My Commission Expires 7/18/23

Please indicate what form of zoning relief your application requires. For assistance, please contact Staff:

- Zoning Code **Map** Amendment to change zoning of Subject Property from ____ to ____
- Zoning Code **Text** Amendment to amend the following section(s) of the Zoning Code _____

(See Section 18-103 of the Lake Zurich Zoning Code for specific standards. If a specific parcel is the subject of this amendment, then provide the additional information listed in Section 18-103C.)

- Special Use Permit/Amendment for _____

(See Section 19-103 of the Lake Zurich Zoning Code for specific standards.)

- Planned Unit Development/Major Adjustment/Amendment

(Planned Unit Developments are a distinct category of special use and are intended to create a more desirable environment than through strict application of the zoning and subdivision regulations. See Section 22-105 of the Lake Zurich Zoning Code for specific standards. Please list all the 'modifications' requested in the cover letter.)

- Variation for reduction in setback along south lot line; reduction in setback of the free-standing sign; and for landscaping

(See Section 17-104 of the Lake Zurich Zoning Code for specific standards. Please indicate what your specific hardships are in the cover letter.)

- Modification to the Land Development Code (Includes retaining walls more than 2 feet in height)

(See Section 10-6-18 of the Land Development Code for specific standards.)

- Preliminary Plat of Subdivision

- Final Plat of Subdivision or Amendment to Plat of Subdivision

(See Sections 10-5-2 and 10-5-9 of the Land Development Code for specific standards.)

- Site Plan Approval/Major Adjustment/Amendment

(See Section 20-103 of the Lake Zurich Zoning Code for specific standards.)

- Exterior Appearance Approval or Amendment

(See Section 21-103 of the Lake Zurich Zoning Code for specific standards.)

APPLICATION TO ANNEX CERTAIN TERRITORY

All land annexed to the Village is classified automatically after such annexation in the R-1½ Single Family Residential District. The owner must file an application for a Zoning Map amendment if he or she desires a different zoning classification for the Subject Property.

- Petition to Annex Certain Territory (Please complete attached petition)

- Application to Annex Certain Territory

COMPREHENSIVE PLAN APPLICATION

- Comprehensive Plan **Map** Amendment for _____

- Comprehensive Plan **Text** Amendment for _____

RYAN & RYAN LAW, LLC
9501 West Devon Avenue
SUITE 300
Rosemont, Illinois 60018

WILLIAM E. RYAN
TIMOTHY J. RYAN
TERRENCE D. McCABE
LAUREN E. RYAN
MICHAEL W. RYAN

847/825-8600
FAX No. 847/825-8700

By Hand Delivery

April 13, 2022

Orlando Stratman
Planning & Zoning Commission
Village of Lake Zurich
505 Telser Road
Lake Zurich, Illinois 60047

*Re: Application for Zoning Relief
910 N. Rand Road, Lake Zurich, Illinois*

Dear Mr. Stratman:

I represent Renault Properties, LLC, the owner of the above referenced property. The property consists of approximately 3.125 acres and is improved with a 14,016 square foot, one-story commercial retail building currently leased to Walgreens. The property was developed pursuant to Ordinance No. 98-01-889 adopted by the Village in January 1998.

Enclosed please find our application for variances and a site plan amendment and a check in the amount of \$3,413.75 to cover the applicable fees. The application is being made pursuant to Section 9-17-3.A.11 of the Village Code ("To vary the bulk, yard, and space requirements when a zoning lot...is reduced in size, by reason of the exercise of the right of eminent domain by an authorized governmental body").

Lake County filed a lawsuit in the Nineteenth Judicial Circuit (Lake County) known as Case No. 21 ED 3 to acquire a portion of the property by eminent domain for reconstruction and improvement of Miller Road. Lake County seeks to acquire fee simple title to 6,918 square feet of the property along Miller Road (south property line) identified as Parcel 0005 and a temporary easement for construction purposes for five-years or until construction is complete, whichever occurs first, over 2,938 square feet adjacent to the north of Parcel 0005. A copy of the County's Plat is enclosed. The fee taking (Parcel 0005) is outlined in red, and the temporary easement (Parcel 0005T.E.) is outlined in blue. Photographs of the area impacted by the County's acquisition are also enclosed.

Letter to Mr. Stratman
April 13, 2022
Page 2 of 3

Our application requests the following three variations as a result of the County's acquisition of Parcel 0005:

1. Variation to Reduce Setback Along South Property Line: Today, the property meets the required 25-foot setback along its south property line (Sec. 9-4-10.C.1). After the County's acquisition, the southerly back of the parking lot curb will only be 6.6 feet from the new property line. Thus, we are requesting a variation to reduce the setback along the south property line to 6.6 feet

2. Variation to Reduce Required Sign Setback: Prior to the County's acquisition, the business identification sign located at the southwest corner of the site was more than five feet from the south property line in accordance with Sec. 12-1-10. After the County's acquisition, the sign will be 4 feet 4.5 inches from the new south property line; however, the pad on which the sign is located will be adjacent to the new south property line. A drawing that shows the distance from the sign to the south property line after the County's acquisition is enclosed. We are requesting a variation to reduce the required sign setback.

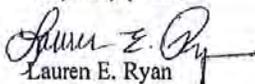
3. Variation to Reduce Required Landscaping: Mature landscaping, including various trees and shrubs, is located within Parcel 0005 that will be acquired by Lake County. After the County's acquisition, said landscaping will be located within Miller Road right-of-way and may be removed by the County as part of the construction project. Even if it is not removed as part of the County's project, the owner will have no control over or the ability to maintain that landscaping. In addition, the landscaping that currently exists on the south side of the sign is within Parcel 0005 and cannot be replaced by the owner after the County's acquisition. Therefore, we are requesting a variation to reduce the amount of landscaping to that which will exist on the remaining property after the County's acquisition.

The application also requests an amendment to Ordinance No. 98-01-889 to approve the above requested changes in the setbacks to the parking lot and sign, and reduction in landscaping. In addition, the County's acquisition of Parcel 0005 will result in the removal of the detention area south of the parking lot along Miller Road. We are in receipt of the letter dated March 10, 2022, from Mr. Peter Stoehr, Village Engineer and Enforcement Officer, to Mr. Thomas Somodji, Lake County Division of Transportation, which states that despite removal of the detention area the property will remain in compliance with the Watershed Development Ordinance ("WDO") after the County's construction project is complete. A copy the letter is enclosed for your review. I also understand based on my discussions with Mr. Sarosh Saher that any ordinance the Village adopts regarding the relief requested in our application will reference the fact that removal of the detention area does not require a variance. We would also like the ordinance to reference Mr. Stoehr's findings in the March 10th letter – that the detention area will be removed, but the property will remain in compliance with the WDO. Please let me know if the Village will agree to include a statement to that affect in its ordinance.

Letter to Mr. Stratman
April 13, 2022
Page 3 of 3

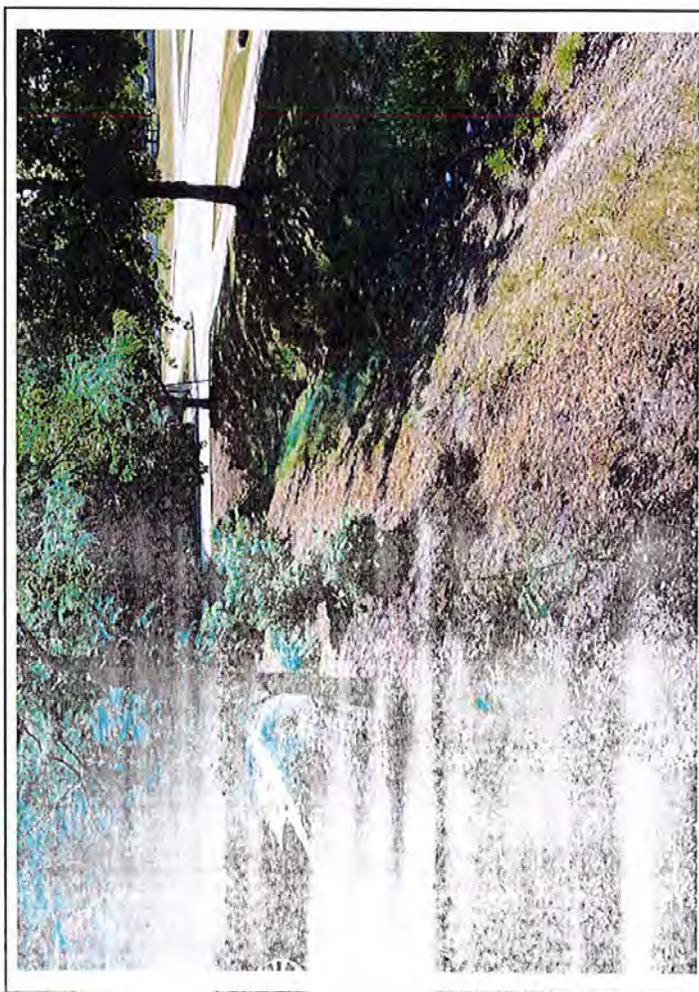
Thank you for your time and attention to this matter. If you have any questions or wish to discuss this further, please do not hesitate to contact me.

Very truly yours,


Lauren E. Ryan

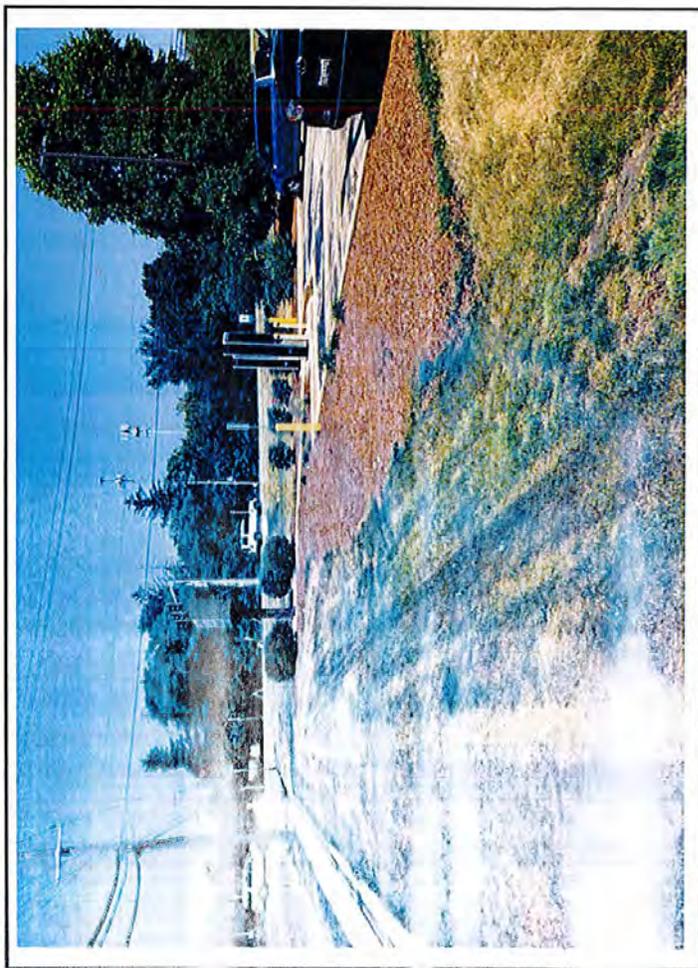
Enclosures

Date of Photograph:	6/11/2021
Photograph By:	D. Lanzo
Camera Facing:	East



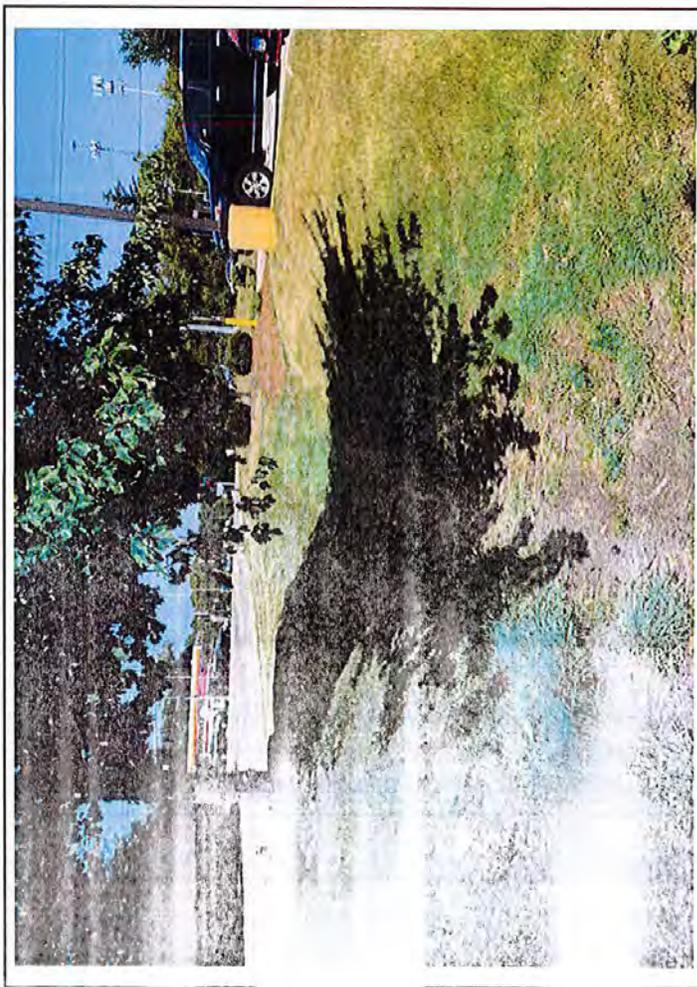
Description: Part taken and temporary easement.

Date of Photograph:	6/11/2021
Photograph By:	D. Lanzo
Camera Facing:	West



Description: Part taken and temporary easement. Electrified monument sign visible in the background.

Date of Photograph:	6/11/2021
Photograph By:	D. Lanzo
Camera Facing:	West



Description: Part taken and temporary easement.

Date of Photograph:	6/11/2021
Photograph By:	D. Lanzo
Camera Facing:	East



Description: Part taken on right side of photo; temporary easement center and left side of photo.

LEGAL DESCRIPTION

LOTS 8,9, AND 10 IN JACOBSEN'S RAND ROAD SUBDIVISION, BEING A SUBDIVISION OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 3, 1948 AS DOCUMENT 659001, IN BOOK 902 OF RECORDS, PAGE 615, IN LAKE COUNTY, ILLINOIS.

EXCEPTING THEREFROM THAT PORTION OF THE PROPERTY TO BE ACQUIRED BY THE COUNTY OF LAKE IN THE EMINENT DOMAIN MATTER FILED IN THE NINETEENTH JUDICIAL CIRCUIT, LAKE COUNTY, ILLINOIS, AS CASE NO. 21 ED 3, LEGALLY DESCRIBED AS FOLLOWS:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS, BEARINGS AND DISTANCES ARE BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 (2011) EAST ZONE, WITH A COMBINATION FACTOR OF 0.9999447337, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 10 IN THE JACOBSEN'S RAND ROAD SUBDIVISION, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 3, 1948 AS DOCUMENT NUMBER 659001, THENCE NORTH 00 DEGREES 00 MINUTES 33 SECOND WEST ALONG THE WEST LINE OF SAID LOT 10, BEING ALSO THE EAST RIGHT OF WAY LINE OF RAND ROAD (ROUTE 12), 17.00 FEET TO A LINE THAT IS 17.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID LOT 10, SAID SOUTH LINE BEING ALSO THE NORTH RIGHT OF WAY LINE OF MILLER ROAD; THENCE SOUTH 89 DEGREES 42 MINUTES 10 SECONDS EAST ALONG SAID PARALLEL LINE, 53.75 FEET; THENCE NORTH 00 DEGREES 17 MINUTES 50 SECONDS EAST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 4.00 FEET TO A LINE THAT IS 21.00 FEET NORTH OF AND PARALLEL WITH SAID NORTH RIGHT OF WAY LINE; THENCE SOUTH 89 DEGREES 42 MINUTES 10 SECOND EAST ALONG SAID PARALLEL LINE, 259.96 FEET; THENCE SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST PERPENDICULAR TO THE LAST DESCRIBED COURSE, 6.00 FEET TO A LINE THAT IS 15.00 FEET NORTH OF AND PARALLEL WITH THE NORTH RIGHT OF WAY LINE OF MILLER ROAD; THENCE SOUTH 89 DEGREES 42 MINUTES 10 SECONDS EAST ALONG SAID PARALLEL LINE TO THE EAST LINE OF SAID LOT 10; THENCE SOUTH 00 DEGREES 07 MINUTES 42 SECONDS EAST ALONG SAID EAST LINE, 15.00 FEET TO THE NORTH RIGHT OF WAY LINE OF MILLER ROAD; THENCE NORTH 89 DEGREES 42 MINUTES 10 SECONDS WEST ALONG SAID LINE, 350.07 FEET TO THE POINT OF BEGINNING.

910 N. RAND ROAD, LAKE ZURICH, ILLINOIS 60047

P.I.N. 14-07-401-009; 14-07-401-010; 14-07-401-070; and 14-07-401-071

TRUSTEE'S DEED

This indenture made this 16th day of January, 2019 between **CHICAGO TITLE LAND TRUST COMPANY**, a corporation of Illinois, as **Successor Trustee**, under the provisions of a deed or deeds in trust, duly recorded and delivered to said company in pursuance of a trust agreement dated the 20th day of May, 1997 and known as Trust Number 5746 party of the first part, and



Image# 05809860003 Type: DTR
Recorded: 03/26/2019 at 01:43:28 PM
Receipt#: 2019-00013887
Page 1 of 3
Fee: \$60.00
IL Rental Housing Fund: \$9.00
Lake County IL Recorder
Mary Ellen Vanderverter Recorder
File **7551095**

RENAULT PROPERTIES, L.L.C., AN ILLINOIS LIMITED LIABILITY COMPANY
party of the second part,

Reserved for Recorder's Office

whose address is :
200 W. Madison Street, Ste. 4200
Chicago, IL 60606

00HI19000068LD - Trans (inf.)

WITNESSETH, That said party of the first part, in consideration of the sum of **TEN and no/100 DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE** considerations in hand paid, does hereby **CONVEY AND QUITCLAIM** unto said party of the second part, the following described real estate, situated in LAKE County, Illinois, to wit:

SEE LEGAL DESCRIPTION ATTACHED HERETO AND MADE A PART HEREOF:

Property Address: 910 N. Rand Road, Lake Zurich, IL 60047

Permanent Tax Number: 14-07-401-009, and 14-07-401-010; *14-07-401-070; 14-07-401-071*

together with the tenements and appurtenances thereunto belonging.

TO HAVE AND TO HOLD the same unto said party of the second part, and to the proper use, benefit and behoove forever of said party of the second part.

This deed is executed pursuant to and in the exercise of the power and authority granted to and vested in said trustee by the terms of said deed or deeds in trust delivered to said trustee in pursuance of the trust agreement above mentioned. This deed is made subject to the lien of every trust deed or mortgage (if any there be) of record in said county given to secure the payment of money, and remaining unreleased at the date of the delivery hereof.

*Exempt under the provisions of Paragraph E,
Section 31-45 Real Estate Transfer Tax Act.*

1/17/19

Date

Thomas Hage
Seller Representative

JK
(3)

Trustee's Deed Tenancy in Common (1/96)
F. 154

IN WITNESS WHEREOF, said party of the first part has caused its corporate seal to be hereto affixed, and has caused its name to be signed to these presents by its Vice President, the day and year first above written.



CHICAGO TITLE LAND TRUST COMPANY,
as Trustee as Aforesaid

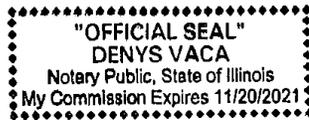
By: [Signature]
Kelli A. Wyzykowski - Vice President

State of Illinois
County of Cook

SS.

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that the above named Vice President of CHICAGO TITLE LAND TRUST COMPANY, personally known to me to be the same person whose name is subscribed to the foregoing instrument as such Vice President appeared before me this day in person and acknowledged that he/she signed and delivered the said instrument as his/her own free and voluntary act and as the free and voluntary act of the Company; and the said Vice President then and there caused the corporate seal of said Company to be affixed to said instrument as his/her own free and voluntary act and as the free and voluntary act of the Company.

Given under my hand and Notarial Seal this 16th day of January, 2019.



[Signature]
NOTARY PUBLIC

This instrument was prepared by:
CHICAGO TITLE LAND TRUST COMPANY
10 S. LaSalle Street
Suite 2750
Chicago, IL 60603

AFTER RECORDING, PLEASE MAIL TO:

NAME: Thomas H. Page
Barack Ferrazzano
ADDRESS: 200 W. Madison St., Suite 3900
CITY STATE ZIP: Chicago, IL 60606

SEND SUBSEQUENT TAX BILLS TO:

NAME: National Shopping Plaza, Inc.
ADDRESS: 200 W. Madison St., Suite 4200
CITY STATE ZIP: Chicago, IL 60606



At the Heart of Community

PUBLIC WORKS DEPARTMENT

505 Telsler Road
Lake Zurich, Illinois 60047

(847) 540-1696
LakeZurich.org

March 10, 2022

Mr. Thomas Somodji
Lake County Divisions of Transportation
600 West Winchester Road
Libertyville, IL 60048

Re: Miller Road at U.S. Route 12 Intersection Improvements

Dear Mr. Somodji,

Manhard Consulting and the Village of Lake Zurich are in receipt of the following documents pertaining to the Miller Road at U.S. Route 12 intersection improvements project:

- 1) State of Illinois, County of Lake Plans for Proposed Miller Road (A42) at US Route 12 Section 15-00118-12-CH, prepared by BLA, Inc, dated November 30, 2018 (220-sheets).
- 2) Location Drainage Study (LDS) for Miller Road at US Route 12, prepared by BLA, Inc, dated August 2, 2018.
- 3) WDP-18-225, issued by Lake County Stormwater Management Commission (SMC) on May 9, 2019.

The above listed documents were reviewed and approved by Lake County SMC for compliance with the Watershed Development Ordinance (WDO). The submitted materials documented that the existing detention facilities located on the Walgreen's property (referred to as the Miller Rand Plaza at the N.E.C Rand & Miller in previous documents) were constructed with detention storage in excess of WDO requirements. The LDS states that "with the proposed impacts, the existing detention pond will still provide storage volume above the required storage shown on the as-built records." The issuance of the WDP by SMC confirms that the Walgreen's property will remain in compliance with the WDO.

If you should have any questions, please do not hesitate to contact me.

Yours truly,
MANHARD CONSULTING, LTD.

Peter Stoehr, P.E.
Village Engineer and Enforcement Officer

cc: Mike Brown, Director of Public Works



At the Heart of Community

OFFICE OF THE VILLAGE MANAGER

70 East Main Street
Lake Zurich, Illinois 60047

(847) 438-5141
LakeZurich.org

AGENDA ITEM

61

MEMORANDUM

Date: July 11, 2022

To: Ray Keller, Village Manager *PK*

From: Michael Duebner, Management Services Director

Subject: Liquor License Issuance

Issue: Treehouse Ventures, LLC dba/The Treehouse Play Café located at 985 S Rand Road has requested a full-service restaurant Class-A Liquor License for the dispensing of alcoholic beverages.

Analysis: Treehouse Ventures, LLC completed the requisite documentation, Beverage Alcohol Sellers/Servers Education Training (BASSET) certification and successfully passed the background check for issuance of a Class-A Liquor License for dispensing of alcoholic beverages.

Recommendation: Consideration and approval of the proposed ordinance.

w/Attachments: Ordinance issuing a Class-A license

VILLAGE OF LAKE ZURICH



ORDINANCE NO. 2022-____-____

ORDINANCE AMENDING TITLE 3 OF CHAPTER 3 OF THE VILLAGE OF LAKE ZURICH MUNICIPAL CODE TO INCREASE AUTHORIZED CLASS - A RESTAURANT FULL SERVICE LIQUOR LICENSES FOR TREEHOUSE VENTURES, LLC DOING BUSINESS AS THE TREEHOUSE CAFE AT 985 SOUTH RAND ROAD

NOW, THEREFORE, BE IT ORDAINED by the Mayor and the Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: The number of **Class A – Restaurant Full Service** liquor licenses authorized by section 3-3b-14 of Chapter 3 of Title 3 of the Village Code of the Village of Lake Zurich is hereby **increased** by one for **Treehouse Ventures dba The Treehouse Cafe** located at **985 South Rand Road** in accordance with the Village Code of the Village of Lake Zurich. Issuance of the license is subject to the approval and action of the Local Liquor Commissioner of the Village of Lake Zurich.

SECTION 2: That Section 3-3B-14 of Chapter 3 of Title 3 of the Lake Zurich Municipal Code entitled "NUMBER OF LICENSES" be and is hereby further amended with the corresponding number of licenses in each class, shown with bold letters with underscoring below:

314495_1

Class	Description	Maximum Number Issued
A	Restaurant	21 22
A-1	Outdoor Add-On	11
B	Retail Sales	19
B-1	Annual Tasting Add-On	5
B-2	Single Event Add-On	0
C	Retail Sales Convenience	3
E	Club	2
F	Single Private Event	0
G	Single Public Event	1
G-1	Multiple Public Event	1
H	Complimentary Dispensing of Beer & Wine	1
I	Indoor Interactive Sports Facilities	1
K	Gift Boutique	0
M	BYOB Corkage	0
N	Craft Distillery	1
O	Off-Site Catering	1
P	Craft Brewery	1
R	Outdoor Concession / Beer Garden	1
V	Video Gaming	16
W	Boutique Wine & Sparking Beverage	1
Y	Brew Pub	0

SECTION 3: If any section, paragraph, clause or provision of this Ordinance shall be invalid, the invalidity thereof shall not affect any of the other provisions of this Ordinance.

SECTION 4: That if any provision of this ordinance or application thereof to any entity or person or circumstance is declared invalid or held to be unlawful, such declaration or holding shall not affect the validity of any other portion or provision of this Ordinance and such declaration or holding shall be severable from the remainder hereof.

SECTION 5: This Ordinance shall be in full force and effect immediately upon its passage and approval as provided by law.

ADOPTED this _____ day of July, 2022 by the following vote:

Ayes: _____

Nays: _____

Absent: _____

314495_1

APPROVED by the Mayor on this ____ day of July, 2022.

Tom Poynton, MAYOR

Kathleen Johnson, VILLAGE CLERK

314495_1



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

Phone (847) 540-1696
Fax (847) 726-2182
LakeZurich.org

AGENDA ITEM
7A

MEMORANDUM

Date: July 18, 2022

To: Ray Keller, Village Manager *RK*

From: Sarosh Saher, Community Development Director

CC: Mary Meyer, Building Services Supervisor
Tim Verbeke, Planner

Re: **Zoning Application for a Planned Unit Development
New Chase Bank at 455 South Rand Road (Route 12)
(Former Giordano's Property)**

Issue: Mr. Ken Colliander, of JP Morgan Chase Bank, N.A. (the "Applicant") with the consent of Windyridge Group, LLC, the current owner of the vacant building located at 455 South Rand Road (the "Owner") requests approval to demolish the existing vacant building and single-story retail banking center along with associated site improvements on the property commonly known as 455 South Rand Road, and legally described in Exhibit A attached hereto (the "Subject Property"). The Subject Property is currently located within the Village's B-3 Regional Shopping Business District.

Village Strategic Plan: This agenda item is consistent with the following objectives under Goal #2 – Development:

- Expand the Village's role as a major regional economic hub in Lake County
- Continue Route 12 Corridor Development
- Become more business friendly and customer oriented.

Background: The Subject Property is located on the southwest corner of IL Route 22 and IL Route 12 (Rand Road). These are the main commercial arterial corridors of the village. The Subject Property was originally established as a restaurant on the property in the late 1970's with the one-story building that is standing today. In 2003 the building was granted occupancy as Giordano's Pizza restaurant and was occupied until 2014. The building has remained vacant and deteriorating since that time.

The Applicant proposes to demolish the existing restaurant building (approximately 6,000 square feet) and replace it with a new 6,282 square-foot retail banking center. The applicant proposes to

455 South Rand Road (Route 12) – New Chase Bank Building
July 18, 2022

reconfigure a portion of the existing parking, which currently contains 48 parking spaces, creating a new parking area with 45 parking stalls. These will be located at the front of the building. Four new drive-through ATM lanes and one pass-through lane will be constructed along the side of the building.

Specifically, the Applicant is seeking:

- Special Use Permit for a Planned Unit Development (PUD) to allow for the construction of a single-tenant retail banking building on the Subject Property
- Development Concept and Final Plan Approval including Site Plan Approval to allow for the establishment of a single-tenant retail banking building within the B-3 Regional Shopping District; and
- Exterior Appearance Review to approve the proposed single-tenant retail banking building on the Subject Property.
- Modifications to the Zoning Code to allow for the location and construction of the single-tenant retail banking building on the Subject Property.

Analysis: The Planning and Zoning Commission (PZC) considered the application at a public hearing on June 15, 2022. At the meeting the adjacent property owner expressed concerns related to safety of vehicles and traffic circulation as presented in the plans and offered a solution to potentially resolve these concerns.

At the close of the hearing, the PZC voted unanimously to recommend approval of the project with the following additional condition for approval:

- Resolve the east/west traffic pattern through the shared easement – with particular reference to how the drive-through exit turn patterns will impact the traffic within the easement. The concern shall be resolved prior to consideration by the Village Board.

The video from the PZC meeting can be accessed via the link:
<https://play.champds.com/lakezurichil/event/58>

A detailed evaluation and summary of the project can be found in the Staff Report that was provided to the Planning and Zoning Commission, which is a part of the attached Ordinance.

Changes since the Public Hearing

1. *Reconfiguration of the Drive-through circulation:* In response to the additional condition of the PZC to resolve the concerns of the adjacent property owner related to traffic circulation leaving the drive-through ATM lanes and onto the cross-access easement, the applicants have reconfigured the traffic pattern within the drive-through area to reduce the exiting traffic down to two lanes. This satisfies the concerns of the adjacent owner and will mitigate any conflicts within the easement area. Staff has also been notified that Chase

455 South Rand Road (Route 12) – New Chase Bank Building
July 18, 2022

Bank and the adjacent property owner, Fidelity Group, have come to a formal agreement on the revised drive-through circulation.

2. *Sidewalk along the easterly frontage of the property with Rand Road.* In response to the condition of staff regarding the requirement to install a sidewalk along the eastern frontage of the property with Rand Road, the Applicant has revised the site plan to indicate the inclusion of the sidewalk. This sidewalk will connect to the existing sidewalk along Main Street (Rt 22) and serve to fill the gap along Rand Road.

Recommendation: At their meeting on June 15, 2022, the PZC recommended approval of the Planned Unit Development (PUD) incorporating the conditions for approval provided by staff in its report with the addition of a condition related to the resolution of traffic circulation concerns on and off the property.

The Applicant has since modified the project to address these concerns to the satisfaction of the Village.

Staff therefore recommends approval of the attached ordinance, with its specific attachments based on the following conditions for approval that are contained within the accompanying approval ordinance:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application and Cover Letter dated May 18, 2022 prepared by Timothy R. Meseck, of The Architects Partnership Ltd., on behalf of the Applicants JP Morgan Chase Bank N. A.
 - b. Architectural Exhibits prepared by The Architects Partnership comprising of the following:
 - i. Architectural Elevations consisting of two sheets Sheet 1 (north and northeast elevations) and Sheet 2 (east, south and west elevations) dated July 8, 2022,
 - ii. Floor Plan consisting of one sheet dated July 8, 2022
 - c. Engineering Improvement Plans consisting of 13 sheets prepared by Gewalt Hamilton Associates, Inc. dated May 17, 2022, with the Sheet 3 of 13 entitled “Geometric Plan” updated on July 1, 2022.
 - d. Site Plan “Geometric Plan,” Sheet 3 of 13 prepared by Gewalt Hamilton Associates, Inc. and last updated on July 1, 2022.
 - e. Landscape Plans prepared by Terra Engineering Ltd., dated April 21, 2021, and last revised July 12, 2022 consisting of the following exhibits:
 - i. Sheet L0.0 – Landscape Preservation Plan
 - ii. Sheet L1.0, L1.1 and L2.0 – Landscape Plans
 - f. Photometric Calculations plan prepared by Facility Solutions Group dated May 18, 2022.

455 South Rand Road (Route 12) – New Chase Bank Building
July 18, 2022

- g. ALTA/NSPS Land Title and Topographic Survey Sheets 1-4, prepared by Compass Surveying Ltd., dated April 4, 2022.
 - h. Traffic Impact Study Gewalt Hamilton Associates, Inc. dated May 16, 2022.
 - i. Easement Agreements including the following:
 - i. Access Easement recorded as Document No 1898274, including a Plat of Easement
 - ii. Drainage Easement Agreement recorded as Document No 1898276, including a Plat of Survey,
2. The Applicant must submit information related to the demolition of the existing building to the Village of Lake Zurich within 30 days of approval of the PUD by the Village Board. All demolition staging must occur on the Subject Property premises, unless written permission is provided by the adjacent property owners.
 3. The maximum allowable illumination on the Subject Property shall be as follows:
 - a. Maximum of 0.8 foot-candles along the perimeter of the lot's frontage along Rand Road and Rt 22
 - b. Maximum of 5.1 foot-candles along the interior perimeter of the lot's frontage with the remaining shopping center.
 - c. Maximum of 10 foot-candles around the entrances to the building.
 - d. Maximum of 20 foot-candles under the ATM canopy.
 4. All signage (wall mounted and ground mounted) shall meet the requirements of Title 12 – Signs. Separate application shall be submitted for the review and approval by Village staff.
 5. The sidewalk proposed along the easterly frontage of the property with Rand Road shall be constructed to Village specifications for width and location to connect to the existing sidewalk along Main Street (Rt 22) and fill the gap along Rand Road.
 6. Reconfiguration of a portion of the existing parking, which currently contains 48 parking spaces, creating a new parking area with 45 parking stalls to be located at the front of the building.
 7. Reconfiguration of the drive-through circulation to provide for four new drive-through ATM lanes and one pass-through lane, said lanes to be constructed along the side of the building, designed to reduce the exiting traffic down to two lanes.
 8. The Redevelopment shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.
 - Approval Ordinance including the following exhibits:
 - Exhibit A – Legal description of the property
 - Exhibit B – Revised Project Exhibits

● Page 4

455 South Rand Road (Route 12) – New Chase Bank Building
July 18, 2022

- Exhibit C – June 15, 2022 staff report and planning and zoning commission final recommendation/conditions

● Page 5

VILLAGE OF LAKE ZURICH



ORDINANCE NO. 2022-07-_____

AN ORDINANCE GRANTING A PLANNED UNIT DEVELOPMENT
Single-tenant Bank (Chase Bank) - 455 South Rand Road

WHEREAS, Mr. Ken Colliander, of JP Morgan Chase Bank, N.A. is the applicant ("Applicant") for the property at 455 South Rand Road ("Subject Property"), said property legally described in **Exhibit A** attached hereto; and

WHEREAS, Windyridge Group, LLC, a registered Wisconsin limited liability company, is the owner ("Owner") of the Subject Property and has provided its consent to allow the Applicant to submit a request for a Planned Unit Development ("PUD"); and

WHEREAS, the Subject Property is an outlet located on the northeast corner of a larger retail development known as Village Square Retail Center and is provided with access over and across the adjacent Village Square Retail Center by means of an access easement recorded as Document No. 1898274 with the Lake County IL Recorder of Deeds; and

WHEREAS, the existing building and parking lot on the Subject Property were constructed in their current configuration in the late 1970s, in conjunction with Village Square Retail Center, and such existing building was operated as a restaurant until 2014 after which time, it has remained vacant; and

WHEREAS, the Subject Property was granted approval of a PUD on February 3, 2016 through Ordinance No. 2016-2-112 for the construction of a retail multi-tenant building, parking lot modifications, addition of outdoor seating, and site design and exterior appearance approval; and

WHEREAS, the Subject Property was granted approval of a subsequent PUD on June 17, 2019 for the construction of a 4-tenant, 8,640 square-foot building with restrictions on the floor area of eating places (restaurants, cafés, etc.) unless a perpetual shared parking agreement with the adjacent property owner could be provided; and

WHEREAS, the PUD was granted a "Major Adjustment" pursuant to Chapter 22 of the Village of Lake Zurich Zoning Code through Ordinance 2020-02-358 for a reduced-size, 4-tenant, 8,280 square-foot building with all required parking on the subject lot thereby no longer requiring a perpetual shared parking agreement; and

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WHEREAS, construction of the project approved through Ordinance No. 2020-02-358 as described in the preceding paragraph failed to commence within two (2) years after approval of such Ordinance thereby rendering void the final plan approval and all other approvals of the PUD; and

WHEREAS, the Applicant now wishes to redevelop the Subject Property through the demolition of the existing restaurant building and construction of a new single-story retail banking center on the Subject Property (hereinafter referred to as the "Redevelopment"); and

WHEREAS, the Applicant has filed zoning application PZC 2022-10, dated May 18, 2022, (the "Application") seeking the approval of the following, and attached hereto as **Exhibit B**:

- Special Use Permit for a Planned Unit Development (PUD) to allow for the construction of a single-tenant retail banking building; and
- Development Concept and Final Plan Approval including Site Plan Approval to allow for the establishment of a single-tenant retail banking building within the B-3 Regional Shopping District; and
- Exterior Appearance Review to approve the proposed single-tenant retail banking building on the Subject Property.

WHEREAS, in compliance with the law, and the requirements of the Village of Lake Zurich Zoning Code, notice was published on May 23, 2022, in The Daily Herald, and the Village posted a public hearing sign on the Subject Property on May 18, 2022, both the newspaper and sign notices informing the public of a public hearing to be held before the Lake Zurich Planning and Zoning Commission (the "PZC") on June 15, 2022, to consider the Application for this requested zoning authority and approval; and

WHEREAS, the PZC received and considered the STAFF REPORT dated June 15, 2022, which was provided to the PZC for the meeting, addressing the request for approval of said PUD, approval of Development Concept and Final Plan, including Site Plan, and review of Exterior Appearance submittals to allow for the construction of the single-tenant retail banking building on the Subject Property within the B-3 Regional Shopping District; and considered all information presented by the Applicant, and the applicable factors required under of the Zoning Code; and, after the conclusion of the public hearing, the PZC recommended that the Board of Trustees approve the zoning approval requested in this Application, subject to those changes or conditions of approval recommended by Village staff in said STAFF REPORT and the following additional condition:

- Resolve the east/west traffic pattern through the shared easement – with particular reference to how the drive-through exit turn patterns will impact the traffic within the easement. The concern shall be resolved prior to consideration by the Village Board.

and

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WHEREAS, following the close of the public hearing of the PZC, the Applicant revised the Redevelopment to address such concerns to the satisfaction of the adjacent property owner who has consented to the proposed traffic patterns and with the review and approval of Village staff; and

WHEREAS, the Applicant has further revised the Site Plan to include the construction of a sidewalk along the Rand Road frontage of the Subject Property, as determined and recommended by the Village staff; and

WHEREAS, the President and Board of Trustees of the Village of Lake Zurich met on July 18, 2022, and considered the findings and recommendations of the PZC, including the STAFF REPORT dated June 15, 2022, all consisting of 17 pages, said required zoning standards, findings and recommendations attached hereto as **Exhibit C** and having considered all of the facts and circumstances affecting the Application and these recommended approvals, the President and Board of Trustees have determined that the applicable standards related to this zoning approval have been met.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: ADOPTION AND INCORPORATION OF RECITALS. The foregoing recitals, findings, recommendations, exhibits and plans are incorporated herein as findings and requirements of the President and Board of Trustees, and **Exhibits A through D** referenced herein are made a part of and incorporated into this Ordinance and related approval, except as otherwise provided below.

SECTION 2: GRANT OF SPECIAL USE PERMIT, APPROVAL OF DEVELOPMENT CONCEPT AND FINAL PLAN FOR A PUD, SITE PLAN APPROVAL AND EXTERIOR APPEARANCE APPROVAL. The Mayor and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Chapter 19, Chapter 20, Chapter 21 and Chapter 22 of the Lake Zurich Zoning Code, hereby grant the following approval, as shown and provided in the STAFF REPORT dated June 15, 2022, and final findings and recommendations of the PZC, all consisting of 17 pages:

- Special Use Permit for a Planned Unit Development (PUD) to allow for the construction of a single-tenant retail banking building on the Subject Property
- Development Concept and Final Plan Approval including Site Plan Approval to allow for the establishment of a single-tenant retail banking building within the B-3 Regional Shopping District; and
- Exterior Appearance Review to approve the proposed single-tenant retail banking building on the Subject Property.
- Modifications to the Zoning Code to allow for the location and construction of the single-tenant retail banking building on the Subject Property.

And subject to the following conditions for approval:

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1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application and Cover Letter dated May 18, 2022 prepared by Timothy R. Meseck, of The Architects Partnership Ltd., on behalf of the Applicants JP Morgan Chase Bank N. A.
 - b. Architectural Exhibits prepared by The Architects Partnership comprising of the following:
 - i. Architectural Elevations consisting of two sheets Sheet 1 (north and northeast elevations) and Sheet 2 (east, south and west elevations) dated July 8, 2022,
 - ii. Floor Plan consisting of one sheet dated July 8, 2022
 - c. Engineering Improvement Plans consisting of 13 sheets prepared by Gewalt Hamilton Associates, Inc. dated May 17, 2022, with the Sheet 3 of 13 entitled "Geometric Plan" updated on July 1, 2022.
 - d. Site Plan "Geometric Plan," Sheet 3 of 13 prepared by Gewalt Hamilton Associates, Inc. and last updated on July 1, 2022.
 - e. Landscape Plans prepared by Terra Engineering Ltd., dated April 21, and last revised July 12, 2022 2021, consisting of the following exhibits:
 - i. Sheet LO.0 – Landscape Preservation Plan
 - ii. Sheet L1.0, L1.1 and L2.0 – Landscape Plans
 - f. Photometric Calculations plan prepared by Facility Solutions Group dated May 18, 2022.
 - g. ALTA/NSPS Land Title and Topographic Survey Sheets 1-4, prepared by Compass Surveying Ltd., dated April 4, 2022.
 - h. Traffic Impact Study Gewalt Hamilton Associates, Inc. dated May 16, 2022.
 - i. Easement Agreements including the following:
 - i. Access Easement recorded as Document No 1898274, including a Plat of Easement
 - ii. Drainage Easement Agreement recorded as Document No 1898276, including a Plat of Survey,
2. The Applicant must submit information related to the demolition of the existing building to the Village of Lake Zurich within 30 days of approval of the PUD by the Village Board. All demolition staging must occur on the Subject Property premises, unless written permission is provided by the adjacent property owners.
3. The maximum allowable illumination on the Subject Property shall be as follows:
 - a. Maximum of 0.8 foot-candles along the perimeter of the lot's frontage along Rand Road and Rt 22
 - b. Maximum of 5.1 foot-candles along the interior perimeter of the lot's frontage with the remaining shopping center.
 - c. Maximum of 10 foot-candles around the entrances to the building.

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d. Maximum of 20 foot-candles under the ATM canopy.

4. All signage (wall mounted and ground mounted) shall meet the requirements of Title 12 – Signs. Separate application shall be submitted for the review and approval by Village staff.
5. The sidewalk proposed along the easterly frontage of the property with Rand Road shall be constructed to Village specifications for width and location to connect to the existing sidewalk along Main Street (Rt 22) and fill the gap along Rand Road.
6. Reconfiguration of a portion of the existing parking, which currently contains 48 parking spaces, creating a new parking area with 45 parking stalls to be located at the front of the building.
7. Reconfiguration of the drive-through circulation to provide for four new drive-through ATM lanes and one pass-through lane, said lanes to be constructed along the side of the building, designed to reduce the exiting traffic down to two lanes.
8. The Redevelopment shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

SECTION 3: MODIFICATIONS FROM THE PROVISIONS OF THE ZONING AND LAND DEVELOPMENT CODE. The President and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Section 9-22-8 entitled “Authority To Modify Regulations” within Chapter 22 of the Lake Zurich Zoning Code, hereby grant the following modifications to such Codes:

1. The Applicant shall be granted a modification to allow a maximum illumination of 0.8 foot-candles along portions of the frontage of the property with Rand Road, and between 0.4 and 5.1 foot-candles along the interior lot line at the exit point of the drive-through ATM lanes; whereas Section 9-8B-3 C requires that the maximum illumination at the property line when a luminaire has a cutoff angle less than ninety degrees (90°) is 0.50 foot-candles.
2. The Applicant shall be granted a modification to allow a maximum illumination of 33.3 foot-candles below the ATM canopy. At the location around the entryways to the building, the illumination is proposed at 12 (front) and 10.6 (rear) foot-candles; whereas Section 9-8B-3 C requires that the maximum permitted illumination at any time at any point within the property shall be 10.0 foot-candles.
3. The Applicant shall be granted a modification to allow the reduced setbacks from Rand Road to remain as pre-existing lawful non-conforming site design features subject to the provisions of Chapter 11 (Section 9-11-5) of the

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Zoning Code entitled “Nonconformities;” whereas Section 9-4-10.F.8 of the Zoning Code requires that all yards along every lot line abutting Route 12 or abutting Route 22 between Ela Road and the westernmost village limits shall be not less than 50 feet.

4. The Applicant shall be granted a modification to allow the reduced landscaped surface area (greenspace) to remain as pre-existing lawful nonconforming site design features subject to the provisions of Chapter 11 (Section 9-11-5) of the Zoning Code entitled “Nonconformities; whereas Section 9-4-10.E3. of the Zoning Codes requires the minimum landscaped surface area for office uses be no less than 45% of the total land area of the lot.

SECTION 4: FINDINGS IN SUPPORT OF APPROVAL OF GRANT OF SPECIAL USE PERMITS, DEVELOPMENT CONCEPT AND FINAL PLAN. The findings, conditions and recommendations as set forth in the STAFF REPORT dated June 15, 2022, and the PZC findings and recommendations, all consisting of 17 pages, are hereby accepted as the Board’s own, are incorporated herein by this reference and shall be made a part of the official record for the Application.

SECTION 5: SEVERABILITY. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 6: CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 7: EFFECTIVE DATE. This Ordinance shall be in full force and effect upon its passage and approval, as provided by law.

SECTION 8: BINDING EFFECT; SUCCESSION IN INTEREST. This Ordinance shall constitute a covenant running with the land and be binding upon and inure to the benefit of the parties hereto, their successors in interest, assignees, lessees, and upon any successor municipal authorities of the Village and successor municipalities. Except as otherwise expressly provided herein, upon the conveyance or assignment by Applicant of its interest in the Property to any successor, assign or nominee, Applicant shall be released from any and all further liability or responsibility under this Ordinance except to the extent previously undertaken by Applicant, or for which Applicant has posted security to perform an obligation in which case Applicant shall be bound to continue to complete its performance unless a replacement bond or letter of credit is posted by the new owner or Applicant, and accepted by the Village, which shall not be unreasonably withheld. In such event, the Applicant shall be released from the underlying obligation to perform. The Village shall thereafter look only to the successor, assign, or nominee of duties and obligations of Applicant hereby undertaken.

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PASSED THIS _____ day of July, 2022.

Ayes:

Nays:

Absent:

Abstain:

APPROVED this _____ day of July, 2022.

Mayor Tom Poynton

ATTEST:

Village Clerk
Kathleen Johnson

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EXHIBIT A

Legal description of the Subject Property

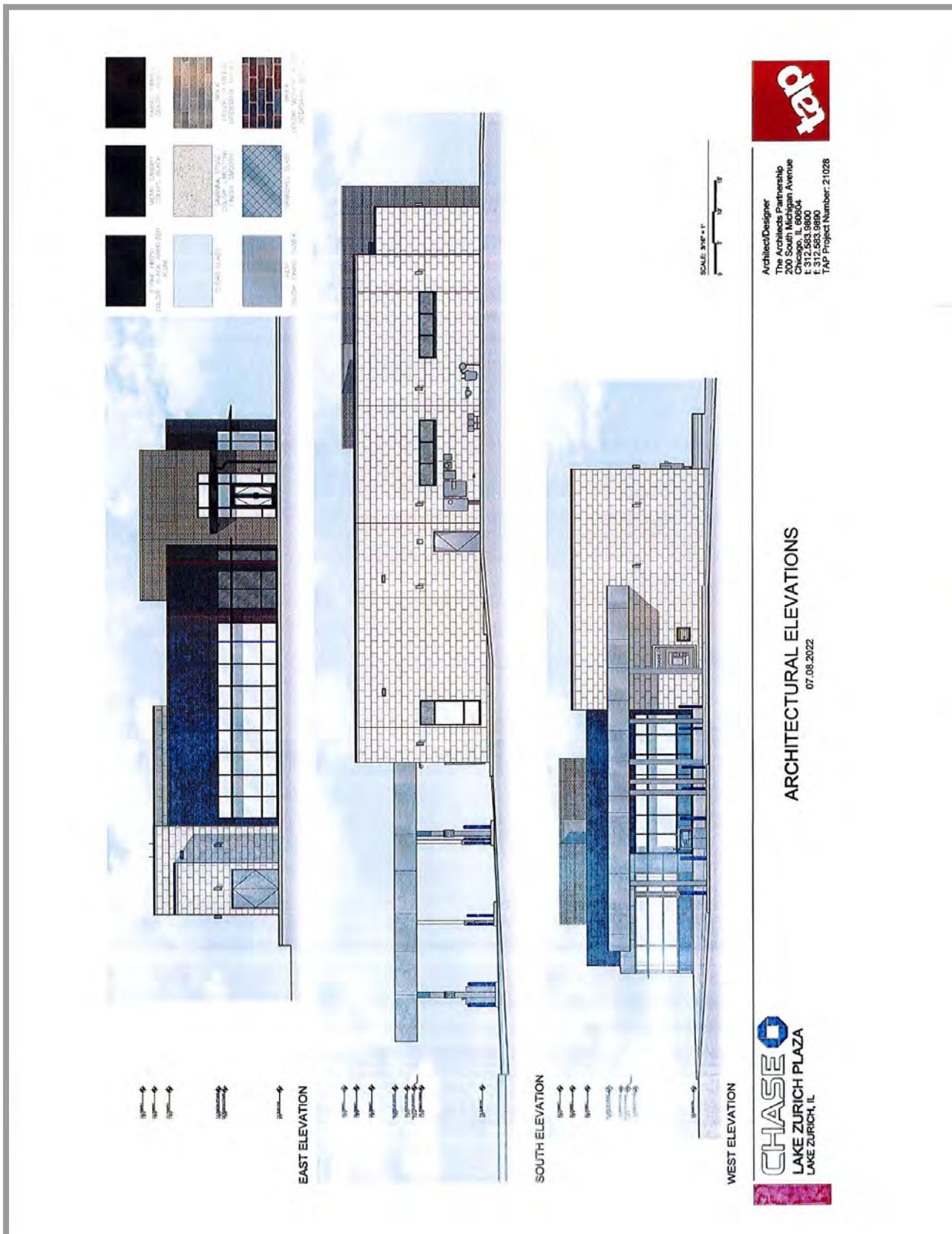
PARCEL 1:

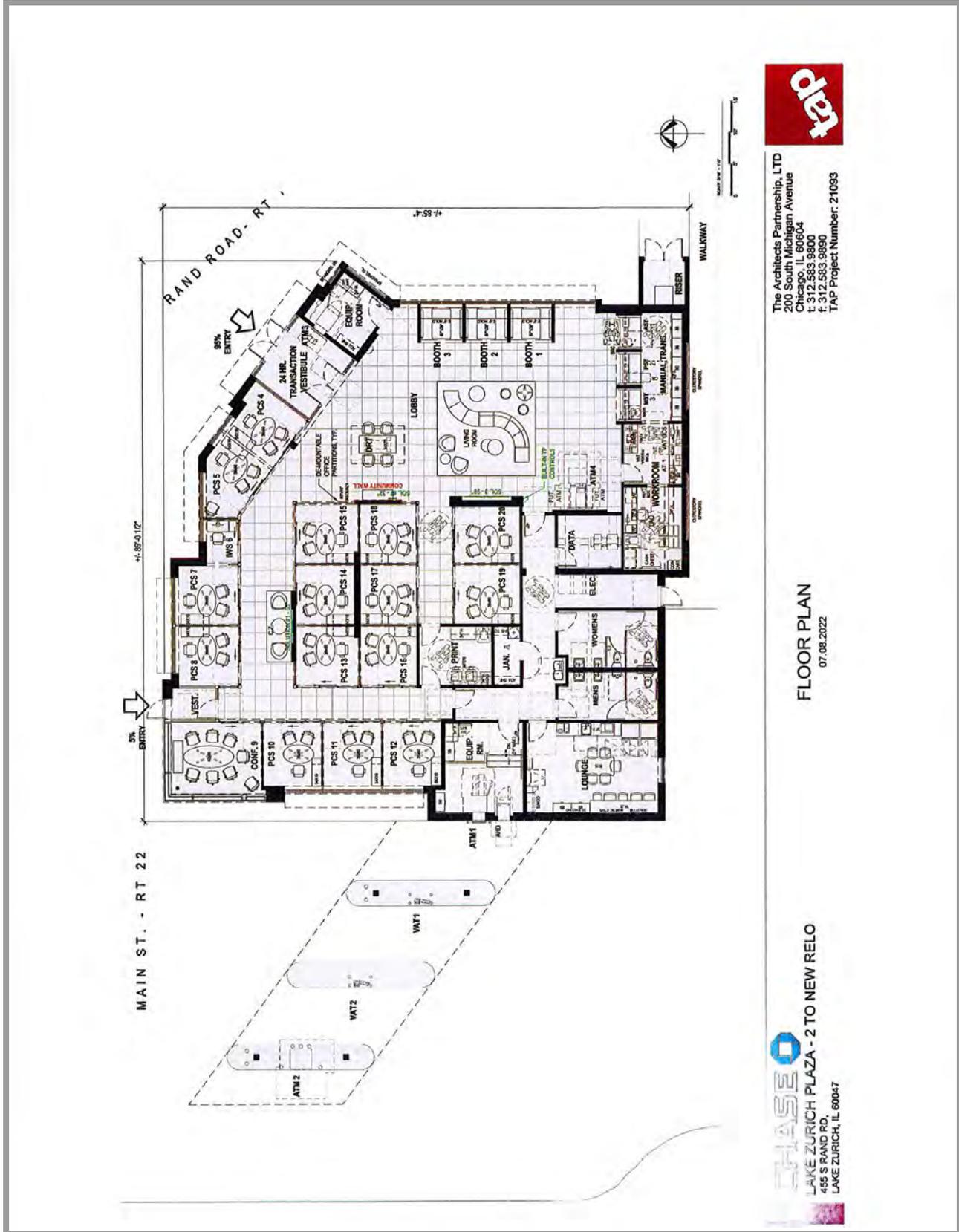
THAT PART OF THE WEST $\frac{1}{2}$ OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 19, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST $\frac{1}{4}$ OF SAID SECTION 19; THENCE NORTH 89 DEGREES 10 MINUTES 25 SECONDS EAST ALONG TH NORTH LINE OF SAID SOUTH EAST $\frac{1}{4}$ OF SECTION 19, 978.46 FEET; THENCE SOUTH 0 DEGREES 0 MINUTES AND 35 SECONDS EAST, 61.56 FEET TO THE EXISTING SOUTHERLY RIGHT OF WAY OF STATE ROUTE 22 FOR A POINT OF BEGINNING; THENCE SOUTH 0 DEGREES 05 MINUTES 30 SECONDS EAST, 190.17 FEET; THENCE NORTH 89 DEGREES 57 MINUTES 33 SECONDS EAST 307.55 FEET TO THE SOUTHWESTERLY RIGHT OF WAY OF U.S. ROUTE 12; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY OF U.S. ROUTE 12 SAID RIGHT OF WAY BEING A CURVED LINE TO THE RIGHT HAVING A RADIUS OF 3445.46 FEET, AN ARC DISTANCE OF 129.51 FEET TO A POINT OF REVISE CURVE; THENCE CONTINUING ALONG SAID SOUTHWESTERLY RIGHT OF WAY OF U.S. ROUTE 12 SAID RIGHT OF WAY BEING A CURVED LINE TO THE LEFT HAVING A RADIUS OF 276.07 FEET AN ARC DISTANCE OF 235.10 FEET TO A POINT OF TANGENCY; THENCE WESTERLY ALONG THE SOUTHERLY RIGHT OF WAY OF STATE ROUTE 22, A DISTANCE OF 13.0 FEET TO THE POINT OF BEGINNING, (EXCEPT PART CONVEYED TO PEOPLE OF THE STATE OF ILLINOIS, DEPT. OF TRANSPORTATION BY DEED DOC 5560623 RECORDED MAY 17, 2004) IN LAKE COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF THE NORTHWEST $\frac{1}{4}$ OF THE SOUTH EAST $\frac{1}{4}$ OF SECTION 19, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE 960.28 FEET EAST OF THE NORTHWEST CORNER OF SAID QUARTER SECTION; THENCE SOUTH 00 DEGREES 00 MINUTES 25 SECONDS EAST 61.28 FEET TO THE SOUTH LINE OF ROUTE 22 FOR A POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 00 MINUTES 25 SECONDS EAST 190.17 FEET; THENCE NORTH 89 DEGREES 57 MINUTES 33 SECONDS EAST 18.49 FEET, MORE OR LESS, TO THE WEST LINE OF A TRACT OF LAND DESCRIBED IN TRUSTEE'S DEED RECORDED FEBRUARY 21, 1978 AS DOCUMENT 1899484; THENCE NORTH 00 DEGREES 05 MINUTES 30 SECONDS WEST 190.17 FEET ALONG SAID WEST LINE TO THE SOUTHERLY RIGHT OF WAY OF ROUTE 22; THENCE WESTERLY ALONG THE SOUTHERLY RIGHT OF WAY OF ROUTE 22 TO THE POINT OF BEGINNING, (EXCEPT PART CONVEYED TO PEOPLE OF THE STATE OF ILLINOIS, DEPT. OF TRANSPORTATION BY DEED DOC 5560623 RECORDED MAY 17 2004) IN LAKE COUNTY, ILLINOIS.

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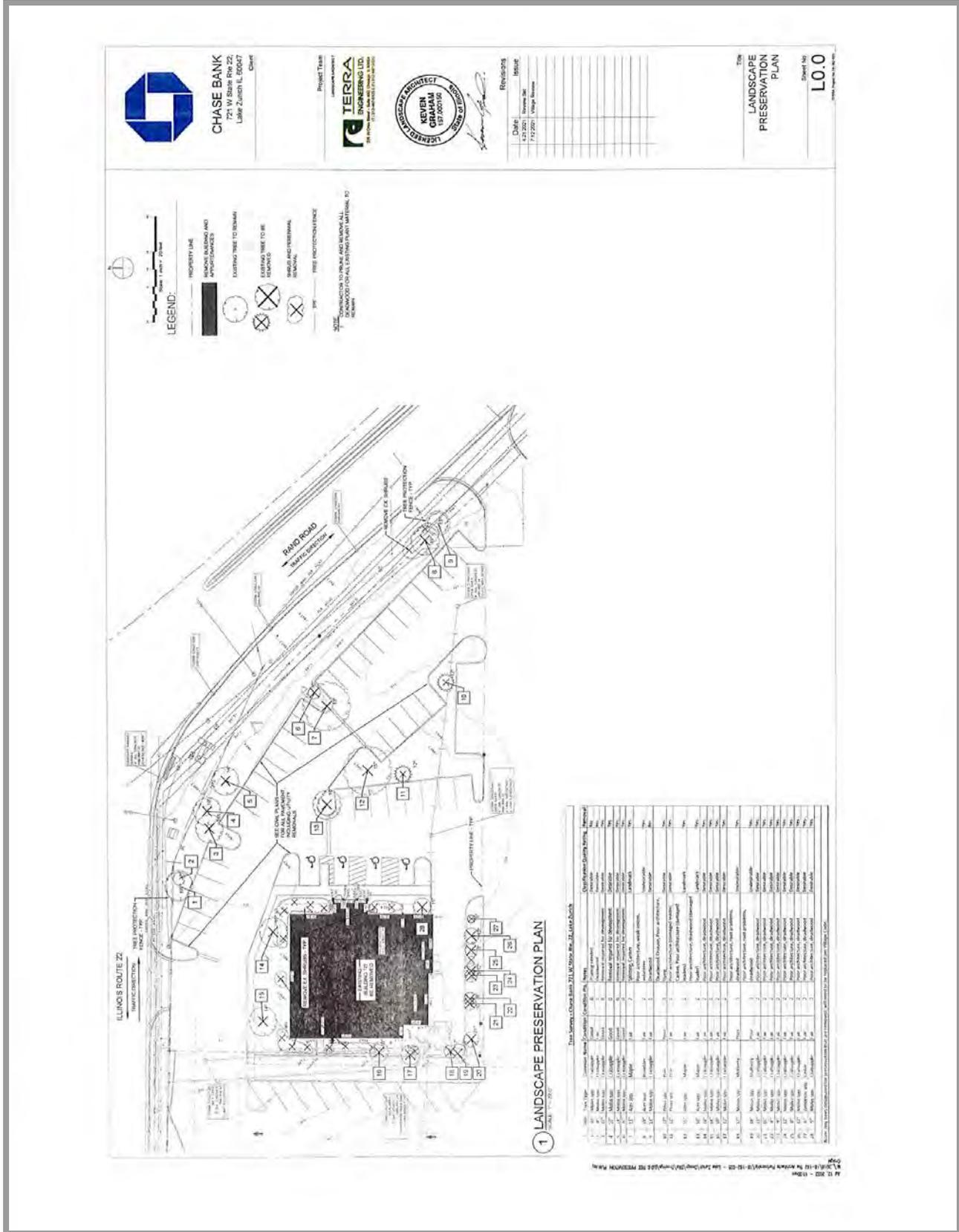




The Architects Partnership, LTD
 200 South Michigan Avenue
 Chicago, IL 60604
 t: 312.583.9800
 f: 312.583.9890
 TAP Project Number: 21093

FLOOR PLAN
 07.08.2022

CHASE
 LAKE ZURICH PLAZA - 2 TO NEW RELO
 455 S RAND RD.
 LAKE ZURICH, IL 60047



CHASE BANK
 721 W State Rte 22
 LAWZ ZURICH IL 60087
 CLIENT

PROJECT TEAM
 LANDSCAPE ARCHITECT
TERRA
 ENGINEERING LTD.
 8400 W. 120th Street, Suite 100
 Overland Park, KS 66204

KEVIN GRAHAM
 LICENSED ARCHITECT
 LICENSE NO. 017-000159

REVISIONS

DATE	ISSUE
4/23/2021	ISSUE NO. 1
7/12/2021	ISSUE NO. 2

TITLE
LANDSCAPE PRESERVATION PLAN
 SHEET NO.
L00

LEGEND:

- PROPERTY LINE
- REMOVE EXISTING AND REPLANT
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE PRESERVED
- REMOVE AND REPLANT
- REMOVE AND REPLANT WITH SPECIES
- REMOVE AND REPLANT WITH SPECIES AND SIZE
- REMOVE AND REPLANT WITH SPECIES AND SIZE AND DATE

NOTE: CONSULT WITH LOCAL AND STATE ALL APPLICABLE REGULATIONS AND ORDINANCES.

1 LANDSCAPE PRESERVATION PLAN

DATE: 7/12/2021

Tree ID	Species	Caliber (DBH)	Height	Condition	Preservation Method
1	Red Oak	12"	15'	Good	Remove and Replant
2	Red Oak	10"	12'	Good	Remove and Replant
3	Red Oak	8"	10'	Good	Remove and Replant
4	Red Oak	6"	8'	Good	Remove and Replant
5	Red Oak	4"	6'	Good	Remove and Replant
6	Red Oak	3"	5'	Good	Remove and Replant
7	Red Oak	2"	4'	Good	Remove and Replant
8	Red Oak	1"	3'	Good	Remove and Replant
9	Red Oak	12"	15'	Good	Remove and Replant
10	Red Oak	10"	12'	Good	Remove and Replant
11	Red Oak	8"	10'	Good	Remove and Replant
12	Red Oak	6"	8'	Good	Remove and Replant
13	Red Oak	4"	6'	Good	Remove and Replant
14	Red Oak	3"	5'	Good	Remove and Replant
15	Red Oak	2"	4'	Good	Remove and Replant
16	Red Oak	1"	3'	Good	Remove and Replant
17	Red Oak	12"	15'	Good	Remove and Replant
18	Red Oak	10"	12'	Good	Remove and Replant
19	Red Oak	8"	10'	Good	Remove and Replant
20	Red Oak	6"	8'	Good	Remove and Replant
21	Red Oak	4"	6'	Good	Remove and Replant
22	Red Oak	3"	5'	Good	Remove and Replant
23	Red Oak	2"	4'	Good	Remove and Replant
24	Red Oak	1"	3'	Good	Remove and Replant
25	Red Oak	12"	15'	Good	Remove and Replant
26	Red Oak	10"	12'	Good	Remove and Replant
27	Red Oak	8"	10'	Good	Remove and Replant
28	Red Oak	6"	8'	Good	Remove and Replant



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telsler Road
Lake Zurich, Illinois 60047

(847) 540-1696
Fax (847) 726-2182
LakeZurich.org

APPLICATION PZC 2022-10
PZC Hearing Date: June 15, 2022

AGENDA ITEM 4.D

STAFF REPORT

To: Chairperson Stratman and Members of the Planning & Zoning Commission
 From: Sarosh Saher, Community Development Director
 CC: Mary Meyer, Building Services Supervisor
 Tim Verbeke, Planner
 Date: June 15, 2022
 Re: 2022-10 – 455 South Rand Road
 Planned Unit Development (PUD) for a Retail Banking Building

SUBJECT

Mr. Ken Colliander, of JP Morgan Chase Bank, N.A. (the “Applicant”) with the consent of Windyridge Group, LLC, the current owner of the vacant building located at 455 South Rand Road (the “Owner”), requests approval to demolish the existing structure and construct a new single-story retail banking center on the property along with associated site improvements. The property is the site of the former Giordano’s Restaurant.

GENERAL INFORMATION

Requested Action: Planned Unit Development,
Site Plan Approval, Exterior Appearance Review

Current Zoning: B-3 Regional Shopping District

Current Use: Vacant Building (formerly a restaurant)

Proposed Use: Single-Tenant Retail Banking Center

Property Location: 455 South Rand Road

Applicant: JP Morgan Chase Bank, N.A.

Owner: Windyridge Group, LLC

Staff Coordinator: Tim Verbeke, Planner

**Staff Report
APPLICATION PZC 2022-10**

**Community Development Department
PZC Hearing Date: June 15, 2022**

LIST OF EXHIBITS

- A. Legal Description
- B. Public Hearing Sign
- C. Site Photos
- D. Aerial Map
- E. Zoning Map
- F. Parcel Map
- G. Development Application and Attachments
- H. Development Review Comments

BACKGROUND

The subject property is located on the southwest corner of the intersection of U.S. Route 12 (Rand Road) and State Route 22 (West Main Street), and is legally described in Exhibit A attached hereto (the "Subject Property"). The Subject Property was originally established as a restaurant on the property in the late 1970's with the one story building that is standing today. In 2008 the building was granted occupancy as Giordano's Pizza restaurant and was occupied until 2014. The building is located at one of the busiest intersections in the community with 48 parking spaces on two sides of the building.

The Applicant has filed an application with the Village of Lake Zurich dated May 18, 2022 (the "Application") seeking:

- Special Use Permit for a Planned Unit Development (PUD) to allow for the construction of a single-tenant retail banking building
- Site Plan Approval to allow for the establishment of a retail tenant building within the B-3 Regional Shopping District; and
- Exterior Appearance Review to approve the proposed retail tenant building on the Subject Property.

The Subject Property is zoned within the B-3 Regional Shopping District, located at the intersection of Rand Road and IL Route 22, which are the main commercial arterial corridors of the village. The Applicant proposes to demolish the existing restaurant building (approximately 6,000 square feet) and replace it with a new 6,282 square-foot retail banking center. The applicant proposes to reconfigure a portion of the existing parking, which currently contains 48 parking spaces, creating a new parking area with 45 parking stalls. These will be located at the front of the building. Four new drive-through ATM lanes and one pass-through lane will be constructed along the side of the building.

The remaining site will be landscaped with ornamental trees, deciduous and evergreen shrubs, ornamental grasses, perennial and groundcover areas and sod. The westerly interior perimeter of the lot will also be landscaped. The southerly interior perimeter of the lot will contain less landscape material due to the proximity of the building and interior access to the lot.

Staff Report
APPLICATION PZC 2022-10

Community Development Department
PZC Hearing Date: June 15, 2022

The new bank building will be constructed in masonry using cultured stone and brick, with aluminum panel highlights around certain windows and entrances. The canopy over the drive-through ATMs will also be clad in similar aluminum panels. The main entrance to the building will face Rand Road (northeast). The interior will be configured as a retail banking office with customer meeting areas and private offices.

The property will be illuminated with wall mounted and free-standing light fixtures. Where necessary, fixtures will be equipped with dimming devices or shields to reduce the glare onto surrounding properties.

Access to the property is proposed from Rt 22, Rand Road and internally from the adjacent shopping center by means of perpetual access easements. A traffic study was conducted that resulted in the conversion of the right-in right-out access at Rt 22 into a right-in only access. This measure is intended to lower congestion at the Rt 22-Rand Road intersection.

All activities related to the land use will be conducted on the subject property. Due to the lower intensity of use (single-user), all parking will be accommodated on the premises without the need for shared parking.

Staff notes that the Subject Property is composed of two separate PIN's. While not a requirement for PUD approval, since the property functions as one singular development, staff recommends that the Applicant consider consolidating the two parcels into one parcel under uniform control.

Pursuant to public notice published on May 23, 2022, in the Daily Herald, a public hearing has been scheduled with the Lake Zurich Planning & Zoning Commission for June 15, 2022, to consider the Application. On May 18, 2022, the Village posted a public hearing sign on the Subject Property (Exhibit B).

Staff offers the following additional information:

- A. Courtesy Review.** This item did not require a courtesy review by the Village Board as this property has been approved for various more intense retail uses in 2016, 2019 and 2020.
- B. Zoning History.** In 1939, the land where the building currently sits was an apple orchard owned and operated by John Bell. The orchard originally operated under the name of 'Mossley Hill Farms,' until 1972, when land values began to rise. The orchard was sold for the development of Village Square and the Orchards Subdivision, but moved just west on Route 22, becoming the Bell's Orchard that many long-time residents remember. The Subject Property was portioned off in the late 1970s when the current restaurant building was constructed on the site.

The property has always been zoned within a business district classification since its early incorporation into the Village. The property is currently zoned within the B-3 Regional Shopping District. The existing building was constructed in conjunction with the surrounding Village Square Retail Center development. Giordano's Restaurant operated out of the building between 2008 and 2014, when they moved to another location within

Staff Report
APPLICATION PZC 2022-10

Community Development Department
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the same shopping center at 483 South Rand Road. The building on the premises has remained vacant since that time.

On February 3, 2016, the Village Board granted approval of a PUD through Ordinance No. 2016-2-112 to develop the property with a 3-tenant, 8,290 square foot building. However, the developer at that time, GW Properties, was unable to proceed with the project. The ordinance was valid for a period of two years and expired on February 3, 2018 as no extensions were granted by the village.

On June 17, 2019, the owners of the property, Windyridge Group LLC received approval through PUD Ordinance 2019-05-315 for a 4-tenant, 8,640 square-foot building. Due to the larger footprint of the building, the ordinance placed restrictions on the floor area of eating places (restaurants, café's, etc.) unless a perpetual shared parking agreement with the adjacent property owner could be provided. However, by October 2019, the developer determined that a perpetual shared parking agreement could not be accomplished.

On February 18, 2020, Windyridge Group LLC, revised the site plan and building configuration and were granted approval of a Major Adjustment through Ordinance 2020-02-358 for a reduced-size, 4-tenant, 8,280 square-foot building with all required parking on the subject lot thereby no longer requiring a perpetual shared parking agreement. The ordinance was valid for a period of two years and expired on February 18, 2022 as no extensions were granted by the village.

- C. Surrounding Land Use and Zoning.** The property is located at the intersection of U.S. Route 12 (Rand Road) and IL Route 22. The property is surrounded by parcels zoned within the B-3 Regional Shopping District. To the east, the property is bounded by Rand Road and the Chase Bank and office building. The areas to the west and south are improved with the Village Square Retail Center. Immediately to the west is a parking lot and two-tenant building with FedEx Office and Sprint, and immediately to the south is the Village Square Retail Center. The property is bounded on the north by IL Route 22 and a True North gas station.
- D. Trend of Development.** The property was developed in a similar style/timeframe as other structures in the Village Square Retail Center and this section of the Route 12 corridor. It is located in an area that is developed with a mix of mature commercial uses.
- E. Zoning District.** The zoning code provides for three (3) zoning districts for business and commercial uses. When taken together, these districts are intended to permit development of property for the full range of business and commercial uses needed to serve the citizens of Lake Zurich and the surrounding suburban area. The B-3 regional shopping district is intended to provide locations for major retail centers. The regulations are designed to encourage a broad range of attractive retail and compatible service uses in those centers.

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GENERAL FINDINGS

The Application requires approval through a Planned Unit Development (PUD), which is classified as a Special Use Permit. As such the Application is reviewed against the standards for Special Use Permits and PUDs.

Staff of the Community Development Department's development review team has evaluated the development against the various standards and provisions of the Lake Zurich Municipal Code and offers findings on specific sections of the Code.

Standards for Special Use Permits

A. General Standards. No special use permit shall be recommended or granted pursuant to this Chapter unless the applicant shall establish that:

1. Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the official Comprehensive Plan.

Staff Response: Standard met. The development will continue to remain in conformance with the purpose and intent of the B-3 Regional Shopping District and the land use designation of the adopted Comprehensive Plan.

2. No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

Staff Response: Standard met. The proposed banking center is a commercial service use at the heavily traveled IL Route 22 and US. Route 12 intersection. This corridor is developed with a number of commercial uses along its frontage and the proposed building is consistent with the surrounding development.

3. No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

Staff Response: Standard Met. The property on which the bank building is proposed is surrounded on all sides by commercial properties, buildings and uses. The proposed land use will therefore not have any detrimental impact on immediately surrounding commercial property. Additionally, the building will not dominate the immediate vicinity or interfere with the use and development of neighboring properties.

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Besides a shared access easement providing for internal access to the property, the location, design, construction and operation of the proposed bank will be conducted wholly on the subject lot.

4. Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

Staff Response: The site is currently served with existing utilities which will adequately serve the proposed use.

5. No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through the surrounding streets.

Staff Response: Standard Met. The proposed reconfiguration of the site will involve an alteration to the access point from Rt 22 (West Main Street). A traffic and parking study conducted by Gewalt Hamilton Associates, Inc., concluded that the proposed development's generated volumes of traffic can be accommodated by the adjacent roadway network without the need for any modifications to the roadway.

However, as proposed, the access driveway off Rt 22 will be modified to only allow right-turns into the site. No changes are proposed to the access driveway off Rand Road. Additional pedestrian access will also be provided via a sidewalk connection to the existing sidewalk along Rt 22. No sidewalk is proposed along the Rand Road frontage of the property.

Vehicular traffic onto and off the property will also be dispersed onto the adjacent property via the shared access drive that runs immediately to the south of the property and similarly at the west side of the property.

A crash report was also incorporated as part of the traffic study. Based on the conclusions, the right-in right-out along Rt 22 is proposed to be reconfigured to a right-in only to mitigate further conflicts at the intersection.

6. No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Staff Response: Standard Met. The reconfiguration of the property will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance other than what was previously impacted by the prior development.

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- 7. Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

Staff Response: Standard met. The proposed development will comply with all other additional standards imposed through the building codes for retail buildings.

- 8. Positive Effect. The proposed special use creating a positive effect for the zoning district, its purpose, and adjacent properties shall be placed before the benefits of the petitioner.

Staff Response: Standard met. One of the purposes of the B-3 district is to “provide a location for major retail centers.” The proposed banking center will create a positive effect for the Village and the neighboring shopping development.

- B. Special Standards for Specified Special Uses. When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district, a permit for such use in such district shall not be recommended or granted unless the applicant shall establish compliance with such special standards.

Staff Response: Standard met. There are no uses proposed that warrant special standards for their establishment. Staff will ensure that compliance is established before any additional permit are issued.

- C. Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Board of Trustees shall consider:

- 1. Benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Staff Response: Standard met. The development of the retail banking building is an attractive amenity within the Village and its location along the heavily trafficked intersection of Route 12 and Route 22 provides an appropriate location for such an establishment.

- 2. Alternative Locations. Whether the purposes of the zoning code can be met by the location of the proposed use and development in some other area or zoning district that may be more appropriate than the proposed site.

Staff Response: Standard met. While there may be other locations that are equally appropriate for the location of a bank, staff has not identified an alternative location that is more appropriate than the Subject Property.

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3. Mitigation of Adverse Impacts. Whether all steps possible have been taken to minimize any substantial or undue adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Staff Response: All activities related to the use and operation of the development will be conducted on site. Additionally, the right-in right-out along Rt 22 is proposed to be reconfigured to a right-in only to mitigate further vehicular conflicts at the intersection.

9-22-5: STANDARDS FOR PLANNED UNIT DEVELOPMENTS (PUDs).

Planned unit developments are included in the zoning code as a distinct category of special use. As such, they are authorized for the same general purposes as all other special uses and in recognition of the fact that traditional bulk, space, and yard regulations that may be useful in protecting the character of substantially developed and stable areas may impose rigidities on the development or redevelopment of parcels or areas that lend themselves to an individual, planned approach.

- A. Special Use Permit Standards: No special use permit for a planned unit development shall be recommended or granted pursuant to this chapter unless the applicant shall establish that the proposed development will meet each of the standards made applicable to special use permits pursuant to chapter 19 of this title.

Staff Response: Standard met. Please refer to the “Standards for Special Use Permits” contained within this report.

- B. Additional Standards for All Planned Unit Developments: No special use permit for a planned unit development shall be recommended or granted unless the applicant shall establish that the proposed development will meet each of the following additional standards:

1. Unified Ownership Required: The entire property proposed for planned unit development treatment shall be in single ownership or under such unified control as to ensure that the entire property will be developed as a unified whole. All owners of the property shall be included as joint applicants on all applications and all approvals shall bind all owners. The violation of any owner as to any tract shall be deemed a violation as to all owners and all tracts.

Staff Response: Standard met. The entirety of the PUD is under common ownership of Windyridge Group, LLC.

2. Minimum Area: The applicant shall have the burden of establishing that the subject property is of sufficient size and shape to be planned and developed as a unified

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whole capable of meeting the objectives for which planned unit developments may be established pursuant to this section.

Staff Response: Standard met. The property is of a sufficient size to accommodate the proposed development. The approximately 1-acre (42,819 square feet) corner of land will accommodate a retail banking building and its associated drive-through ATMs and parking lot. The configuration of the development is intended to use the existing on-site circulation to create a safe flow of traffic through the development.

3. Covenants and Restrictions to Be Enforceable by Village: All covenants, deed restrictions, easements, and similar restrictions to be recorded in connection with the planned unit development shall provide that they may not be modified, removed, or released without the express consent of the board of trustees and that they may be enforced by the village as well as by future landowners within the proposed development.

Staff Response: Standard met. The Village will ensure that all easements are properly recorded, abided by the owners and enforced by the Village.

4. Public Open Space and Contributions: Whenever the official comprehensive plan, zoning map, or official map indicates that development of a planned unit development will create a need for land for public purposes of the village within the proposed planned unit development, the board of trustees may require that such area be designated and to the extent such need is specifically and uniquely attributable to the proposed development, dedicated to the village for such use. In addition, the board of trustees may require evidence that all requirements of village ordinances pertaining to the dedication of land or the contribution of cash in connection with subdivisions or developments of land have been met as respects the proposed planned unit development.

Staff Response: Not Applicable. The nature and scope of the development – does not create a need for land for public purposes of the village within the proposed planned unit development. The purpose and intent of such contributions are provided primarily for larger residential developments consisting of multiple properties with common areas to provide for or compensate for public amenities for the benefit of new residents that will move into the community to occupy such developments.

The village has therefore determined that the development is not required to provide any public open space or compensate for such at this time.

5. Common Open Space:
- a. Amount, Location, And Use: The failure of a planned unit development to provide common open space shall be considered to be an indication that it has not satisfied the objectives for which such developments may be approved pursuant to this zoning code. When common open space is

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provided in a planned unit development, the amount and location of such open space shall be consistent with its intended function as set forth in the application and planned unit development plans. No such open space shall be used for the construction of any structure or improvement except such structures and improvements as may be approved in the final plan as appropriate to the intended leisure and recreational uses for which such open space is intended.

- b. **Preservation:** Adequate safeguards, including recorded covenants or dedication of development rights, shall be provided to prevent the subsequent use of common open space for any use, structure, improvement, or development other than that shown on the approved final plan. The restrictions must be permanent and not for a given period of years and must run with the land. Such covenants and dedications may provide that they may be released, but only with the express written consent of the board of trustees.
- c. **Ownership And Maintenance:** The final plan shall include such provisions for the ownership and maintenance of such open space and improvements as are reasonably necessary to ensure their continuity, care, conservation, maintenance, and operation in accordance with predetermined standards and to ensure that remedial measures will be available to the village if such open space or improvements are permitted to deteriorate or are not maintained in a condition consistent with the best interests of the planned unit development or the village.
- d. **Property Owners' Association:** When the requirements of subsection B5c of this section are to be satisfied by the ownership or maintenance of such open space or improvements by a property owners' association, such association shall meet each of the following standards:
 - i. The bylaws and rules of the association and all declarations, covenants, and restrictions to be recorded must be approved as part of the final plan prior to becoming effective. Each such document shall provide that it shall not be amended in any manner that would result in it being in violation of the requirements of this subsection B5d(1); and
 - ii. The association must be established and all covenants and restrictions must be recorded prior to the sale of any property within the area of the planned unit development designated to have the exclusive use of the proposed open space or improvements; and
 - iii. The association must be responsible for casualty and liability insurance, taxes, and the maintenance of the open space and improvements to be deeded to it; and
 - iv. Membership in the association must be mandatory for each property owner and any successive owner having a right to the use or enjoyment of such open space or improvements; and

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- v. Every property owner having a right to the use or enjoyment of such open space or improvements must pay its pro rata share of the cost of the association by means of an assessment to be levied by the association that meets the requirements for becoming a lien on the property in accordance with state statutes; and
- vi. The association must have the right to adjust the assessment to meet changed needs. The membership vote required to authorize such adjustment shall not be fixed at more than two-thirds (2/3) of the members voting on the issue; and
- vii. The village must be given the right to enforce the covenants; and
- viii. The village must be given the right, after ten (10) days' written notice to the association, to perform any maintenance or repair work that the association has neglected to perform, to assess the membership for such work and to have a lien against the property of any member failing to pay such assessment. For this purpose alone, the village shall have all the rights and powers of the association and its governing body under the agreements and declarations creating the association.

Staff Response: Not Applicable. Based on the nature and scope of the development, and size of the subject property, the village has determined that the development is not required to provide any public open space or compensate for such at this time.

- 6. Landscaping and Perimeter Treatment: Any area of a planned unit development not used for structures or circulation elements shall be landscaped or otherwise improved. The perimeter of the planned unit development shall be treated so as to ensure compatibility with surrounding uses by means such as provision of compatible uses and structures, setbacks, screening, or natural or manmade buffers.

Staff Response: Standard Met. All portions of the development are proposed to be either improved with paved areas or landscaped.

- 7. Private Streets: Private streets are prohibited unless expressly approved by the board of trustees. If so approved, they shall meet all construction standards applicable to public streets. No such streets shall be approved except upon the condition that they shall be owned and maintained by a property owners' association meeting the requirements set forth in subsection B5d of this section.

Staff Response: Not Applicable. The development is being proposed on a single site and therefore no private streets are proposed.

- 8. Sidewalks: A sidewalk meeting the standards of the Lake Zurich subdivision ordinance shall be provided along at least one side of every street in or abutting a planned unit development; provided, however, that such sidewalk may be

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constructed in a street right of way or as a specific element of the design of the planned unit development.

Staff Response: Standard met. A sidewalk exists within the Village Square development along the northerly boundary of the Subject Property. There is no sidewalk along the Route 12 frontage of the property. This trend along the east side of Rand Road continues until its intersection of Honey Lake Road.

A compensating amenity fee is proposed to be collected and placed into an escrow account that will fund the construction and upkeep of other amenities within the Village.

9. Utilities: All utility lines shall be installed underground.

Staff Response: Standard Met. All existing utilities including water and sanitary mains, electric, gas and communications (cable) attributable to the development are proposed to be underground.

- C. Additional Standards for Specific Planned Unit Developments: When the district regulations authorizing any planned unit development use in a particular district impose standards to be met by such planned unit development in such district, a special use permit for such development shall not be recommended or granted unless the applicant shall establish compliance with such standards. (Ord., 10-2004)

Staff Response: Standard Met. There are no additional standards imposed through the establishment of the retail banking building that is proposed within such district other than what are currently being requested for approval.

IDENTIFICATION AND ANALYSIS OF ZONING RELIEF FOR THE PLANNED UNIT DEVELOPMENT (PUD)

On analysis of the proposed development against the various standards contained within the municipal code, staff has identified the following modifications to the zoning code.

1. **Exterior Lighting.**
- a. Section 9-8B-3 C requires that the maximum illumination at the property line when a luminaire has a cutoff angle less than ninety degrees (90°) is 0.50 foot-candles. The development proposes a maximum illumination of 0.8 foot-candles along portions of the frontage of the property with Rand Road, and between 0.4 and 5.1 foot-candles along the interior lot line at the exit point of the drive-through ATM lanes.

It should be noted that the light fixtures are proposed either to be dimmable, with shields or as full cut-off area lights to keep the illumination specific to a smaller

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area. Additionally, it should be noted that the proposed development is on a busy arterial road intersection with its proposed commercial component surrounded by similar non-residential land uses to the north and west.

Staff does not have a significant concern with the higher levels of illumination along the perimeter.

- b. Section 9-8B-3 C requires that the maximum permitted illumination at any time at any point within the property shall be 10.0 foot-candles. The development proposes a maximum illumination of 33.3 foot-candles below the ATM canopy. At the location around the entryways to the building, the illumination is proposed at 12 (front) and 10.6 (rear) foot-candles.

Staff recommends that the illumination around the entrances to the building be no greater than 10 foot-candles to meet the requirements of the code.

To be consistent with relief granted to surrounding commercial properties in the past, staff recommends illuminations levels no greater than 20 foot-candles during operational hours of the bank while dimming the canopy lights to 10 foot-candles during non-operational hours to further reduce any impact of the higher levels being proposed.

The following are identified preexisting lawful non-conformities on the site that will continue to remain in place:

- The existing parking lot does not conform to required setbacks from Rand Road or Route 22. However, this condition preceded this development and is identified as a lawful non-conforming site design feature subject to the provisions of Chapter 11 (Section 9-11-5) of the Zoning Code entitled “Nonconformities.”
Section 9-4-10.F.8 code requires that all yards along every lot line abutting Route 12 or abutting Route 22 between Ela Road and the westernmost village limits shall be not less than 50 feet.
- The proposed landscaped surface area (greenspace) does not conform to minimum requirements. This is similarly subject to the provisions of Chapter 11 (Section 9-11-5) of the Zoning Code. However, due to the upgrades proposed to the site landscape plantings and the fact that the existing site nonconformities did not create major concerns, staff believes that relief from this requirement is acceptable.
Section 9-4-10.E3. of the code requires the minimum landscaped surface area for office uses be no less than 45% of the total land area of the lot.
- The site plan does not include the extension of the existing sidewalk along Route 22 in a direction southeast along Route 12.
Staff is requiring the developer to install a sidewalk along Rt 12 in the event future consideration of sidewalks along Rand Road is contemplated by the Village.

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RECOMMENDATION

The recommendation of the Planning and Zoning Commission should be based on the standards included in the following Sections of the Lake Zurich Municipal Code:

- Section 9-19-3: Standards for Special Use Permits
- Section 9-22-8: Standards for Planned Unit Developments (PUD)

Staff has determined that all standards for approval have been met or will be met through approval of the identified modifications to the code, and recommends that the Planning and Zoning Commission make these standards a part of the official record of the Application.

Staff of the Community Development Department therefore recommends the approval of Application PZC 2022-10, subject to the following conditions:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application and Cover Letter dated May 18, 2022 prepared by Timothy R. Meseck, of The Architects Partnership Ltd., on behalf of the Applicants JP Morgan Chase Bank N. A.
 - b. Architectural Exhibits prepared by The Architects Partnership comprising of the following:
 - i. Architectural Elevations consisting of two sheets Sheet 1 (north and northeast elevations) and Sheet 2 (east, south and west elevations) dated April 19, 2022
 - ii. Floor Plan consisting of one sheet dated May 18, 2022
 - c. Engineering Improvement Plans consisting of 13 sheets prepared by Gewalt Hamilton Associates, Inc. dated May 17, 2022.
 - d. Landscape Plans prepared by Terra Engineering Ltd., dated April 21, 2021, consisting of the following exhibits:
 - i. Sheet L0.0 – Landscape Preservation Plan
 - ii. Sheet L1.0, L1.1 and L2.0 – Landscape Plans
 - e. Photometric Calculations plan prepared by Facility Solutions Group dated May 18, 2022.
 - f. ALTA/NSPS Land Title and Topographic Survey Sheets 1-4, prepared by Compass Surveying Ltd., dated April 4, 2022.
 - g. Traffic Impact Study Gewalt Hamilton Associates, Inc. dated May 16, 2022.
 - h. Easement Agreements including the following:
 - i. Access Easement recorded as Document No 1898274, including a Plat of Easement
 - ii. Drainage Easement Agreement recorded as Document No 1898276, including a Plat of Survey,

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2. The applicant must submit information related to the demolition of the existing building to the Village of Lake Zurich within 30 days of approval of the PUD by the Village Board. All demolition staging must occur on the subject property premises, unless written permission is provided by the adjacent property owners.
3. The maximum allowable illumination on the property shall be as follows:
 - a. Maximum of 0.8 foot-candles along the perimeter of the lot's frontage along Rand Road and Rt 22
 - b. Maximum of 5.1 foot-candles along the interior perimeter of the lot's frontage with the remaining shopping center.
 - c. Maximum of 10 foot-candles around the entrances to the building.
 - d. Maximum of 20 foot-candles under the ATM canopy.
4. All signage (wall mounted and ground mounted) shall meet the requirements of Title 12 – Signs. Separate application shall be submitted for the review and approval by Village staff.
5. A sidewalk shall be installed along the easterly frontage of the property with Rand Road. the sidewalk shall be constructed to village specifications for width and location.
6. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

Respectfully Submitted,

Tim Verbeke, Planner

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**LAKE ZURICH PLANNING & ZONING COMMISSION
FINAL FINDINGS & RECOMMENDATIONS**

**FOR 455 South Rand Road – Multi-Tenant Retail Building
June 15, 2022**

The Planning & Zoning Commission recommends approval of Application [PZC 2022-10](#), and the Planning & Zoning Commission adopts the findings as contained within the Staff Report dated [June 15, 2022](#) for this Application and subject to any changes or approval conditions as listed below:

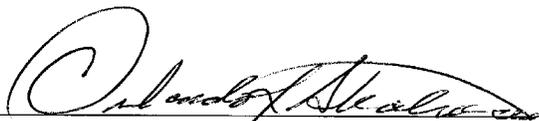
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 - g. Traffic Impact Study Gewalt Hamilton Associates, Inc. dated May 16, 2022.
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- 3. The maximum allowable illumination on the property shall be as follows:
 - a. Maximum of 0.8 foot-candles along the perimeter of the lot's frontage along Rand Road and Rt 22
 - b. Maximum of 5.1 foot-candles along the interior perimeter of the lot's frontage with the remaining shopping center.
 - c. Maximum of 10 foot-candles around the entrances to the building.
 - d. Maximum of 20 foot-candles under the ATM canopy.
- 4. All signage (wall mounted and ground mounted) shall meet the requirements of Title 12 – Signs. Separate application shall be submitted for the review and approval by Village staff.
- 5. A sidewalk shall be installed along the easterly frontage of the property with Rand Road. the sidewalk shall be constructed to village specifications for width and location.
- 6. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

- Without any further additions, changes, modifications and/or approval conditions.
- With the following additions, changes, modifications and/or approval conditions:



Planning & Zoning Commission Chairman

Conditions:

Resolve east/west traffic pattern through the shared easement. How the drive-thru exiting turn patterns will impact the easement and to find a solution before final Village Board approval.

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EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY

PARCEL 1: THAT PART OF THE WEST $\frac{1}{2}$ OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 19, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST $\frac{1}{4}$ OF SAID SECTION 19; THENCE NORTH 89 DEGREES 10 MINUTES 25 SECONDS EAST ALONG TH NORTH LINE OF SAID SOUTH EAST $\frac{1}{4}$ OF SECTION 19, 978.46 FEET; THENCE SOUTH 0 DEGREES 0 MINUTES AND 35 SECONDS EAST, 61.56 FEET TO THE EXISTING SOUTHERLY RIGHT OF WAY OF STATE ROUTE 22 FOR A POINT OF BEGINNING; THENCE SOUTH 0 DEGREES 05 MINUTES 30 SECONDS EAST, 190.17 FEET; THENCE NORTH 89 DEGREES 57 MINUTES 33 SECONDS EAST 307.55 FEET TO THE SOUTHWESTERLY RIGHT OF WAY OF U.S. ROUTE 12; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY OF U.S. ROUTE 12 SAID RIGHT OF WAY BEING A CURVED LINE TO THE RIGHT HAVING A RADIUS OF 3445.46 FEET, AN ARC DISTANCE OF 129.51 FEET TO A POINT OF REVISE CURVE; THENCE CONTINUING ALONG SAID SOUTHWESTERLY RIGHT OF WAY OF U.S. ROUTE 12 SAID RIGHT OF WAY BEING A CURVED LINE TO THE LEFT HAVING A RADIUS OF 276.07 FEET AN ARC DISTANCE OF 235.10 FEET TO A POINT OF TANGENCY; THENCE WESTERLY ALONG THE SOUTHERLY RIGHT OF WAY OF STATE ROUTE 22, A DISTANCE OF 13.0 FEET TO THE POINT OF BEGINNING, (EXCEPT PART CONVEYED TO PEOPLE OF THE STATE OF ILLINOIS, DEPT. OF TRANSPORTATION BY DEED DOC 5560623 RECORDED MAY 17, 2004) IN LAKE COUNTY, ILLINOIS.

PARCEL 4: THAT PART OF THE NORTHWEST $\frac{1}{4}$ OF THE SOUTH EAST $\frac{1}{4}$ OF SECTION 19, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE 960.28 FEET EAST OF THE NORTHWEST CORNER OF SAID QUARTER SECTION; THENCE SOUTH 00 DEGREES 00 MINUTES 25 SECONDS EAST 61.28 FEET TO THE SOUTH LINE OF ROUTE 22 FOR A POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 00 MINUTES 25 SECONDS EAST 190.17 FEET; THENCE NORTH 89 DEGREES 57 MINUTES 33 SECONDS EAST 18.49 FEET, MORE OR LESS, TO THE WEST LINE OF A TRACT OF LAND DESCRIBED IN TRUSTEE'S DEED RECORDED FEBRUARY 21, 1978 AS DOCUMENT 1899484; THENCE NORTH 00 DEGREES 05 MINUTES 30 SECONDS WEST 190.17 FEET ALONG SAID WEST LINE TO THE SOUTHERLY RIGHT OF WAY OF ROUTE 22; THENCE WESTERLY ALONG THE SOUTHERLY RIGHT OF WAY OF ROUTE 22 TO THE POINT OF BEGINNING, (EXCEPT PART CONVEYED TO PEOPLE OF THE STATE OF ILLINOIS, DEPT. OF TRANSPORTATION BY DEED DOC 5560623 RECORDED MAY 17 2004) IN LAKE COUNTY, ILLINOIS.

Parcels Involved: 14-19-400-048, 14-19-400-047

Staff Report
APPLICATION PZC 2022-10

Community Development Department
PZC Hearing Date: June 15, 2022

EXHIBIT B
PUBLIC HEARING SIGN PRESENT AT THE SUBJECT PROPERTY



Staff Report
APPLICATION PZC 2022-10

Community Development Department
PZC Hearing Date: June 15, 2022

EXHIBIT C
PHOTOS OF THE SUBJECT PROPERTY



Front (East Elevation) Courtesy: Google Maps



Side (North Elevation) Courtesy Google Maps

455 S Rand Rd



Lake County, Illinois



Map Printed on 6/9/2022

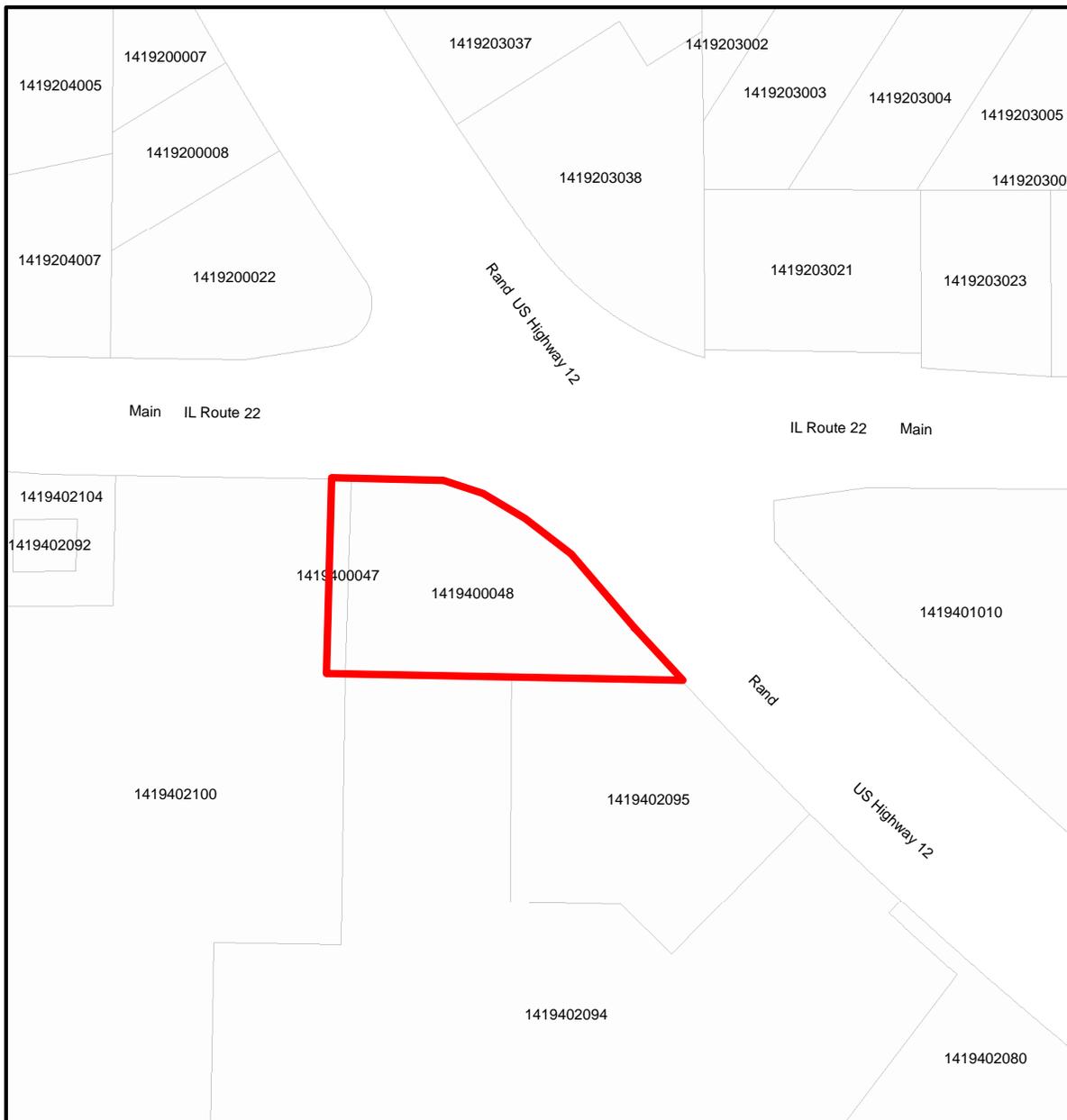


- Tax Parcel Lines
- Tax Parcel Information
- Subject Property

Disclaimer: The selected feature may not occur anywhere in the current map extent. A Registered Land Surveyor should be consulted to determine the precise location of property boundaries on the ground. This map does not constitute a regulatory determination and is not a base for engineering design. This map is intended to be viewed and printed in color.



Chase Bank 455 S Rand Road



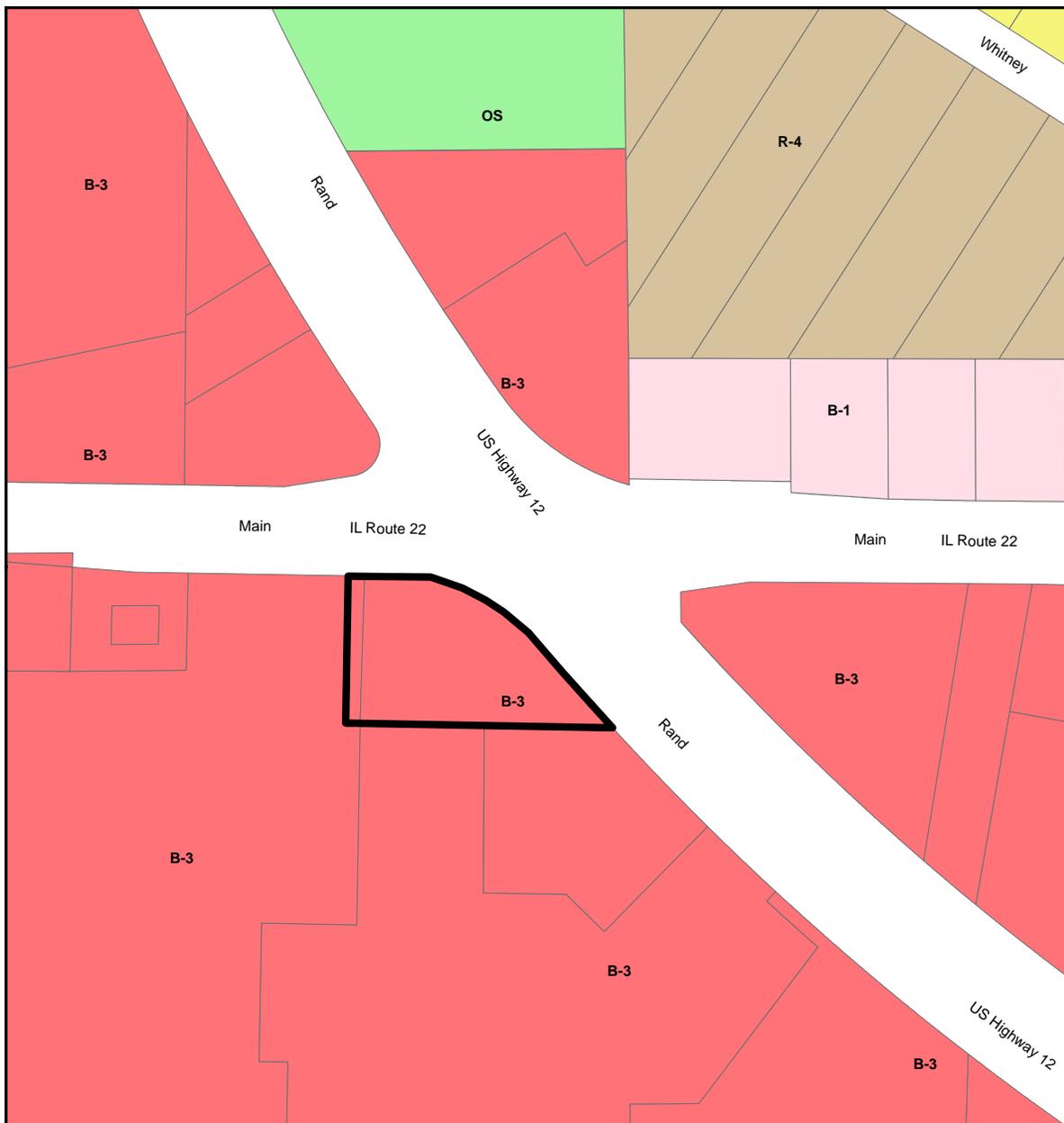
COMMUNITY SERVICES DEPARTMENT
Building and Zoning Division
505 Telser Road, Lake Zurich, Illinois 60047

(847) 540-1696
Fax: (847) 726-2182
LakeZurich.org



Chase Bank

455 S Rand Road



COMMUNITY SERVICES DEPARTMENT
Building and Zoning Division
505 Telsler Road, Lake Zurich, Illinois 60047

(847) 540-1696
Fax: (847) 726-2182
LakeZurich.org



At the Heart of Community

FIRE DEPARTMENT
Fire Prevention Bureau

1075 N. Old McHenry Road
Lake Zurich, Illinois 60047
Fire.bureau@lakezurich.org
(847) 540-5073
LakeZurich.org

June 6, 2022

To: Tim Verbeke
Village Planner
Village of Lake Zurich
505 Telser Road
Lake Zurich, Illinois 60047

Re: PR22- 160
Chase Bank
455 S. Rand
Lake Zurich, Illinois 60047
P&Z Comments

Dear Tim,

Thank you for the submittal. After reviewing the drawings I have the following comments:

1. The fire sprinkler room shall face the East parking lot and shall have a concrete sidewalk.
2. Provide a fire aerial turning template. The Route 22 entrance shall be at least 24' feet in width.

If there are any questions please contact my office.

Sincerely,

Bob Kleinheinz

Bob Kleinheinz
Fire Prevention Specialist-CFO
Lake Zurich Fire Department
Bob.kleinheinz@lakezurich.org
Fire.bureau@lakezurich.org
C: 847-489-3280
O: 847-540-5073

Village of Lake Zurich
Utilities Division of
Public Works

Memo

To: Tim Verbeke, Planner
From: Steve Schmitt, Utilities Superintendent
CC:
Date: May 23, 2022
Re: Plan Review/ 455 S Rand Rd – PUD Modification

1. Site plan denotes existing and proposed curb and landscape buffer on the south side of the proposed building extending (south) beyond the south property line. In 2005, the Village of Lake Zurich was granted a 15 foot permanent sanitary sewer easement abutting the south property line which is not denoted on the plans. Proposed modification/improvements should not extend (south) beyond the property line and/or encroach on to the permanent sanitary sewer easement.



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT
Building and Zoning Division

505 Telsler Road
Lake Zurich, Illinois 60047

(847) 540-1696
Fax (847) 726-2182
LakeZurich.org

LANDSCAPE REVIEW

PROJECT: Chase Bank
LOCATION: 455 S Rand Road
REVIEWED BY: Tim Verbeke
DATE: June 15, 2022

The opacity requirements and total plant material count are satisfied on each lot line. If necessary, to maintain sight lines, plant material may be moved to an adjacent lot line.

Ensure the line of sight to all existing businesses is maintained, this includes the Village Square Shopping Center and all associated outlots. If necessary work with the adjacent property owner, and Village Staff to find the best mix of plant material.

Potentially explore replacing some of the tall shade trees: Coffeetree, White Oak or Red Oak with some Evergreen type material.



ZONING APPLICATION

Community Development Department
505 Telser Rd.
Lake Zurich, IL 60047
Phone: (847) 540-1696
Fax: (847) 540-1769

(Please Type or Print)

1. Address of Subject Property: 455 S Rand Rd
2. Please attach complete legal description
3. Property Identification number(s): 1419400047 & 1419400048
4. Owner of record is: Windyridge Group LLC / Chili Shabani Phone: _____
E-Mail chilishabani@gmail.com Address: _____
5. Applicant is (If different from owner): Ken Colliander Phone: 312-325-6532
E-Mail kenneth.j.colliander@chase.com Address: 131 S. Dearborn, Chicago, IL 60603
6. Applicant's interest in the property (owner, agent, realtor, etc.): Tenant
7. All existing uses and improvements on the property are: Existing vacant restaurant building and parking lot
8. The proposed uses on the property are: Proposed Chase Bank building with an attached drive-up ATM along with the associated site and landscape improvements
9. List any covenants, conditions, or restrictions concerning the use, type of improvements, setbacks, area, or height requirements placed on the Subject Property and now of record and the date of expiration of said restrictions:

10. Describe any contract or agreement of any nature relevant to the sale or disposal of the Subject Property:

11. For applications requiring a public hearing, please attach a list which contains the PIN, owner, and owner's mailing address of all properties located within 250 feet (excluding all Public Right-of-Ways) of the Subject Property.

THE APPLICANT'S SIGNATURE BELOW INDICATES THE INFORMATION CONTAINED IN THIS APPLICATION AND ON ANY ACCOMPANYING DOCUMENTS IS TRUE AND CORRECT. THE APPLICANT ALSO ACKNOWLEDGES IF THE CONSULTANT EXPENSES EXCEED THE INITIAL ESCROW DEPOSIT, THE APPLICANT WILL REIMBURSE THE ACCOUNT IMMEDIATELY.

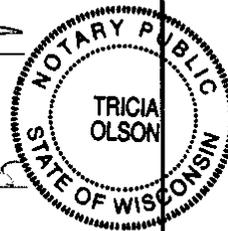
Ken Colliander
(Name of applicant) _____ (Signature of applicant) _____

Subscribed and sworn to before me this _____ day of _____, 2022.

(Notary Public) My Commission Expires _____

Windyridge Group LLC / Chili Shabani
(Name of Owner, if different) _____ (Signature of Owner, if different) _____

Subscribed and sworn to before me this 17th day of May, 2022.
Tricia Olson
(Notary Public) My Commission Expires 5/1/2025



Please indicate what form of zoning relief your application requires. For assistance, please contact Staff:

- Zoning Code **Map** Amendment to change zoning of Subject Property from ____ to ____
- Zoning Code **Text** Amendment to amend the following section(s) of the Zoning Code _____

(See Section 18-103 of the Lake Zurich Zoning Code for specific standards. If a specific parcel is the subject of this amendment, then provide the additional information listed in Section 18-103C.)

- Special Use Permit/Amendment for _____
(See Section 19-103 of the Lake Zurich Zoning Code for specific standards.)

Planned Unit Development/Major Adjustment/Amendment

(Planned Unit Developments are a distinct category of special use and are intended to create a more desirable environment than through strict application of the zoning and subdivision regulations. See Section 22-105 of the Lake Zurich Zoning Code for specific standards. Please list all the 'modifications' requested in the cover letter.)

- Variation for _____

(See Section 17-104 of the Lake Zurich Zoning Code for specific standards. Please indicate what your specific hardships are in the cover letter.)

- Modification to the Land Development Code (includes retaining walls more than 2 feet in height)
(See Section 10-6-18 of the Land Development Code for specific standards.)

- Preliminary Plat of Subdivision

- Final Plat of Subdivision or Amendment to Plat of Subdivision
(See Sections 10-5-2 and 10-5-9 of the Land Development Code for specific standards.)

- Site Plan Approval/Major Adjustment/Amendment
(See Section 20-103 of the Lake Zurich Zoning Code for specific standards.)

- Exterior Appearance Approval or Amendment
(See Section 21-103 of the Lake Zurich Zoning Code for specific standards.)

APPLICATION TO ANNEX CERTAIN TERRITORY

All land annexed to the Village is classified automatically after such annexation in the R-1\2 Single Family Residential District. The owner must file an application for a Zoning Map amendment if he or she desires a different zoning classification for the Subject Property.

- Petition to Annex Certain Territory (Please complete attached petition)
- Application to Annex Certain Territory

COMPREHENSIVE PLAN APPLICATION

- Comprehensive Plan **Map** Amendment for _____
- Comprehensive Plan **Text** Amendment for _____

The Architects Partnership, Ltd. 200 South Michigan Avenue, Suite 1020, Chicago, IL 60604



Orlando Stratman
Chairperson of the Planning and Zoning Commission
Village of Lake Zurich
505 Telser Rd,
Lake Zurich, IL 60047

May 18, 2022

Re: Project narrative for the property 455 S Rand Rd.

Dear Mr. Stratman,

This letter is to detail our application for PUD Amendment and Site Plan Approval to build a new single-story 6,282SF freestanding retail banking center with an attached four-lane drive-through ATM canopy. The bank will be relocating from its existing location across the street at 444 S. Rand Rd to the southwest corner of S. Rand Rd. (Rte. 12) and W. Main Street (Rte. 22) at 455 S Rand Rd. The proposed Chase Bank building and associated parking lot will be located on the existing 0.98 acre parcel which currently consists of an existing vacant restaurant building on site. The existing building and associated site elements including existing landscape will be demolished to allow for the new bank building and parking lot. The proposed development will rework the vehicular and pedestrian circulation on site. As part of the vehicular access reconfiguration, the existing "right-in/right-out" onto Main Street will be modified to allow for a new "right-in only" curb cut. Additionally, bicycle parking and a pedestrian connection to Main Street will be incorporated into the site plan.

New landscaping and site lighting will be proposed that aligns with the city ordinance. The proposed grading at the parking lot/building pad will mimic the existing site. Furthermore, a bypass lane is included as part of the drive-through in an effort to provide relief to any vehicles that are not utilizing the drive-through services. There are perpetual nonexclusive easement for ingress and egress over the existing lot and associated shopping center.

The design intent of the proposed Chase Bank is to compliment the surrounding architecture of the commercial development in the area. The proposed Banking Center is comprised of cultured stone (limestone color), "ironstone interstate" brick, "platinum" brick and aluminum composite panels along with a black anodized storefront system. All the proposed exterior cladding options are modern finishes and are long lasting cladding materials that will mesh well with the development growth of the area. In addition, the proposed floor to ceiling glazing was incorporated to provide connectivity to the retail customers navigating the area and pedestrians traversing the adjacent public thoroughfares. The trash enclosure is proposed to be attached to the building and will match the building architecture.

The proposed schedule has construction commencing fall of 2022 (pending regulatory approvals) and an anticipated occupancy date of June/July 2023.

Parties Involved:

Applicant
Ken Colliander
JPMorgan Chase Bank, N.A.

Landscape Architect
Keven Graham
Terra Engineering LTD.

Architect of Record
Timothy Meseck
The Architects Partnership, LTD (TAP)

Civil Engineer
Brian Wesolowski
Gewalt Hamilton Associates, Inc.

Property Owner/Landlord
Windyridge Group LLC
Chili Shabani

Ground Lessee
Jon Krissoff
obo JPMChase Bank, NA

The Architects Partnership, Ltd. 200 South Michigan Avenue, Suite 1020, Chicago, IL 60604



Zoning Classification:

The property in question is in a zoning district classified as B-3 Regional Shopping District. Banks with an attached drive-up canopy are approved by right in zone B-3. However, per correspondence with planning staff, the applicant will need to amend the previously approved PUD from 2019 that allowed for a 4-unit commercial building. In addition, per correspondence with planning staff, an amendment is required due to the lot encroaching on the front, side and rear yard setbacks along the Rte. 12 corridor. The proposed building encroaches on the rear yard setback as well.

Type of Business:

The type of business is a retail banking center with 4 drive-through service lanes, of which two will be used for an automatic teller machine (ATM) and the other two will be used for VAT carrier tubes. The hours of operation will be Monday – Friday 9 AM – 6 PM and Saturday 9 AM – 2 PM. Twenty offices are proposed along with 3 tellers for this branch.

Lighting Design and Locations:

To provide the best and most efficient lighting design and locations a photometric study has been developed and included in this submittal.

Sustainability Components:

The project will contain the following components which would contribute to sustainability practices the village is encouraging:

- Underground stormwater management
- Bike racks and increased pedestrian connectivity to public ROW and adjacent development to encourage alternative methods of transportation
- Installation of additional trees/landscaping within development area
- LED lighting

Transportation Impacts:

Traffic impact study was provided as part of this application.

A handwritten signature in black ink, appearing to read 'Timothy R. Meseck', written over a horizontal line.

Timothy R. Meseck
The Architects Partnership, LTD.



NORTH ELEVATION



NORTHEAST ELEVATION

- STORE FRONT & CANOPY COLOR: BLACK ANODIZED ALUM.
- ACM COLOR: CLEAR ANODIZED ALUM.
- CLEAR GLASS
- CAST STONE
- BRICK COLOR: PLATINUM
- BRICK COLOR: IRONSTONE INTERSTATE BRICKS
- COLUMN PAINT COLOR: "CLOUD WHITE" SHERWIN WILLIAMS
- MISC. PAINT

SCALE: 3/16" = 1'
0 5 10 15



ARCHITECTURAL ELEVATIONS
04.19.2022

Architect/Designer
The Architects Partnership
200 South Michigan Avenue
Chicago, IL 60604
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 21028



EAST ELEVATION

SOUTH ELEVATION

WEST ELEVATION

Material and Color Swatches:

- STORE FRONT & CANOPY COLOR: BLACK ANODIZED ALUM.
- ACM COLOR: CLEAR ANODIZED ALUM.
- CLEAR GLASS
- CAST STONE
- BRICK COLOR: PLATINUM
- BRICK COLOR: IRONSTONE INTERSTATE BRICKS
- COLUMN PAINT COLOR: "CLOUD WHITE" SHERWIN WILLIAMS
- MISC. PAINT

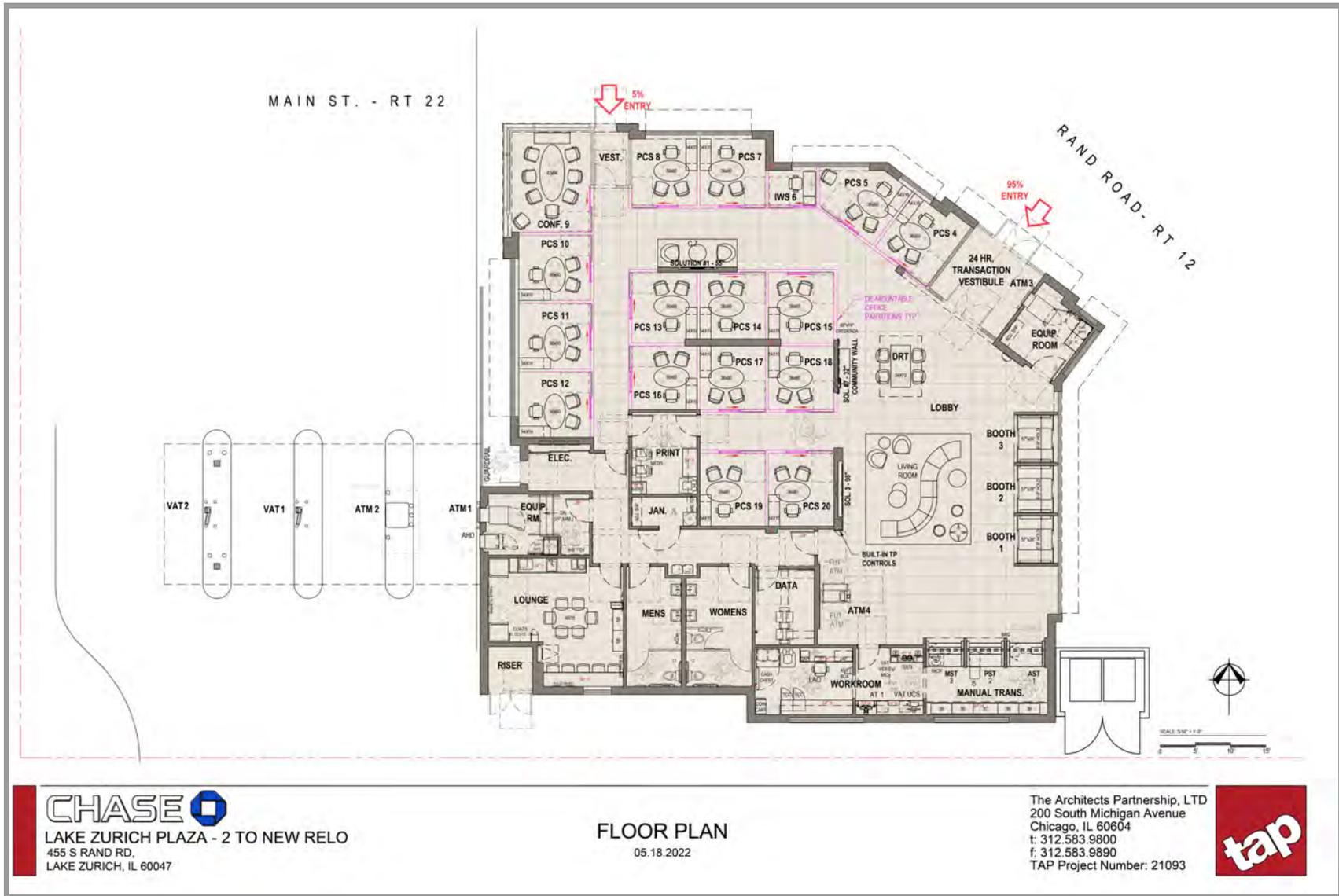
SCALE: 3/16" = 1'

CHASE
LAKE ZURICH PLAZA
LAKE ZURICH, IL

ARCHITECTURAL ELEVATIONS
04.19.2022

Architect/Designer
The Architects Partnership
200 South Michigan Avenue
Chicago, IL 60604
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 21028

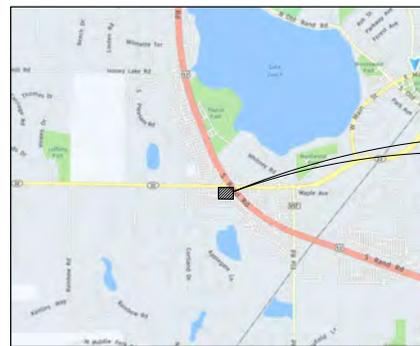
tap



CHASE BANK NORTH AMERICA LAKE ZURICH PROPOSED DEVELOPMENT 455 S. RAND RD. LAKE ZURICH, ILLINOIS 60047

STANDARD SYMBOLS

FEATURE	EXISTING	PROPOSED
BUFFALO BOX		
BUSH/SHRUB		
CATCH BASIN		
CLEANOUT		
COMBINE SEWER LINE		
CONTOUR		
CULVERT		
DITCH/SWALE		
ELECTRIC LINE		
ELECTRIC MANHOLE		
FENCE		
FIRE HYDRANT		
FLARED END SECTION		
GAS LINE		
GAS MANHOLE		
GAS VALVE		
INLET		
LIGHT POLE		
OVERHEAD WIRES		
POWER POLE		
R.O.W LINE		
R.O.W MARKER		
SANITARY FORCEMAIN LINE		
SANITARY SEWER LINE		
SANITARY SEWER MANHOLE		
SIGN		
SPOT ELEVATION		
STORM SEWER LINE		
STORM SEWER MANHOLE		
TELEPHONE LINE		
TELEPHONE MANHOLE		
TELEPHONE BOX/PEDESTAL		
TREE-CONFEROUS (SIZE/TAG#)		
TREE-DECIDUOUS (SIZE/TAG#)		
VALVE BOX		
VALVE VAULT		
WATER VALVE		
WATERMAIN LINE		



PROJECT LOCATION
455 S. RAND RD.
LAKE ZURICH, ILLINOIS 60047



SHEET INDEX

1. TITLE SHEET
2. EXISTING CONDITIONS/DEMOLITION PLAN
3. GEOMETRIC PLAN
4. UTILITY PLAN
5. GRADING PLAN
6. GRADING PLAN CLOSEUPS
7. SOIL EROSION AND SEDIMENT CONTROL PLAN
8. STORMWATER POLLUTION PREVENTION PLAN NOTES
9. SOIL EROSION AND SEDIMENT CONTROL DETAILS
10. GENERAL NOTES
11. DETAILS
12. DETAILS
13. DETAILS

LOCATION MAP (Not to Scale)

BENCHMARK

TOPOGRAPHIC SURVEY BY:
GEWALT HAMILTON ASSOCIATES, INC.
625 FOREST EDGE DRIVE
VERNON HILLS, ILLINOIS 60061
TELEPHONE: 847-478-9700

PLANS PREPARED FOR:
J.P. MORGAN CHASE, NA
CHASE TOWER
CHICAGO, ILLINOIS 60657

ARCHITECT:
THE ARCHITECTS PARTNERSHIP, LTD.
122 S. MICHIGAN AVE, STE 1610
CHICAGO, ILLINOIS 60603

PROFESSIONAL DESIGN FIRM LICENSE:
GEWALT HAMILTON ASSOCIATES, INC.
DESIGN FIRM - LAND SURVEYOR/PROF ENG
LICENSE NUMBER: 184.000922-0010
EXPIRES: 4/30/2023

COORDINATING/PERMITTING AGENCIES:

EXISTING UTILITIES: WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDOR. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES, DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

DRAINAGE STATEMENT

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE CHANGED BY CONSTRUCTION OF THIS SUBDIVISION (DEVELOPMENT), OR ON THIS SITE, OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE PROPERTY OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF CONSTRUCTION OF THE SUBDIVISION (DEVELOPMENT), OR THIS SITE.

CONTRACTOR IS RESPONSIBLE FOR CONTACTING JULIE AT 1-800-892-0123 AND MUST ACQUIRE A DIG NUMBER A MINIMUM OF 72 HOURS PRIOR TO ANY WORK BEING DONE.

Dated this _____ day of _____ A.D., 20____

Owner or Attorney

Engineer

NOTE: CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR

GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive • Vernon Hills, IL 60061
Tel. 847.478.9700 • Fax 847.478.9701

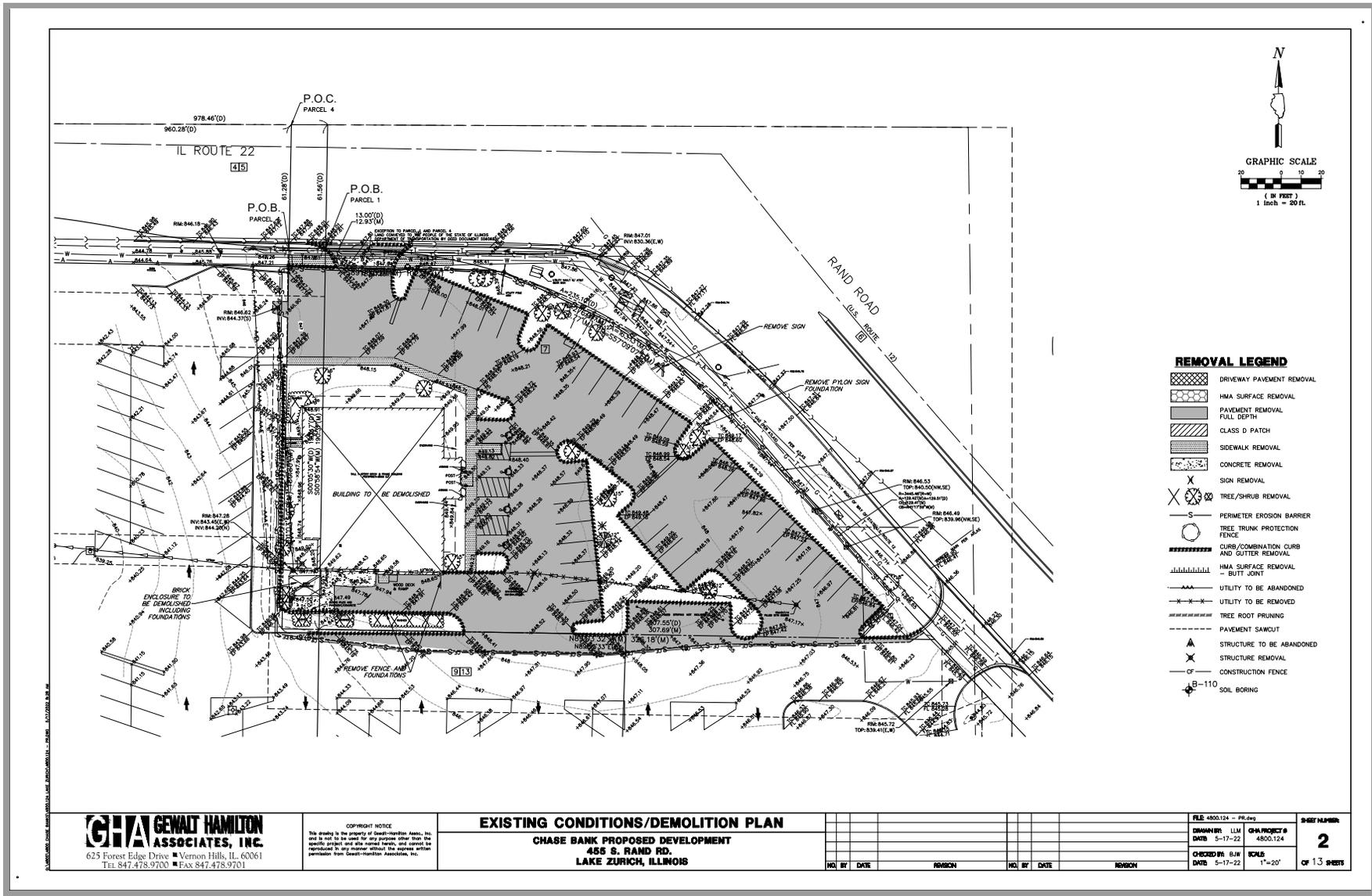
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TITLE SHEET
CHASE BANK PROPOSED DEVELOPMENT
455 S. RAND RD.
LAKE ZURICH, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 4800.124 - 01.dwg
DRAWN BY: LLM
DATE: 5-17-22
GHA PROJECT #: 4800.124
CHECKED BY: BLW
DATE: 5-17-22
SCALE: N.A.

SHEET NUMBER
1
OF 13 SHEETS



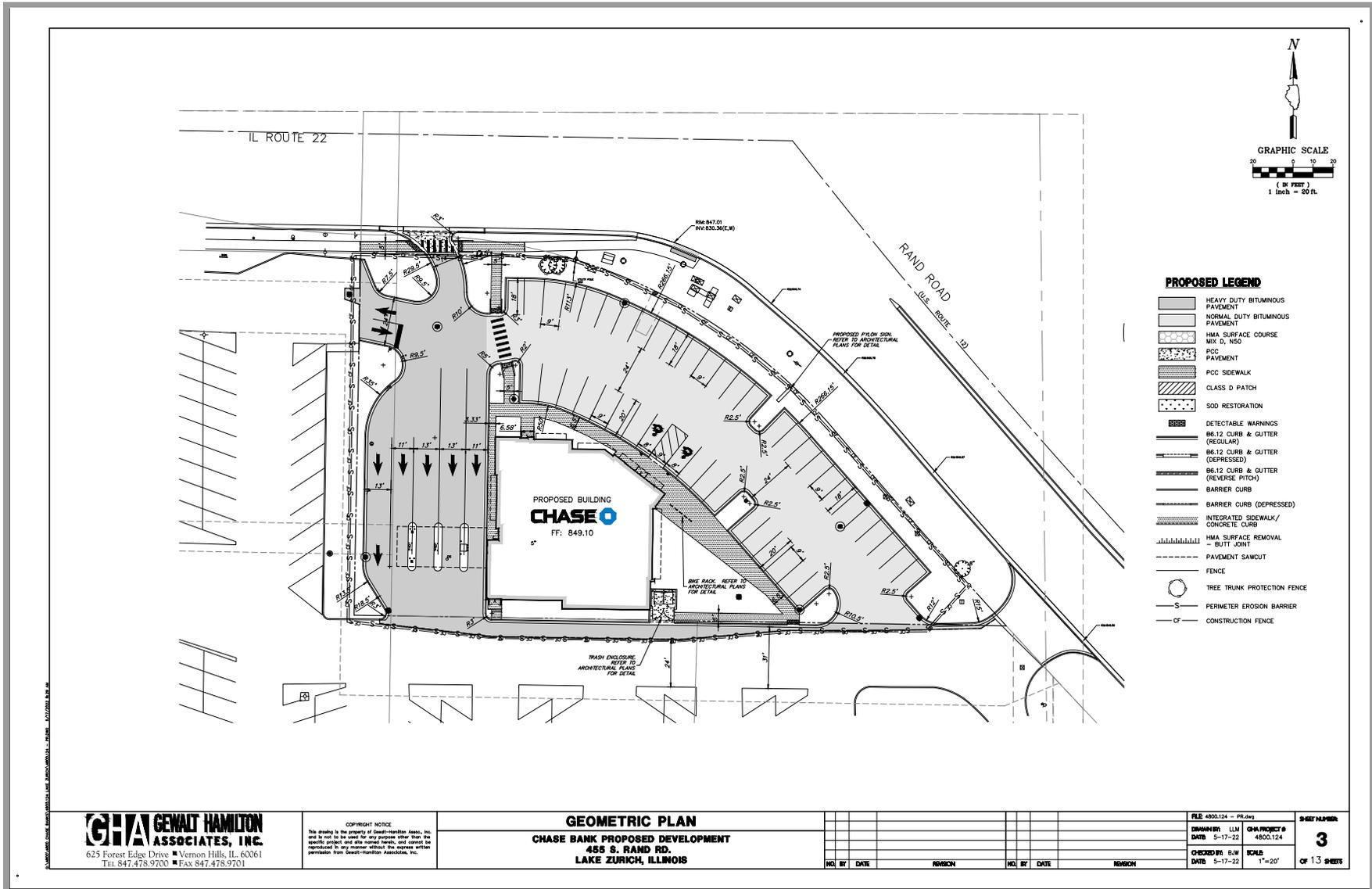
GHA GENWALT HAMILTON ASSOCIATES, INC.
 625 Forest Edge Drive ■ Vernon Hills, IL 60061
 TEL 847.478.9700 ■ FAX 847.478.9701

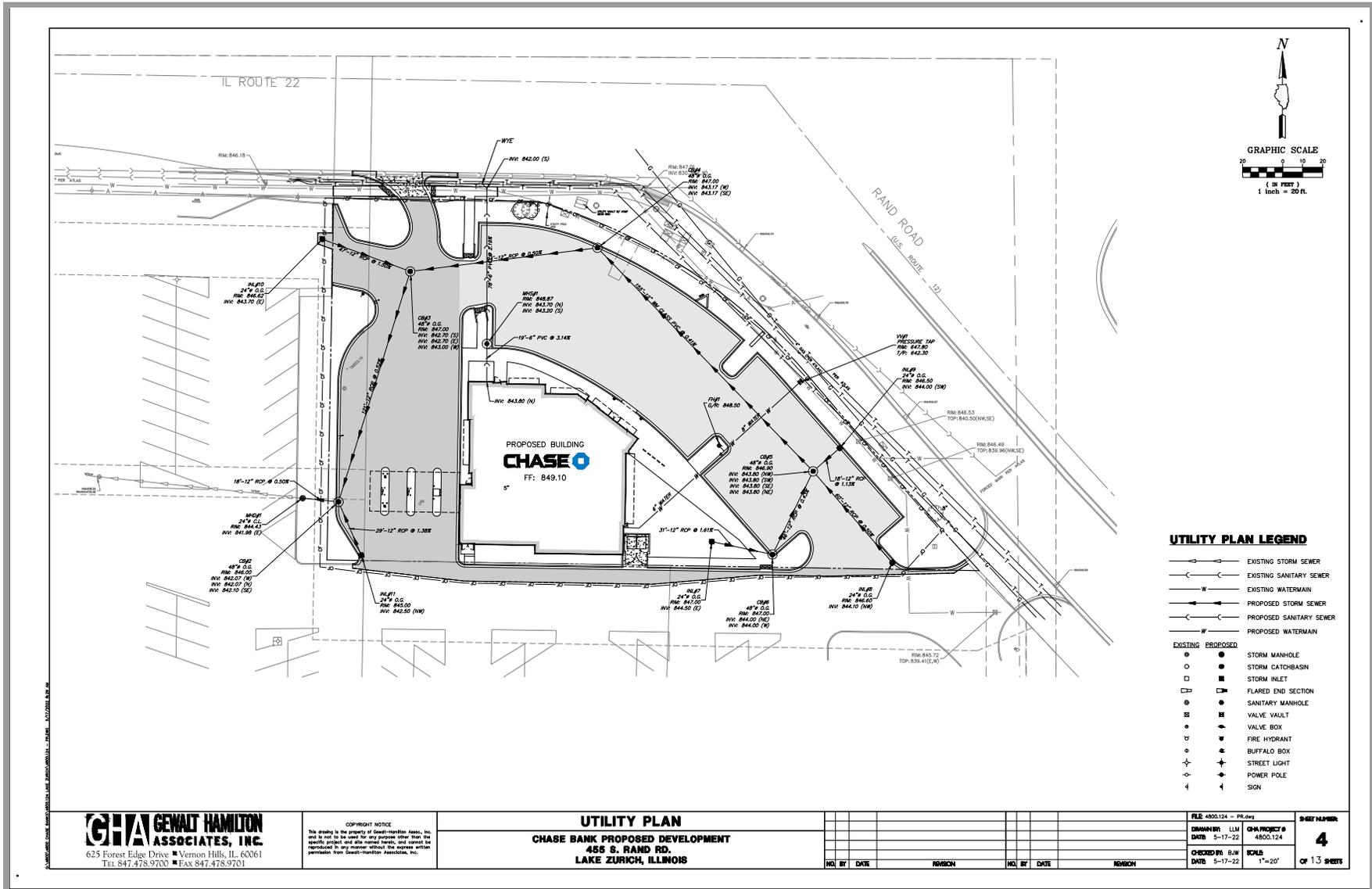
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EXISTING CONDITIONS/DEMOLITION PLAN
CHASE BANK PROPOSED DEVELOPMENT
455 S. RAND RD.
LAKE ZURICH, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE	4800.124 - PE.dwg	SHEET NUMBER	2
DRAWN BY	LLM	DATE	
CHECKED BY	BLM	SCALE	1"=20'
DATE	5-17-22	OF 13 SHEETS	





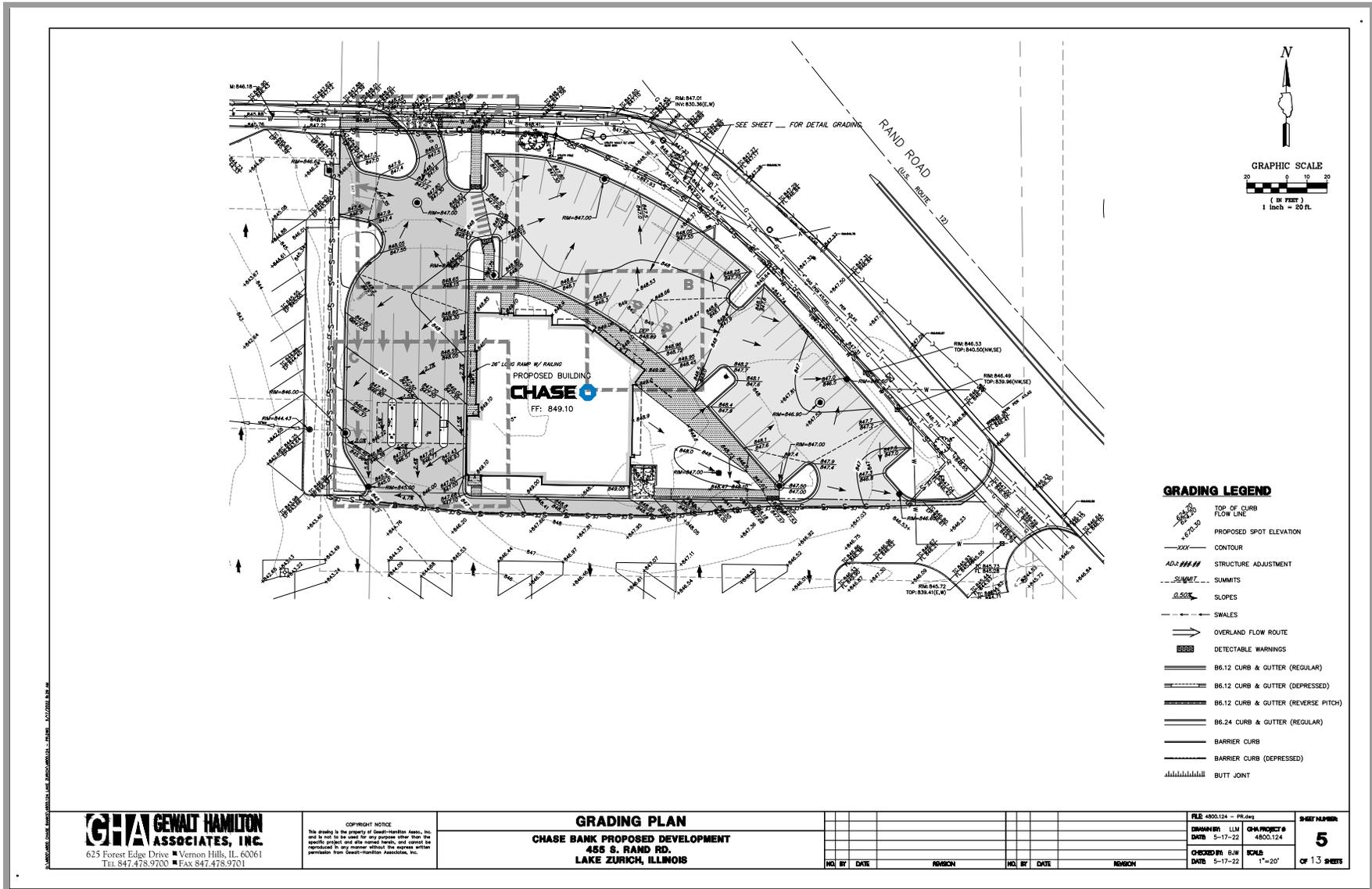
GHA GENWALT HAMILTON ASSOCIATES, INC.
 625 Forest Edge Drive ■ Vernon Hills, IL 60061
 TEL 847.478.9700 ■ FAX 847.478.9701

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UTILITY PLAN
CHASE BANK PROPOSED DEVELOPMENT
455 S. RAND RD.
LAKE ZURICH, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE	4800.124 - PE.dwg	SHEET NUMBER
DRAWN BY	LLM	
DATE	5-17-22	4800.124
CHECKED BY	BLN	SHEET
DATE	5-17-22	
SCALE	1"=20'	OF 13 SHEETS



GHA GENWALT HAMILTON ASSOCIATES, INC.
 625 Forest Edge Drive ■ Vernon Hills, IL 60061
 TEL 847.478.9700 ■ FAX 847.478.9701

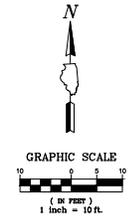
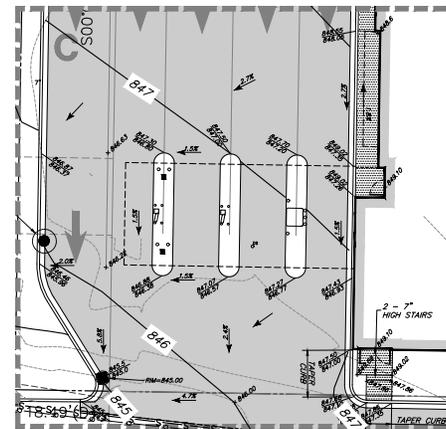
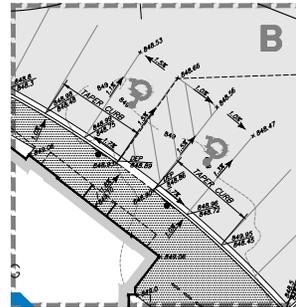
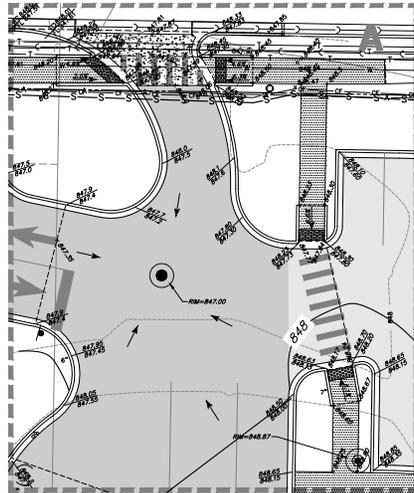
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GRADING PLAN
CHASE BANK PROPOSED DEVELOPMENT
455 S. RAND RD.
LAKE ZURICH, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 4800.124 - PG.dwg
 DRAWN BY: LLM
 DATE: 5-17-22
 GHA PROJECT #: 4800.124
 CHECKED BY: BLN
 DATE: 5-17-22
 SCALE: 1"=20'

SHEET NUMBER
5
OF 13 SHEETS



GRADING LEGEND

- TOP OF CURB FLOW LINE
- PROPOSED SPOT ELEVATION
- CONTOUR
- STRUCTURE ADJUSTMENT
- SUMMITS
- SLOPES
- SWALES
- OVERLAND FLOW ROUTE
- DETECTABLE WARNINGS
- B6.12 CURB & GUTTER (REGULAR)
- B6.12 CURB & GUTTER (DEPRESSED)
- B6.12 CURB & GUTTER (REVERSE PITCH)
- B6.24 CURB & GUTTER (REGULAR)
- BARRIER CURB
- BARRIER CURB (DEPRESSED)
- BUTT JOINT

GHA GENWALT HAMILTON ASSOCIATES, INC.
 625 Forest Edge Drive ■ Vernon Hills, IL 60061
 TEL 847.478.9700 ■ FAX 847.478.9701

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GRADING PLAN CLOSEUPS
CHASE BANK PROPOSED DEVELOPMENT
455 S. RAND RD.
LAKE ZURICH, ILLINOIS

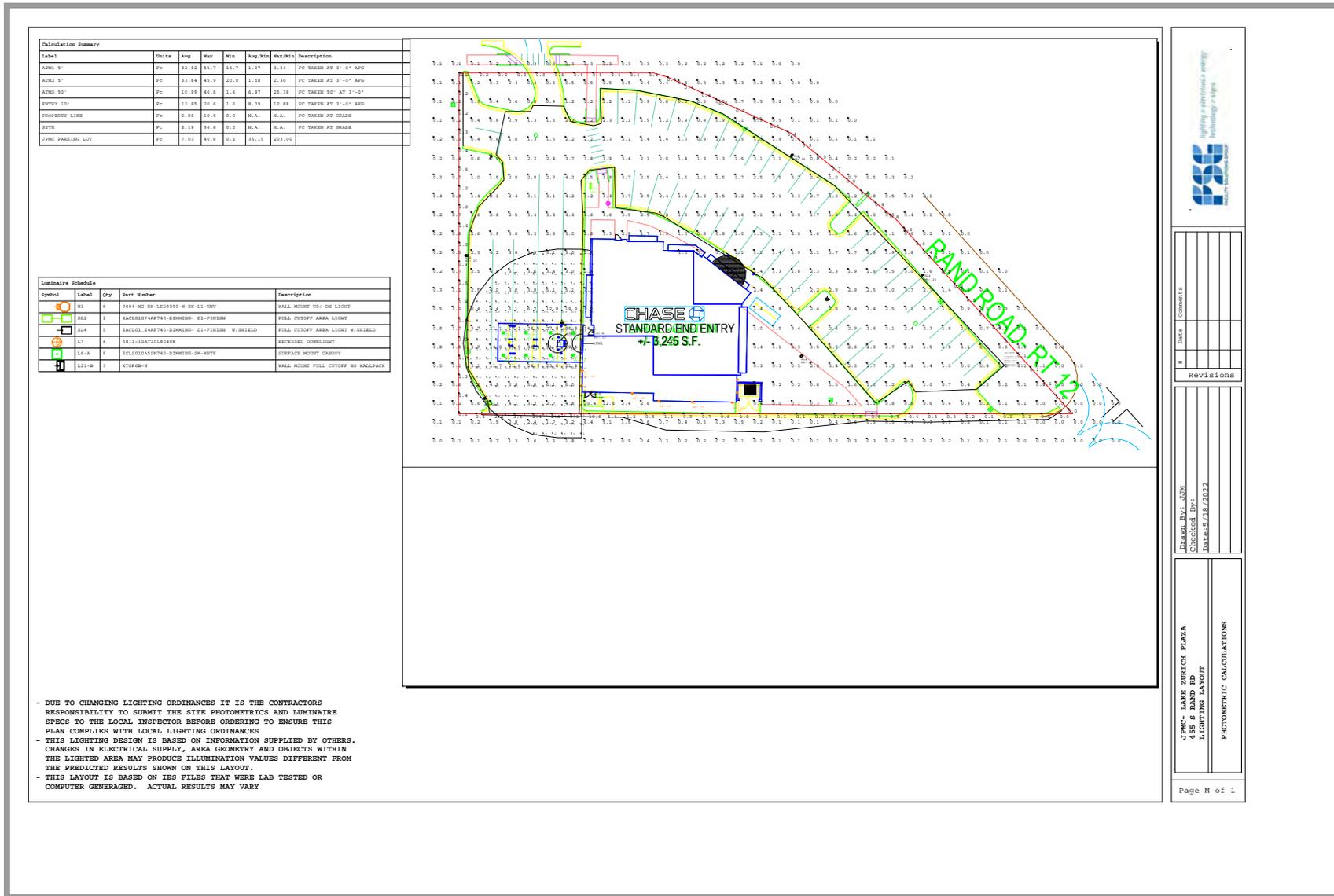
NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 4800.124 - PG.dwg
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 SCALE: 1"=10'

SHEET NUMBER
6
 OF 13 SHEETS

EXHIBIT NO. 13
THESE STANDARDS SUPERCEDE ALL OTHER STANDARDS
LAKE ZURICH UTILITY MATERIAL STANDARDS

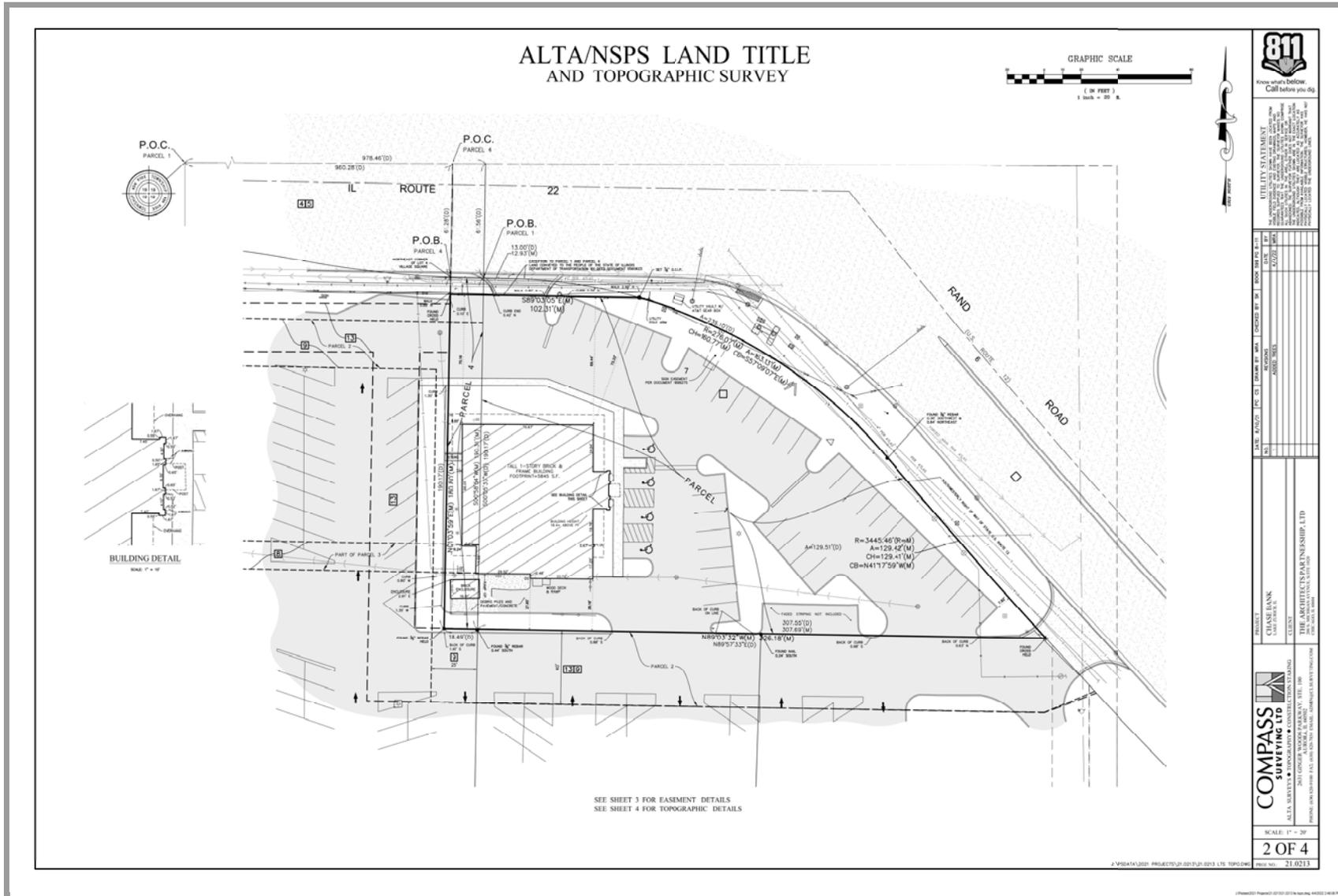
SANITARY SEWER
Pipe: PVC 20" - 24" standard dimensions of ASTM - 3034
Depth: 10' to 12' or 18'
Sewer: Same as the SDP 40' or 48" or 60" or 72" or 84" or 96" or 108" or 120" or 144" or 180" or 216" or 240" or 270" or 300" or 324" or 360" or 396" or 432" or 468" or 504" or 540" or 576" or 612" or 648" or 684" or 720" or 756" or 792" or 828" or 864" or 900" or 936" or 972" or 1008" or 1044" or 1080" or 1116" or 1152" or 1188" or 1224" or 1260" or 1296" or 1332" or 1368" or 1404" or 1440" or 1476" or 1512" or 1548" or 1584" or 1620" or 1656" or 1692" or 1728" or 1764" or 1800" or 1836" or 1872" or 1908" or 1944" or 1980" or 2016" or 2052" or 2088" or 2124" or 2160" or 2196" or 2232" or 2268" or 2304" or 2340" or 2376" or 2412" or 2448" or 2484" or 2520" or 2556" or 2592" or 2628" or 2664" or 2700" or 2736" or 2772" or 2808" or 2844" or 2880" or 2916" or 2952" or 2988" or 3024" or 3060" or 3096" or 3132" or 3168" or 3204" or 3240" or 3276" or 3312" or 3348" or 3384" or 3420" or 3456" or 3492" or 3528" or 3564" or 3600" or 3636" or 3672" or 3708" or 3744" or 3780" or 3816" or 3852" or 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Rev	Date	Comments

DRAWN BY: JDM
 CHECKED BY:
 DATE: 5/18/2022

JPMC - LAKE ZURICH PLAZA
 455 S RAND RD
 LIGHTING LAYOUT
 PHOTOMETRIC CALCULATIONS



Know what's below.
Call before you dig.

UTILITY STATEMENT

THIS SURVEY HAS BEEN CONDUCTED IN ACCORDANCE WITH THE ALTA/NSPS SURVEYING STANDARDS AND PRACTICES. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS IDENTIFIED ALL KNOWN UTILITIES. THE SURVEYOR HAS OBTAINED ALL NECESSARY PERMISSIONS FROM THE UTILITY OWNERS TO LOCATE AND MARK THE UTILITIES. THE SURVEYOR HAS NOTED ANY UNUSUAL CONDITIONS AND HAS INDICATED THEM ON THE SURVEY. THE SURVEYOR HAS NOTED ANY UNUSUAL CONDITIONS AND HAS INDICATED THEM ON THE SURVEY.

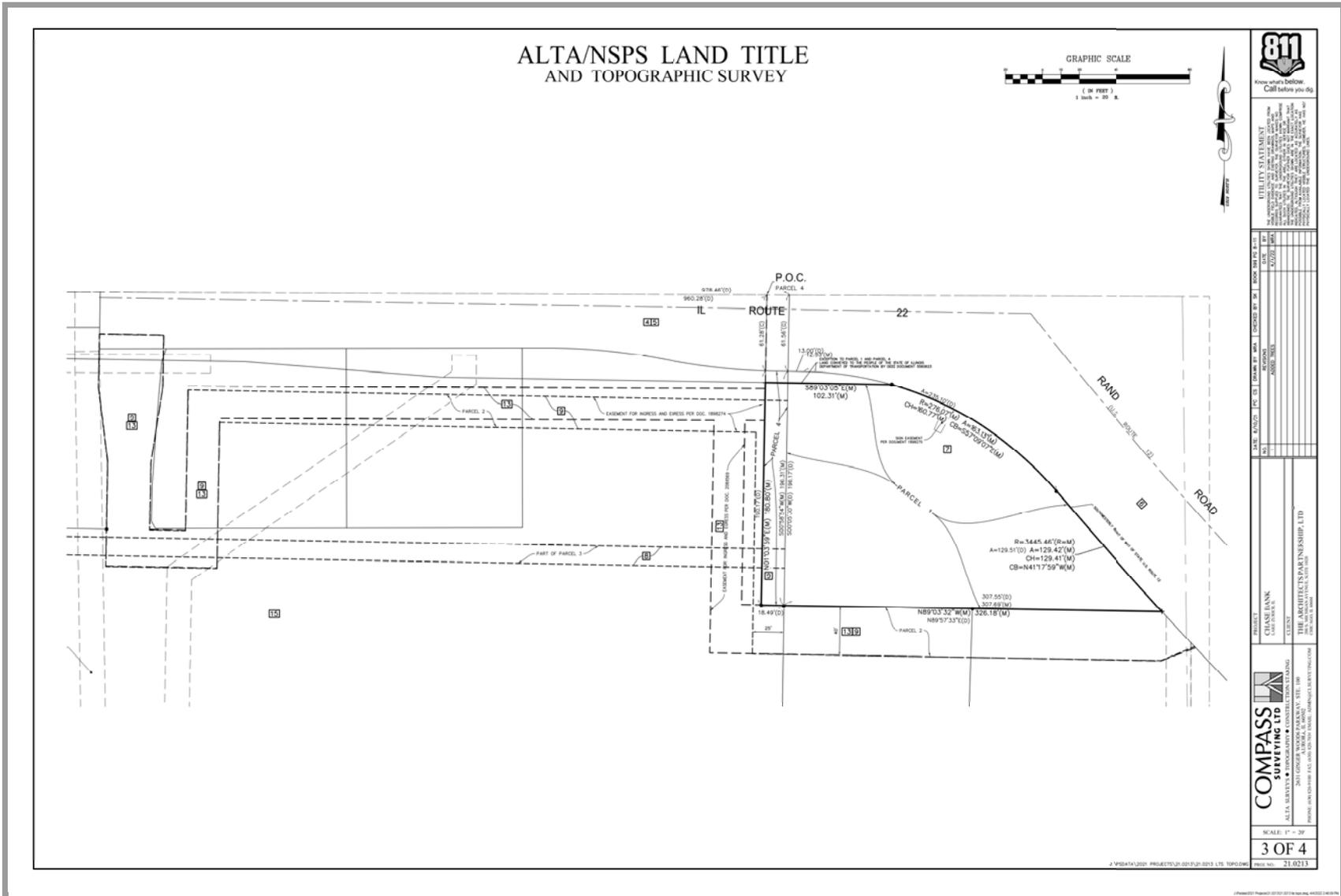
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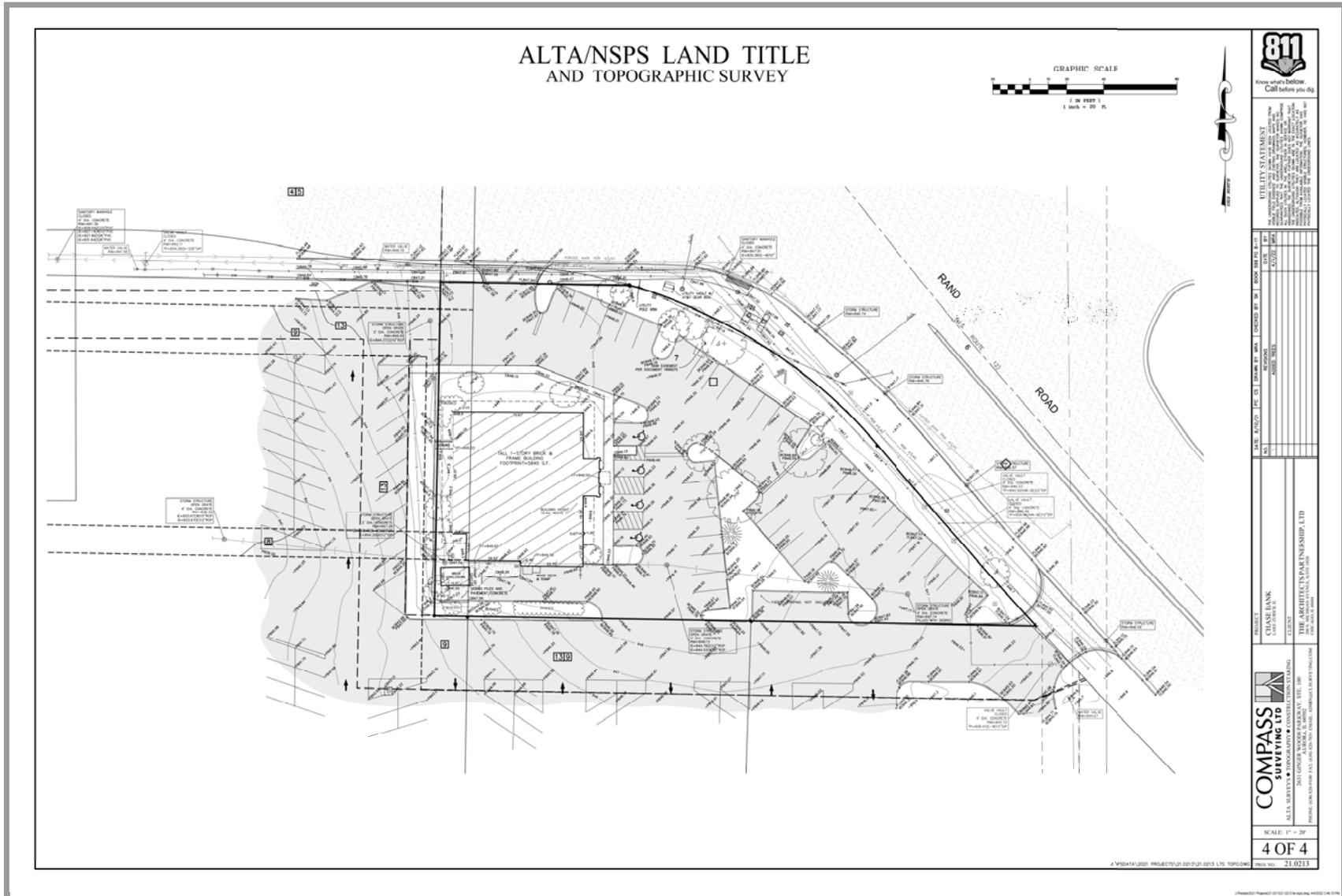
PROJECT: CLAUSE BANK

CLIENT: THE ARCHITECTS PARTNERSHIP, LTD.

SCALE: 1" = 20'

2 OF 4





5/14/2021 Lake County, IL Property Tax Information

Page datalets/datalet.aspx?mode=legal_desc not registered

PARID: 1419400047 ASSESSOR #: 049
 NBHD: 1565200 ROLL: RP
 WINDYRIDGE GROUP LLC 455 S RAND RD
 Tax Year: 2021 (Taxes Payable in 2022). Select **Tax Year** on the right:

Parcel

Assessment Year: 2021
 Pay Year: 2022
 Property Location: 455 S RAND RD
 Building/Unit #:
 City/State/Zip: LAKE ZURICH IL 60047

Mailing Address: 205 5TH AVE S STE 60
 LA CROSSE WI 54601-9202

Split/Combine Occurred: **Yes - see Split/Combine History tab for more info**
 Living Units:
 Neighborhood: 1565200 - Vacant Commercial
 Class: COM - Commercial
 Property Use Code: 61 - Comm Vacant Land
 Acres: .0767
 Square Feet: 3,341
 GIS Acres: .0807
 Subdivision #:
 Subdivision Name:
 Lot:
 Block:
 Legal 1: PT OF NW1/4 SE1/4; COM AT A PNT ON NLN 960.28'E OF NWCOR,
 Legal 2: S00D00'25"E 61.28' FOR POB,CONT S 190.17', N89D57'33"E
 Legal 3: 18.49', N00D05'30"W 190.17', W AGL SLY ROW HWY 22 TO POB (EX
 Tax Code Area: 15188 - ELA TWP 188

Mortgage Company: -
 ACH: No

Alternate Address

Address Type	Address
P - Postal	455 S RAND RD , LAKE ZURICH, IL 60047-2394

Parcel Status

Tax Year:	2021
Active/Deactive:	Active

Tax Status

Tax Year:	2021
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<https://tax.lakecountyil.gov/Datalets/PrintDatalet.aspx?pin=1419400047&gsp=PROFILEALL&taxyear=2021&jur=049&ownseq=0&card=1&roll=RP&State=1&item=1&items=1&all=all&ranks=Datalet>
1/3

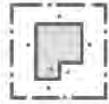
5/14/2021	Lake County, IL Property Tax Information
In Forfeiture:	No
In Bankruptcy:	No
Taxes Due:	Yes - see Taxes Due tab for more information
Tax Lien on Property:	No
Tax Adjustment:	No
Tax District Information	
Township:	TOWNSHIP OF ELA
Road & Bridge:	ROAD AND BRIDGE-ELA
Municipality:	VIL OF LAKE ZURICH
Community College:	COLLEGE OF LAKE COUNTY #532
Elementary School:	
High School:	
Unit K-12 School District:	LAKE ZURICH COMM UNIT SCHOOL DIST #95
Park:	
Fire Protection:	
Library:	ELA AREA PUBLIC LIBRARY DIST
Sanitary:	
Mosquito Abatement:	
Central Lake Cty Joint AC:	
Special Service Area:	
Tax Increment Finance Area:	VILLAGE OF LAKE ZURICH TIFA #3
Exemption Credits	
Tax Year:	
Prorated Exemption:	
Fully Exempt:	
Senior Freeze:	
Home Improvement:	
General Homestead:	
Senior Homestead:	
Disabled Persons:	
Disabled Veterans:	
Disabled Veterans Standard:	
Returning Veterans:	
Natural Disaster:	
Mobile Home Exemption:	

<https://tax.lakecountyil.gov/Datalets/PrintDatalet.aspx?pin=1419400047&gsp=PROFILEALL&taxyear=2021&jur=049&ownseq=0&card=1&roll=RP&State=1&item=1&items=1&all=all&ranks=Datalet>

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5/14/2021

Lake County, IL Property Tax Information



Sorry, no sketch available
for this record

Item	Area

Printed on Friday, May 14, 2021, at 9:11:08 AM EST

5/14/2021 Lake County, IL Property Tax Information

Page datalets/datalet.aspx?mode=legal_desc not registered

PARID: 1419400048 ASSESSOR #: 049
 NBHD: 1565110 ROLL: RP
 WINDYRIDGE GROUP LLC 455 S RAND RD
 Tax Year: 2021 (Taxes Payable in 2022). Select **Tax Year** on the right:

Parcel

Assessment Year: 2021
 Pay Year: 2022
 Property Location: 455 S RAND RD
 Building/Unit #:
 City/State/Zip: LAKE ZURICH IL 60047

Mailing Address: 205 5TH AVE S STE 60
 LA CROSSE WI 54601-9202

Split/Combine Occurred: **Yes - see Split/Combine History tab for more info**
 Living Units:
 Neighborhood: 1565110 - Dining Establishments
 Class: COM - Commercial
 Property Use Code: 60 - Commercial Improvements
 Acres: .9063
 Square Feet: 39,478
 GIS Acres: .9120
 Subdivision #:
 Subdivision Name:
 Lot:
 Block:
 Legal 1: PT NW1/4 SE1/4; COM 978.46'E OF NWCOR,S61.56' TO SLN HWY 22
 Legal 2: FOR POB, S190.17', N89D57'33"E 307.55' TO SLN HWY 12, NW ALG
 Legal 3: A CRV 129.51',NW ALG A CRV 235.1', W ALG SLN HWY 22 TO POB
 Tax Code Area: 15188 - ELA TWP 188

Mortgage Company: -
 ACH: No

Alternate Address

Address Type	Address
P - Postal	455 S RAND RD , LAKE ZURICH, IL 60047-2394

Parcel Status

Tax Year: 2021
 Active/Deactive: Active

Tax Status

Tax Year: 2021

https://tax.lakecountyil.gov/Datalets/PrintDatalet.aspx?pin=1419400048&gsp=PROFILEALL&taxyear=2021&jur=049&ownseq=0&card=1&roll=RP&State=1&item=1&items=1&all=all&ranks=Datalet

1/3

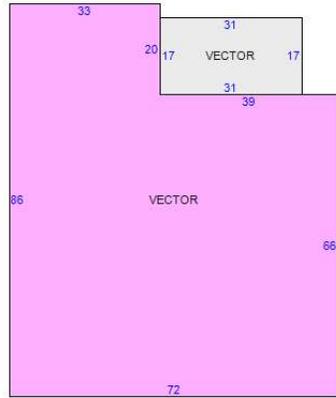
5/14/2021	Lake County, IL Property Tax Information
In Forfeiture:	No
In Bankruptcy:	No
Taxes Due:	Yes - see Taxes Due tab for more information
Tax Lien on Property:	No
Tax Adjustment:	No
Tax District Information	
Township:	TOWNSHIP OF ELA
Road & Bridge:	ROAD AND BRIDGE-ELA
Municipality:	VIL OF LAKE ZURICH
Community College:	COLLEGE OF LAKE COUNTY #532
Elementary School:	
High School:	
Unit K-12 School District:	LAKE ZURICH COMM UNIT SCHOOL DIST #95
Park:	
Fire Protection:	
Library:	ELA AREA PUBLIC LIBRARY DIST
Sanitary:	
Mosquito Abatement:	
Central Lake Cty Joint AC:	
Special Service Area:	
Tax Increment Finance Area:	VILLAGE OF LAKE ZURICH TIFA #3
Exemption Credits	
Tax Year:	
Prorated Exemption:	
Fully Exempt:	
Senior Freeze:	
Home Improvement:	
General Homestead:	
Senior Homestead:	
Disabled Persons:	
Disabled Veterans:	
Disabled Veterans Standard:	
Returning Veterans:	
Natural Disaster:	
Mobile Home Exemption:	

<https://tax.lakecountyil.gov/Datalets/PrintDatalet.aspx?pin=1419400048&gsp=PROFILEALL&taxyear=2021&jur=049&ownseq=0&card=1&roll=RP&State=1&item=1&items=1&all=all&ranks=Datalet>

2/3

5/14/2021

Lake County, IL Property Tax Information



Item	Area
REST- AVG - 031:RESTAURANT-AVG	5939
PAVING CON - PC1:PAVING CONCRETE AVERAGE	33300
VECTOR - 999:VECTOR ONLY	5412
METAL SHED - RS2:METAL UTILITY SHED	160
VECTOR - 999:VECTOR ONLY	527

Printed on Friday, May 14, 2021, at 9:11:47 AM EST

EASEMENT AGREEMENT

1898274

EASEMENT AGREEMENT made this 21st day of January, 1976, between the First National Bank of Des Plaines, a National Bank Association, as Trustee under the provisions of a Trust Agreement dated June 15, 1977, and known as Trust No. 74491836 ("Grantor"), and The First National Bank of Des Plaines, a National Banking Association, as Trustee under the provisions of a Trust Agreement dated June 15, 1977, and known as Trust No. 74501837 ("Grantee").

WITNESSETH:

WHEREAS, Grantor is the record owner of the property described in Exhibit "A" attached hereto and made a part hereof (the "Servient Estate") and

WHEREAS, Grantee is the record owner of the property described in Exhibit "B" attached hereto and made a part hereof (the "Dominant Estate"), and

WHEREAS, Grantee desires to obtain for the benefit of the Dominant Estate a perpetual easement for ingress, egress and access over, under, across and upon that part of the Servient Estate described in the Plat of Easement attached hereto as Exhibit "C" and made a part hereof (the "Easement Parcel");

NOW, THEREFORE, in consideration of the mutual covenants, undertakings and agreements hereinafter set forth, Grantor and Grantee agree as follows:

1. Grantor hereby grants to Grantee, its successors and assigns, invitees, licensees and employees, a perpetual, non-exclusive easement appurtenant to and for the benefit of the Dominant Estate over, under, across and upon the Easement Parcel for the purpose of ingress, egress and access to and from the Dominant Estate and the adjoining streets and highways.
2. Grantor shall keep and maintain the Easement Parcel in good condition and repair and free and clear of snow, ice, rubbish and obstructions of every nature.
3. Grantor shall not build, erect or maintain, or cause to be built, erected or maintained, any fence, wall or other barrier along that part of the Easement Parcel south of and adjoining and West of and adjoining the Dominant Estate which would prevent, hinder, impede or make more difficult ingress, egress or access from the Easement Parcel to the Dominant Estate and adjoining streets and highways without the express prior written consent of the record owner of the Dominant Estate.

1898274

4. It is expressly understood and agreed that Grantor reserves the right, at all times and from time to time, to construct upon, make alterations, additions, and improvements to, and otherwise deal with the Servient Estate in such manner as Grantor, in its sole discretion, may deem appropriate. In connection therewith, if it shall be come necessary or appropriate for Grantor to alter or relocate the Easement Parcel, Grantor and Grantee agree to execute such additional instruments or grants as may be necessary or appropriate in order to reflect such alteration or relocation unreasonably or substantially interfere with or impair the rights of Grantee herein contained.

5. Nothing contained herein shall be construed as granting to Grantee, its successors or assigns, invitees or licensees, the right, license, or privilege to use any parking areas, walks, or other entrances, exits or driveways, if any, located on the Servient Estate, or in any way granting an interest in the Servient Estate except as herein specifically provided.

6. The easement hereby granted, the restrictions hereby imposed, and the agreements herein contained shall be easements, restrictions, and covenants running with the land and shall inure to the benefit of, and be binding upon the parties hereto and their respective successors and assigns, including but not limited to, all subsequent owners of the Easement Parcel and Dominant Estate, and all persons claiming thereunder.

7. This Easement Agreement is executed by Grantor and Grantee, not personally, but solely as Trustees, as aforesaid, in the exercise of the power and authority conferred upon and vested in each of them as Trustees. All the terms, provisions, stipulations, covenants and conditions to be performed by Grantor or Grantee are undertaken by them solely as Trustees, as aforesaid, and not individually and all statements herein made are made on information and belief and are to be construed accordingly, and no personal liability shall be enforceable against Grantor or Grantee by reason of any of the terms, provisions, stipulations, covenants and/or statements contained in this Easement Agreement.

IN WITNESS WHEREOF, the undersigned have set their hands and seals at Des Plaines, Illinois as of the date and year first above written.

GRANTOR:

The First National Bank of Des Plaines, a National Banking Association, as Trustee under Trust Agreement dated June 15, 1977, and known as Trust No. 74491836, and not personally.

By:

[Signature]
President

Attest:

(SEAL)

1898274

GRANTEE:

The First National Bank of Des Plaines,
a National Banking Association, as Trustee
under Trust Agreement dated June 15, 1977,
and known as Trust No. 74501837, and not
personally.

By: *[Signature]* President

Attest: *[Signature]*
Secretary

(SEAL)



1898274

CONSENT OF MORTGAGEE

La Salle National Bank, Trustee under a Trust Deed dated June 30, 1977, and recorded July 28, 1977, as Document No. 1853555, and an Assignment of Rents dated June 30, 1977, and recorded July 28, 1977, as Document No. 1853556, affecting part of the Servient Estate, hereby consents to the execution and recording of the within Easement Agreement and agrees that said Trust Deed and Assignment of Rents are subject to the provisions of said Easement Agreement

IN WITNESS WHEREOF, the said Trustee has caused this Easement Agreement to be executed by its duly authorized officers on its behalf as of the 13th day of February, 1978.

LA SALLE NATIONAL BANK

By: William M. Jensen
Asst. President



Raymond C. McLaughlin
Asst. Secretary

1898274

CONSENT OF LESSEE

Lucky Stores, Inc. , a corporation of California, lessee under a Lease demising part of the Servient Estate dated October 20, 1976, and recorded July 25, 1977, as Document No. 1852561, hereby consents to the execution and recording of the within Easement Agreement and agrees that said Lease is subject to the provisions of said Easement Agreement.

IN WITNESS WHEREOF, the said corporation has caused this Easement Agreement to be executed by its duly authorized officers on its behalf as of the 8 day of Feb, 1978.

LUCKY STORES, INC.

By: Gene W. Gosh
VICE President

J. B. DeLeon
an't Secretary

1898274

STATE OF ILLINOIS)
) ss. :
COUNTY OF COOK)

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY, that James S. Sheldon, personally known to me to be the Vice President of the First National Bank of Des Plaines, and Steven D. Santucci, personally known to me to be the Secretary of said Bank, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said Bank for the use and purpose therein set forth; and the said _____ Secretary then and there acknowledged that said _____ Secretary, as custodian of the corporate seal of said Bank caused the corporate seal of said Bank to be affixed to said instrument as said _____ Secretary's own free and voluntary act and as the free and voluntary act of said Bank for the use and purpose therein set forth.

Given under my hand and notarial seal this 31st day of Jan., 1978.

Richard Troutman
Notary Public

My commission expires: _____

MY COMMISSION EXPIRES JULY 13, 1979



1898274

STATE OF ILLINOIS)
) ss.:
COUNTY OF COOK)

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY, that _____

WILLIAM M. JURGENSEN, personally known to me to be the Assistant Vice President of La Salle National Bank and Raymond C. Mikulich, personally known to me to be the Assistant Secretary of said Bank, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said Bank for the uses and purposes therein set forth; and the said Assistant Secretary then and there acknowledged that said Assistant Secretary, as custodian of the corporate seal of said Bank caused the corporate seal of said Bank to be affixed to said instrument as said Assistant Secretary's own free and voluntary act and as the free and voluntary act of said Bank for the uses and purposes therein set forth.



Given under my hand and _____ seal this 13th, 1978

Michaelno Wolowicz
Notary Public

My commission expires: 1/23/82

EXHIBIT "A"

THAT PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 19, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN; THENCE NORTH 89°-10'-25" EAST ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 19, 80.0 FEET FOR A PLACE OF BEGINNING; THENCE CONTINUING ALONG SAID NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 19, 1240.69 FEET TO THE NORTHEAST CORNER OF THE WEST HALF OF SAID SOUTHEAST QUARTER OF SECTION 19; THENCE SOUTH 0°-59'-20" EAST ALONG THE EAST LINE OF SAID WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 19, 828.70 FEET; THENCE SOUTH 89°-05'-50" WEST, 330.70 FEET TO A POINT OF CURVE; THENCE ALONG A CURVED LINE TO THE RIGHT HAVING A RADIUS OF 200.0 FEET, AN ARC DISTANCE OF 69.64 FEET TO A POINT OF REVERSE CURVE; THENCE ALONG A CURVED LINE TO THE LEFT HAVING A RADIUS OF 494.18 FEET, AN ARC DISTANCE OF 172.07 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°-04'-51" WEST, 140.0 FEET TO A POINT OF CURVE; THENCE ALONG A CURVED LINE TO THE RIGHT HAVING A RADIUS OF 300.67 FEET, AN ARC DISTANCE OF 202.04 FEET TO A POINT OF TANGENCY; THENCE NORTH 52°-25'-09" WEST, 171.74 FEET TO A POINT OF CURVE; THENCE ALONG A CURVED LINE TO THE LEFT HAVING A RADIUS OF 405.80 FEET, AN ARC DISTANCE OF 232.61 FEET TO A POINT 80.0 FEET EAST OF THE WEST LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 19; THENCE NORTH 0°-55'-09" WEST PARALLEL WITH SAID WEST LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 19, 530.44 FEET TO THE PLACE OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS, CONTAINING 21.299 ACRES MORE OR LESS. (EXCEPT THE FOLLOWING DESCRIBED TRACT: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 19; THENCE NORTH 89°-10'-25" EAST ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 19, 978.46 FEET; THENCE SOUTH 0°-0'-35" EAST, 61.56 FEET TO THE EXISTING SOUTHERLY RIGHT OF WAY OF STATE RTE. 22 FOR A PLACE OF BEGINNING; THENCE SOUTH 0°-05'-30" EAST, 190.17 FEET; THENCE NORTH 89°-57'-33" EAST, 307.55 FEET TO THE SOUTHWESTERLY RIGHT OF WAY OF STATE RTE. 12; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY OF STATE RTE. 12, SAID RIGHT OF WAY BEING A CURVED LINE TO THE RIGHT HAVING A RADIUS OF 3445.46 FEET, AN ARC DISTANCE OF 129.51 FEET TO A POINT OF REVERSE CURVE; THENCE CONTINUING ALONG SAID SOUTHWESTERLY RIGHT OF WAY OF STATE RTE. 12, SAID RIGHT OF WAY BEING A CURVED LINE TO THE LEFT HAVING A RADIUS OF 276.07 FEET, AN ARC DISTANCE OF 235.10 FEET TO A POINT OF TANGENCY; THENCE WESTERLY ALONG THE SOUTHERLY RIGHT OF WAY OF STATE RTE. 22 A DISTANCE OF 13.0 FEET TO THE PLACE OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS, CONTAINING 0.919 ACRES MORE OR LESS.)

1898274

[RFS#744R; 1/17/78; COMM. SITE]

EXHIBIT "B"

THAT PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 19; THENCE NORTH 89°-10'-25" EAST ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 19, 978.46 FEET; THENCE SOUTH 0°-0'-35" EAST, 61.56 FEET TO THE EXISTING SOUTHERLY RIGHT OF WAY OF STATE RTE. 22 FOR A PLACE OF BEGINNING; THENCE SOUTH 0°-05'-30" EAST, 190.17 FEET; THENCE NORTH 89°-57'-33" EAST, 307.55 FEET TO THE SOUTHWESTERLY RIGHT OF WAY OF STATE RTE. 12; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY OF STATE RTE. 12, SAID RIGHT OF WAY BEING A CURVED LINE TO THE RIGHT HAVING A RADIUS OF 3445.46 FEET, AN ARC DISTANCE OF 129.51 FEET TO A POINT OF REVERSE CURVE; THENCE CONTINUING ALONG SAID SOUTHWESTERLY RIGHT OF WAY OF STATE RTE. 12, SAID RIGHT OF WAY BEING A CURVED LINE TO THE LEFT HAVING A RADIUS OF 276.07 FEET, AN ARC DISTANCE OF 235.10 FEET TO A POINT OF TANGENCY; THENCE WESTERLY ALONG THE SOUTHERLY RIGHT OF WAY OF STATE RTE. 22, A DISTANCE OF 13.0 FEET TO THE PLACE OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS, CONTAINING 0.919 ACRES MORE OR LESS.

1898274

[RFS#747; 10/20/77; Rest. Site]

STATE OF Illinois)
) ss.:
COUNTY OF Lake)

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY, that Leon Roush personally known to me to be the VICE President of Lucky Stores, Inc., a California corporation, and Jack B. Nicholson personally known to me to be the Asst Secretary of said Corporation, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said Corporation for the uses and purposes therein set forth; and the said Asst Secretary then and there acknowledged that said Asst Secretary, as custodian of the corporate seal of said Corporation caused the corporate seal of said Corporation to be affixed to said instrument as said Asst Secretary's own free and voluntary act and as the free and voluntary act of said Corporation for the uses and purposes therein set forth.

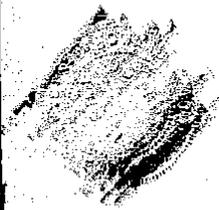
Given under my hand and Notarial seal this 8 day of Feb, 1978.

1898274
DOC
LAKE COUNTY, ILLINOIS

Edward C. Mowen
Notary Public

'70 FEB 14 PM 3 28

My commission expires: Apr 18, 1978



Frank J. Kuester
RECORDER OF DEEDS

This instrument was prepared by:

Philip Wong
Sachoff Schragger Jones & Weaver, Ltd.
One IBM Plaza, Suite 4700
Chicago, IL 60611
(312) 644-2400

Not :

1898276

1898276

DRAINAGE EASEMENT AGREEMENT

DRAINAGE EASEMENT AGREEMENT made as of the 31st day of January, 1978, between The First National Bank of Des Plaines, a National Banking Association, as Trustee under the provisions of a Trust Agreement dated June 15, 1977, and known as Trust No. 74491836 ("Grantor"), and The First National Bank of Des Plaines, a National Banking Association, as Trustee under the provisions of a Trust Agreement dated June 15, 1977, and known as Trust No. 74501837 ("Grantee").

WITNESSETH:

WHEREAS, Grantor is the record owner of the property described in Exhibit "A" attached hereto and made a part hereof (the "Servient Estate"); and

WHEREAS, Grantee is the record owner of the property described in Exhibit "B" attached hereto and made a part hereof (the "Dominant Estate"); and

WHEREAS, Grantor desires that the Servient Estate be enhanced through the improvement and development of the property adjoining the Servient Estate; and

WHEREAS, Grantee, in connection with the improvement and development of the Dominant Estate, desires to utilize such storm sewer or drainage facilities of Grantor as may be installed on that part of the Servient Estate described in the Plat of Survey attached hereto as Exhibit "C" and made a part hereof (the "Easement Parcel");

NOW, THEREFORE, in consideration of the mutual covenants, undertakings and agreements hereinafter set forth, Grantor and Grantee agree as follows:

I. Grantor hereby grants to Grantee, its agents, successors and assigns, a non-exclusive easement appurtenant to and for the benefit of the Dominant Estate to use for storm sewer and drainage purposes the storm sewers or other drainage facilities which Grantor hereby covenants and agrees to install or cause to be installed over, under, across or upon the Easement Parcel.

1898276

2. It is expressly understood and agreed that Grantor reserves the right, at all times and from time to time to construct upon, make alterations, additions and improvements to, and otherwise deal with the Servient Estate in such manner as Grantor, in its sole discretion may deem appropriate. In the event that Grantor desires to alter or relocate the Easement Parcel, Grantor and Grantee agree to execute such additional instruments or grants as may be necessary or appropriate in order to reflect such alteration or relocation; provided, however, that in no event shall such alteration or relocation unreasonably or substantially interfere with or impair the rights of Grantee herein contained.

3. It is contemplated by Grantor that the storm sewer or drainage facility shall lead and drain into that part of the Servient Estate constituting a retention and detention basin and described in Exhibit "C" attached hereto and made a part hereof. Grantee covenants and agrees that it will not permit or cause any noxious, toxic or other harmful materials or substances to drain into said retention and detention basin.

4. The easement granted hereby, together with all rights and obligations granted or undertaken hereunder, shall terminate and be of no further force or effect at such time as the right and/or obligation for the installation, maintenance, repair, replacement and/or removal of said storm sewers or drainage facilities has been granted to or undertaken by the Village of Lake Zurich or any other governmental authority or agency having jurisdiction thereover. In the event that the easement is terminated in the above described manner, it is understood and agreed by the parties hereto that an appropriate notice, instrument, or grant of easement (the "Notice") shall be placed of record with the Recorder of Deeds of Lake County, Illinois. The Notice shall be executed by the then respective record fee owner or owners of the Easement Parcel and the Dominant Estate, and execution thereof by any mortgagee, assignee, lessee or other party having or claiming an interest in the Servient Estate or the Dominant Estate shall not be required. Any party dealing with the Dominant Estate and the Servient Estate shall not be obligated to inquire into the necessity or expediency of the Notice. Every party relying

-2-

1898276

upon or claiming under the notice shall be entitled to rely thereon and the Notice shall be conclusive evidence that this Easement Agreement has been terminated and of no further force or effect.

5. The easement hereby granted, the restrictions hereby imposed, and the agreements herein contained shall be easements, restrictions, and covenants running with the land and shall inure to the benefit of, and be binding upon the parties hereto and their respective successors and assigns, including but not limited to, all subsequent owners of the Easement Parcel and Dominant Estate, and all persons claiming thereunder.

6. This Drainage Easement Agreement is executed by Grantor and Grantee, not personally, but solely as Trustees, as aforesaid, in the exercise of the power and authority conferred upon and vested in each of them as Trustee. All the terms, provisions, stipulations, covenants and conditions to be performed by Grantor or Grantee are undertaken by them solely as Trustee, as aforesaid, and not individually and all statements herein made are made on information and belief and are to be construed accordingly, and no personal liability shall be enforceable against Grantor or Grantee by reason of any of the terms, provisions, stipulations, covenants and/or statements contained in this Drainage Easement Agreement.

IN WITNESS WHEREOF, the undersigned have set their hands and seals at Des Plaines, Illinois as of the date and year first above written.

GRANTOR:

The First National Bank of Des Plaines, a National Banking Association, as Trustee under Trust Agreement dated June 15, 1977, and known as Trust No. 74491836, and not personally.

By: *[Signature]*
President

Attest: *[Signature]*
Secretary

1898276

GRANTEE:

The First National Bank of Des Plaines,
a National Banking Association, as
Trustee under Trust Agreement dated
June 15, 1977, and known as Trust
No. 74501837, and not personally.

By: *[Signature]* _{Vice} President

Attest:

[Signature]
Secretary

(SEAL)



1898276

CONSENT OF MORTGAGEE

La Salle National Bank, Trustee under a Trust Deed dated June 30, 1977, and recorded July 28, 1977, as Document No. 1853555, and an Assignment of Rents dated June 30, 1977, and recorded July 28, 1977, as Document No. 1853556, affecting part of the Servient Estate, hereby consents to the execution and recording of the within Easement Agreement and agrees that said Trust Deed and Assignment of Rents are subject to the provisions of said Easement Agreement

IN WITNESS WHEREOF, the said Trustee has caused this Easement Agreement to be executed by its duly authorized officers on its behalf as of the 13th day of February, 1978.

LA SALLE NATIONAL BANK

By: William M. Jensen
Asst. Vice President

Raymond C. Meléndez
Asst. Secretary

1898276

CONSENT OF LESSEE

Lucky Stores, Inc., a corporation of California, lessee under a Lease demising part of the Servient Estate dated October 20, 1976, and recorded July 25, 1977, as Document No. 1852561, hereby consents to the execution and recording of the within Easement Agreement and agrees that said Lease is subject to the provisions of said Easement Agreement.

IN WITNESS WHEREOF, the said corporation has caused this Easement Agreement to be executed by its duly authorized officers on its behalf as of the 8 day of Feb, 1978.

LUCKY STORES, INC.

By: James W. Joubert
VICE President

J. B. Dyer
Secretary

1898276

STATE OF ILLINOIS)
) ss. :
COUNTY OF COOK)

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY, that James S. Sheldon, personally known to me to be the Vice President of the First National Bank of Des Plaines, and Steven D. Santucci, personally known to me to be the _____ Secretary of said Bank, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said Bank for the use and purpose therein set forth; and the said _____ Secretary then and there acknowledged that said _____ Secretary, as custodian of the corporate seal of said Bank caused the corporate seal of said Bank to be affixed to said instrument as said _____ Secretary's own free and voluntary act and as the free and voluntary act of said Bank for the use and purpose therein set forth.

Given under my hand and notarial seal this 31st day of Jan., 1978.

Ruth A. Troutman
Notary Public

My commission expires: _____

MY COMMISSION EXPIRES JULY 13, 1979



1898276

STATE OF ILLINOIS)
) ss. :
COUNTY OF COOK)

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY, that James S. Sheldon, personally known to me to be the Vice President of the First National Bank of Des Plaines, and Stewart Lantucci, personally known to me to be the _____ Secretary of said Bank, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said Bank for the use and purpose therein set forth; and the said _____ Secretary then and there acknowledged that said _____ Secretary, as custodian of the corporate seal of said Bank caused the corporate seal of said Bank to be affixed to said instrument as said _____ Secretary's own free and voluntary act and as the free and voluntary act of said Bank for the use and purpose therein set forth.

Given under my hand and notarial seal this 31st day of Jan., 1978.

Bruce Mortensen
Notary Public

My commission expires: _____

MY COMMISSION EXPIRES JULY 13, 1979



1898276

STATE OF ILLINOIS)
) ss.:
COUNTY OF COOK)

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY, that WILLIAM M. JURGENSEN, personally known to me to be the Assistant Vice President of La Salle National Bank and Raymond C. Mikulich, personally known to me to be the Assistant Secretary of said Bank, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said Bank for the uses and purposes therein set forth; and the said Assistant Secretary then and there acknowledged that said Assistant Secretary, as custodian of the corporate seal of said Bank caused the corporate seal of said Bank to be affixed to said instrument as said Assistant Secretary's own free and voluntary act and as the free and voluntary act of said Bank for the uses and purposes therein set forth.



Given under my hand and seal this 19th day of July, 1978

Michael W. Wolowicz
Notary Public

My commission expires: 1/23/82

EXHIBIT "A"

THAT PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 19, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN; THENCE NORTH 89°-10'-25" EAST ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 19, 80.0 FEET FOR A PLACE OF BEGINNING; THENCE CONTINUING ALONG SAID NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 19, 1240.69 FEET TO THE NORTHEAST CORNER OF THE WEST HALF OF SAID SOUTHEAST QUARTER OF SECTION 19; THENCE SOUTH 0°-59'-20" EAST ALONG THE EAST LINE OF SAID WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 19, 828.70 FEET; THENCE SOUTH 89°-05'-50" WEST, 330.70 FEET TO A POINT OF CURVE; THENCE ALONG A CURVED LINE TO THE RIGHT HAVING A RADIUS OF 200.0 FEET, AN ARC DISTANCE OF 69.64 FEET TO A POINT OF REVERSE CURVE; THENCE ALONG A CURVED LINE TO THE LEFT HAVING A RADIUS OF 494.18 FEET, AN ARC DISTANCE OF 172.07 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°-04'-51" WEST, 140.0 FEET TO A POINT OF CURVE; THENCE ALONG A CURVED LINE TO THE RIGHT HAVING A RADIUS OF 300.67 FEET, AN ARC DISTANCE OF 202.04 FEET TO A POINT OF TANGENCY; THENCE NORTH 52°-25'-09" WEST, 171.74 FEET TO A POINT OF CURVE; THENCE ALONG A CURVED LINE TO THE LEFT HAVING A RADIUS OF 405.80 FEET, AN ARC DISTANCE OF 232.61 FEET TO A POINT 80.0 FEET EAST OF THE WEST LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 19; THENCE NORTH 0°-55'-09" WEST PARALLEL WITH SAID WEST LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 19, 530.44 FEET TO THE PLACE OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS, CONTAINING 21.299 ACRES MORE OR LESS. (EXCEPT THE FOLLOWING DESCRIBED TRACT: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 19; THENCE NORTH 89°-10'-25" EAST ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 19, 978.46 FEET; THENCE SOUTH 0°-0'-35" EAST, 61.56 FEET TO THE EXISTING SOUTHERLY RIGHT OF WAY OF STATE RTE. 22 FOR A PLACE OF BEGINNING; THENCE SOUTH 0°-05'-30" EAST, 190.17 FEET; THENCE NORTH 89°-57'-33" EAST, 307.55 FEET TO THE SOUTHWESTERLY RIGHT OF WAY OF STATE RTE. 12; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY OF STATE RTE. 12, SAID RIGHT OF WAY BEING A CURVED LINE TO THE RIGHT HAVING A RADIUS OF 3445.46 FEET, AN ARC DISTANCE OF 129.51 FEET TO A POINT OF REVERSE CURVE; THENCE CONTINUING ALONG SAID SOUTHWESTERLY RIGHT OF WAY OF STATE RTE. 12, SAID RIGHT OF WAY BEING A CURVED LINE TO THE LEFT HAVING A RADIUS OF 276.07 FEET, AN ARC DISTANCE OF 235.10 FEET TO A POINT OF TANGENCY; THENCE WESTERLY ALONG THE SOUTHERLY RIGHT OF WAY OF STATE RTE. 22 A DISTANCE OF 13.0 FEET TO THE PLACE OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS, CONTAINING 0.919 ACRES MORE OR LESS.)

ALSO

THAT PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 19; THENCE EASTERLY ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 19, 1320.69 FEET; THENCE SOUTH 0°-59'-20" EAST ALONG THE EAST LINE OF THE WEST HALF OF SAID SOUTHEAST QUARTER OF SECTION 19, 828.70 FEET FOR A PLACE OF BEGINNING; THENCE SOUTH 89°-05'-50" WEST, 330.70 FEET; THENCE ALONG A CURVED LINE TO THE RIGHT HAVING A RADIUS OF 200.0 FEET, AN ARC DISTANCE OF 69.64 FEET TO A POINT OF REVERSE CURVE; THENCE ALONG A CURVED LINE TO THE LEFT, HAVING A RADIUS OF 494.18 FEET, AN ARC DISTANCE OF 164.31 FEET; THENCE SOUTH 0°-55'-09" EAST, 580.0 FEET; THENCE SOUTH 30°-17'-41" EAST, 116.19 FEET; THENCE SOUTH 47°-51'-41" EAST, 690.0 FEET TO SAID EAST LINE OF THE WEST HALF OF SAID SOUTHEAST QUARTER OF SECTION 19; THENCE NORTH 0°-59'-20" WEST ALONG SAID EAST LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 19, 1118.66 FEET TO THE PLACE OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS, CONTAINING 11.10 ACRES MORE OR LESS.

1898276

EXHIBIT "C"

THAT PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 19, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 19; THENCE NORTH 89°-10'-25" EAST ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 19, 973.46 FEET; THENCE SOUTH 0°-0'-35" EAST, 61.56 FEET TO THE EXISTING SOUTHERLY RIGHT OF WAY OF STATE RTE. 22 FOR A PLACE OF BEGINNING; THENCE SOUTH 0°-05'-30" EAST, 190.17 FEET; THENCE NORTH 89°-57'-33" EAST, 307.55 FEET TO THE SOUTHWESTERLY RIGHT OF WAY OF STATE RTE. 12; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY OF STATE RTE. 12, SAID RIGHT OF WAY BEING A CURVED LINE TO THE RIGHT HAVING A RADIUS OF 3445.46 FEET, AN ARC DISTANCE OF 129.51 FEET TO A POINT OF REVERSE CURVE; THENCE CONTINUING ALONG SAID SOUTHWESTERLY RIGHT OF WAY OF STATE RTE. 12, SAID RIGHT OF WAY BEING A CURVED LINE TO THE LEFT HAVING A RADIUS OF 276.07 FEET, AN ARC DISTANCE OF 235.10 FEET TO A POINT OF TANGENCY; THENCE WESTERLY ALONG THE SOUTHERLY RIGHT OF WAY OF STATE RTE. 22, A DISTANCE OF 13.0 FEET TO THE PLACE OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS, CONTAINING 0.919 ACRES MORE OR LESS.

1898276

[RFS#747; 10/20/77; Rest. Site]

STATE OF Illinois)
COUNTY OF Lake Island) ss.:

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY, that Leon Roush, personally known to me to be the VICE President of Lucky Stores, Inc., a California corporation, and Jack B. Nicholson, personally known to me to be the ASST Secretary of said Corporation, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said Corporation for the uses and purposes therein set forth; and the said Asst Secretary then and there acknowledged that said Asst Secretary, as custodian of the corporate seal of said Corporation caused the corporate seal of said Corporation to be affixed to said instrument as said Asst Secretary's own free and voluntary act and as the free and voluntary act of said Corporation for the uses and purposes therein set forth.

Given under my hand and _____ seal this 8 day of Feb, 1978.

DOC 1898276
LAKE COUNTY, ILLINOIS

Edward C. Norman
Notary Public

*70 FEB 14 PM 3 30

My commission expires: Apr 18, 1978



Frank J. Reister
RECORDER OF DEEDS

This instrument was prepared by:

Mail

Philip Wong
Schnoff Schragger Jones & Weaver, Ltd.
One IBM Plaza, Suite 4700
Chicago, IL 60611
(312) 644-2400

407229
TRUSTEE'S DEED

1899-184

The above space for signature use only

THIS INDENTURE, made this 3rd day of February, 1928, between THE FIRST NATIONAL BANK OF DES PLAINES, a corporation duly organized and existing as a national banking association under the laws of the United States of America, and duly authorized to accept and execute trusts within the State of Illinois, not personally but as Trustee under the provisions of a deed or deeds in trust duly recorded and delivered to said national banking association in pursuance of a certain Trust Agreement, dated the 15th day of June, 1922, and known as Trust Number 74501837 party of the first part, and SABBO'S OF ILLINOIS, INC., an Illinois corporation, of 3740 State Street, Santa Barbara, California 93105 parties of the second part.

WITNESSETH, that said party of the first part, in consideration of the sum of Ten (\$10.00) Dollars, and other good and valuable considerations in hand paid, does hereby grant, sell and convey unto said parties of the second part, the following described real estate, situated in Lake County Illinois, to-wit:

2.00 ac

STATE OF ILLINOIS
REAL ESTATE TRANSFER TAX
DEPT. OF REVENUE
\$200.00
FEB 27 1928

together with the tenements and appurtenances thereto belonging.

TO HAVE AND TO HOLD the same unto said party of the second part, and to the proper use, benefit and behoof, forever, of said party of the second part

This deed is executed by the party of the first part, as Trustee, as aforesaid, pursuant to and in the exercise of the power and authority granted to and vested in it by the terms of said Deed or Trust in Trust and the provisions of said Trust Agreement above mentioned, and of every other power and authority necessary enabling, ENJOINT, SEVERAL, to the issue of all trust deeds and of mortgages upon real and chattel, if any, of record or sold money, all record general liens and special assessments, and other liens and claims of any kind, pending litigation, if any, affecting the said real estate, including liens, building, repair and other restrictions of record, if any; party walls, party wall cists and party wall appurtenances, if any; zoning and building laws and ordinances, mechanic's lien claims, if any; encumbrances of record, if any; and rights and things of every kind in possession.

IN WITNESS WHEREOF, the said party of the first part has caused its corporate seal to be hereunto affixed, and has caused its name to be signed to these presents by the Trust Officer and attested by its Assistant Trust Officer/Assistant Cashier, the day and year first above written.

THE FIRST NATIONAL BANK OF DES PLAINES
Trust Officer
Thomas J. Santucci
Assistant Trust Officer/Assistant Cashier

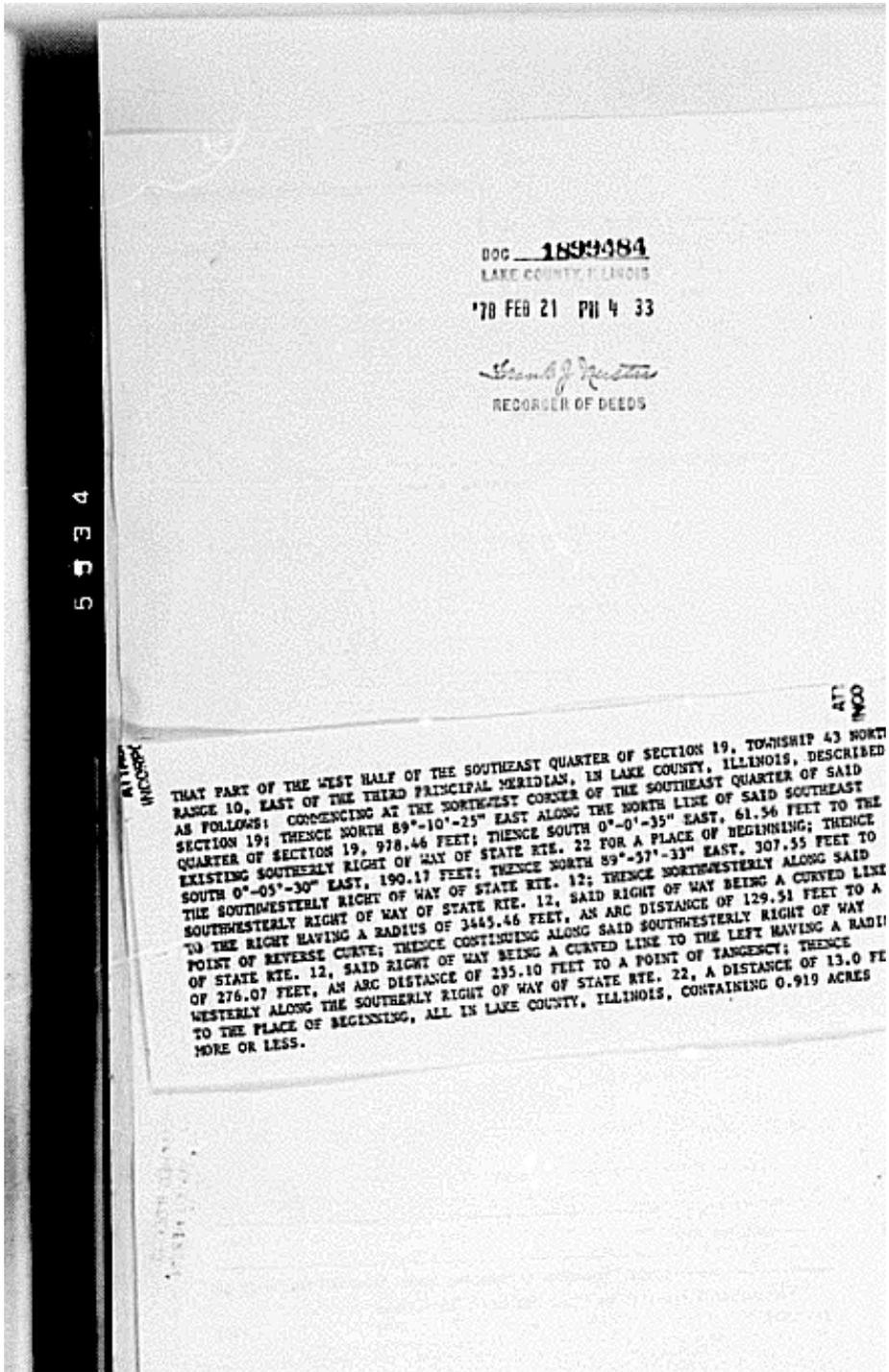
I, Ruth A. Troutman, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY, THAT JAMES S. SHELDON Assistant Vice President of THE FIRST NATIONAL BANK OF DES PLAINES, a national banking association, and STEVEN D. SANTUCCI Assistant Trust Officer/Assistant Cashier of said national banking association, personally known to me to be the same persons, whose names are subscribed to the foregoing instrument as such Trust Officer and Assistant Trust Officer/Assistant Cashier, respectively, appeared before me this day in person and acknowledged that they executed and delivered the said instrument as their own free and voluntary acts, and as the free and voluntary act of said national banking association, as Trustee. For the uses and purposes therein set forth and the said Assistant Trust Officer/Assistant Cashier did show me and then acknowledge that he/she, as a member of the corporate seal of said national banking association, did affix the said corporate seal of said national banking association to said instrument as his/her own free and voluntary act, and as the free and voluntary act of said national banking association, as Trustee, for the uses and purposes therein set forth.

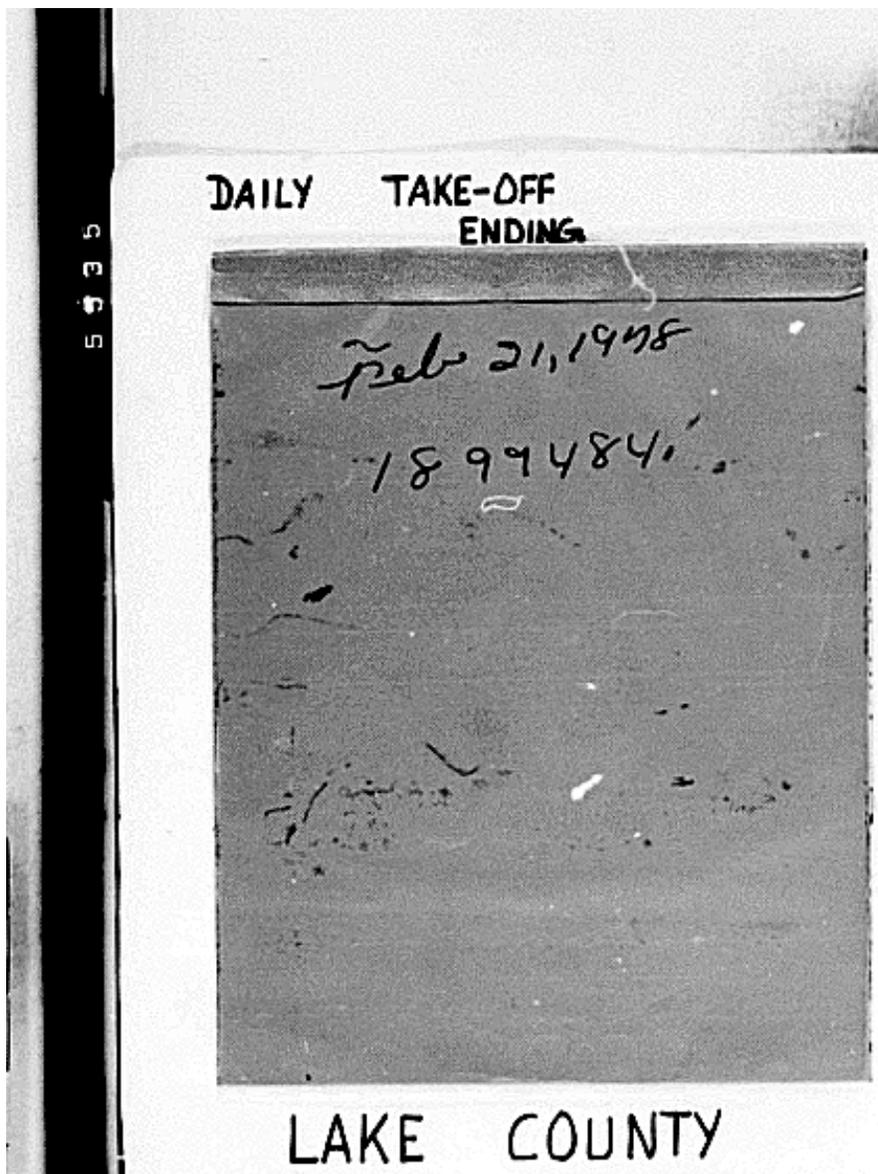
Given under my hand and official seal this 3rd day of Feb, 1928.

Ruth A. Troutman
Notary Public

W.M. & Co. Inc. 100 N. La Salle St. Chicago, Ill.

LAKE - 407229





Parkway Bank & Trust Co.
Trust No. 11589
~~AS TRUSTEE AND NOT INDIVIDUALLY~~
 Name
 Route: IL 22
 Section: US 12 to Bueshing
 County: Lake
 Job No.: R-91-008-01
 Parcel No.: 1E70009
 PIN No.: 14-19-400-027,
 Address: 455 S. Rand Rd.
 Lake Zurich, IL.

RECORDER'S USE

5560623

FILED FOR RECORD BY:
MARY ELLEN VANDERVENTER
 LAKE COUNTY, IL RECORDER
 05/17/2004 - 12:43:36 P.M.
 RECEIPT #: 160746
 DRAWER #: 29

TRUSTEE'S DEED
(NON-FREEWAY)

~~AND NOT INDIVIDUALLY~~

Know all men by these presents: ~~That Parkway Bank and Trust Company, as~~ Trustee under a trust agreement dated the ~~20th day of August 1998~~ and known as Trust Number 11589 in the exercise of the power in this behalf conferred upon us for and in consideration of Fifteen Thousand Five Hundred Dollars (\$15,500.00) in hand paid, receipt of which is hereby acknowledged, grants and conveys all the then existing legal or equitable rights of the Grantor in the premises described herein and shall extend to any after acquired title of the described premises unto the People of the State of Illinois, Department of Transportation Grantee, the following described real estate, situated in County of Lake and State of Illinois, to-wit:

**2-27-97

See Legal Description Attached

The Grantor, without limiting the interest above granted and conveyed, does hereby acknowledge that upon payment of the agreed consideration, all claims arising out of the above acquisition have been settled, including any diminution in value to any remaining property of the Grantor caused by the opening, improving and using the above-described premises for highway purposes. This acknowledgment does not waive any claim for trespass or negligence against the Grantee or Grantee's agents which may cause damage to the Grantor's remaining property.

Exempt under provision of 35 ILCS 200/31-45, Paragraph B
 Section 4, Real Estate Transfer Tax Law

05/17/04 [Signature]
 Date Buyer

412

5560623

Owner : Parkway Bank and Trust Co.
 Route : F.A.P. 337 (IL 22)
 Section :
 County : Lake
 Job No.: R-91-008-01
 Parcel No.: 1E70009
 Station : 7+617.977 to
 Station : 7+649.255

Parcel 1E70009

That part of the West Half of the Southeast Quarter of Section 19, Township 43 North, Range 10, East of the Third Principal Meridian, bounded and described as follows: Commencing at the theoretical Center of said Section 19, said theoretical Center of Section 19 being 35.90 feet West of the point of intersection of the West Right-of-Way line of Cortland Drive with the North line of the Southeast Quarter of said Section 19 and said intersection is the Center of said Section 19 according to Document Numbers 1851988 and 3391751; thence South 89 degrees 46 minutes 17 seconds East, being as assumed bearing on the North line of the Southeast Quarter of said Section 19, a distance of 996.66 feet; thence South 1 degree 05 minutes 04 seconds West, 61.93 feet (61.28 feet = dead) to the Northeast Corner of Lot 4 in Village Square according to the plat thereof recorded September 1, 1993 as Document Number 4568260, for the Point of Beginning; thence continuing South 1 degree 05 minutes 04 seconds West, on the East line of said Lot 4, a distance of 8.95 feet; thence South 89 degrees 02 minutes 55 seconds East, 102.62 feet to the Southerly Right-of-Way line of Illinois Route 22 according to the Plat of Dedication recorded December 8, 1938 as Document Number 456777; thence Northwesterly an arc distance of 72.31 feet on said Southerly Right-of-Way line, being a curved line, concave to the South, having a radius of 276.07 feet with a chord bearing of North 81 degrees 26 minutes 58 seconds West and a chord distance of 72.10 feet; thence North 88 degrees 57 minutes 09 seconds West, on said Southerly Right-of-Way line, 15.84 feet to a point of curve; thence Westerly an arc distance of 15.29 feet on said Southerly Right-of-Way line, being a curved line, concave to the North, having a radius of 505.0 feet with a chord bearing of North 88 degrees 05 minutes 06 seconds West and a chord distance of 15.29 feet; thence South 1 degree 05 minutes 04 seconds West, 0.87 feet to the Point of Beginning, all in Lake County, Illinois.

said parcel contains 0.017 acre, more or less.

RECEIVED

JUN 17 2002

PLATS & LEGALS

5560623

3

STATE OF ILLINOIS
COUNTY OF LAKE

AFFIDAVIT - METES AND BOUNDS

I, **Rafael F. Frias**, being duly sworn on oath that he is of the Illinois Department of Transportation, 201 W. Center Court., Schaumburg, IL, 60196-1096. That the attached deed is not in violation of Section 1 of Chapter 109 of the Illinois Revised Statutes, as the provisions of this Act do not apply and no plat is required in any of the following instances:

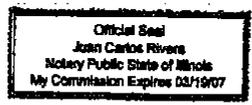
1. The division or subdivision of land into parcels or tracts of 5 acres or more in size which does not involve any new streets or easements of access;
2. The division of lots or blocks of less than 1 acre in any recorded subdivision which does not involve any new streets or easements of access;
3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
4. The conveyance of parcels of land or interests therein for use as a right of way for railroads or other public utility facilities and other pipe lines which does not involve any new streets or easements of access;
5. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access;
6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
7. Conveyances made to correct descriptions in prior conveyances;
8. The sale or exchange of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access;
9. The sale of a single lot of less than 5 acres from a larger tract when a survey is made by a registered surveyor; provided, however, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as described by the date of this amendatory Act of 1973; Amended by P.A. 78-553 Paragraph 1, effective October 1, 1973; P.A. 78-567, Paragraph 1, effective October 1, 1973;
10. No change in real estate.

AFFIANT further states that he makes this affidavit for the purpose of inducing the RECORDER OF LAKE COUNTY, ILLINOIS, to accept the attached deed for recording.

SUBSCRIBED and SWORN to me this 17 day
of May, 2004.

Notary Public

5560623



4

Traffic Impact Study

Proposed Chase Bank
455 S. Rand Road
Lake Zurich, Illinois

May 16, 2022

Prepared for:



Prepared by:

*Dan Brinkman, PE., PTOE
Assistant Director of Transportation Services*

*Antonio Maravillas, E.I.T.
Traffic Engineer*



Proposed Chase Bank
455 S. Rand Road
Lake Zurich, IL

Part I. Introduction and Project Context

Gewalt Hamilton Associates, Inc. (GHA) has conducted a Traffic Impact Study for the proposed *Chase Bank* to be constructed as an outlot in the Village Square shopping center located at the southwest corner of the Rand Road (US Route 12) and W. Main Street (IL Route 22) intersection in Lake Zurich, Illinois. Chase proposes to construct a single 6,226 square foot building with four drive up lanes adjacent to the building.

The following summarizes our approach, methodology and findings and provides various recommendations for your consideration. **Appendices** referenced are located in the Technical Addendum at the end of this document.

Part II. Background Information

Site Location Map and Roadway Inventory

Exhibit 1 provides a site location map, while **Exhibit 2** illustrates the existing traffic operations in the site area. **Appendix A** provides a photo inventory of the site vicinity. Pertinent comments on nearby land uses, the adjacent roadways, and non-auto facilities include:

Area Land Uses

- Rand Road serves as a major retail corridor through Lake Zurich with several shopping centers along both sides of the roadway. The North Lake Commons shopping center is located on the northwest quadrant of the Rand Road and W. Main Street intersection, while the Village Square shopping center is located on the southwest quadrant.
- The current site contains a vacant commercial building that was formerly a restaurant (*Giordano's*). It is considered an outlot of the Village Square shopping center and is adjacent to a *FedEx* store to the west and a *Fifth Third Bank* to the southeast.
- A *Bank of America* facility with a drive-up ATM is located north of the site, as part of the North Lake Commons shopping center.
- An existing *Chase Bank* with a drive-up ATM is located on the southeast corner of the Rand Road and W. Main Street intersection. The existing *Chase* facility is part of a multi-tenant office building.
- A *Shell* gas station with convenience store is located on the northwest corner of the Rand Road and W. Main Street intersection, independent from the North Lake Commons shopping center.

Roadway Inventory

Rand Road (US Route 12)

- Rand Road is a Principal Arterial roadway that overall runs from the northwest to the southeast. It is designated as US Route 12 and is under the jurisdiction of the Illinois Department of Transportation (IDOT).
- Rand Road is designated as a Strategic Regional Arterial (SRA) route. SRA routes are designed to carry higher traffic volumes at higher travel speeds through access control and traffic signal installation / spacing. It is also designated as a Class II truck route.
- Rand Road provides three through lanes in each direction separated by a raised curb median.
- At its signalized intersection with W. Main Street, Rand Road provides dual left-turn lanes on both approaches. A separate channelized right-turn lane is also provided on the southbound approach. Red-light cameras are posted on both approaches of the intersection for northbound and southbound traffic.
- Rand Road has a posted speed limit of 45 miles per hour (mph) within the site vicinity.

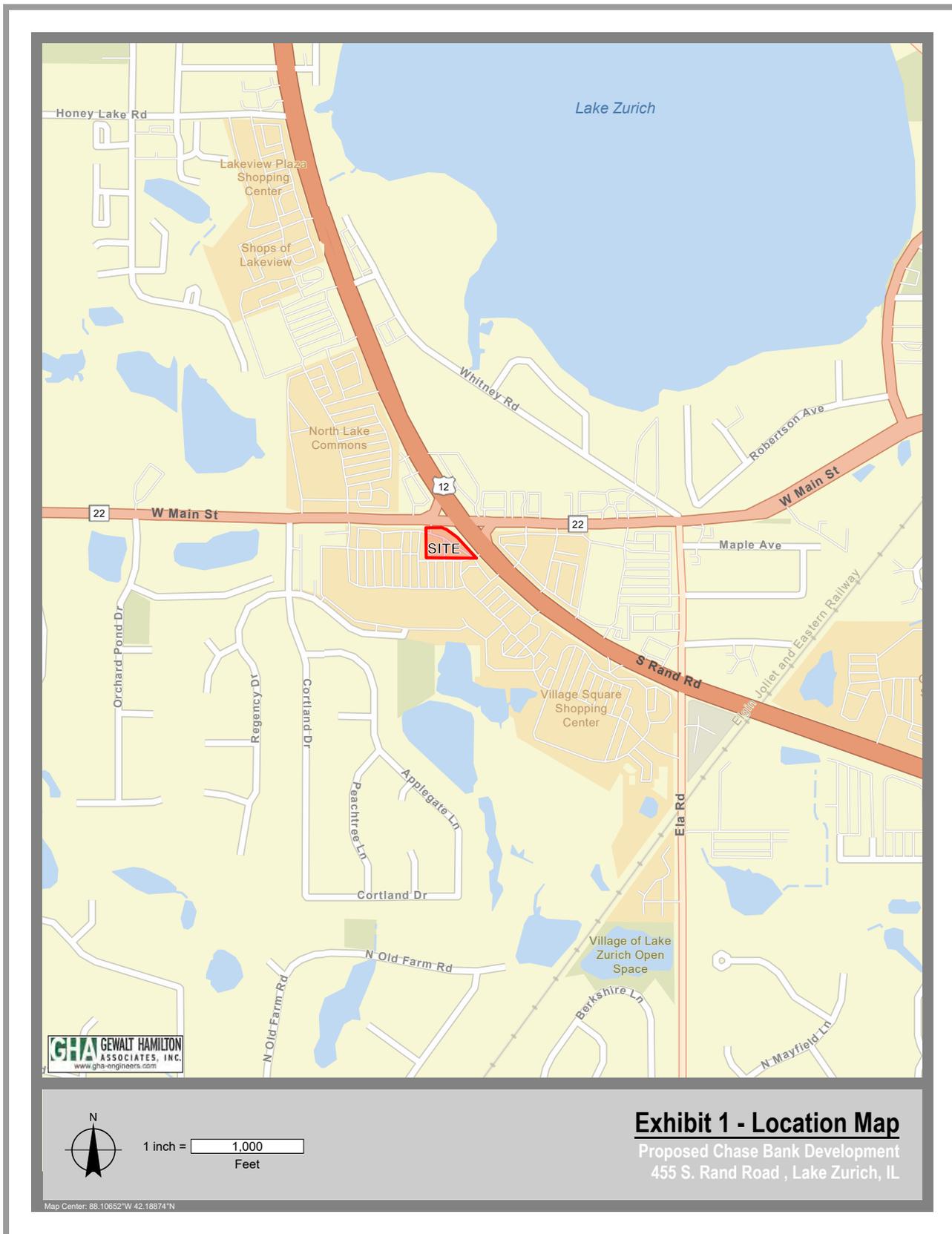
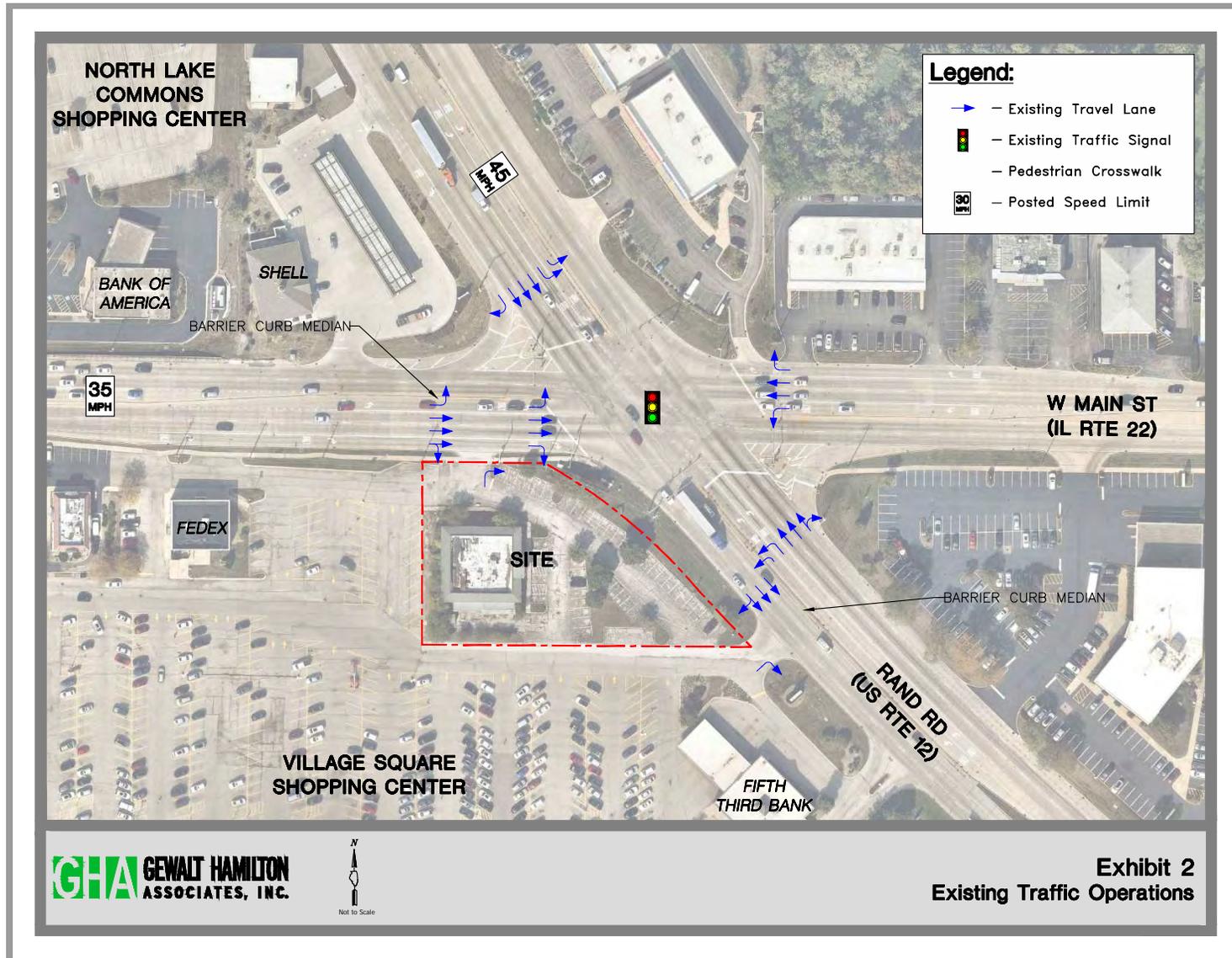


Exhibit 1 - Location Map
Proposed Chase Bank Development
455 S. Rand Road, Lake Zurich, IL



Proposed Chase Bank
455 S. Rand Road
Lake Zurich, IL

W. Main Street (IL Route 22)

- W. Main Street is an east-west Principal Arterial roadway under the jurisdiction of IDOT and is designated as IL Route 22. It is also designated as an SRA route.
- West of Rand Road, W. Main Street is designated as a Class II truck route.
- W. Main Street provides two through lanes in each direction separated by a raised curb median in the vicinity of Rand Road.
- At its signalized intersection with Rand Road, W. Main Street provides a separate left-turn lane on both approaches, as well as a separate right-turn lane. A redlight camera is posted on the west leg of the intersection for eastbound traffic.
- W. Main Street has a posted speed limit of 35 mph within the site vicinity.

Pedestrian Facilities

- A sidewalk is provided along the south side of W. Main Street in the site vicinity.
- A standard (parallel line) crosswalk is striped on the south leg of the Rand Road and W. Main Street intersection. Pedestrian signal heads are provided for this crossing.

Existing Traffic

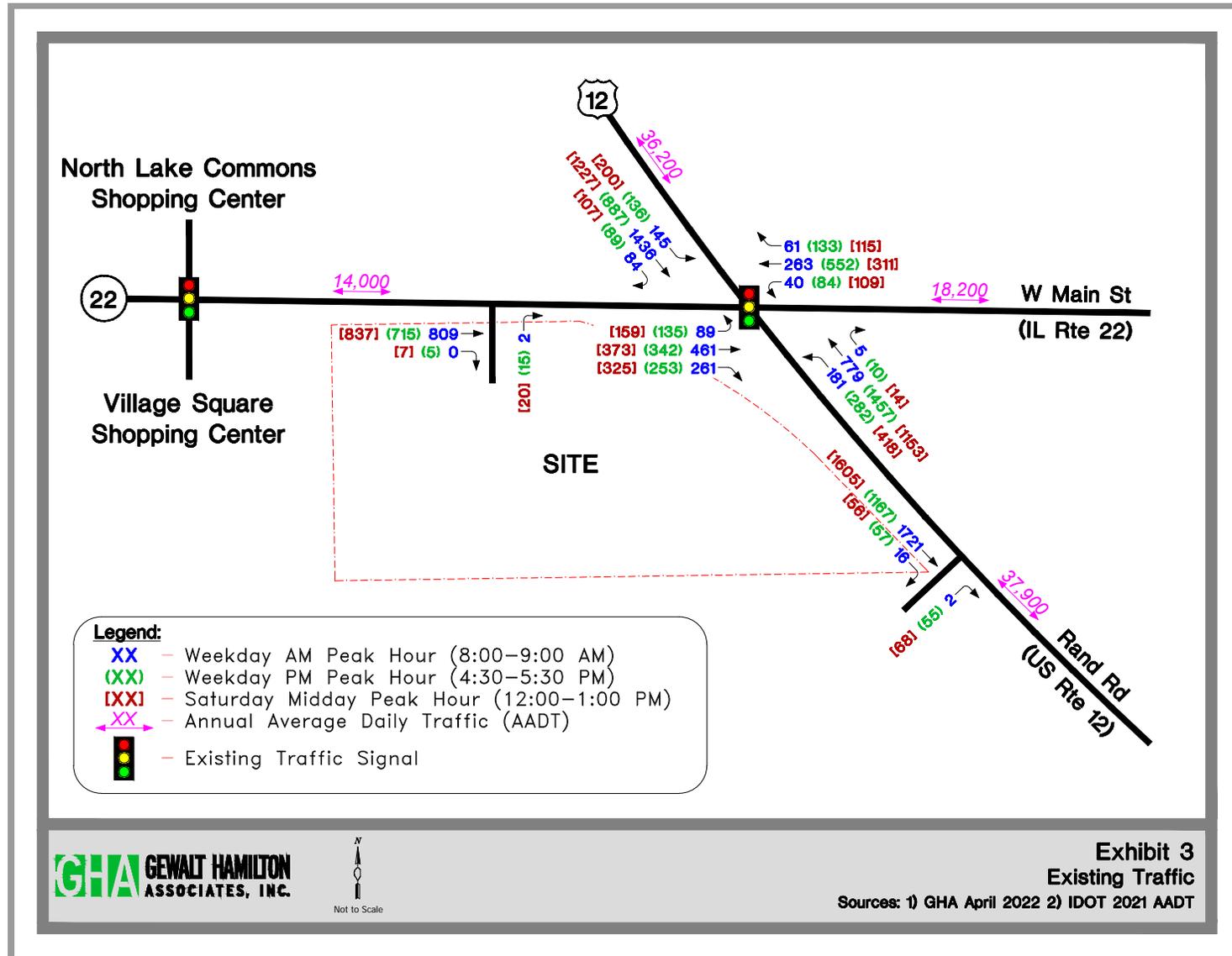
Exhibit 3 summarizes the existing weekday morning, weekday evening, and Saturday midday peak hour traffic volumes. Peak period traffic turning movement counts were conducted by GHA on Thursday, April 7, 2022, from 6:00 AM to 9:00 AM and from 3:00 PM to 6:00 PM, and on Saturday, April 9, from 9:00 AM to 1:00 PM at the Rand Road and W. Main Street intersection, as well as at both site driveways. The observed weekday morning, weekday evening, and Saturday midday peak hours occurred from 8:00 to 9:00 AM, 4:30 to 5:30 PM, and 12:00 to 1:00 PM, respectively, at the Rand Road and W. Main Street intersection.

Exhibit 3 also provides the available Annual Average Daily Traffic (AADT) 24-hour volumes along Rand Road and W. Main Street as published by IDOT on their website: www.gettingaroundillinois.com.

No unusual activities (e.g., roadway construction, or inclement weather) were observed during our counts that would be expected to impact traffic volumes or travel patterns in the vicinity. Summaries of the existing traffic counts can be found in *Appendix B*.

No-Build Traffic

Traffic growth in the area is a function of expected land development in the region. Future traffic volume conditions were developed for the year 2028. This equates to the build-out year of the development (year 2023) plus five years. Based on a review of historical traffic volumes and the Chicago Metropolitan Agency for Planning (CMAP) 2050 projections (see *Appendix C*), traffic volumes along Rand Road and W. Main Street are assumed to experience an annual compounded growth rate of 0.46 to 0.47 percent. Accordingly, the 2028 no-build peak hour traffic volumes (see *Exhibit 4*) were developed by applying the predicted growth rates, rounded up to 0.50 percent, to the existing (year 2022) traffic volumes.

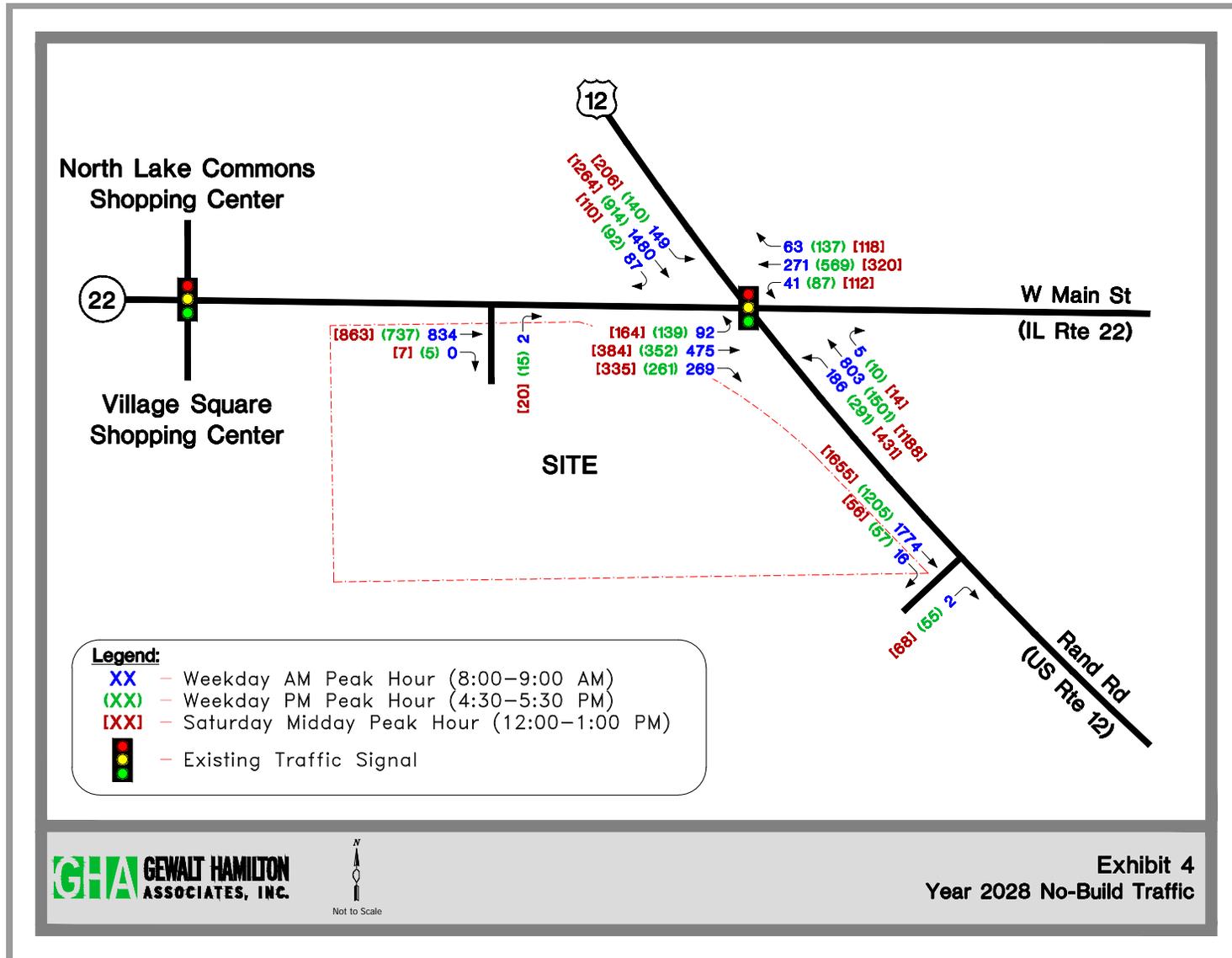


GHA GEWALT HAMILTON ASSOCIATES, INC.



Exhibit 3
Existing Traffic

Sources: 1) GHA April 2022 2) IDOT 2021 AADT



GHA GEWALT HAMILTON ASSOCIATES, INC.



Exhibit 4
Year 2028 No-Build Traffic

Proposed Chase Bank
455 S. Rand Road
Lake Zurich, IL

Crash Analysis

Crash data was obtained from the IDOT Bureau of Data Collection for the last five available calendar years (2016 through 2020). A summary of the crash data is provided in **Table 1** with the crashes mapped on **Appendix D**. The crash data represents any crashes that occurred within 300 feet of the Rand Road and W. Main Street intersection, which includes the locations of the two existing site access driveways.

Table 1: Crash Summary (2016-2020) ^A

Location	No. of Crashes	Severity ^B				Crash Type ^D						Percent During Wet/Icy Conditions	
		PD	PI ^C			F	AG	RE	SSD	T	FO		O
			A	B	C								
Intersection - Crashes within 300' of intersection													
Rand Road (US Route 12) at W. Main Street (IL Route 22)	114	98	1	7	9	0	4	69	17	19	3	2	24%
Total (2016-20)	114	98	1	7	9	0	4	69	17	19	3	2	24%

^A Source: IDOT Division of Transportation and Safety for the 2016-2020 calendar years.

^B PD = property damage only; PI = personal injury; F = fatality.

^C Type A (incapacitating injury); Type B (non-incapacitating injury); Type C (possible injury).

^D AG = angle; RE = rear end; SSD = Sideswipe Same Direction; T = turning; FO = fixed object; O = other.

As shown in **Table 1**, the intersection of Rand Road and W. Main Street experienced 114 crashes during the five-year study period, with an average of 22-23 crashes per year. Approximately 86 percent (98 of 114) of the total crashes involved property damage only. Rear end collisions accounted for 61 percent (69 of 114) of the total crashes.

As previously noted, a red-light running camera is present on the eastbound, northbound, and southbound approaches of the intersection. Red-light cameras have generally been shown to reduce the frequency of angle collisions but increase the frequency of rear end collisions. Typically, rear end collisions are less severe than angle collisions, and red-light cameras are installed when there is a need to reduce the severity of crashes at an intersection. During the five-year study period, only four (4) angle crashes occurred.

Sideswipe (same direction) collisions accounted for 15 percent (17 of 114) of the total crashes. Because the intersection is located along a horizontal curve of Rand Road, sideswipe collisions can occur as a result of drivers excessively speeding, changing lanes while traveling through the intersection, or slippery (wet/icy) pavement conditions.

There were no reported crashes involving a pedestrian or bicyclist during the five-year study period.

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 455 S. Rand Road
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Part III. Traffic Evaluation

Future Site Characteristics

Proposed Development Plan

As proposed, Chase plans to construct a new facility at 455 S. Rand Road, on the southwest quadrant of Rand Road and W. Main Street. The site currently contains a vacant commercial building that will be demolished, and Chase will construct a new 6,226 square foot building with four drive-up lanes.

Existing vehicular access to the site is provided via one driveway off W. Main Street and one driveway off Rand Road. Both driveways also provide access to the Village Square shopping center. Currently, both driveways function as right-in / right-out only, as left-turns in and out of the driveway are restricted via barrier curb medians. As proposed, the driveway off W. Main Street will be modified to only allow right-turns into the site. No changes are proposed to the driveway off Rand Road. Additional pedestrian access will also be provided via a sidewalk connection to the existing sidewalk along W. Main Street.

The April 5th, 2022, preliminary geometric plan prepared by GHA is included as **Appendix E**.

Trip Generation

Table 2 summarizes the traffic generation calculations for the proposed Chase Bank facility. Rate data published in the current (11th) edition of the Institute of Transportation Engineers (ITE) Manual *Trip Generation* were used to determine the anticipated traffic generated during the Weekday Morning, Weekday Evening, and Saturday Midday Peak Hours. As can be seen in **Table 2**, the proposed banking facility is expected to generate between 62 trips and 164 trips (combined inbound and outbound) during each of the Peak Hours, and approximately 626 trips on a daily basis (combined inbound and outbound).

Table 2: Trip Generation Calculations

Land Use	Size	ITE Code	Weekday Peak Hours						Saturday			Daily			
			Morning 8:00 - 9:00 AM			Evening 4:45-5:45 PM			Midday 11 AM - 12 PM			24-hours			
			In	Out	Sum	In	Out	Sum	In	Out	Sum	In	Out	Sum	
Proposed Chase Bank															
Drive-in Bank	6,226 SF	912	36	26	62	65	66	131	84	80	164	313	313	626	
Less Pass By Trips (20%)			-6	-6	-12	-13	-13	-26	-16	-16	-32	-63	-63	-126	
New Trips			30	20	50	52	53	105	68	64	132	250	250	500	

Sources: ITE Trip Generation Manual, 11th Edition, ITE Trip Generation Handbook, 3rd Edition

Not all vehicle trips expected to be generated by the proposed bank represent new trips on the study area roadway system. Studies have shown that for banks, a portion of the site-generated vehicle trips are already present in the adjacent passing stream of traffic or are diverted from another route to the proposed site.

Based on data presented in the ITE *Trip Generation Handbook, 3rd Edition*, the average pass-by trip percentage for the proposed use is 29 percent during the weekday morning, 35 percent during the weekday

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evening, and 38 percent during the Saturday midday peak hours. However, to provide a conservative analysis, a 20 percent reduction for pass-by traffic was applied to the development site-generated trips, consistent with IDOT guidelines for the preparation of traffic impact studies on SRA routes.

It should be noted that the volume of pass-by traffic does not reduce the total trips generated and those trip volumes will still be realized as turning movements at the access driveways. Furthermore, as an outlet within an established shopping center, one can reasonably expect that some trips may be made internally, i.e., a stop at the bank before going to *Trader Joe's*, which are referred to as linked trips or internal capture, as the trips do not result in a vehicle entering from or exiting to the outside roadway network. To maintain a conservative approach, no discount for linked trips was taken.

See *Appendix F* for excerpts of the ITE manual *Trip Generation* and the *Trip Generation Handbook*.

Trip Distribution

Table 3 provides the anticipated distribution of site traffic. This was based on existing site travel patterns, access operations, and the operational characteristics of the overall Village Square shopping center and adjacent street system.

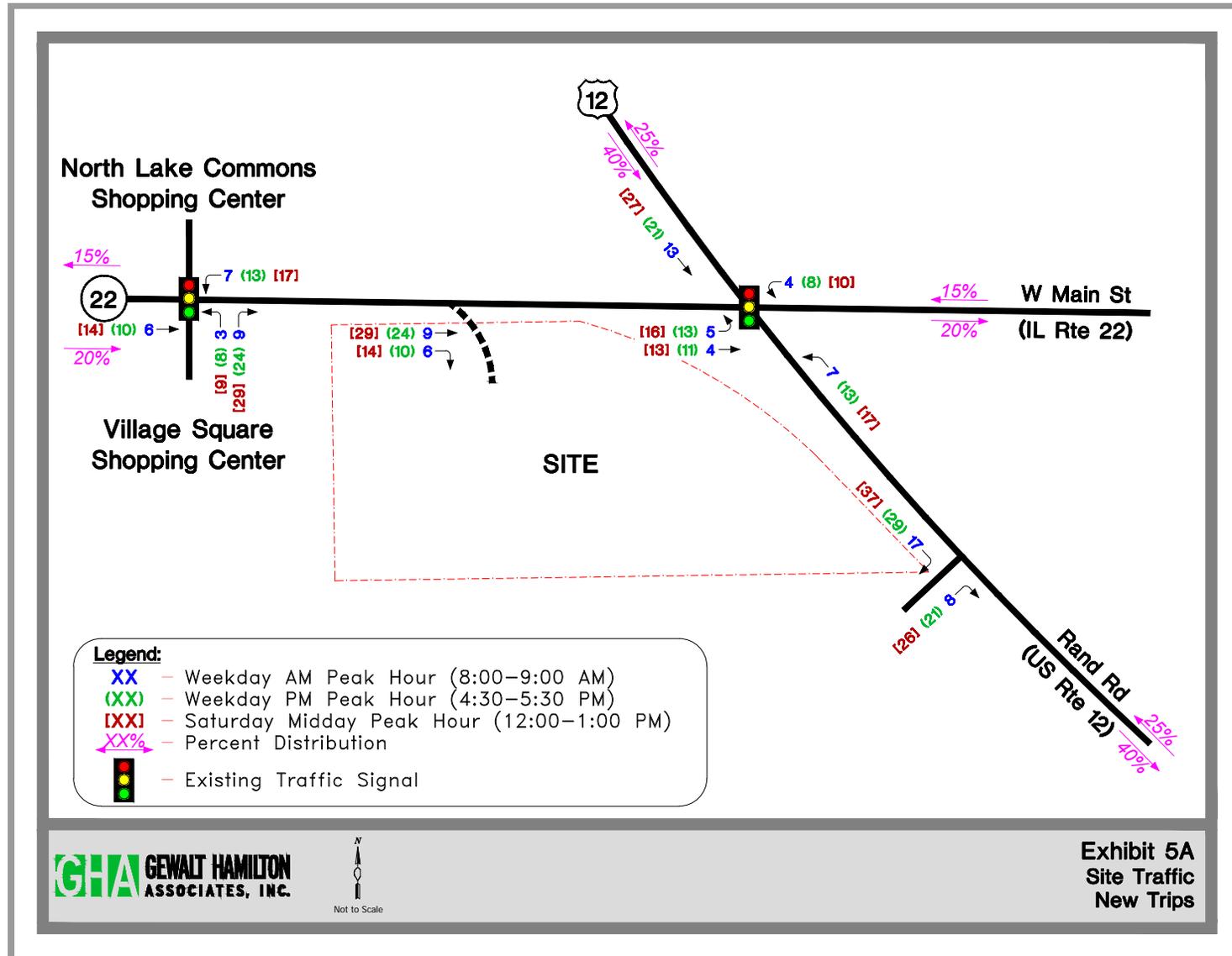
Table 3: Trip Distribution

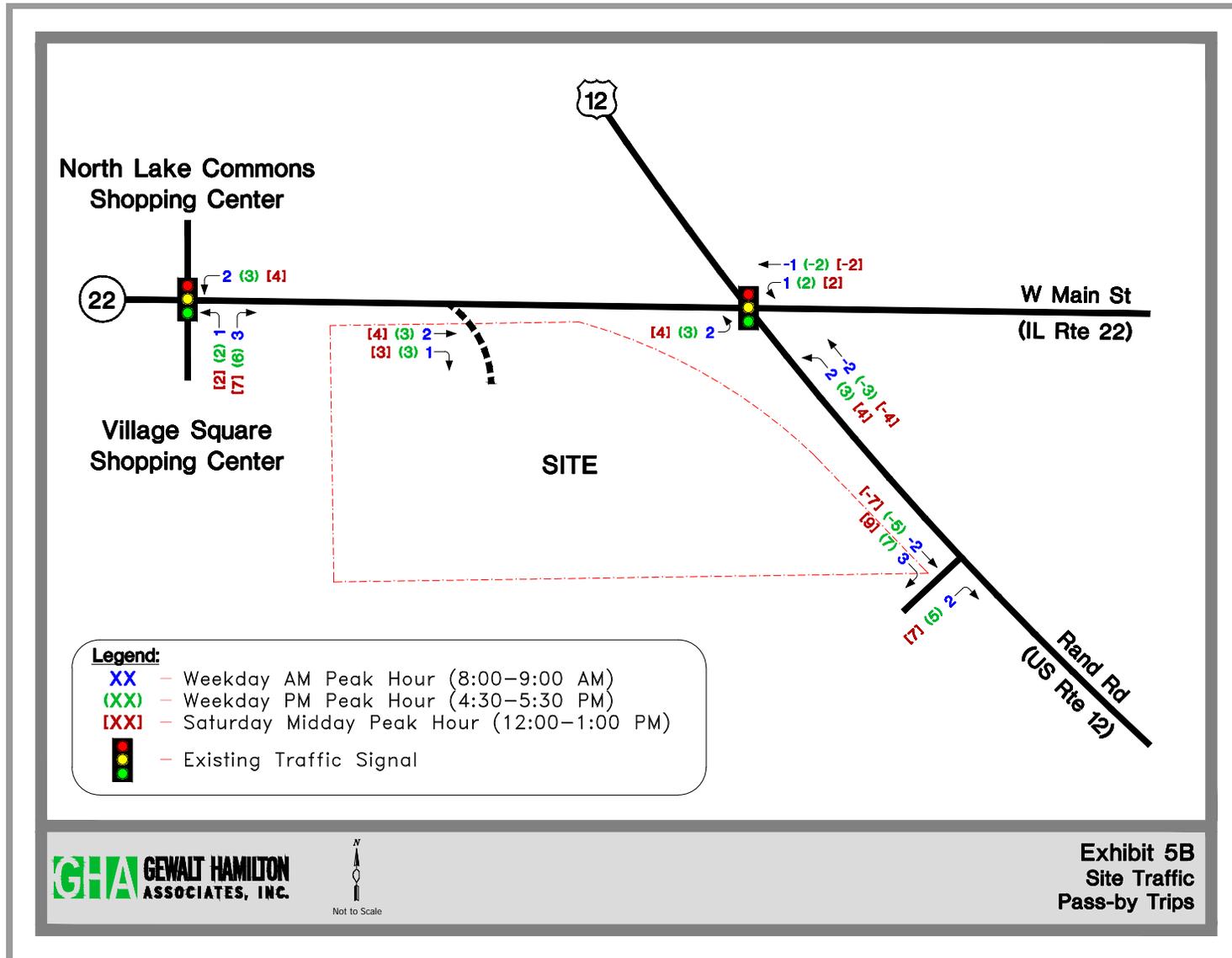
Route & Direction	Approach Site From	Depart Site To
Rand Road (US Route 12)		
North of IL Route 22	40%	25%
South of Site	25%	40%
W. Main Street (IL Route 22)		
East of US Route 12	15%	20%
West of Site	20%	15%
<i>Totals =</i>	<i>100%</i>	<i>100%</i>

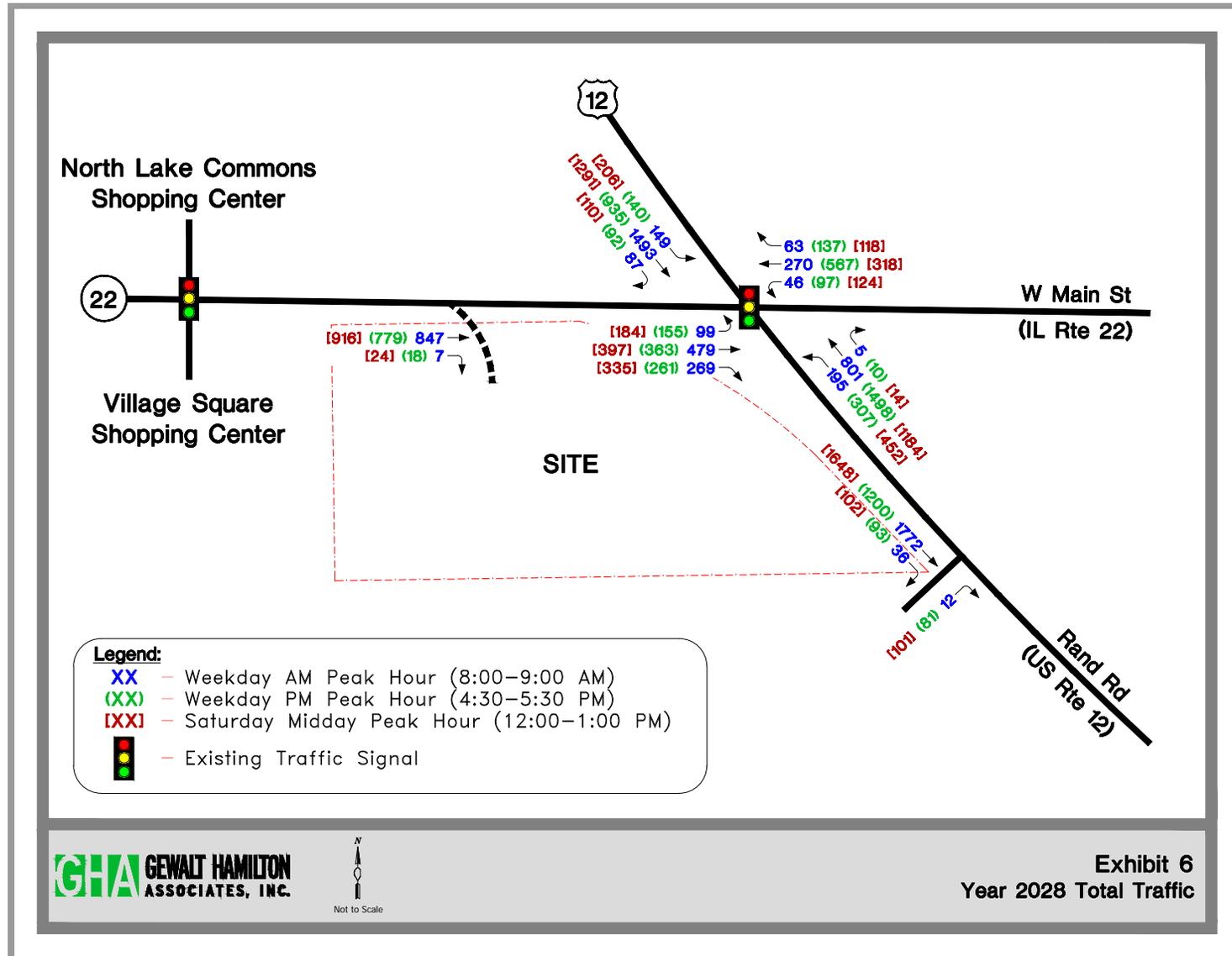
Site and Total Traffic Assignments

Exhibits 5A and *5B* illustrate the site traffic assignment for the *Chase Bank* trips (new and pass-by respectively), which is based on the traffic characteristics summarized in *Tables 2 and 3* (trip generation and trip distribution) and assigned to the area roadways. As previously noted, the proposed development is anticipated to open in late 2023. Therefore, we have considered the total impacts of the complete development for the year 2028, or buildout plus five years.

The site traffic (*Exhibits 5A* and *5B*) and year 2028 no-build traffic (*Exhibit 4*) were combined to produce the year 2028 total traffic, which is illustrated on *Exhibit 6*.







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Part IV. Evaluation

Capacity Analysis

Capacity analyses are a standard measurement that identifies how an intersection operates. They are measured in terms of Level of Service (LOS). The concept of LOS is defined as a qualitative measure describing operational conditions within a traffic stream and their perception by motorists and/or passengers. A level-of-service definition provides an index to quality of traffic flow in terms of such factors as speed, travel time, freedom to maneuver, traffic interruptions, comfort, convenience, and safety.

Six Levels of Service are defined for each type of facility. They are given letter designations from A to F, with LOS A representing the best operating conditions and LOS F the worst. LOS C is often considered acceptable for design purposes and LOS D is usually considered as providing the lower threshold of acceptable operations. Since the level of service is a function of the traffic flows placed upon it, the facility may operate at a wide range of levels of service, depending on the time of day, day of week or period of year. A description of the operating condition under each level of service, based on the analysis parameters as published in the Transportation Research Board's (TRB) Highway Capacity Manual (HCM), Sixth Edition, is provided in **Table 4**.

Table 4: Level of Service (LOS) Summary

LOS	Description	Delay (sec/vehicle)	
		Traffic Signal	Stop Sign
A	Describes conditions with little to no delay to motorists.	<10	< 10
B	Represents a desirable level with relatively low delay to motorists.	>10 and < 20	>10 and < 15
C	Describes conditions with average delays to motorists.	>20 and < 35	>15 and < 25
D	Describes operations where the influence of congestion becomes more noticeable. Delays are still within an acceptable range.	>35 and < 55	>25 and < 35
E	Represents operating conditions with high delay values. This level is often considered within urban settings or for minor streets intersecting major arterial roadways to be the limit of acceptable delay.	>55 and < 80	>35 and < 50
F	Is unacceptable to most drivers with high delay values that often occur when arrival flow rates exceed the capacity of the intersection.	>80	>50

Capacity analyses were performed at the Rand Road intersections with W. Main Street and the existing site access using the methodologies outlined in the HCM, for the following scenarios:

- *Existing Traffic* – Existing traffic (year 2022)
- *No-Build Traffic* – Future traffic (non-site, year 2028) with background growth
- *Total Traffic* – Future no-build traffic (year 2028) plus the addition of the *Chase Bank* generated traffic

Table 5 summarizes the intersection capacity and queue analysis results.

Capacity analysis summary printouts are provided in **Appendix G**.

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Table 5: Capacity Analyses Results Summary

Intersection / Timeframe / Scenario	Roadway Conditions	LOS Per Movement By Approach												Intersection / Approach	
		> = Shared Lane TTR=Through+Right - = Non Critical or not Allowed Movement												Delay (sec / veh)	LOS
		Eastbound			Westbound			Northbound			Southbound				
		LT	TH	RT	LT	TH	RT	LT	TH	TTR	LT	TH	RT		
1. Rand Road (US Route 12) at W. Main St (IL Route 22)	Traffic Signal	Eastbound			Westbound			Northbound			Southbound			Intersection Delay	
A. Weekday Morning Peak Hour															
Existing Traffic (See Exhibit 3)	• Current	D	D	D	D	D	D	E	A	A	E	B	B	27.7	C
	• 95th Queue Length (ft)	119	319	341	58	200	86	162	108	109	125	220	51		
2028 No-Build Traffic (See Exhibit 4)	• Current	D	D	D	D	D	D	E	A	A	E	B	B	28.0	C
	• 95th Queue Length (ft)	123	327	350	59	204	88	169	115	116	129	232	54		
2028 Total Traffic (See Exhibit 8)	• Current	D	D	D	D	D	D	E	A	A	E	B	B	28.5	C
	• 95th Queue Length (ft)	133	331	350	67	204	89	179	115	117	129	239	54		
B. Weekday Evening Peak Hour															
Existing Traffic (See Exhibit 3)	• Current	D	D	D	D	E	D	E	B	B	E	B	B	33.0	C
	• 95th Queue Length (ft)	188	246	320	119	402	195	242	274	283	129	203	71		
2028 No-Build Traffic (See Exhibit 4)	• Current	D	D	D	D	E	D	E	B	B	E	B	B	33.4	C
	• 95th Queue Length (ft)	192	251	328	122	413	199	249	290	301	133	213	74		
2028 Total Traffic (See Exhibit 8)	• Current	D	D	D	D	E	D	E	B	B	E	B	B	34.2	C
	• 95th Queue Length (ft)	213	259	326	137	415	200	263	295	305	133	223	75		
C. Saturday Midday Peak Hour															
Existing Traffic (See Exhibit 3)	• Current	D	D	D	D	D	D	E	B	B	E	C	B	32.7	C
	• 95th Queue Length (ft)	190	237	354	134	208	140	322	224	231	159	293	81		
2028 No-Build Traffic (See Exhibit 4)	• Current	D	D	D	D	D	D	E	B	B	E	C	B	33.4	C
	• 95th Queue Length (ft)	194	243	364	138	213	144	336	234	242	166	309	84		
2028 Total Traffic (See Exhibit 8)	• Current	D	D	D	D	D	D	F	B	B	E	C	B	35.2	D
	• 95th Queue Length (ft)	214	251	368	154	213	145	374	236	243	167	319	82		

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Table 5: Capacity Analyses Results Summary (cont.)

Intersection / Timeframe / Scenario	Roadway Conditions	LOS Per Movement By Approach												Intersection / Approach	
		> = Shared Lane						TTR=Through+Right						Delay (sec / veh)	LOS
		- = Non Critical or not Allowed Movement													
Eastbound	Westbound	Northbound	Southbound	Eastbound	Westbound	Northbound	Southbound	Eastbound	Westbound	Northbound	Southbound				
LT TH RT	LT TH RT	LT TH RT	LT TH TTR	LT TH RT	LT TH RT	LT TH RT	LT TH TTR	LT TH RT	LT TH RT	LT TH RT	LT TH TTR				
2. Rand Road (US Route 12) at Site (Village Square) Access	TWSC - EB Stop	Eastbound	Westbound	Northbound	Southbound								Eastbound Approach Delay		
A. Weekday Morning Peak Hour															
Existing Traffic (See Exhibit 3)	• Current	- - C	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	20.2	C		
	• 95th Queue Length (ft)	- - 0	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -				
2028 No-Build Traffic (See Exhibit 4)	• Current	- - C	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	20.8	C		
	• 95th Queue Length (ft)	- - 0	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -				
2028 Total Traffic (See Exhibit 6)	• Current	- - C	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	21.8	C		
	• 95th Queue Length (ft)	- - 5	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -				
B. Weekday Evening Peak Hour															
Existing Traffic (See Exhibit 3)	• Current	- - C	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	16.9	C		
	• 95th Queue Length (ft)	- - 15	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -				
2028 No-Build Traffic (See Exhibit 4)	• Current	- - C	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	17.3	C		
	• 95th Queue Length (ft)	- - 15	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -				
2028 Total Traffic (See Exhibit 6)	• Current	- - C	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	19.0	C		
	• 95th Queue Length (ft)	- - 25	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -				
C. Saturday Midday Peak Hour															
Existing Traffic (See Exhibit 3)	• Current	- - C	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	24.6	C		
	• 95th Queue Length (ft)	- - 28	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -				
2028 No-Build Traffic (See Exhibit 4)	• Current	- - D	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	25.7	D		
	• 95th Queue Length (ft)	- - 30	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -				
2028 Total Traffic (See Exhibit 6)	• Current	- - D	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	31.9	D		
	• 95th Queue Length (ft)	- - 55	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -	- - -				

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The following summarizes the findings of the Capacity Analyses.

Rand Road (US Route 12) at W. Main Street (IL Route 22)

Under existing and future year 2028 (no-build and total) traffic conditions, the signalized intersection operates, or is anticipated to operate, at an overall "design" LOS C during both weekday peak hours. Under existing and future year 2028 no-build traffic conditions, the intersection operates, or is anticipated to operate, at an overall LOS C during the Saturday midday peak hour. There are some individual movements that experience longer than desirable delays, particularly left turns along Rand Road. With the addition of site traffic, the intersection is expected to continue to operate at or above the acceptable LOS D.

Rand Road (US Route 12) at Site (Village Square) Access

Under existing and future year 2028 (no-build and total) traffic conditions, the stop-controlled movement at the site access driveway operates, or is anticipated to operate, at a design "LOS C" during both weekday peak hours. During the Saturday midday peak hour, the stop-controlled movement is expected to operate at or above the acceptable LOS D or better under existing and future year 2028 (no-build and total) traffic conditions. No improvements are necessary to accommodate the proposed development traffic at this location.

W. Main Street (IL Route 22) at Site (Village Square) Access

The existing driveway for the site along W. Main Street is located approximately 150 feet west of the stop bar for the Rand Road intersection. The right-turn lane for eastbound W. Main Street at Rand Road has a storage length of approximately 435 feet. Under existing and future year 2028 (no-build and total) traffic conditions, the 95th percentile queue length for the eastbound right-turn movement at Rand Road is between 326 feet and 368 feet during all three peak hours, which is about 13 to 15 vehicles. Thus, the proposed right turn queues at Rand Road may impede access to the site driveway at certain times. However, by converting the driveway to right-in only, there are no more conflicts for exiting vehicles trying to maneuver through or into the right-turn queue, which may cause additional delays or safety concerns.

Parking Adequacy

Per § 9-10-1 of the Lake Zurich Village Code, a final institution is required to have one (1) parking space for each 250 square feet of net floor area. Thus, for the proposed 6,226 square foot *Chase* facility, a total of 25 parking spaces would be required. Per the Site Plan (see *Appendix E*), the proposed *Chase* facility will provide 45 parking spaces, including 2 ADA accessible spaces. Accordingly, the proposed parking supply exceeds the Village Code by 20 spaces.

Part V. Recommendations and Conclusions

A traffic and parking analysis was performed for the proposed *Chase* bank facility at 455 S. Rand Road, on the southwest quadrant of Rand Road and W. Main Street in Lake Zurich, Illinois. Our analyses have concluded that the proposed development's additional traffic volumes can be accommodated by the adjacent roadway network without any further modifications necessary. In addition, the proposed parking supply of 45 spaces exceeds the Village's requirements for the proposed banking facility.

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Part VI. Technical Addendum

The following Appendices were previously referenced. They provide technical support for our observations, findings and recommendations discussed in the text.

Appendices

- A. Photo Inventory
- B. Traffic Count Summary Sheets
- C. CMAP Correspondence
- D. Crash Map
- E. Site Plan
- F. ITE Trip Generation Manual and Trip Generation Handbook Excerpts
- G. Capacity Analysis Worksheets

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APPENDIX A
Photo Inventory



*Proposed Chase Bank
455 S. Rand Road
Lake Zurich, IL*



Looking North along US 12 approaching IL 22



Looking South along US 12 approaching IL 22



Looking East along IL 22 approaching US 12



Looking West along IL 22 approaching US 12



Looking North at IL 22 from Site Access



Looking South across IL 22 at Site Access



Looking East along IL 22 approaching Site Access



Looking West across US 12 from IL 22



Looking North along US 12 approaching IL 22



Looking South along US 12 approaching Site Access



Looking East at US 12 from Site Access



Looking West across US 12 at Site Access





Looking North along western Site boundary



Looking South along western Site boundary



Looking East along southern Site boundary



Looking West along southern Site boundary



APPENDIX B
Traffic Count Summary Sheets



*Proposed Chase Bank
455 S. Rand Road
Lake Zurich, IL*

Count Name: IL 22 at US 12
 Site Code:
 Start Date: 04/07/2022
 Page No.: 1

Gewalt Hamilton Associates Inc.
 625 Forest Edge Drive
 Vernon Hills, Illinois, United States 60061
 (847) 478-9700 postel@gha-engineers.com

IL 22 at US 12
 4800, 124 Chase Lake Zurich
 6 AM - 9 AM; 3 PM - 6 PM
 GHA MO

Turning Movement Data

Start Time	IL 22										Rand										IL 22																			
	Southbound					Westbound					Northbound					Eastbound					Southbound					Westbound					Northbound					Eastbound				
	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total					
6:00 AM	1	20	334	5	360	0	3	16	2	21	0	12	99	0	111	0	5	58	24	87	0	5	58	24	87	0	5	58	24	87	0	5	58	24	87					
6:15 AM	0	10	381	9	400	0	5	20	6	31	1	17	117	1	136	1	9	79	41	130	1	9	79	41	130	1	9	79	41	130	1	9	79	41	130					
6:30 AM	1	36	398	8	443	0	5	32	10	47	0	26	178	1	205	0	4	119	32	155	0	4	119	32	155	0	4	119	32	155	0	4	119	32	155					
6:45 AM	2	26	353	15	396	0	5	47	10	62	1	25	138	0	164	0	9	112	42	163	0	9	112	42	163	0	9	112	42	163	0	9	112	42	163					
Hourly Total	4	92	1469	37	1599	0	18	115	28	161	2	80	532	2	616	1	27	368	139	535	2911	1	27	368	139	535	2911	1	27	368	139	535	2911	1	27	368	139	535		
7:00 AM	0	37	343	11	391	0	6	38	8	52	0	29	150	1	180	0	12	133	58	203	626	0	12	133	58	203	626	0	12	133	58	203	626	0	12	133	58	203		
7:15 AM	0	29	370	16	415	0	9	64	6	79	0	41	141	2	184	0	19	168	57	234	912	0	19	168	57	234	912	0	19	168	57	234	912	0	19	168	57	234		
7:30 AM	4	28	400	23	455	0	5	55	15	75	0	42	182	1	225	0	13	101	56	170	925	0	13	101	56	170	925	0	13	101	56	170	925	0	13	101	56	170		
7:45 AM	0	45	356	17	418	0	8	63	15	86	1	37	185	0	223	0	17	146	63	226	853	0	17	146	63	226	853	0	17	146	63	226	853	0	17	146	63	226		
Hourly Total	4	139	1469	67	1679	0	28	220	44	292	1	149	658	4	812	0	61	538	234	833	3616	0	61	538	234	833	3616	0	61	538	234	833	3616	0	61	538	234	833		
8:00 AM	0	31	409	19	459	0	4	54	10	68	2	34	187	2	225	0	23	121	58	202	954	0	23	121	58	202	954	0	23	121	58	202	954	0	23	121	58	202		
8:15 AM	3	32	331	15	381	0	5	62	11	78	2	37	195	1	235	0	21	131	83	235	929	0	21	131	83	235	929	0	21	131	83	235	929	0	21	131	83	235		
8:30 AM	2	37	364	23	426	0	14	72	22	108	2	46	188	1	237	0	24	118	57	196	967	0	24	118	57	196	967	0	24	118	57	196	967	0	24	118	57	196		
8:45 AM	2	45	332	27	406	0	17	75	18	110	0	64	209	1	274	0	24	91	63	178	968	0	24	91	63	178	968	0	24	91	63	178	968	0	24	91	63	178		
Hourly Total	7	145	1436	84	1672	0	40	263	61	364	6	181	779	5	971	0	89	461	261	811	3818	0	89	461	261	811	3818	0	89	461	261	811	3818	0	89	461	261	811		
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-					
3:00 PM	0	25	160	20	205	1	18	132	19	170	0	60	297	1	358	0	29	71	71	171	904	0	29	71	71	171	904	0	29	71	71	171	904	0	29	71	71	171		
3:15 PM	0	28	230	26	284	0	15	111	14	140	0	69	342	0	411	0	28	77	53	158	893	0	28	77	53	158	893	0	28	77	53	158	893	0	28	77	53	158		
3:30 PM	0	42	233	24	299	1	15	152	0	168	0	81	349	5	435	0	34	86	47	167	1069	0	34	86	47	167	1069	0	34	86	47	167	1069	0	34	86	47	167		
3:45 PM	1	45	260	19	325	3	13	118	11	145	1	72	350	3	426	0	36	76	63	175	1071	0	36	76	63	175	1071	0	36	76	63	175	1071	0	36	76	63	175		
Hourly Total	1	140	883	89	1113	5	61	513	44	623	1	282	1338	9	1630	0	127	310	234	671	4037	0	127	310	234	671	4037	0	127	310	234	671	4037	0	127	310	234	671		
4:00 PM	0	31	198	26	255	3	14	130	26	173	1	64	397	5	467	0	15	84	42	141	1036	0	15	84	42	141	1036	0	15	84	42	141	1036	0	15	84	42	141		
4:15 PM	0	26	238	29	293	0	23	114	38	175	2	62	349	5	418	0	41	78	61	180	1066	0	41	78	61	180	1066	0	41	78	61	180	1066	0	41	78	61	180		
4:30 PM	1	32	219	27	279	0	15	136	35	186	3	61	376	1	441	1	28	77	62	168	1074	1	28	77	62	168	1074	1	28	77	62	168	1074	1	28	77	62	168		
4:45 PM	0	39	239	25	303	2	15	147	20	184	3	59	346	3	413	0	29	72	46	147	1047	0	29	72	46	147	1047	0	29	72	46	147	1047	0	29	72	46	147		
Hourly Total	1	128	894	107	1130	5	67	527	119	718	9	246	1470	14	1759	1	113	311	211	636	4223	1	113	311	211	636	4223	1	113	311	211	636	4223	1	113	311	211	636		
5:00 PM	2	34	222	22	280	0	29	122	43	194	0	72	364	2	438	0	40	97	72	209	1121	0	40	97	72	209	1121	0	40	97	72	209	1121	0	40	97	72	209		
5:15 PM	2	31	207	15	255	0	25	147	35	207	0	90	369	4	463	0	38	96	73	207	1132	0	38	96	73	207	1132	0	38	96	73	207	1132	0	38	96	73	207		
5:30 PM	2	34	208	22	266	1	22	104	37	164	0	70	353	2	425	0	43	96	66	205	1080	0	43	96	66	205	1080	0	43	96	66	205	1080	0	43	96	66	205		
5:45 PM	1	34	206	21	262	0	17	122	37	176	0	70	339	2	411	0	34	86	69	189	1038	0	34	86	69	189	1038	0	34	86	69	189	1038	0	34	86	69	189		
Hourly Total	7	133	843	80	1063	1	93	485	152	741	1	302	1425	10	1737	0	155	375	280	810	4351	0	155	375	280	810	4351	0	155	375	280	810	4351	0	155	375	280	810		
Grand Total	24	777	6991	464	8256	11	307	2133	448	2899	19	1240	6202	44	7505	2	572	2363	1359	4296	22956	2	572	2363	1359	4296	22956	2	572	2363	1359	4296	22956	2	572	2363	1359	4296		
Approach %	0.3	9.4	84.7	5.6	-	0.4	10.6	73.6	15.5	-	0.3	16.5	82.6	0.6	-	0.0	13.3	55.0	31.6	-	-	0.0	13.3	55.0	31.6	-	-	0.0	13.3	55.0	31.6	-	-	0.0	13.3	55.0	31.6			
Total %	0.1	3.4	30.5	2.0	36.0	0.0	1.3	9.3	2.0	12.6	0.1	5.4	27.0	0.2	32.7	0.0	2.5	10.3	5.9	18.7	-	0.0	2.5	10.3	5.9	18.7	-	0.0	2.5	10.3	5.9	18.7	-	0.0	2.5	10.3	5.9			
Lights	24	728	6658	450	7660	11	300	2069	422	2802	19	1193	5887	38	7137	2	557	2306	1326	4191	21990	2	557	2306	1326	4191	21990	2	557	2306	1326	4191	21990	2	557	2306	1326	4191		
% Lights	100.0	93.2	97.0	95.2	97.0	100.0	97.7	9																																

% Articulated Trucks	0.0	2.4	2.4	0.9	2.3	0.0	1.3	0.8	2.2	1.1	0.0	1.3	2.6	11.4	2.4	0.0	0.5	1.1	0.8	0.9	1.9
Bicycles on Road	0	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	1
% Bicycles on Road	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0

Appendix B | P2

Count Name: IL 22 at site access
 Site Code:
 Start Date: 04/07/2022
 Page No.: 1

Gewalt Hamilton Associates Inc.
 625 Forest Edge Drive
 Vernon Hills, Illinois, United States 60061
 (847) 478-9700 poster@gha-engineers.com

IL 22 at site access
 4800, 124 Chase Lake Zurich
 6 AM - 9 AM; 3 PM - 6 PM
 GHA MO

Turning Movement Data

Start Time	IL 22 Westbound				IL 22 Eastbound				Int. Total
	Access Northbound				Access Southbound				
	U-Turn	Left	Thru	App. Total	U-Turn	Right	Thru	App. Total	
6:00 AM	0	0	0	0	0	0	88	0	88
6:15 AM	0	0	0	0	0	0	128	0	128
6:30 AM	0	0	0	0	0	0	157	0	157
6:45 AM	0	0	0	0	0	0	160	0	160
Hourly Total	0	0	0	0	0	0	533	0	533
7:00 AM	0	0	0	0	0	0	201	0	201
7:15 AM	0	0	0	0	0	0	228	1	230
7:30 AM	0	0	0	0	0	0	173	0	173
7:45 AM	0	0	0	0	0	0	220	1	221
Hourly Total	0	0	0	0	0	0	823	2	825
8:00 AM	0	0	0	0	0	0	209	0	209
8:15 AM	0	0	0	0	0	0	225	0	225
8:30 AM	0	0	0	0	0	0	195	0	195
8:45 AM	0	0	0	0	0	0	178	0	178
Hourly Total	0	0	0	0	0	0	807	0	807
BREAK	-	-	-	-	-	-	-	-	-
3:00 PM	0	0	0	0	0	0	163	0	163
3:15 PM	0	0	0	0	0	0	171	0	171
3:30 PM	0	0	0	0	0	0	163	0	163
3:45 PM	0	0	0	0	0	0	170	0	170
Hourly Total	0	0	0	0	0	0	667	0	667
4:00 PM	0	0	0	0	0	0	144	0	144
4:15 PM	0	0	0	0	0	0	178	2	180
4:30 PM	0	0	0	0	0	0	165	2	167
4:45 PM	0	0	0	0	0	0	151	0	151
Hourly Total	0	0	0	0	0	0	638	4	642
5:00 PM	0	0	0	0	0	0	195	2	197
5:15 PM	0	0	0	0	0	0	198	1	199
5:30 PM	0	0	0	0	0	0	194	0	194
5:45 PM	0	0	0	0	0	0	181	0	181
Hourly Total	0	0	0	0	0	0	768	3	771
Grand Total	0	0	0	0	0	0	4236	9	4245
Approach %	0.0	0.0	0.0	0.0	0.0	0.0	98.8	0.2	99.0
Total %	0.0	0.0	0.0	0.0	0.0	0.0	98.6	0.2	98.8
Lights	0	0	0	0	0	0	4123	9	4132
% Lights	-	-	-	100.0	100.0	100.0	97.3	100.0	97.3
Medians	0	0	0	0	0	0	72	0	72
% Medians	-	-	-	0.0	0.0	0.0	1.7	0.0	1.7
Articulated Trucks	0	0	0	0	0	0	41	0	41

Count Name: IL 22 at access SAT
 Site Code:
 Start Date: 04/09/2022
 Page No.: 1

Gewalt Hamilton Associates Inc.
 625 Forest Edge Drive
 Vernon Hills, Illinois, United States 60061
 (847) 478-9700 poster@gha-engineers.com

IL 22 at access SAT
 4800 124 Chase Lake Zurich
 9 AM - 1 PM
 GHA Mo

Turning Movement Data

Start Time	Main Westbound			Main Eastbound			Access Northbound			Access Southbound			Int. Total
	U-Turn	Left	Thru	U-Turn	Right	Thru	U-Turn	Left	Thru	U-Turn	Right	Thru	
9:00 AM	0	0	103	0	0	124	0	0	0	0	0	124	229
9:15 AM	0	0	112	0	0	147	0	0	0	0	0	147	261
9:30 AM	0	0	127	0	0	175	0	0	0	0	0	175	304
9:45 AM	0	0	113	0	0	204	0	0	0	0	0	204	321
Hourly Total	0	0	455	0	0	650	0	0	0	0	0	650	1115
10:00 AM	0	0	162	0	0	177	0	0	0	0	0	177	344
10:15 AM	0	0	144	0	0	186	0	0	0	0	0	186	345
10:30 AM	0	0	156	0	0	210	0	0	0	0	0	210	388
10:45 AM	0	0	155	0	0	220	0	0	0	0	0	220	379
Hourly Total	0	0	617	0	0	803	0	0	0	0	0	803	1436
11:00 AM	0	0	141	0	0	206	0	0	0	0	0	206	349
11:15 AM	0	0	164	0	0	214	0	0	0	0	0	214	387
11:30 AM	0	0	145	0	0	218	0	0	0	0	0	218	369
11:45 AM	0	0	192	0	0	235	0	0	0	0	0	235	436
Hourly Total	0	0	642	0	0	873	0	0	0	0	0	873	1541
12:00 PM	0	0	183	0	0	189	0	0	0	0	0	189	375
12:15 PM	0	0	173	0	0	217	0	0	0	0	0	217	402
12:30 PM	0	0	188	0	0	212	0	0	0	0	0	212	407
12:45 PM	0	0	163	0	0	192	0	0	0	0	0	192	360
Hourly Total	0	0	707	0	0	810	0	0	0	0	0	810	1544
Grand Total	0	0	2421	0	0	3136	0	0	0	0	0	3136	5636
Approach %	0.0	0.0	100.0	0.0	0.0	100.0	0.0	0.0	0.0	0.0	0.0	100.0	-
Total %	0.0	0.0	43.0	0.0	0.0	55.6	0.0	0.0	0.0	0.0	0.0	55.9	-
Lights	0	0	2395	0	0	3102	0	0	0	0	0	3102	5576
% Lights	-	-	98.9	-	-	100.0	-	-	-	-	-	98.9	98.9
Mediums	0	0	16	0	0	25	0	0	0	0	0	25	41
% Mediums	-	-	0.7	-	-	0.8	-	-	-	-	-	0.8	0.7
Articulated Trucks	0	0	10	0	0	9	0	0	0	0	0	9	19
% Articulated Trucks	-	-	0.4	-	-	0.3	-	-	-	-	-	0.3	0.3
Bicycles on Road	0	0	0	0	0	0	0	0	0	0	0	0	0
% Bicycles on Road	-	-	0.0	-	-	0.0	-	-	-	-	-	0.0	0.0

Count Name: US 12 at Site Access
 Site Code:
 Start Date: 04/07/2022
 Page No.: 1

Gewalt Hamilton Associates Inc.
 625 Forest Edge Drive
 Vernon Hills, Illinois, United States 60061
 (847) 478-9700 poster@gha-engineers.com

US 12 at Site Access
 4800 124 Chase Lake Zurich
 6 AM - 9 AM; 3 PM - 6 PM
 GHA MO

Turning Movement Data

Start Time	US 12 Southbound				US 12 Northbound				Access Eastbound				
	U-Turn	Thru	Right	App. Total	U-Turn	Thru	Left	App. Total	U-Turn	Left	Right	App. Total	Int. Total
6:00 AM	0	384	0	384	0	0	0	0	0	0	0	0	384
6:15 AM	0	442	0	442	0	0	0	0	0	0	0	0	442
6:30 AM	0	451	0	451	0	0	0	0	0	0	0	0	451
6:45 AM	0	414	3	417	0	0	0	0	0	0	0	0	417
Hourly Total	0	1691	3	1694	0	0	0	0	0	0	0	0	1694
7:00 AM	0	459	3	462	0	0	0	0	0	0	1	1	463
7:15 AM	0	489	1	490	0	0	0	0	0	0	2	2	492
7:30 AM	0	534	0	534	0	0	0	0	0	0	0	0	534
7:45 AM	0	471	2	473	0	0	0	0	0	0	1	1	474
Hourly Total	0	1953	6	1959	0	0	0	0	0	0	4	4	1963
8:00 AM	0	510	1	511	0	0	0	0	0	0	0	0	511
8:15 AM	0	441	5	446	0	0	0	0	0	0	1	1	447
8:30 AM	0	463	4	467	0	0	0	0	0	0	0	0	467
8:45 AM	0	440	6	446	0	0	0	0	0	0	1	1	447
Hourly Total	0	1854	16	1870	0	0	0	0	0	0	2	2	1872
BREAK	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM	0	260	8	268	0	0	0	0	0	0	12	12	280
3:15 PM	0	308	12	320	0	0	0	0	0	0	8	8	328
3:30 PM	0	304	8	312	0	0	0	0	0	0	9	9	321
3:45 PM	0	354	9	363	0	0	0	0	0	0	8	8	371
Hourly Total	0	1226	37	1263	0	0	0	0	0	0	37	37	1300
4:00 PM	0	277	8	285	0	0	0	0	0	0	4	4	289
4:15 PM	0	343	10	353	0	0	0	0	0	0	8	8	361
4:30 PM	0	323	13	336	0	0	0	0	0	0	15	15	351
4:45 PM	0	326	11	337	0	0	0	0	0	0	11	11	346
Hourly Total	0	1269	42	1311	0	0	0	0	0	0	38	38	1349
5:00 PM	0	339	17	356	0	0	0	0	0	0	11	11	367
5:15 PM	0	327	16	343	0	0	0	0	0	0	18	18	361
5:30 PM	0	306	11	317	0	0	0	0	0	0	14	14	331
5:45 PM	0	326	10	336	0	0	0	0	0	0	10	10	346
Hourly Total	0	1298	54	1352	0	0	0	0	0	0	53	53	1405
Grand Total	0	9291	158	9449	0	0	0	0	0	0	134	134	9583
Approach %	0.0	98.3	1.7	-	0.0	0.0	0.0	-	0.0	0.0	100.0	-	-
Total %	0.0	97.0	1.6	98.6	0.0	0.0	0.0	0.0	0.0	0.0	1.4	1.4	-
Lights	0	8888	157	9045	0	0	0	0	0	0	133	133	9178
% Lights	-	95.7	99.4	95.7	-	-	-	-	-	-	99.3	99.3	95.8
Medians	0	194	0	194	0	0	0	0	0	0	1	1	195
% Medians	-	2.1	0.0	2.1	-	-	-	-	-	-	0.7	0.7	2.0
Articulated Trucks	0	209	1	210	0	0	0	0	0	0	0	0	210

Count Name: US 12 at access SAT
 Site Code:
 Start Date: 04/09/2022
 Page No.: 1

Gewalt Hamilton Associates Inc.
 625 Forest Edge Drive
 Vernon Hills, Illinois, United States 60061
 (847) 478-9700 poster@gha-engineers.com

US 12 at access SAT
 4800 124 Chase Lake Zurich
 9 AM - 1 PM
 GHA MO

Turning Movement Data

Start Time	US 12 Southbound				US 12 Northbound				Access Eastbound				
	U-Turn	Thru	Right	App. Total	U-Turn	Thru	Left	App. Total	U-Turn	Left	Right	App. Total	Int. Total
9:00 AM	0	314	8	322	0	0	217	217	0	0	6	6	545
9:15 AM	0	380	3	383	0	0	221	221	0	0	6	6	610
9:30 AM	0	380	10	400	0	0	234	234	0	0	5	5	639
9:45 AM	0	433	9	442	0	0	234	234	0	0	10	10	686
Hourly Total	0	1517	30	1547	0	0	906	906	0	0	27	27	2480
10:00 AM	0	359	12	371	0	0	270	270	0	0	10	10	651
10:15 AM	0	426	9	435	0	0	306	306	0	0	7	7	748
10:30 AM	0	379	10	389	0	0	355	355	0	0	10	10	754
10:45 AM	0	412	13	425	0	0	343	343	0	0	26	26	794
Hourly Total	0	1576	44	1620	0	0	1274	1274	0	0	53	53	2947
11:00 AM	0	397	11	408	0	0	349	349	0	0	23	23	780
11:15 AM	0	408	15	423	0	0	370	370	0	0	13	13	806
11:30 AM	0	380	12	392	0	0	391	391	0	0	19	19	802
11:45 AM	0	387	16	403	0	0	414	414	0	0	13	13	830
Hourly Total	0	1572	54	1626	0	0	1524	1524	0	0	68	68	3218
12:00 PM	0	432	16	448	0	0	366	366	0	0	22	22	856
12:15 PM	0	464	18	482	0	0	368	368	0	0	13	13	853
12:30 PM	0	443	12	455	0	0	359	359	0	0	20	20	834
12:45 PM	0	373	10	383	0	0	379	379	0	0	13	13	775
Hourly Total	0	1712	56	1768	0	0	1482	1482	0	0	68	68	3318
Grand Total	0	6377	184	6561	0	0	5186	5186	0	0	216	216	11963
Approach %	0.0	97.2	2.8	-	0.0	0.0	100.0	-	0.0	0.0	100.0	-	-
Total %	0.0	53.3	1.5	54.8	0.0	0.0	43.4	43.4	0.0	0.0	1.8	1.8	-
Lights	0	6288	184	6472	0	0	5083	5083	0	0	215	215	11770
% Lights	-	98.6	100.0	98.6	-	-	98.0	98.0	-	-	99.5	99.5	98.4
Mediums	0	45	0	45	0	0	71	71	0	0	1	1	117
% Mediums	-	0.7	0.0	0.7	-	-	1.4	1.4	-	-	0.5	0.5	1.0
Articulated Trucks	0	44	0	44	0	0	31	31	0	0	0	0	75
% Articulated Trucks	-	0.7	0.0	0.7	-	-	0.6	0.6	-	-	0.0	0.0	0.6
Bicycles on Road	0	0	0	0	0	0	1	1	0	0	0	0	1
% Bicycles on Road	-	0.0	0.0	0.0	-	-	0.0	0.0	-	-	0.0	0.0	0.0

APPENDIX C
CMAP Correspondence



*Proposed Chase Bank
455 S. Rand Road
Lake Zurich, IL*



Chicago Metropolitan Agency for Planning

433 West Van Buren Street
 Suite 450
 Chicago, IL 60607
 312-454-0400
 cmap.illinois.gov

March 28, 2022

Anthony Maravillas
 Traffic Engineer
 Gewalt Hamilton Associates
 625 Forest Edge Drive
 Vernon Hills, IL 60661

Subject: IL 22 @ US 12
 IDOT

Dear Mr. Maravillas:

In response to a request made on your behalf and dated March 28, 2022, we have developed year 2050 average daily traffic (ADT) projections for the subject location.

ROAD SEGMENT	Current ADT	Year 2050 ADT
IL 22 east of US 12	12,500	14,400
IL 22 west of US 12	13,700	15,800
US 12 north of IL 22	37,300	42,900
US 12 south of IL 22	38,400	44,200

Traffic projections are developed using existing ADT data provided in the request letter and the results from the December 2021 CMAP Travel Demand Analysis. The regional travel model uses CMAP 2050 socioeconomic projections and assumes the implementation of the ON TO 2050 Comprehensive Regional Plan for the Northeastern Illinois area. The provision of this data in support of your request does not constitute a CMAP endorsement of the proposed development or any subsequent developments.

If you have any questions, please call me at (312) 386-8806.

Sincerely,

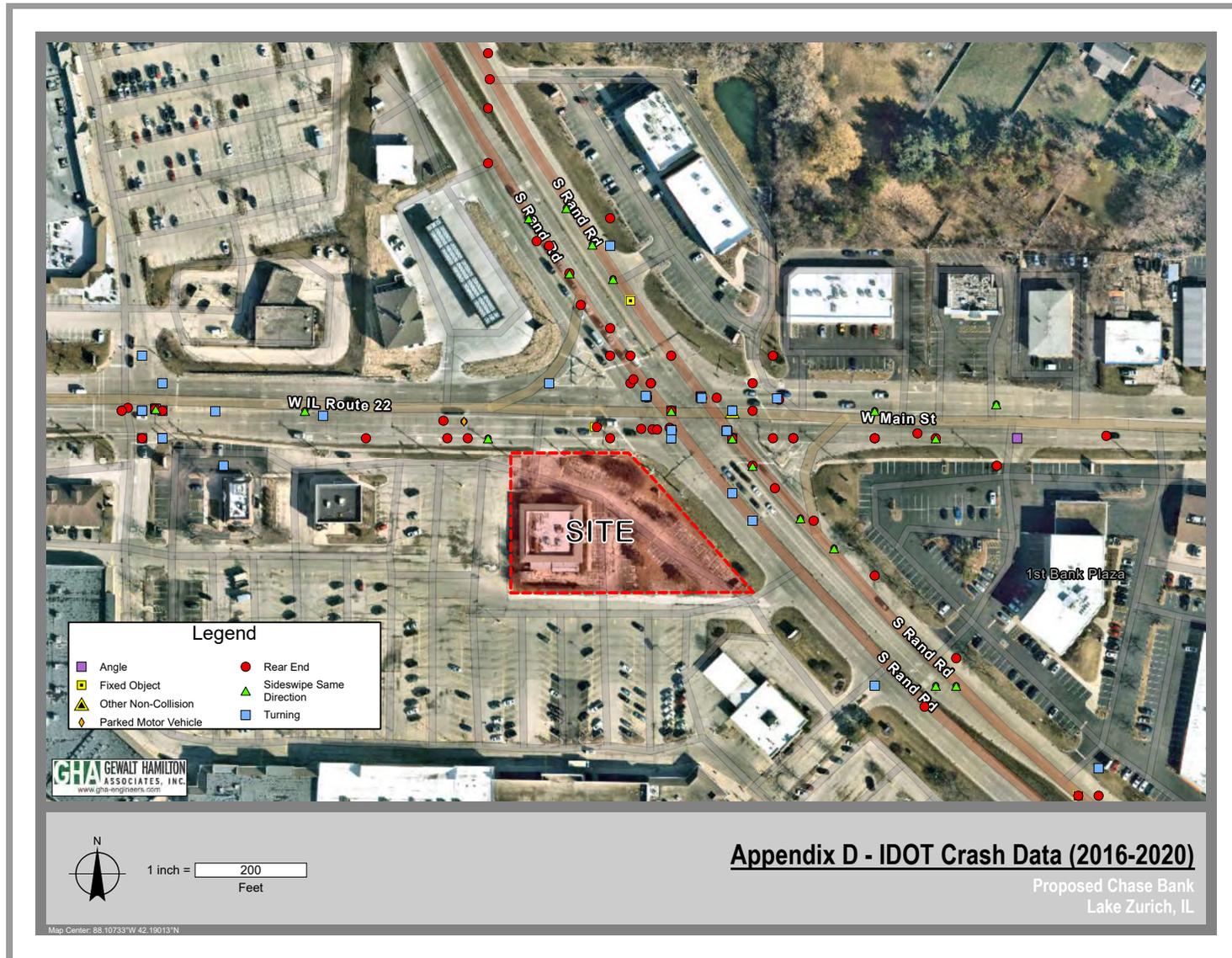
Jose Rodriguez, PTP, AICP
 Senior Planner, Research & Analysis

cc: Rios (IDOT)
 2022_ForecastTraffic\LakeZurich\la-17-22\la-17-22.docx

APPENDIX D
Crash Map



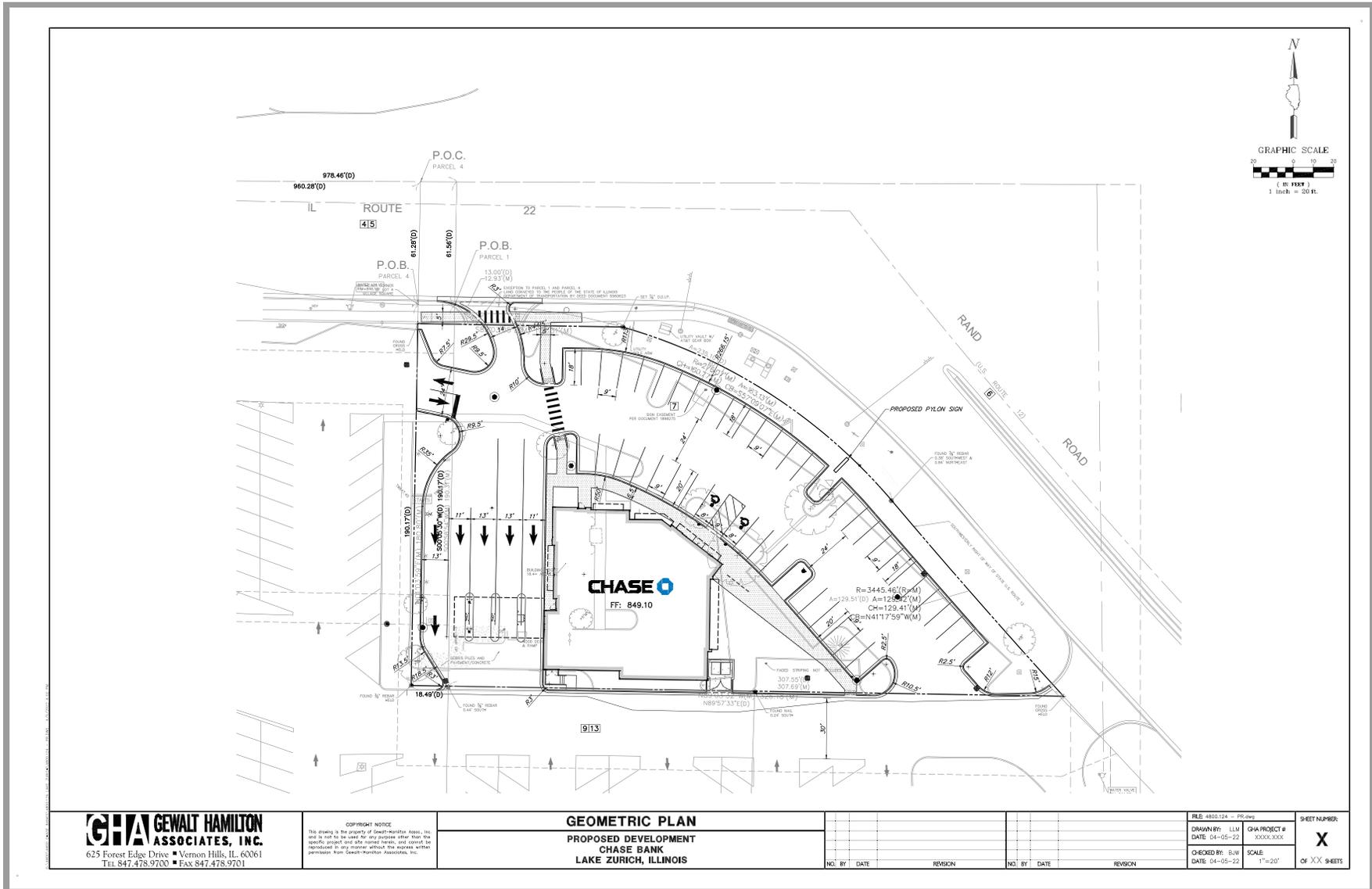
*Proposed Chase Bank
455 S. Rand Road
Lake Zurich, IL*



APPENDIX E
Site Plan



*Proposed Chase Bank
455 S. Rand Road
Lake Zurich, IL*



GHA GEWALT HAMILTON ASSOCIATES, INC.
 625 Forest Edge Drive • Vernon Hills, IL 60061
 TEL 847.478.9700 • FAX 847.478.9701

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GEOMETRIC PLAN
PROPOSED DEVELOPMENT
CHASE BANK
LAKE ZURICH, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 4800.124 - PG.dwg
 DRAWN BY: LLM
 DATE: 04-05-22
 GHA PROJECT #: XXXX.XXXX
 CHECKED BY: ELW
 DATE: 04-05-22
 SCALE: 1"=20'

SHEET NUMBER:
X
 OF XX SHEETS

APPENDIX F
ITE Trip Generation Manual and Trip Generation Handbook Excerpts



*Proposed Chase Bank
455 S. Rand Road
Lake Zurich, IL*

Land Use: 912 Drive-in Bank

Description

A bank is a financial institution that can offer a wide variety of financial services. A drive-in bank provides banking services for a motorist through a teller station. A drive-in bank may also serve patrons who walk into the building. The drive-in lanes may or may not provide an automatic teller machine (ATM). Walk-in bank (Land Use 911) is a related use.

Additional Data

The independent variable—drive-in lanes—refers to all lanes at a banking facility used for financial transactions, including ATM-only lanes.

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 2000s and the 2010s in Colorado, Kentucky, Minnesota, Nebraska, New Jersey, New York, Oregon, Pennsylvania, Texas, Vermont, Virginia, Washington, and Wisconsin.

To assist in the future analysis of this land use, it is important that Friday data be collected and reported separately from weekday data. It is also important to specify the date and month of the data collection period and the number of drive-through lanes that are open at the time of the study.

Source Numbers

535, 539, 553, 555, 573, 577, 600, 624, 626, 629, 630, 637, 656, 657, 710, 724, 728, 866, 869, 883, 884, 927, 935, 961, 1047



Drive-in Bank (912)

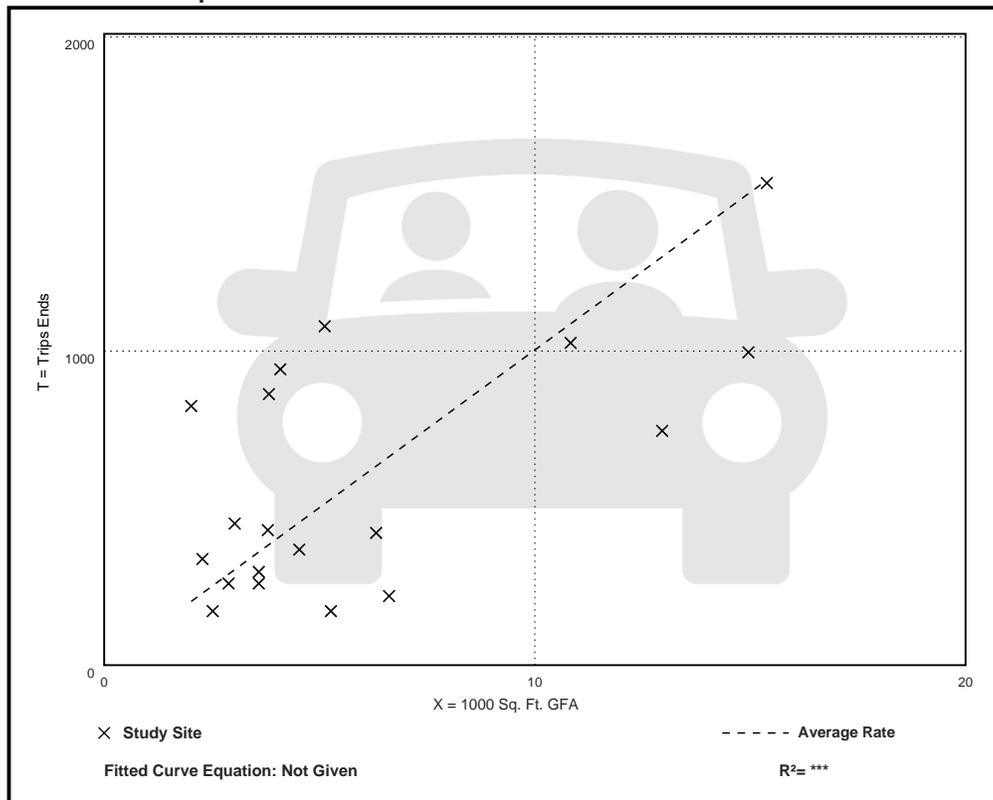
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 19
Avg. 1000 Sq. Ft. GFA: 6
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
100.35	32.67 - 408.42	68.62

Data Plot and Equation



Drive-in Bank (912)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: **Weekday,**

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 44

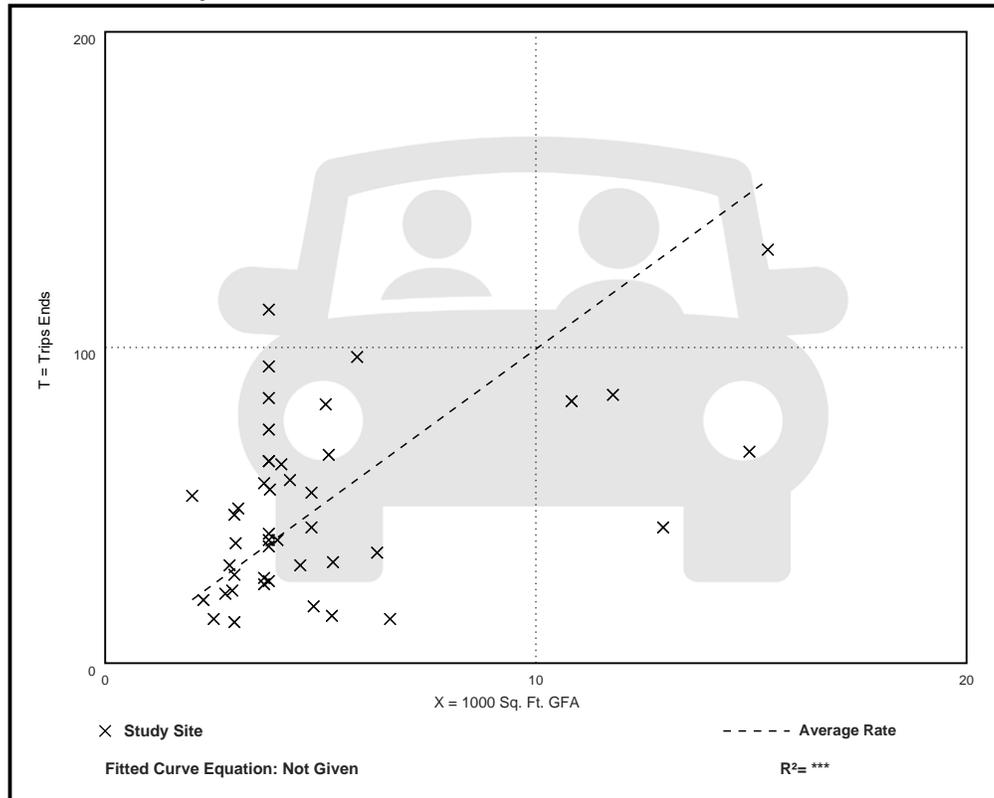
Avg. 1000 Sq. Ft. GFA: 5

Directional Distribution: 58% entering, 42% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
9.95	2.12 - 29.47	6.00

Data Plot and Equation



General Urban/Suburban and Rural (Land Uses 800-999) **599**

Appendix F | P3

Drive-in Bank (912)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: **Weekday,**

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 114

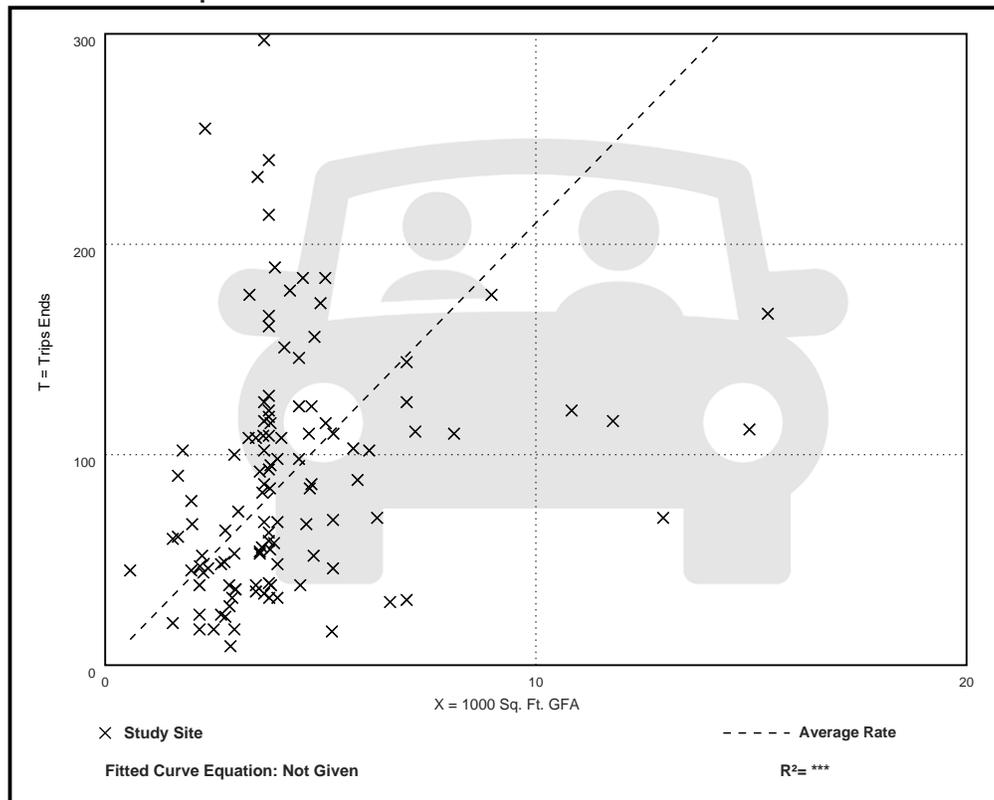
Avg. 1000 Sq. Ft. GFA: 4

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
21.01	3.04 - 109.91	15.13

Data Plot and Equation



Drive-in Bank (912)

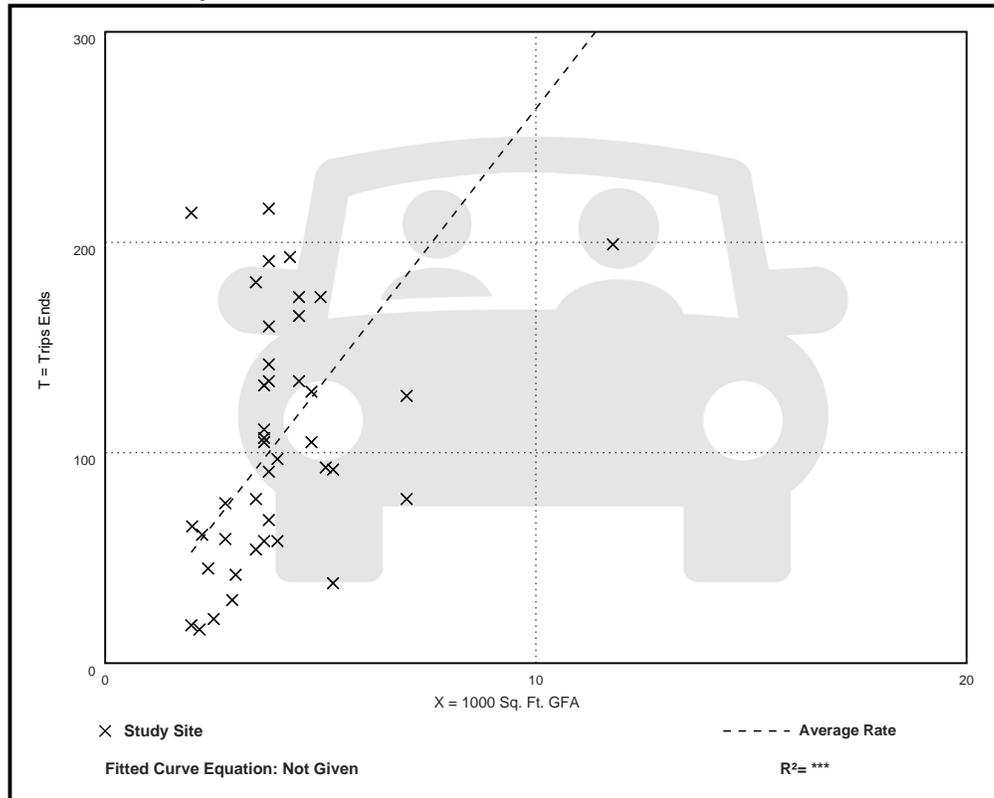
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Saturday, Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 41
Avg. 1000 Sq. Ft. GFA: 4
Directional Distribution: 51% entering, 49% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
26.35	7.18 - 107.00	15.32

Data Plot and Equation



**Table E.24 Pass-By and Non-Pass-By Trips Weekday, PM Peak Period
Land Use Code 890—Furniture Store**

SIZE (1,000 SQ. FT. GFA)	LOCATION	WEEKDAY SURVEY DATE	NO. OF INTERVIEWS	TIME PERIOD	PASS-BY TRIP (%)	NON-PASS-BY TRIPS (%)			ADJ. STREET PEAK HOUR VOLUME	SOURCE
						PRIMARY	DIVERTED	TOTAL		
41	Altamonte Springs, FL	1995	212	2:00–6:00 p.m.	49	20	31	51	—	TPD Inc.
17	Daytona Beach, FL	1994	39	2:00–6:00 p.m.	69	—	—	31	—	TPD Inc.
24	Orlando, FL	1991	103	2:00–6:00 p.m.	42	—	—	58	—	TPD Inc.

Average Pass-By Trip Percentage: 53

“—” means no data were provided

**Table E.25 Pass-By and Non-Pass-By Trips Weekday, AM Peak Period
Land Use Code 912—Drive-in Bank**

SIZE (1,000 SQ. FT. GFA)	LOCATION	WEEKDAY SURVEY DATE	NO. OF INTERVIEWS	TIME PERIOD	PASS-BY TRIP (%)	NON-PASS-BY TRIPS (%)			ADJ. STREET PEAK HOUR VOLUME	SOURCE
						PRIMARY	DIVERTED	TOTAL		
3.8	Camp Hill Mall, PA	March 2005	11	7:45–8:45 a.m.	27	—	—	73	—	McMahon Associates, Inc.
3.8	Exeter Twp, PA	March 2005	9	8:00–9:00 a.m.	24	—	—	76	—	McMahon Associates, Inc.
3.8	York, PA	March 2005	22	7:45–8:45 a.m.	34	—	—	66	—	McMahon Associates, Inc.
3.8	York, PA	March 2005	30	8:00–9:00 a.m.	27	—	—	73	—	McMahon Associates, Inc.
3.8	Mountain Road, PA	March 2005	34	7:30–8:30 a.m.	40	—	—	60	—	McMahon Associates, Inc.
3.8	Muhlenberg, PA	March 2005	7	8:00–9:00 a.m.	27	—	—	73	—	McMahon Associates, Inc.
3.8	York, PA	March 2005	15	8:00–9:00 a.m.	16	—	—	84	—	McMahon Associates, Inc.
3.8	Derry Street, PA	March 2005	27	8:00–9:00 a.m.	36	—	—	64	—	McMahon Associates, Inc.

Average Pass-By Trip Percentage: 29

“—” means no data were provided

**Table E.26 Pass-By and Non-Pass-By Trips Weekday, Mid-Day Peak Period
Land Use Code 912—Drive-in Bank**

SIZE (1,000 SQ. FT. GFA)	LOCATION	WEEKDAY SURVEY DATE	NO. OF INTERVIEWS	TIME PERIOD	PASS-BY TRIP (%)	NON-PASS-BY TRIPS (%)			ADJ. STREET PEAK HOUR VOLUME	SOURCE
						PRIMARY	DIVERTED	TOTAL		
3.6	Arlington, WA	Sept. 2007	—	11:00 a.m.–2:00 p.m.	34	42	24	66	—	657
2.7	Lynnwood, WA	Sept. 2007	—	11:00 a.m.–2:00 p.m.	26	58	16	74	—	657
2.8	Redmond, WA	Sept. 2007	—	11:00 a.m.–2:00 p.m.	30	53	17	70	—	657
3.6	Snohomish, WA	July 2007	—	11:00 a.m.–2:00 p.m.	15	—	—	85	—	657

Average Pass-By Trip Percentage: 26

“—” means no data were provided

**Table E.27 Pass-By and Non-Pass-By Trips Weekday, PM Peak Period
Land Use Code 912—Drive-in Bank**

SIZE (1,000 SQ. FT. GFA)	LOCATION	WEEKDAY SURVEY DATE	NO. OF INTERVIEWS	TIME PERIOD	PASS-BY TRIP (%)	NON-PASS-BY TRIPS (%)			ADJ. STREET PEAK HOUR VOLUME	SOURCE
						PRIMARY	DIVERTED	TOTAL		
16.0	Overland Park, KS	Dec. 1988	20	4:30-5:30 p.m.	15	55	30	85	—	—
3.3	Louisville area, KY	July 1993	—	4:00-6:00 p.m.	48	22	30	52	2,570	Barton-Aschman Assoc.
3.4	Louisville area, KY	July 1993	—	4:00-6:00 p.m.	64	22	14	36	2,266	Barton-Aschman Assoc.
3.4	Louisville area, KY	July 1993	75	4:00-6:00 p.m.	57	11	32	43	1,955	Barton-Aschman Assoc.
3.5	Louisville area, KY	June 1993	53	4:00-6:00 p.m.	47	32	21	53	2,785	Barton-Aschman Assoc.
6.4	Louisville area, KY	June 1993	66	4:00-6:00 p.m.	53	20	27	47	2,610	Barton-Aschman Assoc.
3.8	Colonial Park, PA	March 2005	56	4:00-5:00 p.m.	43	—	—	57	—	McMahon Associates, Inc.
3.8	Camp Hill Mall, PA	March 2005	38	4:15-5:15 p.m.	41	—	—	59	—	McMahon Associates, Inc.
3.8	Exeter Twp, PA	March 2005	14	4:00-5:00 p.m.	24	—	—	76	—	McMahon Associates, Inc.
3.8	York, PA	March 2005	63	4:00-5:00 p.m.	29	—	—	71	—	McMahon Associates, Inc.
3.8	York, PA	March 2005	70	4:00-5:00 p.m.	29	—	—	71	—	McMahon Associates, Inc.
3.8	Palmyra, PA	March 2005	29	4:15-5:15 p.m.	27	—	—	73	—	McMahon Associates, Inc.
3.8	Mountain Road, PA	March 2005	41	4:00-5:00 p.m.	25	—	—	75	—	McMahon Associates, Inc.
3.8	Hummelstown, PA	March 2005	37	4:00-6:00 p.m.	31	—	—	69	—	McMahon Associates, Inc.
3.8	Muhlenberg, PA	March 2005	19	4:00-6:00 p.m.	29	—	—	71	—	McMahon Associates, Inc.
3.8	York, PA	March 2005	34	4:00-6:00 p.m.	21	—	—	79	—	McMahon Associates, Inc.
3.8	Derry Street, PA	March 2005	36	4:00-6:00 p.m.	29	—	—	71	—	McMahon Associates, Inc.
3.6	Arlington, WA	Sept. 2007	—	4:00-6:00 p.m.	42	50	8	58	—	657
2.7	Lynnwood, WA	Sept. 2007	—	4:00-6:00 p.m.	26	66	8	74	—	657
2.8	Redmond, WA	Sept. 2007	—	4:00-6:00 p.m.	21	55	24	79	—	657
3.6	Snohomish, WA	July 2007	—	4:00-6:00 p.m.	29	—	—	71	—	657

Average Pass-By Trip Percentage: 35

“—” means no data were provided

**Table E.28 Pass-By and Non-Pass-By Trips Saturday, Mid-Day Peak Period
Land Use Code 912—Drive-in Bank**

SIZE (1,000 SQ. FT. GFA)	LOCATION	SURVEY DATE	NO. OF INTERVIEWS	TIME PERIOD	PASS-BY TRIP (%)	NON-PASS-BY TRIPS (%)			ADJ. STREET PEAK HOUR VOLUME	SOURCE
						PRIMARY	DIVERTED	TOTAL		
3.8	Colonial Park, PA	March 2005	63	11:15 a.m.–12:15 p.m.	33	—	—	67	—	McMahon Associates, Inc.
3.8	Camp Hill Mall, PA	March 2005	103	11:00 a.m.–12:00 p.m.	77	—	—	23	—	McMahon Associates, Inc.
3.8	Exeter Twp, PA	March 2005	34	10:30–11:30 a.m.	37	—	—	63	—	McMahon Associates, Inc.
3.8	York, PA	March 2005	53	10:15–11:15 a.m.	33	—	—	67	—	McMahon Associates, Inc.
3.8	York, PA	March 2005	25	10:45–11:45 a.m.	12	—	—	88	—	McMahon Associates, Inc.

Average Pass-By Trip Percentage: 38

“—” means no data were provided

**Table E.29 Pass-By and Non-Pass-By Trips Weekday, PM Peak Period
Land Use Code 931—Quality Restaurant**

SEATS	SIZE (1,000 SQ. FT. GFA)	LOCATION	WEEKDAY SURVEY DATE	NO. OF INTERVIEWS	TIME PERIOD	PASS- BY TRIP (%)	NON-PASS-BY TRIPS (%)			ADJ. STREET PEAK HOUR VOLUME	SOURCE
							PRIMARY	DIVERTED	TOTAL		
240	12	Louisville area, KY	July 1993	38	4:00–6:00 p.m.	26	36	38	74	4,145	Barton- Aschman Assoc.
—	8	Orlando, FL	1992	168	4:00–8:00 p.m.	45	—	—	55	—	TPD Inc.
—	8.8	Orlando, FL	1992	84	2:00–6:00 p.m.	44	40	16	56	—	TPD Inc.
—	6.5	Orlando, FL	1995	173	2:00–6:00 p.m.	62	—	—	38	—	TPD Inc.

Average Pass-By Trip Percentage: 44

“—” means no data were provided

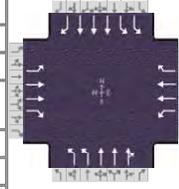
APPENDIX G
Capacity Analysis Worksheets



*Proposed Chase Bank
455 S. Rand Road
Lake Zurich, IL*

HCS7 Signalized Intersection Input Data

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	8:00-9:00 AM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2022	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1AM_Existing US 12 at IL 22.xus		
Project Description	EXISTING				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	89	461	261	40	263	61	181	779	5	145	1436	84

Signal Information				Signal Timing (s)																			
Cycle, s	140.0	Reference Phase	2	Green	8.2	1.7	78.0	3.9	0.3	24.4	Yellow	3.5	0.0	4.5	3.5	4.5	Red	1.0	0.0	1.5	0.0	0.0	1.5
Offset, s	0	Reference Point	Begin																				
Uncoordinated	No	Simult. Gap E/W	On																				
Force Mode	Fixed	Simult. Gap N/S	On																				

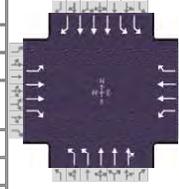
Traffic Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	89	461	261	40	263	61	181	779	5	145	1436	84
Initial Queue (Q _b), veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Base Saturation Flow Rate (s ₀), veh/h	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	2000	1900
Parking (N _m), man/h	None			None			None			None		
Heavy Vehicles (P _{HV}), %	0	1	0	5	2	5	3	5		0	3	1
Ped / Bike / RTOR, /h	0	0	0	0	0	0	0	0	0	0	0	0
Buses (N _b), buses/h	0	0	0	0	0	0	0	0	0	0	0	0
Arrival Type (A _T)	3	3	3	3	3	3	3	4	3	3	4	3
Upstream Filtering (I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lane Width (W), ft	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0		12.0	12.0	12.0
Turn Bay Length, ft	220	0	435	240	0	260	410	0		285	0	225
Grade (P _g), %	0			0			0			0		
Speed Limit, mi/h	35	35	35	35	35	35	45	45	45	45	45	45

Phase Information	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT	
Maximum Green (G _{max}) or Phase Split, s	14.0	31.0	14.0	31.0	15.5	79.5	15.5	79.5	
Yellow Change Interval (Y), s	3.5	4.5	3.5	4.5	3.5	4.5	3.5	4.5	
Red Clearance Interval (R _c), s	0.0	1.5	0.0	1.5	1.0	1.5	1.0	1.5	
Minimum Green (G _{min}), s	3	15	3	15	5	15	5	15	
Start-Up Lost Time (I _t), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	
Extension of Effective Green (e), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	
Passage (P _T), s	3.0	5.0	3.0	5.0	3.0	7.0	3.0	7.0	
Recall Mode	Off	Off	Off	Off	Off	Max	Off	Max	
Dual Entry	No	Yes	No	Yes	No	Yes	No	Yes	
Walk (Walk), s	13.0			0.0			0.0		
Pedestrian Clearance Time (P _C), s	66.0			0.0			0.0		

Multimodal Information	EB			WB			NB			SB		
85th % Speed / Rest in Walk / Corner Radius	0	No	25	0	No	25	0	No	25	0	No	25
Walkway / Crosswalk Width / Length, ft	9.0	12	0	9.0	12	0	9.0	12	0	9.0	12	0
Street Width / Island / Curb	0	0	No	0	0	No	0	0	No	0	0	No
Width Outside / Bike Lane / Shoulder, ft	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0
Pedestrian Signal / Occupied Parking	No	0.50										

HCS7 Signalized Intersection Results Summary

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	8:00-9:00 AM WEEKDAY	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2022	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1AM_Existing US 12 at IL 22.xus				
Project Description	EXISTING						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	89	461	261	40	263	61	181	779	5	145	1436	84

Signal Information				Signal Timing (s)									
Cycle, s	140.0	Reference Phase	2										
Offset, s	0	Reference Point	Begin										
Uncoordinated	No	Simult. Gap E/W	On	Green	8.2	1.7	78.0	3.9	0.3	24.4			
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	3.5	0.0	4.5	3.5	3.5	4.5			
				Red	1.0	0.0	1.5	0.0	0.0	1.5			

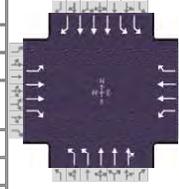
Timer Results	EBL		EBT		WBL		WBT		NBL		NBT		SBL		SBT	
	Assigned Phase	7	4	3	8	5	2	1	6							
Case Number	1.1	3.0	1.1	3.0	2.0	4.0	2.0	3.0								
Phase Duration, s	11.1	34.2	7.4	30.4	14.4	85.7	12.7	84.0								
Change Period, (Y+R c), s	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0								
Max Allow Headway (MAH), s	4.0	6.1	4.0	6.1	4.0	0.0	4.0	0.0								
Queue Clearance Time (g s), s	7.8	23.0	4.8	11.2	9.6		8.0									
Green Extension Time (g e), s	0.1	5.2	0.0	8.3	0.3	0.0	0.2	0.0								
Phase Call Probability	0.97	1.00	0.81	1.00	1.00		1.00									
Max Out Probability	1.00	0.82	0.11	0.46	0.50		0.10									

Movement Group Results	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	94	485	275	42	277	64	191	551	275	153	1512	88
Adjusted Saturation Flow Rate (s), veh/h/ln	1810	1889	1610	1739	1874	1547	1716	1826	1820	1757	1774	1598
Queue Service Time (g s), s	5.8	16.5	21.0	2.8	9.2	4.6	7.6	6.4	6.5	6.0	16.5	3.2
Cycle Queue Clearance Time (g c), s	5.8	16.5	21.0	2.8	9.2	4.6	7.6	6.4	6.5	6.0	16.5	3.2
Green Ratio (g/C)	0.24	0.20	0.27	0.20	0.17	0.23	0.07	0.57	0.57	0.06	0.56	0.61
Capacity (c), veh/h	272	761	438	161	655	361	243	2079	1036	206	2965	977
Volume-to-Capacity Ratio (X)	0.345	0.637	0.627	0.261	0.423	0.178	0.785	0.265	0.265	0.741	0.510	0.090
Back of Queue (Q), ft/ln (95 th percentile)	119.3	318.8	341.2	58.1	199.8	86	162.2	107.7	109	125.2	220.1	51.2
Back of Queue (Q), veh/ln (95 th percentile)	4.8	12.7	13.6	2.2	7.9	3.3	6.3	4.1	4.4	5.0	8.6	2.0
Queue Storage Ratio (RQ) (95 th percentile)	0.54	0.00	0.78	0.24	0.00	0.33	0.40	0.00	0.00	0.44	0.00	0.23
Uniform Delay (d 1), s/veh	42.8	51.2	44.7	46.5	51.5	42.9	64.0	8.0	8.2	64.9	10.1	11.2
Incremental Delay (d 2), s/veh	0.8	2.2	3.7	0.9	0.9	0.5	7.0	0.3	0.6	5.2	0.6	0.2
Initial Queue Delay (d 3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	43.5	53.4	48.4	47.3	52.4	43.4	71.0	8.3	8.8	70.0	10.7	11.4
Level of Service (LOS)	D	D	D	D	D	D	E	A	A	E	B	B
Approach Delay, s/veh / LOS	50.7		D	50.4		D	20.2		C	15.9		B
Intersection Delay, s/veh / LOS	27.7						C					

Multimodal Results	EB		WB		NB		SB	
	Pedestrian LOS Score / LOS	2.74	C	2.86	C	2.41	B	2.42
Bicycle LOS Score / LOS	1.19	A	0.80	A	1.05	A	1.45	A

HCS7 Signalized Intersection Intermediate Values

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	8:00-9:00 AM WEEKDAY	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2022	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1AM_Existing US 12 at IL 22.xus				
Project Description	EXISTING						



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	89	461	261	40	263	61	181	779	5	145	1436	84

Signal Information				Signal Timing Diagram								
Cycle, s	140.0	Reference Phase	2									
Offset, s	0	Reference Point	Begin									
Uncoordinated	No	Simult. Gap E/W	On									
Force Mode	Fixed	Simult. Gap N/S	On									
Green	8.2	1.7	78.0	3.9	0.3	24.4						
Yellow	3.5	0.0	4.5	3.5	3.5	4.5						
Red	1.0	0.0	1.5	0.0	0.0	1.5						

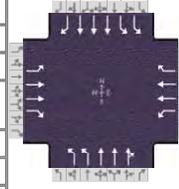
Saturation Flow / Delay	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f_w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Heavy Vehicles and Grade Factor (f_{HVg})	1.000	0.992	1.000	0.961	0.984	0.961	0.977	0.961	1.000	1.000	0.977	0.992
Parking Activity Adjustment Factor (f_p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f_{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f_a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f_{LU})	1.000	0.952	1.000	1.000	0.952	1.000	0.971	1.000	1.000	0.971	0.908	1.000
Left-Turn Adjustment Factor (f_{LT})	0.952	0.000		0.952	0.000		0.952	0.000		0.952	0.000	
Right-Turn Adjustment Factor (f_{RT})		0.000	0.847		0.000	0.847		0.997	0.997		0.000	0.847
Left-Turn Pedestrian Adjustment Factor (f_{LPB})	1.000			1.000			1.000			1.000		
Right-Turn Ped-Bike Adjustment Factor (f_{RPB})			1.000			1.000			1.000			1.000
Work Zone Adjustment Factor (f_{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
DDI Factor (f_{DDI})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Movement Saturation Flow Rate (s), veh/h	1810	3778	1610	1739	3749	1547	3432	5437	35	3514	5321	1598
Proportion of Vehicles Arriving on Green (P)	0.05	0.20	0.20	0.03	0.17	0.17	0.07	0.76	0.57	0.06	0.74	0.56
Incremental Delay Factor (k)	0.11	0.27	0.27	0.11	0.23	0.23	0.14	0.50	0.50	0.11	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t_L)	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Green Ratio (g/C)	0.24	0.20	0.20	0.17	0.07	0.57	0.06	0.56
Permitted Saturation Flow Rate (s_p), veh/h/ln	1120	0	889	0	0	0	0	0
Shared Saturation Flow Rate (s_{sh}), veh/h/ln								
Permitted Effective Green Time (g_p), s	26.4	0.0	24.4	0.0	0.0	0.0	0.0	0.0
Permitted Service Time (g_u), s	15.2	0.0	9.7	0.0	0.0	0.0	0.0	0.0
Permitted Queue Service Time (g_{ps}), s	1.0		0.7					
Time to First Blockage (g_r), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g_{is}), s								
Protected Right Saturation Flow (s_R), veh/h/ln		1610		1547				1598
Protected Right Effective Green Time (g_R), s		9.9		8.2				7.6

Multimodal	EB	WB	NB	SB
Pedestrian F_w / F_v	1.983	0.000	2.107	0.000
Pedestrian F_s / F_{delay}	0.000	0.152	0.000	0.103
Pedestrian M_{corner} / M_{cov}				
Bicycle c_b / d_b	402.98	44.63	349.22	47.69
Bicycle F_w / F_v	-3.64	0.70	-3.64	0.32

HCS7 Signalized Intersection Results Graphical Summary

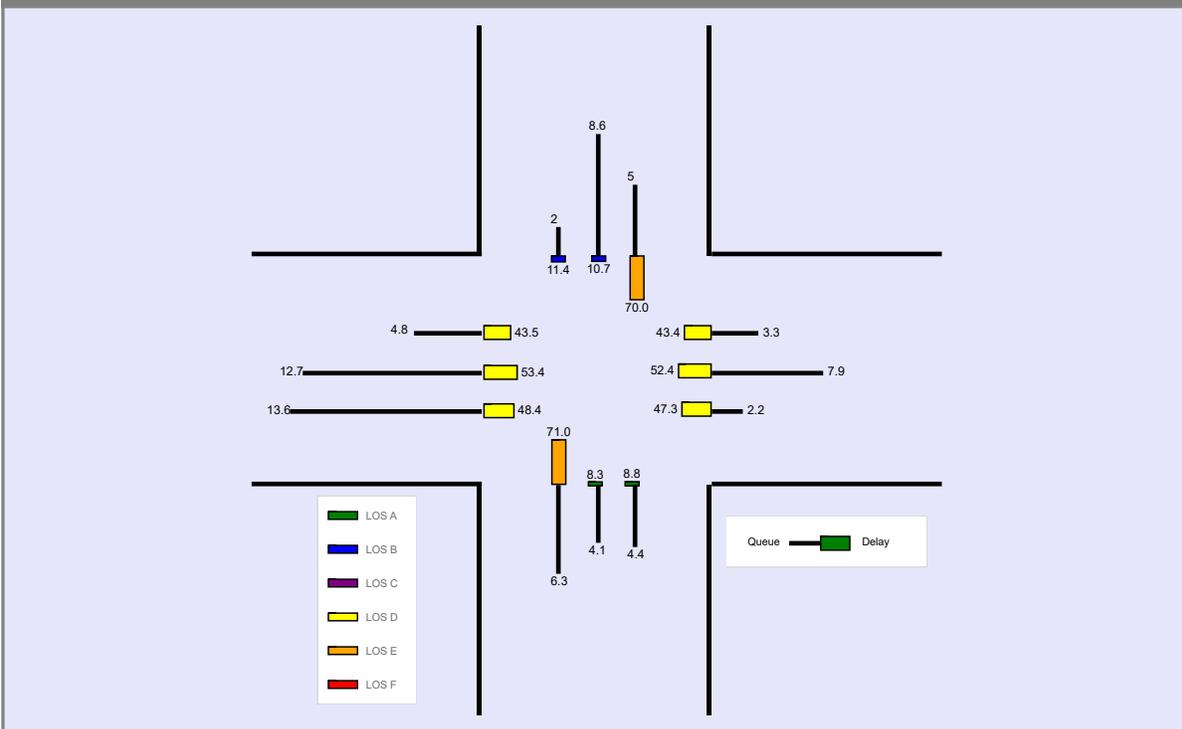
General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	8:00-9:00 AM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2022	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1AM_Existing US 12 at IL 22.xus		
Project Description	EXISTING				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	89	461	261	40	263	61	181	779	5	145	1436	84

Signal Information				EB		WB		NB		SB	
Cycle, s	140.0	Reference Phase	2	Green	8.2	1.7	78.0	3.9	0.3	24.4	
Offset, s	0	Reference Point	Begin	Yellow	3.5	0.0	4.5	3.5	3.5	4.5	
Uncoordinated	No	Simult. Gap E/W	On	Red	1.0	0.0	1.5	0.0	0.0	1.5	
Force Mode	Fixed	Simult. Gap N/S	On								

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Back of Queue (Q), ft/ln (95 th percentile)	119.3	318.8	341.2	58.1	199.8	86	162.2	107.7	109	125.2	220.1	51.2
Back of Queue (Q), veh/ln (95 th percentile)	4.8	12.7	13.6	2.2	7.9	3.3	6.3	4.1	4.4	5.0	8.6	2.0
Queue Storage Ratio (RQ) (95 th percentile)	0.54	0.00	0.78	0.24	0.00	0.33	0.40	0.00	0.00	0.44	0.00	0.23
Control Delay (d), s/veh	43.5	53.4	48.4	47.3	52.4	43.4	71.0	8.3	8.8	70.0	10.7	11.4
Level of Service (LOS)	D	D	D	D	D	D	E	A	A	E	B	B
Approach Delay, s/veh / LOS	50.7			D			50.4			D		
Intersection Delay, s/veh / LOS	27.7						C					



Appendix G | P4

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Appendix G | P5

--- Messages ---

No errors or warnings exist.

--- Comments ---

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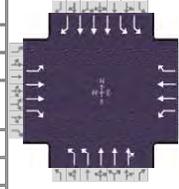
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Appendix G | P6

HCS7 Signalized Intersection Input Data

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	8:00-9:00 AM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1AM_NB US 12 at IL 22.xus		
Project Description	NO-BUILD				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	92	475	269	41	271	63	186	803	5	149	1480	87

Signal Information				Signal Timing (s)																			
Cycle, s	140.0	Reference Phase	2	Green	8.4	1.7	77.3	4.0	0.4	24.7	Yellow	3.5	0.0	4.5	3.5	4.5	Red	1.0	0.0	1.5	0.0	0.0	1.5
Offset, s	0	Reference Point	Begin																				
Uncoordinated	No	Simult. Gap E/W	On																				
Force Mode	Fixed	Simult. Gap N/S	On																				

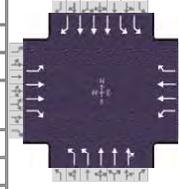
Traffic Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	92	475	269	41	271	63	186	803	5	149	1480	87
Initial Queue (Q _b), veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Base Saturation Flow Rate (s ₀), veh/h	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	2000	1900
Parking (N _m), man/h	None			None			None			None		
Heavy Vehicles (P _{HV}), %	0	1	0	5	2	5	3	5		0	3	1
Ped / Bike / RTOR, /h	0	0	0	0	0	0	0	0	0	0	0	0
Buses (N _b), buses/h	0	0	0	0	0	0	0	0	0	0	0	0
Arrival Type (A _T)	3	3	3	3	3	3	3	4	3	3	4	3
Upstream Filtering (I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lane Width (W), ft	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0		12.0	12.0	12.0
Turn Bay Length, ft	220	0	435	240	0	260	410	0		285	0	225
Grade (P _g), %	0			0			0			0		
Speed Limit, mi/h	35	35	35	35	35	35	45	45	45	45	45	45

Phase Information	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Maximum Green (G _{max}) or Phase Split, s	14.0	31.0	14.0	31.0	15.5	79.5	15.5	79.5
Yellow Change Interval (Y), s	3.5	4.5	3.5	4.5	3.5	4.5	3.5	4.5
Red Clearance Interval (R _c), s	0.0	1.5	0.0	1.5	1.0	1.5	1.0	1.5
Minimum Green (G _{min}), s	3	15	3	15	5	15	5	15
Start-Up Lost Time (I _t), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Extension of Effective Green (e), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Passage (P _T), s	3.0	5.0	3.0	5.0	3.0	7.0	3.0	7.0
Recall Mode	Off	Off	Off	Off	Off	Max	Off	Max
Dual Entry	No	Yes	No	Yes	No	Yes	No	Yes
Walk (Walk), s	13.0		0.0		0.0		0.0	
Pedestrian Clearance Time (P _C), s	66.0		0.0		0.0		0.0	

Multimodal Information	EB			WB			NB			SB		
85th % Speed / Rest in Walk / Corner Radius	0	No	25	0	No	25	0	No	25	0	No	25
Walkway / Crosswalk Width / Length, ft	9.0	12	0	9.0	12	0	9.0	12	0	9.0	12	0
Street Width / Island / Curb	0	0	No	0	0	No	0	0	No	0	0	No
Width Outside / Bike Lane / Shoulder, ft	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0
Pedestrian Signal / Occupied Parking	No	0.50										

HCS7 Signalized Intersection Results Summary

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	8:00-9:00 AM WEEKDAY	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1AM_NB US 12 at IL 22.xus				
Project Description	NO-BUILD						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	92	475	269	41	271	63	186	803	5	149	1480	87

Signal Information				Signal Timing (s)									
Cycle, s	140.0	Reference Phase	2										
Offset, s	0	Reference Point	Begin										
Uncoordinated	No	Simult. Gap E/W	On	Green	8.4	1.7	77.3	4.0	0.4	24.7			
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	3.5	0.0	4.5	3.5	3.5	4.5			
				Red	1.0	0.0	1.5	0.0	0.0	1.5			

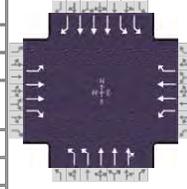
Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	1.1	3.0	1.1	3.0	2.0	4.0	2.0	3.0
Phase Duration, s	11.3	34.6	7.5	30.7	14.6	85.1	12.9	83.3
Change Period, (Y+R c), s	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Max Allow Headway (MAH), s	4.0	6.1	4.0	6.1	4.0	0.0	4.0	0.0
Queue Clearance Time (g s), s	8.0	23.6	4.8	11.5	9.9		8.1	
Green Extension Time (g e), s	0.0	5.0	0.0	8.4	0.2	0.0	0.2	0.0
Phase Call Probability	0.98	1.00	0.81	1.00	1.00		1.00	
Max Out Probability	1.00	0.88	0.12	0.49	0.91		0.19	

Movement Group Results	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	97	500	283	43	285	66	196	568	283	157	1558	92
Adjusted Saturation Flow Rate (s), veh/h/ln	1810	1889	1610	1739	1874	1547	1716	1826	1820	1757	1774	1598
Queue Service Time (g s), s	6.0	17.0	21.6	2.8	9.5	4.8	7.9	6.8	6.9	6.1	17.7	3.3
Cycle Queue Clearance Time (g c), s	6.0	17.0	21.6	2.8	9.5	4.8	7.9	6.8	6.9	6.1	17.7	3.3
Green Ratio (g/C)	0.25	0.20	0.28	0.20	0.18	0.24	0.07	0.56	0.56	0.06	0.55	0.61
Capacity (c), veh/h	274	772	445	161	663	366	247	2062	1028	210	2939	972
Volume-to-Capacity Ratio (X)	0.354	0.647	0.636	0.268	0.431	0.181	0.791	0.275	0.275	0.747	0.530	0.094
Back of Queue (Q), ft/ln (95 th percentile)	123	327.1	350.4	59.4	204.4	88.4	168.8	114.8	116	128.7	232	53.7
Back of Queue (Q), veh/ln (95 th percentile)	4.9	13.0	14.0	2.3	8.0	3.4	6.6	4.4	4.6	5.1	9.1	2.1
Queue Storage Ratio (RQ) (95 th percentile)	0.56	0.00	0.81	0.25	0.00	0.34	0.41	0.00	0.00	0.45	0.00	0.24
Uniform Delay (d 1), s/veh	42.5	51.1	44.5	46.2	51.4	42.6	63.9	8.4	8.5	64.8	10.6	11.4
Incremental Delay (d 2), s/veh	0.8	2.3	3.9	0.9	0.9	0.5	8.4	0.3	0.7	5.2	0.7	0.2
Initial Queue Delay (d 3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	43.2	53.4	48.3	47.1	52.3	43.1	72.3	8.7	9.2	70.0	11.3	11.6
Level of Service (LOS)	D	D	D	D	D	D	E	A	A	E	B	B
Approach Delay, s/veh / LOS	50.7		D	50.2		D	20.7		C	16.4		B
Intersection Delay, s/veh / LOS	28.0						C					

Multimodal Results	EB	WB	NB	SB
Pedestrian LOS Score / LOS	2.73	C	2.86	C
Bicycle LOS Score / LOS	1.21	A	0.81	A

HCS7 Signalized Intersection Intermediate Values

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	8:00-9:00 AM WEEKDAY	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1AM_NB US 12 at IL 22.xus				
Project Description	NO-BUILD						



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	92	475	269	41	271	63	186	803	5	149	1480	87

Signal Information				Signal Timing (s)																		
Cycle, s	140.0	Reference Phase	2	Green	8.4	1.7	77.3	4.0	0.4	24.7	Yellow	3.5	0.0	4.5	3.5	4.5	Red	1.0	0.0	1.5	0.0	1.5
Offset, s	0	Reference Point	Begin																			
Uncoordinated	No	Simult. Gap E/W	On																			
Force Mode	Fixed	Simult. Gap N/S	On																			

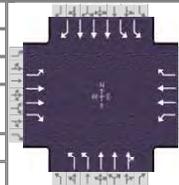
Saturation Flow / Delay	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f _w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Heavy Vehicles and Grade Factor (f _{HVG})	1.000	0.992	1.000	0.961	0.984	0.961	0.977	0.961	1.000	1.000	0.977	0.992
Parking Activity Adjustment Factor (f _p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f _{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f _a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f _{LU})	1.000	0.952	1.000	1.000	0.952	1.000	0.971	1.000	1.000	0.971	0.908	1.000
Left-Turn Adjustment Factor (f _{LT})	0.952	0.000	0.952	0.000	0.000	0.952	0.000	0.000	0.952	0.000	0.000	0.000
Right-Turn Adjustment Factor (f _{RT})		0.000	0.847		0.000	0.847		0.997	0.997		0.000	0.847
Left-Turn Pedestrian Adjustment Factor (f _{LPB})	1.000			1.000			1.000			1.000		
Right-Turn Ped-Bike Adjustment Factor (f _{RPB})			1.000			1.000			1.000			1.000
Work Zone Adjustment Factor (f _{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
DDI Factor (f _{DDI})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Movement Saturation Flow Rate (s), veh/h	1810	3778	1610	1739	3749	1547	3432	5438	34	3514	5321	1598
Proportion of Vehicles Arriving on Green (P)	0.06	0.20	0.20	0.03	0.18	0.18	0.07	0.75	0.56	0.06	0.74	0.55
Incremental Delay Factor (k)	0.11	0.28	0.28	0.11	0.23	0.23	0.17	0.50	0.50	0.11	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t _L)	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Green Ratio (g/C)	0.25	0.20	0.20	0.18	0.07	0.56	0.06	0.55
Permitted Saturation Flow Rate (s _p), veh/h/ln	1111	0	877	0	0	0	0	0
Shared Saturation Flow Rate (s _{sh}), veh/h/ln								
Permitted Effective Green Time (g _p), s	26.7	0.0	24.7	0.0	0.0	0.0	0.0	0.0
Permitted Service Time (g _u), s	15.2	0.0	9.6	0.0	0.0	0.0	0.0	0.0
Permitted Queue Service Time (g _{ps}), s	1.1		0.8					
Time to First Blockage (g _r), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g _{is}), s								
Protected Right Saturation Flow (s _R), veh/h/ln		1610		1547				1598
Protected Right Effective Green Time (g _R), s		10.1		8.4				7.8

Multimodal	EB	WB	NB	SB
Pedestrian F _w / F _v	1.983	0.000	2.107	0.000
Pedestrian F _s / F _{delay}	0.000	0.152	0.000	0.155
Pedestrian M _{corner} / M _{cow}				
Bicycle c _b / d _b	408.83	44.31	353.50	47.44
Bicycle F _w / F _v	-3.64	0.73	-3.64	0.33

HCS7 Signalized Intersection Results Graphical Summary

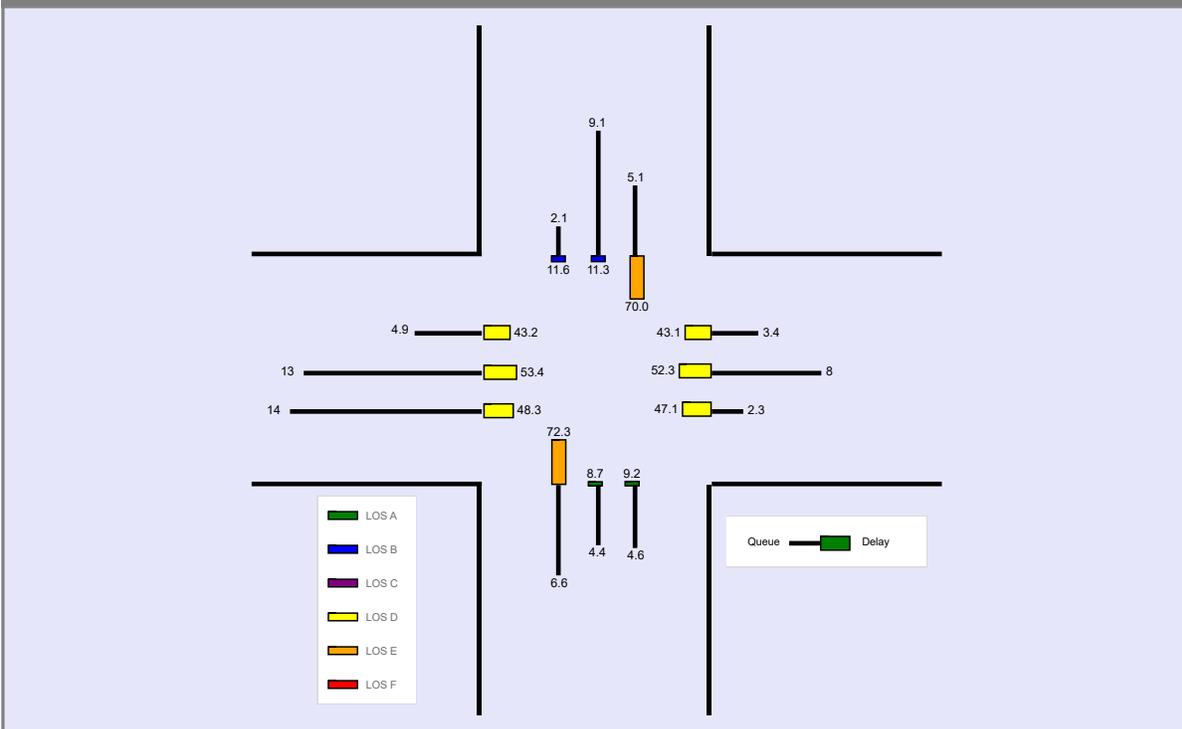
General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	8:00-9:00 AM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1AM_NB US 12 at IL 22.xus		
Project Description	NO-BUILD				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	92	475	269	41	271	63	186	803	5	149	1480	87

Signal Information				Signal Timing (s)																		
Cycle, s	140.0	Reference Phase	2	Green	8.4	1.7	77.3	4.0	0.4	24.7	Yellow	3.5	0.0	4.5	3.5	4.5	Red	1.0	0.0	1.5	0.0	1.5
Offset, s	0	Reference Point	Begin																			
Uncoordinated	No	Simult. Gap E/W	On																			
Force Mode	Fixed	Simult. Gap N/S	On																			

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Back of Queue (Q), ft/ln (95 th percentile)	123	327.1	350.4	59.4	204.4	88.4	168.8	114.8	116	128.7	232	53.7
Back of Queue (Q), veh/ln (95 th percentile)	4.9	13.0	14.0	2.3	8.0	3.4	6.6	4.4	4.6	5.1	9.1	2.1
Queue Storage Ratio (RQ) (95 th percentile)	0.56	0.00	0.81	0.25	0.00	0.34	0.41	0.00	0.00	0.45	0.00	0.24
Control Delay (d), s/veh	43.2	53.4	48.3	47.1	52.3	43.1	72.3	8.7	9.2	70.0	11.3	11.6
Level of Service (LOS)	D	D	D	D	D	D	E	A	A	E	B	B
Approach Delay, s/veh / LOS	50.7 / D			50.2 / D			20.7 / C			16.4 / B		
Intersection Delay, s/veh / LOS	28.0						C					



Appendix G | P10

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Appendix G | P11

--- Messages ---

No errors or warnings exist.

--- Comments ---

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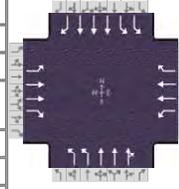
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Appendix G | P12

HCS7 Signalized Intersection Input Data

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	8:00-9:00 AM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1AM_TOTAL US 12 at IL 22.xus		
Project Description	TOTAL				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	99	479	269	46	270	63	195	801	5	149	1493	87

Signal Information				Signal Timing (s)																			
Cycle, s	140.0	Reference Phase	2	Green	8.4	2.1	76.7	4.4	0.4	24.5	Yellow	3.5	0.0	4.5	3.5	4.5	Red	1.0	0.0	1.5	0.0	0.0	1.5
Offset, s	0	Reference Point	Begin																				
Uncoordinated	No	Simult. Gap E/W	On																				
Force Mode	Fixed	Simult. Gap N/S	On																				

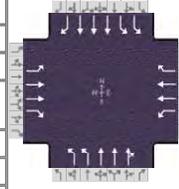
Traffic Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	99	479	269	46	270	63	195	801	5	149	1493	87
Initial Queue (Q _b), veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Base Saturation Flow Rate (s ₀), veh/h	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	2000	1900
Parking (N _m), man/h	None			None			None			None		
Heavy Vehicles (P _{HV}), %	0	1	0	5	2	5	3	5		0	3	1
Ped / Bike / RTOR, /h	0	0	0	0	0	0	0	0	0	0	0	0
Buses (N _b), buses/h	0	0	0	0	0	0	0	0	0	0	0	0
Arrival Type (A _T)	3	3	3	3	3	3	3	4	3	3	4	3
Upstream Filtering (I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lane Width (W), ft	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0		12.0	12.0	12.0
Turn Bay Length, ft	220	0	435	240	0	260	410	0		285	0	225
Grade (P _g), %	0			0			0			0		
Speed Limit, mi/h	35	35	35	35	35	35	45	45	45	45	45	45

Phase Information	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Maximum Green (G _{max}) or Phase Split, s	14.0	31.0	14.0	31.0	15.5	79.5	15.5	79.5
Yellow Change Interval (Y), s	3.5	4.5	3.5	4.5	3.5	4.5	3.5	4.5
Red Clearance Interval (R _c), s	0.0	1.5	0.0	1.5	1.0	1.5	1.0	1.5
Minimum Green (G _{min}), s	3	15	3	15	5	15	5	15
Start-Up Lost Time (I _t), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Extension of Effective Green (e), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Passage (P _T), s	3.0	5.0	3.0	5.0	3.0	7.0	3.0	7.0
Recall Mode	Off	Off	Off	Off	Off	Max	Off	Max
Dual Entry	No	Yes	No	Yes	No	Yes	No	Yes
Walk (Walk), s	13.0		0.0		0.0		0.0	
Pedestrian Clearance Time (P _C), s	66.0		0.0		0.0		0.0	

Multimodal Information	EB			WB			NB			SB		
85th % Speed / Rest in Walk / Corner Radius	0	No	25	0	No	25	0	No	25	0	No	25
Walkway / Crosswalk Width / Length, ft	9.0	12	0	9.0	12	0	9.0	12	0	9.0	12	0
Street Width / Island / Curb	0	0	No	0	0	No	0	0	No	0	0	No
Width Outside / Bike Lane / Shoulder, ft	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0
Pedestrian Signal / Occupied Parking	No	0.50										

HCS7 Signalized Intersection Results Summary

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	8:00-9:00 AM WEEKDAY	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1AM_TOTAL US 12 at IL 22.xus				
Project Description	TOTAL						



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	99	479	269	46	270	63	195	801	5	149	1493	87

Signal Information				Signal Timing (s)									
Cycle, s	140.0	Reference Phase	2										
Offset, s	0	Reference Point	Begin										
Uncoordinated	No	Simult. Gap E/W	On	Green	8.4	2.1	76.7	4.4	0.4	24.5			
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	3.5	0.0	4.5	3.5	3.5	4.5			
				Red	1.0	0.0	1.5	0.0	0.0	1.5			

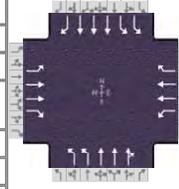
Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	1.1	3.0	1.1	3.0	2.0	4.0	2.0	3.0
Phase Duration, s	11.8	34.4	7.9	30.5	15.0	84.8	12.9	82.7
Change Period, (Y+R c), s	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Max Allow Headway (MAH), s	4.0	6.1	4.0	6.1	4.0	0.0	4.0	0.0
Queue Clearance Time (g s), s	8.4	23.6	5.2	11.5	10.2		8.2	
Green Extension Time (g e), s	0.0	4.8	0.0	8.2	0.2	0.0	0.2	0.0
Phase Call Probability	0.98	1.00	0.85	1.00	1.00		1.00	
Max Out Probability	1.00	0.90	0.20	0.51	1.00		0.23	

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	104	504	283	48	284	66	205	566	282	157	1572	92
Adjusted Saturation Flow Rate (s), veh/h/ln	1810	1889	1610	1739	1874	1547	1716	1826	1820	1757	1774	1598
Queue Service Time (g s), s	6.4	17.2	21.6	3.2	9.5	4.8	8.2	6.8	6.9	6.2	18.4	3.3
Cycle Queue Clearance Time (g c), s	6.4	17.2	21.6	3.2	9.5	4.8	8.2	6.8	6.9	6.2	18.4	3.3
Green Ratio (g/C)	0.25	0.20	0.28	0.21	0.17	0.23	0.07	0.56	0.56	0.06	0.55	0.61
Capacity (c), veh/h	278	766	447	164	655	363	256	2057	1025	210	2916	971
Volume-to-Capacity Ratio (X)	0.375	0.658	0.634	0.296	0.434	0.183	0.800	0.275	0.275	0.748	0.539	0.094
Back of Queue (Q), ft/ln (95 th percentile)	132.6	331	349.7	66.7	204.2	88.7	179.3	115.4	116.7	128.7	238.9	53.8
Back of Queue (Q), veh/ln (95 th percentile)	5.3	13.1	14.0	2.6	8.0	3.4	7.0	4.4	4.7	5.1	9.3	2.1
Queue Storage Ratio (RQ) (95 th percentile)	0.60	0.00	0.80	0.28	0.00	0.34	0.44	0.00	0.00	0.45	0.00	0.24
Uniform Delay (d 1), s/veh	42.5	51.4	44.3	46.2	51.6	42.9	63.7	8.5	8.6	64.8	11.0	11.4
Incremental Delay (d 2), s/veh	0.8	2.5	3.8	1.0	1.0	0.5	9.9	0.3	0.7	5.3	0.7	0.2
Initial Queue Delay (d 3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	43.3	53.9	48.2	47.2	52.6	43.4	73.6	8.8	9.3	70.0	11.7	11.6
Level of Service (LOS)	D	D	D	D	D	D	E	A	A	E	B	B
Approach Delay, s/veh / LOS	50.8	D		50.4	D		21.6	C		16.7	B	
Intersection Delay, s/veh / LOS	28.5 C											

Multimodal Results	EB	WB	NB	SB
Pedestrian LOS Score / LOS	2.73	C	2.86	C
Bicycle LOS Score / LOS	1.22	A	0.82	A

HCS7 Signalized Intersection Intermediate Values

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	8:00-9:00 AM WEEKDAY	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1AM_TOTAL US 12 at IL 22.xus				
Project Description	TOTAL						



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	99	479	269	46	270	63	195	801	5	149	1493	87

Signal Information				Signal Timing (s)																		
Cycle, s	140.0	Reference Phase	2	Green	8.4	2.1	76.7	4.4	0.4	24.5	Yellow	3.5	0.0	4.5	3.5	4.5	Red	1.0	0.0	1.5	0.0	1.5
Offset, s	0	Reference Point	Begin																			
Uncoordinated	No	Simult. Gap E/W	On																			
Force Mode	Fixed	Simult. Gap N/S	On																			

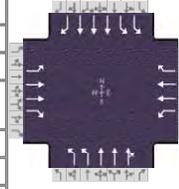
Saturation Flow / Delay	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f _w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Heavy Vehicles and Grade Factor (f _{HVG})	1.000	0.992	1.000	0.961	0.984	0.961	0.977	0.961	1.000	1.000	0.977	0.992
Parking Activity Adjustment Factor (f _p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f _{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f _a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f _{LU})	1.000	0.952	1.000	1.000	0.952	1.000	0.971	1.000	1.000	0.971	0.908	1.000
Left-Turn Adjustment Factor (f _{LT})	0.952	0.000	0.952	0.000	0.000	0.952	0.000	0.000	0.952	0.000	0.000	0.000
Right-Turn Adjustment Factor (f _{RT})		0.000	0.847		0.000	0.847		0.997	0.997		0.000	0.847
Left-Turn Pedestrian Adjustment Factor (f _{LPB})	1.000			1.000			1.000			1.000		
Right-Turn Ped-Bike Adjustment Factor (f _{RPB})			1.000			1.000			1.000			1.000
Work Zone Adjustment Factor (f _{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
DDI Factor (f _{DDI})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Movement Saturation Flow Rate (s), veh/h	1810	3778	1610	1739	3749	1547	3432	5438	34	3514	5321	1598
Proportion of Vehicles Arriving on Green (P)	0.06	0.20	0.20	0.03	0.17	0.17	0.07	0.75	0.56	0.06	0.73	0.55
Incremental Delay Factor (k)	0.11	0.29	0.28	0.11	0.23	0.23	0.20	0.50	0.50	0.11	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t _L)	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Green Ratio (g/C)	0.25	0.20	0.21	0.17	0.07	0.56	0.06	0.55
Permitted Saturation Flow Rate (s _p), veh/h/ln	1112	0	873	0	0	0	0	0
Shared Saturation Flow Rate (s _{sh}), veh/h/ln								
Permitted Effective Green Time (g _p), s	26.5	0.0	24.5	0.0	0.0	0.0	0.0	0.0
Permitted Service Time (g _u), s	15.0	0.0	9.2	0.0	0.0	0.0	0.0	0.0
Permitted Queue Service Time (g _{ps}), s	1.2		0.9					
Time to First Blockage (g _r), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g _{is}), s								
Protected Right Saturation Flow (s _R), veh/h/ln		1610		1547				1598
Protected Right Effective Green Time (g _R), s		10.5		8.4				8.3

Multimodal	EB	WB	NB	SB
Pedestrian F _w / F _v	1.983	0.000	1.710	0.000
Pedestrian F _s / F _{delay}	0.000	0.152	0.000	0.104
Pedestrian M _{corner} / M _{cow}				
Bicycle c _b / d _b	405.36	44.50	1126.39	1096.31
Bicycle F _w / F _v	-3.64	0.74	-3.64	1.00

HCS7 Signalized Intersection Results Graphical Summary

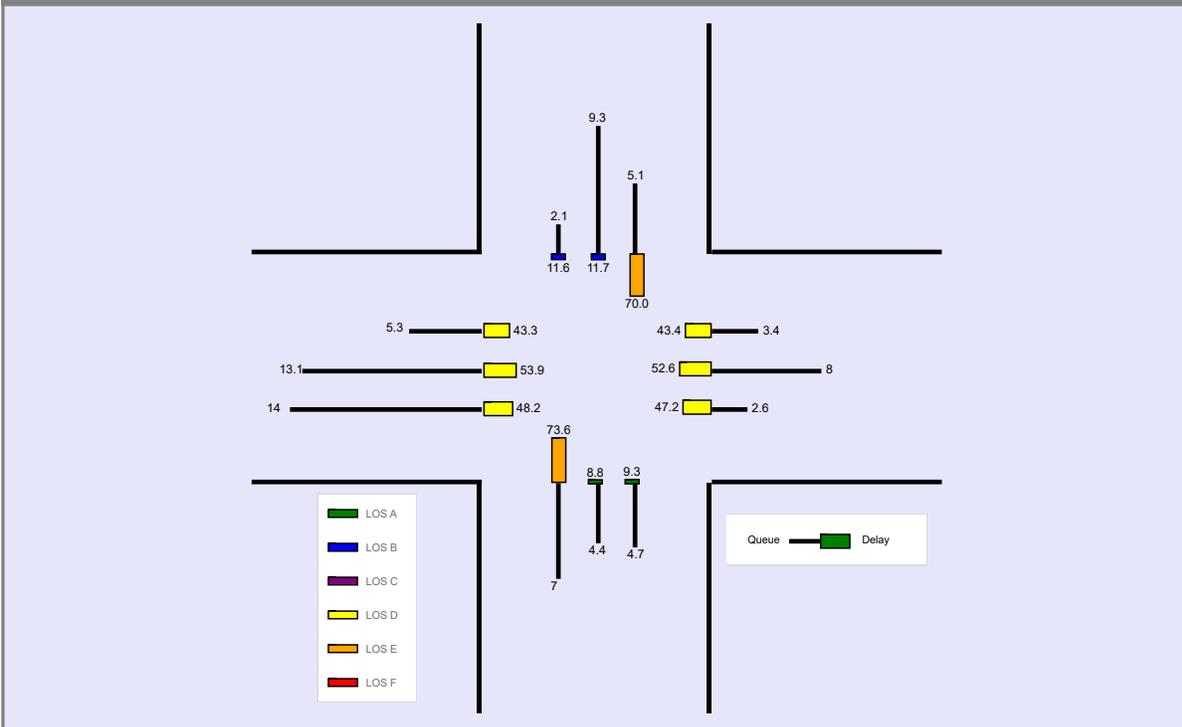
General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	8:00-9:00 AM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1AM_TOTAL US 12 at IL 22.xus		
Project Description	TOTAL				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	99	479	269	46	270	63	195	801	5	149	1493	87

Signal Information				Signal Timing (s)																		
Cycle, s	140.0	Reference Phase	2	Green	8.4	2.1	76.7	4.4	0.4	24.5	Yellow	3.5	0.0	4.5	3.5	4.5	Red	1.0	0.0	1.5	0.0	1.5
Offset, s	0	Reference Point	Begin	[Signal Timing Diagram]																		
Uncoordinated	No	Simult. Gap E/W	On	[Signal Timing Diagram]																		
Force Mode	Fixed	Simult. Gap N/S	On	[Signal Timing Diagram]																		

Movement Group Results	EB			WB			NB			SB								
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R						
Back of Queue (Q), ft/ln (95 th percentile)	132.6	331	349.7	66.7	204.2	88.7	179.3	115.4	116.7	128.7	238.9	53.8						
Back of Queue (Q), veh/ln (95 th percentile)	5.3	13.1	14.0	2.6	8.0	3.4	7.0	4.4	4.7	5.1	9.3	2.1						
Queue Storage Ratio (RQ) (95 th percentile)	0.60	0.00	0.80	0.28	0.00	0.34	0.44	0.00	0.00	0.45	0.00	0.24						
Control Delay (d), s/veh	43.3	53.9	48.2	47.2	52.6	43.4	73.6	8.8	9.3	70.0	11.7	11.6						
Level of Service (LOS)	D	D	D	D	D	D	E	A	A	E	B	B						
Approach Delay, s/veh / LOS	50.8			D			50.4			D			21.6			C		
Intersection Delay, s/veh / LOS	28.5						C											



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Appendix G | P17

--- Messages ---

No errors or warnings exist.

--- Comments ---

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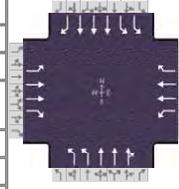
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Appendix G | P18

HCS7 Signalized Intersection Input Data

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	4:30-5:30 pM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2022	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1PM_Existing US 12 at IL 22.xus		
Project Description	EXISTING				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	135	342	253	84	552	133	282	1457	10	136	887	89

Signal Information				Signal Timing (s)																			
Cycle, s	150.0	Reference Phase	2	[Signal Timing Diagram]																			
Offset, s	0	Reference Point	Begin	Green	8.3	2.4	71.9	7.6	0.0	31.8	Yellow	3.5	3.5	4.5	3.5	4.5	Red	1.0	1.0	1.5	0.0	0.0	1.5
Uncoordinated	No	Simult. Gap E/W	On	[Signal Timing Diagram]																			
Force Mode	Fixed	Simult. Gap N/S	On	[Signal Timing Diagram]																			

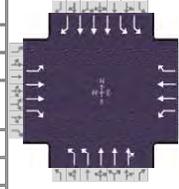
Traffic Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	135	342	253	84	552	133	282	1457	10	136	887	89
Initial Queue (Q _b), veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Base Saturation Flow Rate (s ₀), veh/h	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	2000	1900
Parking (N _m), man/h	None			None			None			None		
Heavy Vehicles (P _{HV}), %	0	1	1	1	1	1	0	1		2	1	1
Ped / Bike / RTOR, /h	0	0	0	0	0	0	0	0	0	0	0	0
Buses (N _b), buses/h	0	0	0	0	0	0	0	0	0	0	0	0
Arrival Type (A _T)	3	3	3	3	3	3	3	4	3	3	4	3
Upstream Filtering (I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lane Width (W), ft	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0		12.0	12.0	12.0
Turn Bay Length, ft	220	0	435	240	0	260	410	0		285	0	225
Grade (P _g), %	0			0			0			0		
Speed Limit, mi/h	35	35	35	35	35	35	45	45	45	45	45	45

Phase Information	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Maximum Green (G _{max}) or Phase Split, s	19.5	43.5	13.5	37.5	25.5	78.0	15.0	67.5
Yellow Change Interval (Y), s	3.5	4.5	3.5	4.5	3.5	4.5	3.5	4.5
Red Clearance Interval (R _c), s	0.0	1.5	0.0	1.5	1.0	1.5	1.0	1.5
Minimum Green (G _{min}), s	3	15	3	15	5	15	5	15
Start-Up Lost Time (I _t), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Extension of Effective Green (e), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Passage (P _T), s	3.0	5.0	3.0	5.0	3.0	7.0	3.0	7.0
Recall Mode	Off	Off	Off	Off	Off	Max	Off	Max
Dual Entry	No	Yes	No	Yes	No	Yes	No	Yes
Walk (Walk), s	13.0		0.0		0.0		0.0	
Pedestrian Clearance Time (P _C), s	66.0		0.0		0.0		0.0	

Multimodal Information	EB			WB			NB			SB		
85th % Speed / Rest in Walk / Corner Radius	0	No	25	0	No	25	0	No	25	0	No	25
Walkway / Crosswalk Width / Length, ft	9.0	12	0	9.0	12	0	9.0	12	0	9.0	12	0
Street Width / Island / Curb	0	0	No	0	0	No	0	0	No	0	0	No
Width Outside / Bike Lane / Shoulder, ft	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0
Pedestrian Signal / Occupied Parking	No	0.50										

HCS7 Signalized Intersection Results Summary

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	4:30-5:30 pM WEEKDAY	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2022	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1PM_Existing US 12 at IL 22.xus				
Project Description	EXISTING						



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	135	342	253	84	552	133	282	1457	10	136	887	89

Signal Information				Signal Timing (s)										
Cycle, s	150.0	Reference Phase	2											
Offset, s	0	Reference Point	Begin											
Uncoordinated	No	Simult. Gap E/W	On	Green	8.3	2.4	71.9	7.6	0.0	31.8				
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	3.5	3.5	4.5	3.5	3.5	4.5				
				Red	1.0	1.0	1.5	0.0	0.0	1.5				

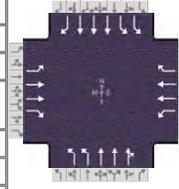
Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	1.1	3.0	1.1	3.0	2.0	4.0	2.0	3.0
Phase Duration, s	14.6	41.3	11.1	37.8	19.8	84.8	12.8	77.9
Change Period, (Y+R c), s	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Max Allow Headway (MAH), s	4.0	6.1	4.0	6.1	4.0	0.0	4.0	0.0
Queue Clearance Time (g s), s	11.0	21.9	7.7	23.5	14.4		8.1	
Green Extension Time (g e), s	0.2	10.5	0.0	8.3	0.8	0.0	0.2	0.0
Phase Call Probability	1.00	1.00	0.97	1.00	1.00		1.00	
Max Out Probability	0.43	0.54	1.00	0.71	0.01		0.05	

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	142	360	266	88	581	140	297	1031	513	143	934	94
Adjusted Saturation Flow Rate (s), veh/h/ln	1810	1889	1598	1795	1889	1598	1757	1885	1878	1730	1802	1598
Queue Service Time (g s), s	9.0	12.1	19.9	5.7	21.5	10.6	12.4	19.3	19.5	6.1	12.2	4.2
Cycle Queue Clearance Time (g c), s	9.0	12.1	19.9	5.7	21.5	10.6	12.4	19.3	19.5	6.1	12.2	4.2
Green Ratio (g/C)	0.30	0.24	0.34	0.26	0.21	0.27	0.10	0.53	0.53	0.06	0.48	0.55
Capacity (c), veh/h	240	889	539	284	801	427	358	1980	987	192	2589	883
Volume-to-Capacity Ratio (X)	0.592	0.405	0.494	0.311	0.726	0.328	0.830	0.520	0.520	0.745	0.361	0.106
Back of Queue (Q), ft/ln (95 th percentile)	188	245.6	320.2	118.6	401.6	194.6	241.7	273.8	282.8	129	202.6	70.6
Back of Queue (Q), veh/ln (95 th percentile)	7.5	9.7	12.7	4.7	15.9	7.7	9.7	10.9	11.3	5.1	8.0	2.8
Queue Storage Ratio (RQ) (95 th percentile)	0.85	0.00	0.74	0.49	0.00	0.75	0.59	0.00	0.00	0.45	0.00	0.31
Uniform Delay (d 1), s/veh	42.2	48.5	39.5	43.3	55.0	44.1	66.1	13.6	13.8	69.8	16.3	15.9
Incremental Delay (d 2), s/veh	2.3	0.6	1.5	0.6	3.5	0.9	5.0	1.0	2.0	5.6	0.4	0.2
Initial Queue Delay (d 3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	44.5	49.1	41.0	43.9	58.6	45.1	71.1	14.5	15.7	75.4	16.7	16.2
Level of Service (LOS)	D	D	D	D	E	D	E	B	B	E	B	B
Approach Delay, s/veh / LOS	45.5		D	54.6		D	24.0		C	23.8		C
Intersection Delay, s/veh / LOS	33.0						C					

Multimodal Results	EB		WB		NB		SB	
Pedestrian LOS Score / LOS	2.73	C	2.86	C	2.42	B	2.43	B
Bicycle LOS Score / LOS	1.12	A	1.16	A	1.50	B	1.13	A

HCS7 Signalized Intersection Intermediate Values

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	4:30-5:30 pM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2022	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1PM_Existing US 12 at IL 22.xus		
Project Description	EXISTING				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	135	342	253	84	552	133	282	1457	10	136	887	89

Signal Information				Signal Timing (s)																			
Cycle, s	150.0	Reference Phase	2	Green	8.3	2.4	71.9	7.6	0.0	31.8	Yellow	3.5	3.5	4.5	3.5	4.5	Red	1.0	1.0	1.5	0.0	0.0	1.5
Offset, s	0	Reference Point	Begin																				
Uncoordinated	No	Simult. Gap E/W	On																				
Force Mode	Fixed	Simult. Gap N/S	On																				

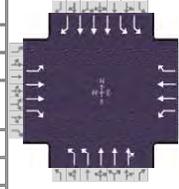
Saturation Flow / Delay	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f _w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Heavy Vehicles and Grade Factor (f _{HVG})	1.000	0.992	0.992	0.992	0.992	0.992	1.000	0.992	1.000	0.984	0.992	0.992
Parking Activity Adjustment Factor (f _p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f _{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f _a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f _{LU})	1.000	0.952	1.000	1.000	0.952	1.000	0.971	1.000	1.000	0.971	0.908	1.000
Left-Turn Adjustment Factor (f _{LT})	0.952	0.000		0.952	0.000		0.952	0.000		0.952	0.000	
Right-Turn Adjustment Factor (f _{RT})		0.000	0.847		0.000	0.847		0.996	0.996		0.000	0.847
Left-Turn Pedestrian Adjustment Factor (f _{LPB})	1.000			1.000			1.000			1.000		
Right-Turn Ped-Bike Adjustment Factor (f _{RPB})			1.000			1.000			1.000			1.000
Work Zone Adjustment Factor (f _{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
DDI Factor (f _{DDI})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Movement Saturation Flow Rate (s), veh/h	1810	3778	1598	1795	3778	1598	3514	5610	39	3459	5406	1598
Proportion of Vehicles Arriving on Green (P)	0.07	0.24	0.24	0.05	0.21	0.21	0.10	0.70	0.53	0.06	0.64	0.48
Incremental Delay Factor (k)	0.11	0.23	0.23	0.11	0.30	0.23	0.11	0.50	0.50	0.11	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t _L)	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Green Ratio (g/C)	0.30	0.24	0.26	0.21	0.10	0.53	0.06	0.48
Permitted Saturation Flow Rate (s _p), veh/h/ln	846	0	1030	0	0	0	0	0
Shared Saturation Flow Rate (s _{sh}), veh/h/ln								
Permitted Effective Green Time (g _p), s	33.8	0.0	31.8	0.0	0.0	0.0	0.0	0.0
Permitted Service Time (g _u), s	10.3	0.0	21.2	0.0	0.0	0.0	0.0	0.0
Permitted Queue Service Time (g _{ps}), s	4.7		1.0					
Time to First Blockage (g _r), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g _{is}), s								
Protected Right Saturation Flow (s _R), veh/h/ln		1598		1598				1598
Protected Right Effective Green Time (g _R), s		15.3		8.3				11.1

Multimodal	EB	WB	NB	SB
Pedestrian F _w / F _v	1.983	0.000	1.710	0.000
Pedestrian F _s / F _{delay}	0.000	0.152	0.000	0.113
Pedestrian M _{corner} / M _{cow}				
Bicycle c _b / d _b	470.75	43.85	1050.51	958.04
Bicycle F _w / F _v	-3.64	0.63	-3.64	0.64

HCS7 Signalized Intersection Results Graphical Summary

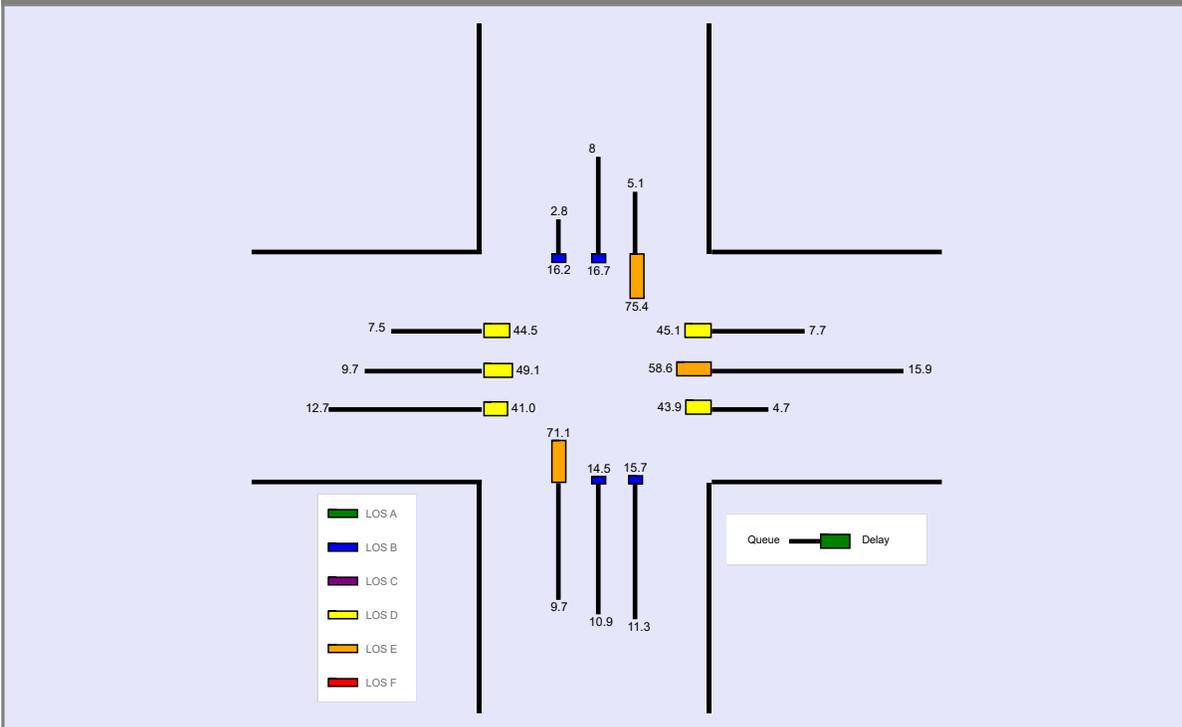
General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	4:30-5:30 pM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2022	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1PM_Existing US 12 at IL 22.xus		
Project Description	EXISTING				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	135	342	253	84	552	133	282	1457	10	136	887	89

Signal Information				Signal Timing (s)							Signal Phases			
Cycle, s	150.0	Reference Phase	2	Green	8.3	2.4	71.9	7.6	0.0	31.8	1	2	3	4
Offset, s	0	Reference Point	Begin	Yellow	3.5	3.5	4.5	3.5	3.5	4.5	5	6	7	8
Uncoordinated	No	Simult. Gap E/W	On	Red	1.0	1.0	1.5	0.0	0.0	1.5				
Force Mode	Fixed	Simult. Gap N/S	On											

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Back of Queue (Q), ft/ln (95 th percentile)	188	245.6	320.2	118.6	401.6	194.6	241.7	273.8	282.8	129	202.6	70.6
Back of Queue (Q), veh/ln (95 th percentile)	7.5	9.7	12.7	4.7	15.9	7.7	9.7	10.9	11.3	5.1	8.0	2.8
Queue Storage Ratio (RQ) (95 th percentile)	0.85	0.00	0.74	0.49	0.00	0.75	0.59	0.00	0.00	0.45	0.00	0.31
Control Delay (d), s/veh	44.5	49.1	41.0	43.9	58.6	45.1	71.1	14.5	15.7	75.4	16.7	16.2
Level of Service (LOS)	D	D	D	D	E	D	E	B	B	E	B	B
Approach Delay, s/veh / LOS	45.5 D			54.6 D			24.0 C			23.8 C		
Intersection Delay, s/veh / LOS	33.0						C					



Appendix G | P22

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Appendix G | P23

--- Messages ---

No errors or warnings exist.

--- Comments ---

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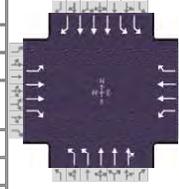
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Appendix G | P24

HCS7 Signalized Intersection Input Data

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	4:30-5:30 pM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1PM_NB US 12 at IL 22.xus		
Project Description	NO-BUILD				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	139	352	261	87	569	137	291	1501	10	140	914	92

Signal Information				Signal Timing (s)																			
Cycle, s	150.0	Reference Phase	2	Green	8.5	2.7	70.8	7.8	0.1	32.2	Yellow	3.5	3.5	4.5	3.5	4.5	Red	1.0	1.0	1.5	0.0	0.0	1.5
Offset, s	0	Reference Point	Begin																				
Uncoordinated	No	Simult. Gap E/W	On																				
Force Mode	Fixed	Simult. Gap N/S	On																				

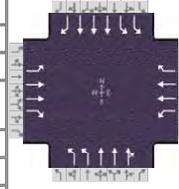
Traffic Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	139	352	261	87	569	137	291	1501	10	140	914	92
Initial Queue (Q _b), veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Base Saturation Flow Rate (s ₀), veh/h	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	2000	1900
Parking (N _m), man/h	None			None			None			None		
Heavy Vehicles (P _{HV}), %	0	1	1	1	1	1	0	1		2	1	1
Ped / Bike / RTOR, /h	0	0	0	0	0	0	0	0	0	0	0	0
Buses (N _b), buses/h	0	0	0	0	0	0	0	0	0	0	0	0
Arrival Type (A _T)	3	3	3	3	3	3	3	4	3	3	4	3
Upstream Filtering (I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lane Width (W), ft	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0		12.0	12.0	12.0
Turn Bay Length, ft	220	0	435	240	0	260	410	0		285	0	225
Grade (P _g), %	0			0			0			0		
Speed Limit, mi/h	35	35	35	35	35	35	45	45	45	45	45	45

Phase Information	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT	
Maximum Green (G _{max}) or Phase Split, s	19.5	43.5	13.5	37.5	25.5	78.0	15.0	67.5	
Yellow Change Interval (Y), s	3.5	4.5	3.5	4.5	3.5	4.5	3.5	4.5	
Red Clearance Interval (R _c), s	0.0	1.5	0.0	1.5	1.0	1.5	1.0	1.5	
Minimum Green (G _{min}), s	3	15	3	15	5	15	5	15	
Start-Up Lost Time (I _t), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	
Extension of Effective Green (e), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	
Passage (P _T), s	3.0	5.0	3.0	5.0	3.0	7.0	3.0	7.0	
Recall Mode	Off	Off	Off	Off	Off	Max	Off	Max	
Dual Entry	No	Yes	No	Yes	No	Yes	No	Yes	
Walk (Walk), s	13.0			0.0			0.0		
Pedestrian Clearance Time (P _C), s	66.0			0.0			0.0		

Multimodal Information	EB			WB			NB			SB		
85th % Speed / Rest in Walk / Corner Radius	0	No	25	0	No	25	0	No	25	0	No	25
Walkway / Crosswalk Width / Length, ft	9.0	12	0	9.0	12	0	9.0	12	0	9.0	12	0
Street Width / Island / Curb	0	0	No	0	0	No	0	0	No	0	0	No
Width Outside / Bike Lane / Shoulder, ft	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0
Pedestrian Signal / Occupied Parking	No	0.50										

HCS7 Signalized Intersection Results Summary

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	4:30-5:30 pM WEEKDAY	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1PM_NB US 12 at IL 22.xus				
Project Description	NO-BUILD						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	139	352	261	87	569	137	291	1501	10	140	914	92

Signal Information				Signal Timing (s)									
Cycle, s	150.0	Reference Phase	2										
Offset, s	0	Reference Point	Begin										
Uncoordinated	No	Simult. Gap E/W	On	Green	8.5	2.7	70.8	7.8	0.1	32.2			
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	3.5	3.5	4.5	3.5	3.5	4.5			
				Red	1.0	1.0	1.5	0.0	0.0	1.5			

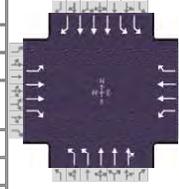
Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	1.1	3.0	1.1	3.0	2.0	4.0	2.0	3.0
Phase Duration, s	14.8	41.8	11.3	38.2	20.2	84.0	13.0	76.8
Change Period, (Y+R c), s	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Max Allow Headway (MAH), s	4.0	6.1	4.0	6.1	4.0	0.0	4.0	0.0
Queue Clearance Time (g s), s	11.2	22.5	7.9	24.2	14.8		8.3	
Green Extension Time (g e), s	0.2	10.5	0.0	8.0	0.8	0.0	0.2	0.0
Phase Call Probability	1.00	1.00	0.98	1.00	1.00		1.00	
Max Out Probability	0.53	0.59	1.00	0.75	0.02		0.12	

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	146	371	275	92	599	144	306	1062	529	147	962	97
Adjusted Saturation Flow Rate (s), veh/h/ln	1810	1889	1598	1795	1889	1598	1757	1885	1878	1730	1802	1598
Queue Service Time (g s), s	9.2	12.4	20.5	5.9	22.2	10.8	12.8	20.8	20.9	6.3	13.0	4.4
Cycle Queue Clearance Time (g c), s	9.2	12.4	20.5	5.9	22.2	10.8	12.8	20.8	20.9	6.3	13.0	4.4
Green Ratio (g/C)	0.30	0.24	0.34	0.27	0.21	0.27	0.10	0.52	0.52	0.06	0.47	0.55
Capacity (c), veh/h	240	901	548	286	811	434	367	1959	976	196	2552	875
Volume-to-Capacity Ratio (X)	0.609	0.411	0.502	0.320	0.738	0.333	0.835	0.542	0.542	0.752	0.377	0.111
Back of Queue (Q), ft/ln (95 th percentile)	191.8	251.2	327.6	122.3	413.1	198.7	249.1	289.7	300.5	132.8	212.7	74.2
Back of Queue (Q), veh/ln (95 th percentile)	7.7	10.0	13.0	4.9	16.4	7.9	10.0	11.5	12.0	5.2	8.4	2.9
Queue Storage Ratio (RQ) (95 th percentile)	0.87	0.00	0.75	0.51	0.00	0.76	0.61	0.00	0.00	0.47	0.00	0.33
Uniform Delay (d 1), s/veh	41.9	48.2	39.1	42.9	55.0	43.8	65.9	14.2	14.4	69.7	17.1	16.3
Incremental Delay (d 2), s/veh	2.5	0.6	1.5	0.6	3.8	1.0	5.9	1.1	2.2	5.7	0.4	0.3
Initial Queue Delay (d 3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	44.4	48.9	40.6	43.6	58.8	44.7	71.8	15.3	16.6	75.4	17.5	16.6
Level of Service (LOS)	D	D	D	D	E	D	E	B	B	E	B	B
Approach Delay, s/veh / LOS	45.2		D	54.7		D	24.8		C	24.5		C
Intersection Delay, s/veh / LOS	33.4						C					

Multimodal Results	EB		WB		NB		SB	
Pedestrian LOS Score / LOS	2.73	C	2.86	C	2.42	B	2.43	B
Bicycle LOS Score / LOS	1.14	A	1.18	A	1.53	B	1.15	A

HCS7 Signalized Intersection Intermediate Values

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	4:30-5:30 pM WEEKDAY	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1PM_NB US 12 at IL 22.xus				
Project Description	NO-BUILD						



Demand Information	EB			WB			NB			SB		
	L	T	R	L	T	R	L	T	R	L	T	R
Approach Movement												
Demand (v), veh/h	139	352	261	87	569	137	291	1501	10	140	914	92

Signal Information				Signal Timing Diagram											
Cycle, s	150.0	Reference Phase	2	[Diagram showing 8 phases with timing values]											
Offset, s	0	Reference Point	Begin	[Diagram showing 8 phases with timing values]											
Uncoordinated	No	Simult. Gap E/W	On	[Diagram showing 8 phases with timing values]											
Force Mode	Fixed	Simult. Gap N/S	On	[Diagram showing 8 phases with timing values]											

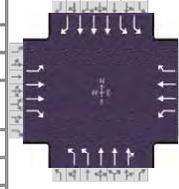
Saturation Flow / Delay	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f _w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Heavy Vehicles and Grade Factor (f _{HVG})	1.000	0.992	0.992	0.992	0.992	0.992	1.000	0.992	1.000	0.984	0.992	0.992
Parking Activity Adjustment Factor (f _p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f _{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f _a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f _{LU})	1.000	0.952	1.000	1.000	0.952	1.000	0.971	1.000	1.000	0.971	0.908	1.000
Left-Turn Adjustment Factor (f _{LT})	0.952	0.000		0.952	0.000		0.952	0.000		0.952	0.000	
Right-Turn Adjustment Factor (f _{RT})		0.000	0.847		0.000	0.847		0.996	0.996		0.000	0.847
Left-Turn Pedestrian Adjustment Factor (f _{LPB})	1.000			1.000			1.000			1.000		
Right-Turn Ped-Bike Adjustment Factor (f _{RPB})			1.000			1.000			1.000			1.000
Work Zone Adjustment Factor (f _{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
DDI Factor (f _{DDI})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Movement Saturation Flow Rate (s), veh/h	1810	3778	1598	1795	3778	1598	3514	5611	37	3459	5406	1598
Proportion of Vehicles Arriving on Green (P)	0.08	0.24	0.24	0.05	0.21	0.21	0.10	0.69	0.52	0.06	0.63	0.47
Incremental Delay Factor (k)	0.11	0.23	0.23	0.11	0.32	0.23	0.13	0.50	0.50	0.11	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t _L)	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Green Ratio (g/C)	0.30	0.24	0.27	0.21	0.10	0.52	0.06	0.47
Permitted Saturation Flow Rate (s _p), veh/h/ln	833	0	1020	0	0	0	0	0
Shared Saturation Flow Rate (s _{sh}), veh/h/ln								
Permitted Effective Green Time (g _p), s	34.2	0.0	32.2	0.0	0.0	0.0	0.0	0.0
Permitted Service Time (g _u), s	10.0	0.0	21.3	0.0	0.0	0.0	0.0	0.0
Permitted Queue Service Time (g _{ps}), s	5.2		1.1					
Time to First Blockage (g _r), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g _{is}), s								
Protected Right Saturation Flow (s _R), veh/h/ln		1598		1598				1598
Protected Right Effective Green Time (g _R), s		15.7		8.5				11.3

Multimodal	EB	WB	NB	SB
Pedestrian F _w / F _v	1.983	0.000	2.107	0.000
Pedestrian F _s / F _{delay}	0.000	0.151	0.000	0.154
Pedestrian M _{corner} / M _{cow}				
Bicycle c _b / d _b	476.89	43.50	429.53	46.24
Bicycle F _w / F _v	-3.64	0.65	-3.64	0.69

HCS7 Signalized Intersection Results Graphical Summary

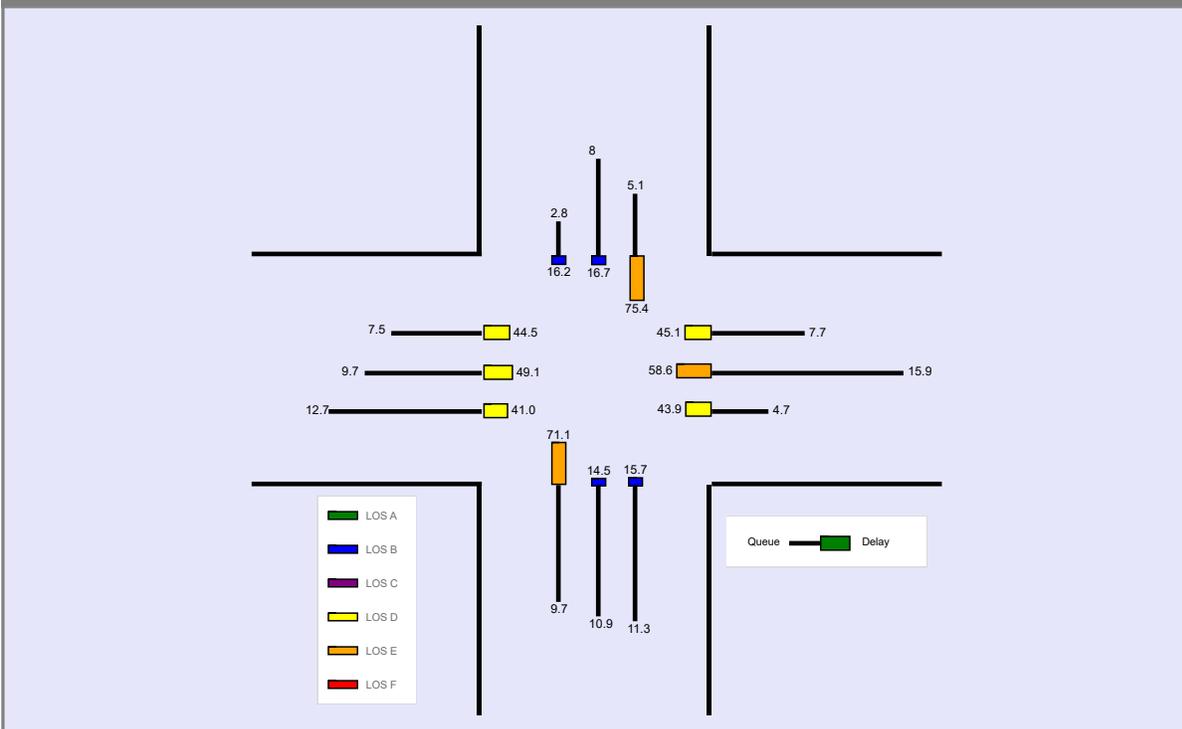
General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	4:30-5:30 pM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1PM_NB US 12 at IL 22.xus		
Project Description	NO-BUILD				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	139	352	261	87	569	137	291	1501	10	140	914	92

Signal Information				Signal Timing Diagram															
Cycle, s	150.0	Reference Phase	2	[Timing Diagram]															
Offset, s	0	Reference Point	Begin	[Timing Diagram]															
Uncoordinated	No	Simult. Gap E/W	On	[Timing Diagram]															
Force Mode	Fixed	Simult. Gap N/S	On	[Timing Diagram]															
				Green	8.5	2.7	70.8	7.8	0.1	32.2	[Timing Diagram]			[Timing Diagram]			[Timing Diagram]		
				Yellow	3.5	3.5	4.5	3.5	3.5	4.5	[Timing Diagram]			[Timing Diagram]			[Timing Diagram]		
				Red	1.0	1.0	1.5	0.0	0.0	1.5	[Timing Diagram]			[Timing Diagram]			[Timing Diagram]		

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Back of Queue (Q), ft/ln (95 th percentile)	191.8	251.2	327.6	122.3	413.1	198.7	249.1	289.7	300.5	132.8	212.7	74.2
Back of Queue (Q), veh/ln (95 th percentile)	7.7	10.0	13.0	4.9	16.4	7.9	10.0	11.5	12.0	5.2	8.4	2.9
Queue Storage Ratio (RQ) (95 th percentile)	0.87	0.00	0.75	0.51	0.00	0.76	0.61	0.00	0.00	0.47	0.00	0.33
Control Delay (d), s/veh	44.4	48.9	40.6	43.6	58.8	44.7	71.8	15.3	16.6	75.4	17.5	16.6
Level of Service (LOS)	D	D	D	D	E	D	E	B	B	E	B	B
Approach Delay, s/veh / LOS	45.2		D	54.7		D	24.8		C	24.5		C
Intersection Delay, s/veh / LOS	33.4						C					



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Appendix G | P29

--- Messages ---

No errors or warnings exist.

--- Comments ---

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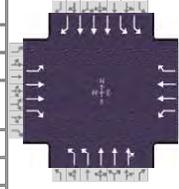
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Appendix G | P30

HCS7 Signalized Intersection Input Data

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	4:30-5:30 pM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1PM_Total US 12 at IL 22.xus		
Project Description	Total				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	155	363	261	97	567	137	307	1498	10	140	935	92

Signal Information				Signal Timing (s)										
Cycle, s	150.0	Reference Phase	2											
Offset, s	0	Reference Point	Begin											
Uncoordinated	No	Simult. Gap E/W	On	Green	8.5	3.4	69.5	8.5	0.4	31.7				
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	3.5	3.5	4.5	3.5	3.5	4.5				
				Red	1.0	1.0	1.5	0.0	0.0	1.5				

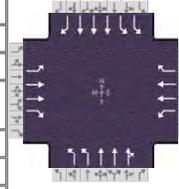
Traffic Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	155	363	261	97	567	137	307	1498	10	140	935	92
Initial Queue (Q _b), veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Base Saturation Flow Rate (s ₀), veh/h	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	2000	1900
Parking (N _m), man/h	None			None			None			None		
Heavy Vehicles (P _{HV}), %	0	1	1	1	1	1	0	1		2	1	1
Ped / Bike / RTOR, /h	0	0	0	0	0	0	0	0	0	0	0	0
Buses (N _b), buses/h	0	0	0	0	0	0	0	0	0	0	0	0
Arrival Type (A _T)	3	3	3	3	3	3	3	4	3	3	4	3
Upstream Filtering (I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lane Width (W), ft	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0		12.0	12.0	12.0
Turn Bay Length, ft	220	0	435	240	0	260	410	0		285	0	225
Grade (P _g), %	0			0			0			0		
Speed Limit, mi/h	35	35	35	35	35	35	45	45	45	45	45	45

Phase Information	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT	
Maximum Green (G _{max}) or Phase Split, s	19.5	43.5	13.5	37.5	25.5	78.0	15.0	67.5	
Yellow Change Interval (Y), s	3.5	4.5	3.5	4.5	3.5	4.5	3.5	4.5	
Red Clearance Interval (R _c), s	0.0	1.5	0.0	1.5	1.0	1.5	1.0	1.5	
Minimum Green (G _{min}), s	3	15	3	15	5	15	5	15	
Start-Up Lost Time (I _t), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	
Extension of Effective Green (e), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	
Passage (P _T), s	3.0	5.0	3.0	5.0	3.0	7.0	3.0	7.0	
Recall Mode	Off	Off	Off	Off	Off	Max	Off	Max	
Dual Entry	No	Yes	No	Yes	No	Yes	No	Yes	
Walk (Walk), s	13.0			0.0			0.0		
Pedestrian Clearance Time (P _C), s	66.0			0.0			0.0		

Multimodal Information	EB			WB			NB			SB		
85th % Speed / Rest in Walk / Corner Radius	0	No	25	0	No	25	0	No	25	0	No	25
Walkway / Crosswalk Width / Length, ft	9.0	12	0	9.0	12	0	9.0	12	0	9.0	12	0
Street Width / Island / Curb	0	0	No	0	0	No	0	0	No	0	0	No
Width Outside / Bike Lane / Shoulder, ft	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0
Pedestrian Signal / Occupied Parking	No	0.50										

HCS7 Signalized Intersection Results Summary

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	4:30-5:30 pM WEEKDAY	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1PM_Total US 12 at IL 22.xus				
Project Description	Total						



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	155	363	261	97	567	137	307	1498	10	140	935	92

Signal Information				Signal Timing Diagram								
Cycle, s	150.0	Reference Phase	2									
Offset, s	0	Reference Point	Begin									
Uncoordinated	No	Simult. Gap E/W	On									
Force Mode	Fixed	Simult. Gap N/S	On									
Green	8.5	3.4	69.5	8.5	0.4	31.7						
Yellow	3.5	3.5	4.5	3.5	3.5	4.5						
Red	1.0	1.0	1.5	0.0	0.0	1.5						

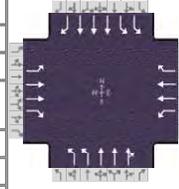
Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	1.1	3.0	1.1	3.0	2.0	4.0	2.0	3.0
Phase Duration, s	15.9	41.6	12.0	37.7	20.9	83.4	13.0	75.5
Change Period, (Y+R c), s	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Max Allow Headway (MAH), s	4.0	6.1	4.0	6.1	4.0	0.0	4.0	0.0
Queue Clearance Time (g s), s	12.3	22.4	8.6	24.2	15.5		8.3	
Green Extension Time (g e), s	0.2	10.3	0.0	7.5	0.8	0.0	0.2	0.0
Phase Call Probability	1.00	1.00	0.99	1.00	1.00		1.00	
Max Out Probability	1.00	0.61	1.00	0.80	0.05		0.21	

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	163	382	275	102	597	144	323	1059	528	147	984	97
Adjusted Saturation Flow Rate (s), veh/h/ln	1810	1889	1598	1795	1889	1598	1757	1885	1878	1730	1802	1598
Queue Service Time (g s), s	10.3	12.9	20.4	6.6	22.2	10.9	13.5	21.0	21.2	6.3	13.8	4.4
Cycle Queue Clearance Time (g c), s	10.3	12.9	20.4	6.6	22.2	10.9	13.5	21.0	21.2	6.3	13.8	4.4
Green Ratio (g/C)	0.31	0.24	0.35	0.27	0.21	0.27	0.11	0.52	0.52	0.06	0.46	0.55
Capacity (c), veh/h	251	896	553	289	798	428	383	1946	969	196	2506	873
Volume-to-Capacity Ratio (X)	0.651	0.426	0.497	0.353	0.748	0.337	0.844	0.545	0.545	0.753	0.393	0.111
Back of Queue (Q), ft/ln (95 th percentile)	212.7	258.6	326	137	414.9	199.6	262.5	294.7	304.8	132.9	223.3	74.5
Back of Queue (Q), veh/ln (95 th percentile)	8.5	10.3	12.9	5.4	16.5	7.9	10.5	11.7	12.2	5.2	8.9	3.0
Queue Storage Ratio (RQ) (95 th percentile)	0.97	0.00	0.75	0.57	0.00	0.77	0.64	0.00	0.00	0.47	0.00	0.33
Uniform Delay (d 1), s/veh	42.0	48.6	38.7	43.1	55.4	44.2	65.6	14.6	14.8	69.7	18.0	16.4
Incremental Delay (d 2), s/veh	4.0	0.7	1.5	0.7	4.2	1.0	7.3	1.1	2.2	5.8	0.5	0.3
Initial Queue Delay (d 3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	45.9	49.2	40.2	43.8	59.6	45.2	72.9	15.7	17.0	75.5	18.5	16.7
Level of Service (LOS)	D	D	D	D	E	D	E	B	B	E	B	B
Approach Delay, s/veh / LOS	45.6		D	55.3		E	25.7		C	25.2		C
Intersection Delay, s/veh / LOS	34.2						C					

Multimodal Results	EB	WB	NB	SB
Pedestrian LOS Score / LOS	2.73	C	2.86	C
Bicycle LOS Score / LOS	1.16	A	1.18	A

HCS7 Signalized Intersection Intermediate Values

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	4:30-5:30 pM WEEKDAY	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1PM_Total US 12 at IL 22.xus				
Project Description	Total						



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	155	363	261	97	567	137	307	1498	10	140	935	92

Signal Information				Signal Timing Diagram																			
Cycle, s	150.0	Reference Phase	2	[Diagram showing 8 phases with timing values]																			
Offset, s	0	Reference Point	Begin	Green	8.5	3.4	69.5	8.5	0.4	31.7	Yellow	3.5	3.5	4.5	3.5	4.5	Red	1.0	1.0	1.5	0.0	0.0	1.5
Uncoordinated	No	Simult. Gap E/W	On	[Diagram showing 8 phases with timing values]																			
Force Mode	Fixed	Simult. Gap N/S	On	[Diagram showing 8 phases with timing values]																			

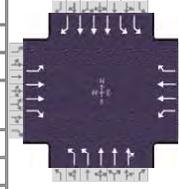
Saturation Flow / Delay	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f_w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Heavy Vehicles and Grade Factor (f_{HVg})	1.000	0.992	0.992	0.992	0.992	0.992	1.000	0.992	1.000	0.984	0.992	0.992
Parking Activity Adjustment Factor (f_p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f_{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f_a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f_{LU})	1.000	0.952	1.000	1.000	0.952	1.000	0.971	1.000	1.000	0.971	0.908	1.000
Left-Turn Adjustment Factor (f_{LT})	0.952	0.000	0.952	0.000	0.000	0.952	0.000	0.000	0.952	0.000	0.000	0.000
Right-Turn Adjustment Factor (f_{RT})		0.000	0.847		0.000	0.847		0.996	0.996		0.000	0.847
Left-Turn Pedestrian Adjustment Factor (f_{LPB})	1.000			1.000			1.000			1.000		
Right-Turn Ped-Bike Adjustment Factor (f_{RPB})			1.000			1.000			1.000			1.000
Work Zone Adjustment Factor (f_{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
DDI Factor (f_{DDI})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Movement Saturation Flow Rate (s), veh/h	1810	3778	1598	1795	3778	1598	3514	5611	37	3459	5406	1598
Proportion of Vehicles Arriving on Green (P)	0.08	0.24	0.24	0.06	0.21	0.21	0.11	0.69	0.52	0.06	0.62	0.46
Incremental Delay Factor (k)	0.15	0.23	0.23	0.11	0.33	0.23	0.16	0.50	0.50	0.11	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t_L)	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Green Ratio (g/C)	0.31	0.24	0.27	0.21	0.11	0.52	0.06	0.46
Permitted Saturation Flow Rate (s_p), veh/h/ln	834	0	1009	0	0	0	0	0
Shared Saturation Flow Rate (s_{sh}), veh/h/ln								
Permitted Effective Green Time (g_p), s	33.7	0.0	31.7	0.0	0.0	0.0	0.0	0.0
Permitted Service Time (g_u), s	9.5	0.0	20.7	0.0	0.0	0.0	0.0	0.0
Permitted Queue Service Time (g_{ps}), s	5.9		1.2					
Time to First Blockage (g_r), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g_{is}), s								
Protected Right Saturation Flow (s_R), veh/h/ln		1598		1598				1598
Protected Right Effective Green Time (g_R), s		16.4		8.5				12.4

Multimodal	EB	WB	NB	SB
Pedestrian F_w / F_v	1.983	0.000	2.107	0.000
Pedestrian F_s / F_{delay}	0.000	0.151	0.000	0.154
Pedestrian M_{corner} / M_{cov}				
Bicycle c_b / d_b	474.35	43.64	422.24	46.68
Bicycle F_w / F_v	-3.64	0.68	-3.64	0.70

HCS7 Signalized Intersection Results Graphical Summary

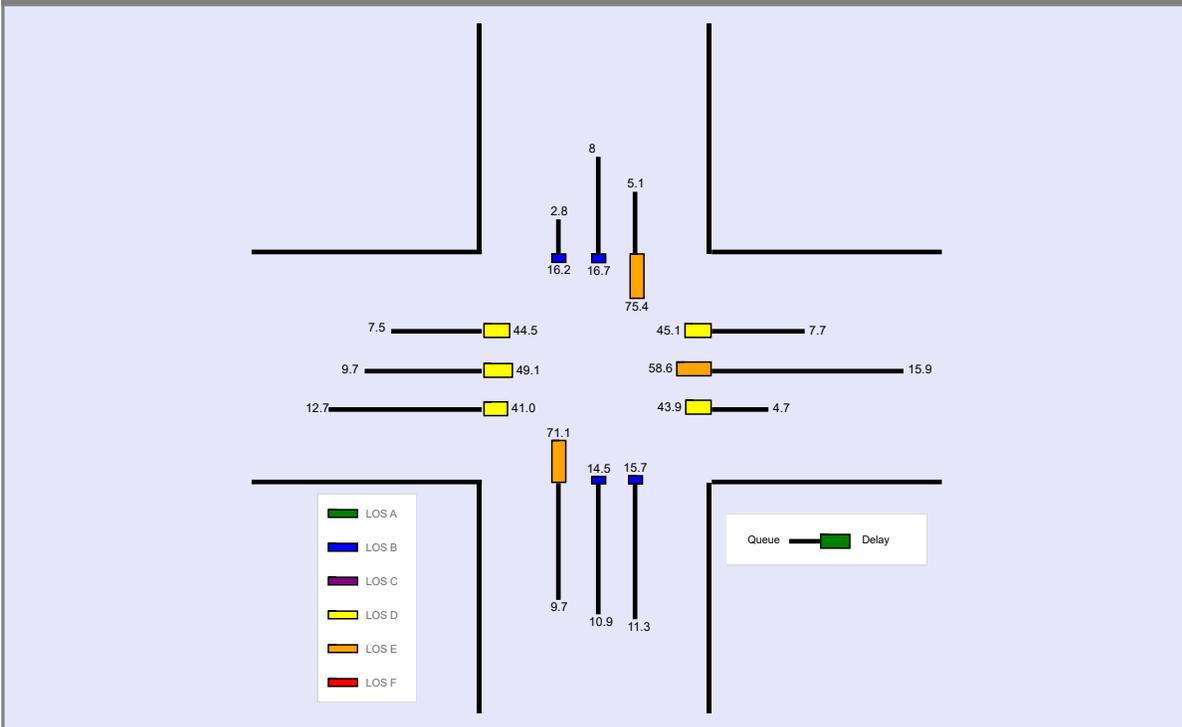
General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	4:30-5:30 pM WEEKDAY	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1PM_Total US 12 at IL 22.xus		
Project Description	Total				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	155	363	261	97	567	137	307	1498	10	140	935	92

Signal Information				EB		WB		NB		SB	
Cycle, s	150.0	Reference Phase	2	Green	8.5	3.4	69.5	8.5	0.4	31.7	
Offset, s	0	Reference Point	Begin	Yellow	3.5	3.5	4.5	3.5	3.5	4.5	
Uncoordinated	No	Simult. Gap E/W	On	Red	1.0	1.0	1.5	0.0	0.0	1.5	
Force Mode	Fixed	Simult. Gap N/S	On								

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Back of Queue (Q), ft/ln (95 th percentile)	212.7	258.6	326	137	414.9	199.6	262.5	294.7	304.8	132.9	223.3	74.5
Back of Queue (Q), veh/ln (95 th percentile)	8.5	10.3	12.9	5.4	16.5	7.9	10.5	11.7	12.2	5.2	8.9	3.0
Queue Storage Ratio (RQ) (95 th percentile)	0.97	0.00	0.75	0.57	0.00	0.77	0.64	0.00	0.00	0.47	0.00	0.33
Control Delay (d), s/veh	45.9	49.2	40.2	43.8	59.6	45.2	72.9	15.7	17.0	75.5	18.5	16.7
Level of Service (LOS)	D	D	D	D	E	D	E	B	B	E	B	B
Approach Delay, s/veh / LOS	45.6		D	55.3		E	25.7		C	25.2		C
Intersection Delay, s/veh / LOS	34.2						C					



Appendix G | P34

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Appendix G | P35

--- Messages ---

No errors or warnings exist.

--- Comments ---

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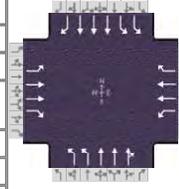
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Appendix G | P36

HCS7 Signalized Intersection Input Data

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	12:00-1:00 PM SAT	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2022	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1SAT_Existing US 12 at IL 22.xus		
Project Description	EXISTING				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	159	373	325	109	311	115	418	1153	14	200	1227	107

Signal Information				Signal Timing (s)																				
Cycle, s	130.0	Reference Phase	2	Green	10.0	3.9	54.8	8.5	2.9	25.5	Yellow	3.5	3.5	4.5	3.5	0.0	4.5	Red	1.0	1.0	1.5	0.0	0.0	1.5
Offset, s	0	Reference Point	Begin																					
Uncoordinated	No	Simult. Gap E/W	On																					
Force Mode	Fixed	Simult. Gap N/S	On																					

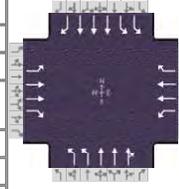
Traffic Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	159	373	325	109	311	115	418	1153	14	200	1227	107
Initial Queue (Q _b), veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Base Saturation Flow Rate (s ₀), veh/h	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	2000	1900
Parking (N _m), man/h	None			None			None			None		
Heavy Vehicles (P _{HV}), %	0	0	1	1	0	0	1	1		0	1	0
Ped / Bike / RTOR, /h	0	0	0	0	0	0	0	0	0	0	0	0
Buses (N _b), buses/h	0	0	0	0	0	0	0	0	0	0	0	0
Arrival Type (A _T)	3	3	3	3	3	3	3	4	3	3	4	3
Upstream Filtering (I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lane Width (W), ft	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0		12.0	12.0	12.0
Turn Bay Length, ft	220	0	435	240	0	260	410	0		285	0	225
Grade (P _g), %	0			0			0			0		
Speed Limit, mi/h	35	35	35	35	35	35	45	45	45	45	45	45

Phase Information	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Maximum Green (G _{max}) or Phase Split, s	17.0	32.5	15.5	31.0	22.0	64.0	18.0	60.0
Yellow Change Interval (Y), s	3.5	4.5	3.5	4.5	3.5	4.5	3.5	4.5
Red Clearance Interval (R _c), s	0.0	1.5	0.0	1.5	1.0	1.5	1.0	1.5
Minimum Green (G _{min}), s	3	15	3	15	5	15	5	15
Start-Up Lost Time (I _t), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Extension of Effective Green (e), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Passage (P _T), s	3.0	5.0	3.0	5.0	3.0	7.0	3.0	7.0
Recall Mode	Off	Off	Off	Off	Off	Max	Off	Max
Dual Entry	No	Yes	No	Yes	No	Yes	No	Yes
Walk (Walk), s	13.0		0.0		0.0		0.0	
Pedestrian Clearance Time (P _C), s	66.0		0.0		0.0		0.0	

Multimodal Information	EB			WB			NB			SB		
85th % Speed / Rest in Walk / Corner Radius	0	No	25	0	No	25	0	No	25	0	No	25
Walkway / Crosswalk Width / Length, ft	9.0	12	0	9.0	12	0	9.0	12	0	9.0	12	0
Street Width / Island / Curb	0	0	No	0	0	No	0	0	No	0	0	No
Width Outside / Bike Lane / Shoulder, ft	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0
Pedestrian Signal / Occupied Parking	No	0.50										

HCS7 Signalized Intersection Results Summary

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	12:00-1:00 PM SAT	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2022	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1SAT_Existing US 12 at IL 22.xus				
Project Description	EXISTING						



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	159	373	325	109	311	115	418	1153	14	200	1227	107

Signal Information				Signal Timing (s)									
Cycle, s	130.0	Reference Phase	2										
Offset, s	0	Reference Point	Begin										
Uncoordinated	No	Simult. Gap E/W	On	Green	10.0	3.9	54.8	8.5	2.9	25.5			
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	3.5	3.5	4.5	3.5	0.0	4.5			
				Red	1.0	1.0	1.5	0.0	0.0	1.5			

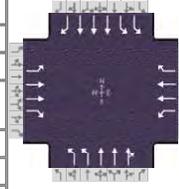
Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	1.1	3.0	1.1	3.0	2.0	4.0	2.0	3.0
Phase Duration, s	14.9	34.4	12.0	31.5	22.8	69.1	14.5	60.8
Change Period, (Y+R c), s	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Max Allow Headway (MAH), s	4.0	6.1	4.0	6.1	4.0	0.0	4.0	0.0
Queue Clearance Time (g s), s	11.3	24.7	8.6	11.8	18.1		9.6	
Green Extension Time (g e), s	0.1	3.7	0.1	8.4	0.2	0.0	0.3	0.0
Phase Call Probability	1.00	1.00	0.98	1.00	1.00		1.00	
Max Out Probability	1.00	1.00	1.00	0.56	1.00		0.30	

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	167	393	342	115	327	121	440	821	408	211	1292	113
Adjusted Saturation Flow Rate (s), veh/h/ln	1810	1904	1598	1795	1904	1610	1743	1885	1873	1757	1802	1610
Queue Service Time (g s), s	9.3	11.7	22.7	6.6	9.8	7.7	16.1	14.0	14.2	7.6	20.0	4.8
Cycle Queue Clearance Time (g c), s	9.3	11.7	22.7	6.6	9.8	7.7	16.1	14.0	14.2	7.6	20.0	4.8
Green Ratio (g/C)	0.29	0.22	0.36	0.26	0.20	0.27	0.14	0.49	0.49	0.08	0.42	0.51
Capacity (c), veh/h	343	831	574	286	746	439	492	1831	910	270	2278	820
Volume-to-Capacity Ratio (X)	0.488	0.472	0.596	0.402	0.439	0.276	0.895	0.448	0.448	0.780	0.567	0.137
Back of Queue (Q), ft/ln (95 th percentile)	189.6	237.2	354.3	134	207.5	140.2	322.3	223.7	231	159.2	292.9	80.6
Back of Queue (Q), veh/ln (95 th percentile)	7.6	9.5	14.1	5.3	8.3	5.6	12.8	8.9	9.2	6.4	11.6	3.2
Queue Storage Ratio (RQ) (95 th percentile)	0.86	0.00	0.81	0.56	0.00	0.54	0.79	0.00	0.00	0.56	0.00	0.36
Uniform Delay (d 1), s/veh	36.2	44.3	34.0	38.4	46.0	37.2	54.9	14.3	14.5	58.9	20.8	16.8
Incremental Delay (d 2), s/veh	1.1	0.9	2.5	0.9	0.9	0.7	17.6	0.8	1.6	5.4	1.0	0.3
Initial Queue Delay (d 3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	37.3	45.2	36.4	39.3	46.9	37.9	72.5	15.0	16.1	64.3	21.9	17.2
Level of Service (LOS)	D	D	D	D	D	D	E	B	B	E	C	B
Approach Delay, s/veh / LOS	40.4		D	43.4		D	30.5		C	27.1		C
Intersection Delay, s/veh / LOS	32.7						C					

Multimodal Results	EB	WB	NB	SB
Pedestrian LOS Score / LOS	2.73	C	2.86	C
Bicycle LOS Score / LOS	1.23	A	0.95	A

HCS7 Signalized Intersection Intermediate Values

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	12:00-1:00 PM SAT	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2022	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1SAT_Existing US 12 at IL 22.xus		
Project Description	EXISTING				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	159	373	325	109	311	115	418	1153	14	200	1227	107

Signal Information				Signal Timing (s)																				
Cycle, s	130.0	Reference Phase	2	Green	10.0	3.9	54.8	8.5	2.9	25.5	Yellow	3.5	3.5	4.5	3.5	0.0	4.5	Red	1.0	1.0	1.5	0.0	0.0	1.5
Offset, s	0	Reference Point	Begin																					
Uncoordinated	No	Simult. Gap E/W	On																					
Force Mode	Fixed	Simult. Gap N/S	On																					

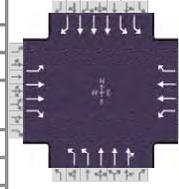
Saturation Flow / Delay	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f_w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Heavy Vehicles and Grade Factor (f_{HVg})	1.000	1.000	0.992	0.992	1.000	1.000	0.992	0.992	1.000	1.000	0.992	1.000
Parking Activity Adjustment Factor (f_p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f_{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f_a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f_{LU})	1.000	0.952	1.000	1.000	0.952	1.000	0.971	1.000	1.000	0.971	0.908	1.000
Left-Turn Adjustment Factor (f_{LT})	0.952	0.000		0.952	0.000		0.952	0.000		0.952	0.000	
Right-Turn Adjustment Factor (f_{RT})		0.000	0.847		0.000	0.847		0.994	0.994		0.000	0.847
Left-Turn Pedestrian Adjustment Factor (f_{LPB})	1.000			1.000			1.000			1.000		
Right-Turn Ped-Bike Adjustment Factor (f_{RPB})			1.000			1.000			1.000			1.000
Work Zone Adjustment Factor (f_{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
DDI Factor (f_{DDI})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Movement Saturation Flow Rate (s), veh/h	1810	3808	1598	1795	3808	1610	3487	5576	68	3514	5406	1610
Proportion of Vehicles Arriving on Green (P)	0.09	0.22	0.22	0.07	0.20	0.20	0.14	0.65	0.49	0.08	0.56	0.42
Incremental Delay Factor (k)	0.11	0.23	0.27	0.11	0.23	0.23	0.39	0.50	0.50	0.12	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t_L)	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Green Ratio (g/C)	0.29	0.22	0.26	0.20	0.14	0.49	0.08	0.42
Permitted Saturation Flow Rate (s_p), veh/h/ln	1069	0	999	0	0	0	0	0
Shared Saturation Flow Rate (s_{sh}), veh/h/ln								
Permitted Effective Green Time (g_p), s	26.9	0.0	25.5	0.0	0.0	0.0	0.0	0.0
Permitted Service Time (g_u), s	15.6	0.0	14.7	0.0	0.0	0.0	0.0	0.0
Permitted Queue Service Time (g_{ps}), s	2.1		1.4					
Time to First Blockage (g_r), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g_{is}), s								
Protected Right Saturation Flow (s_R), veh/h/ln		1598		1610				1610
Protected Right Effective Green Time (g_R), s		18.3		10.0				11.4

Multimodal	EB	WB	NB	SB
Pedestrian F_w / F_v	1.983	0.000	1.710	0.000
Pedestrian F_s / F_{delay}	0.000	0.148	0.000	0.114
Pedestrian M_{corner} / M_{cov}				
Bicycle c_b / d_b	436.45	39.73	971.47	17.19
Bicycle F_w / F_v	-3.64	0.74	-3.64	0.92

HCS7 Signalized Intersection Results Graphical Summary

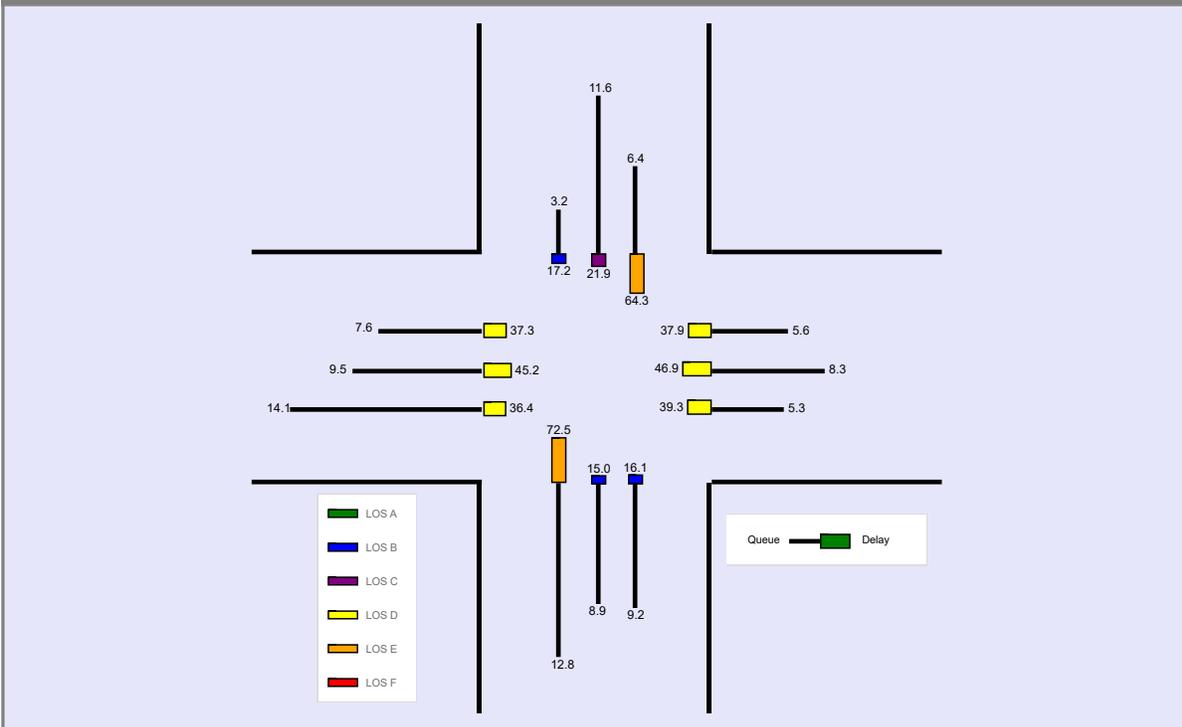
General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	12:00-1:00 PM SAT	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2022	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1SAT_Existing US 12 at IL 22.xus		
Project Description	EXISTING				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	159	373	325	109	311	115	418	1153	14	200	1227	107

Signal Information				Signal Timing (s)									
Cycle, s	130.0	Reference Phase	2	Green	10.0	3.9	54.8	8.5	2.9	25.5	1	3	4
Offset, s	0	Reference Point	Begin	Yellow	3.5	3.5	4.5	3.5	0.0	4.5	5	6	7
Uncoordinated	No	Simult. Gap E/W	On	Red	1.0	1.0	1.5	0.0	0.0	1.5	8	8	8
Force Mode	Fixed	Simult. Gap N/S	On										

Movement Group Results	EB			WB			NB			SB								
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R						
Back of Queue (Q), ft/ln (95 th percentile)	189.6	237.2	354.3	134	207.5	140.2	322.3	223.7	231	159.2	292.9	80.6						
Back of Queue (Q), veh/ln (95 th percentile)	7.6	9.5	14.1	5.3	8.3	5.6	12.8	8.9	9.2	6.4	11.6	3.2						
Queue Storage Ratio (RQ) (95 th percentile)	0.86	0.00	0.81	0.56	0.00	0.54	0.79	0.00	0.00	0.56	0.00	0.36						
Control Delay (d), s/veh	37.3	45.2	36.4	39.3	46.9	37.9	72.5	15.0	16.1	64.3	21.9	17.2						
Level of Service (LOS)	D	D	D	D	D	D	E	B	B	E	C	B						
Approach Delay, s/veh / LOS	40.4			D			43.4			D			30.5			C		
Intersection Delay, s/veh / LOS	32.7						C											



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Appendix G | P41

--- Messages ---

No errors or warnings exist.

--- Comments ---

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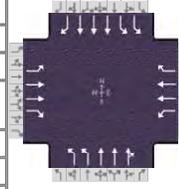
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HCS7 Signalized Intersection Input Data

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	12:00-1:00 PM SAT	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1SAT_NB US 12 at IL 22.xus		
Project Description	NO-BUILD				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	164	384	335	112	320	118	431	1188	14	206	1264	110

Signal Information				Signal Timing (s)																				
Cycle, s	130.0	Reference Phase	2	Green	10.2	4.0	54.0	8.7	3.0	25.6	Yellow	3.5	3.5	4.5	3.5	0.0	4.5	Red	1.0	1.0	1.5	0.0	0.0	1.5
Offset, s	0	Reference Point	Begin																					
Uncoordinated	No	Simult. Gap E/W	On																					
Force Mode	Fixed	Simult. Gap N/S	On																					

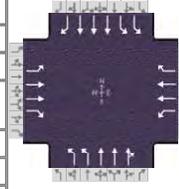
Traffic Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	164	384	335	112	320	118	431	1188	14	206	1264	110
Initial Queue (Q _b), veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Base Saturation Flow Rate (s ₀), veh/h	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	2000	1900
Parking (N _m), man/h	None			None			None			None		
Heavy Vehicles (P _{HV}), %	0	0	1	1	0	0	1	1		0	1	0
Ped / Bike / RTOR, /h	0	0	0	0	0	0	0	0	0	0	0	0
Buses (N _b), buses/h	0	0	0	0	0	0	0	0	0	0	0	0
Arrival Type (A _T)	3	3	3	3	3	3	3	4	3	3	4	3
Upstream Filtering (I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lane Width (W), ft	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0		12.0	12.0	12.0
Turn Bay Length, ft	220	0	435	240	0	260	410	0		285	0	225
Grade (P _g), %	0			0			0			0		
Speed Limit, mi/h	35	35	35	35	35	35	45	45	45	45	45	45

Phase Information	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Maximum Green (G _{max}) or Phase Split, s	17.0	32.5	15.5	31.0	22.0	64.0	18.0	60.0
Yellow Change Interval (Y), s	3.5	4.5	3.5	4.5	3.5	4.5	3.5	4.5
Red Clearance Interval (R _c), s	0.0	1.5	0.0	1.5	1.0	1.5	1.0	1.5
Minimum Green (G _{min}), s	3	15	3	15	5	15	5	15
Start-Up Lost Time (I _t), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Extension of Effective Green (e), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Passage (P _T), s	3.0	5.0	3.0	5.0	3.0	7.0	3.0	7.0
Recall Mode	Off	Off	Off	Off	Off	Max	Off	Max
Dual Entry	No	Yes	No	Yes	No	Yes	No	Yes
Walk (Walk), s		13.0		0.0		0.0		0.0
Pedestrian Clearance Time (P _C), s		66.0		0.0		0.0		0.0

Multimodal Information	EB			WB			NB			SB		
85th % Speed / Rest in Walk / Corner Radius	0	No	25	0	No	25	0	No	25	0	No	25
Walkway / Crosswalk Width / Length, ft	9.0	12	0	9.0	12	0	9.0	12	0	9.0	12	0
Street Width / Island / Curb	0	0	No	0	0	No	0	0	No	0	0	No
Width Outside / Bike Lane / Shoulder, ft	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0
Pedestrian Signal / Occupied Parking	No	0.50										

HCS7 Signalized Intersection Results Summary

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	12:00-1:00 PM SAT	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1SAT_NB US 12 at IL 22.xus				
Project Description	NO-BUILD						



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	164	384	335	112	320	118	431	1188	14	206	1264	110

Signal Information				Signal Timing (s)									
Cycle, s	130.0	Reference Phase	2										
Offset, s	0	Reference Point	Begin										
Uncoordinated	No	Simult. Gap E/W	On	Green	10.2	4.0	54.0	8.7	3.0	25.6			
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	3.5	3.5	4.5	3.5	0.0	4.5			
				Red	1.0	1.0	1.5	0.0	0.0	1.5			

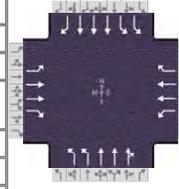
Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	1.1	3.0	1.1	3.0	2.0	4.0	2.0	3.0
Phase Duration, s	15.2	34.6	12.2	31.6	23.2	68.5	14.7	60.0
Change Period, (Y+R c), s	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Max Allow Headway (MAH), s	4.0	6.1	4.0	6.1	4.0	0.0	4.0	0.0
Queue Clearance Time (g s), s	11.6	25.4	8.7	12.1	18.7		9.9	
Green Extension Time (g e), s	0.1	3.2	0.1	8.4	0.0	0.0	0.3	0.0
Phase Call Probability	1.00	1.00	0.99	1.00	1.00		1.00	
Max Out Probability	1.00	1.00	1.00	0.59	1.00		0.50	

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	173	404	353	118	337	124	454	845	420	217	1331	116
Adjusted Saturation Flow Rate (s), veh/h/ln	1810	1904	1598	1795	1904	1610	1743	1885	1873	1757	1802	1610
Queue Service Time (g s), s	9.6	12.0	23.4	6.7	10.1	7.9	16.7	14.9	15.1	7.9	21.2	5.0
Cycle Queue Clearance Time (g c), s	9.6	12.0	23.4	6.7	10.1	7.9	16.7	14.9	15.1	7.9	21.2	5.0
Green Ratio (g/C)	0.30	0.22	0.36	0.26	0.20	0.28	0.14	0.48	0.48	0.08	0.42	0.51
Capacity (c), veh/h	344	838	581	286	750	443	501	1813	901	276	2247	814
Volume-to-Capacity Ratio (X)	0.502	0.483	0.607	0.412	0.449	0.280	0.906	0.466	0.466	0.787	0.592	0.142
Back of Queue (Q), ft/ln (95 th percentile)	194.2	243	364	137.7	212.6	143.6	335.6	234.1	241.7	165.8	309.3	83.8
Back of Queue (Q), veh/ln (95 th percentile)	7.8	9.7	14.4	5.5	8.5	5.7	13.3	9.3	9.7	6.6	12.3	3.4
Queue Storage Ratio (RQ) (95 th percentile)	0.88	0.00	0.84	0.57	0.00	0.55	0.82	0.00	0.00	0.58	0.00	0.37
Uniform Delay (d 1), s/veh	36.0	44.2	33.8	38.2	46.0	37.0	54.8	14.8	15.0	58.8	21.7	17.1
Incremental Delay (d 2), s/veh	1.1	0.9	2.6	1.0	0.9	0.7	20.0	0.9	1.7	6.5	1.2	0.4
Initial Queue Delay (d 3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	37.1	45.2	36.4	39.2	46.9	37.7	74.8	15.6	16.8	65.3	22.8	17.5
Level of Service (LOS)	D	D	D	D	D	D	E	B	B	E	C	B
Approach Delay, s/veh / LOS	40.4		D	43.4		D	31.5		C	28.0		C
Intersection Delay, s/veh / LOS	33.4						C					

Multimodal Results	EB	WB	NB	SB
Pedestrian LOS Score / LOS	2.73	C	2.86	C
Bicycle LOS Score / LOS	1.25	A	0.97	A

HCS7 Signalized Intersection Intermediate Values

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	12:00-1:00 PM SAT	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1SAT_NB US 12 at IL 22.xus		
Project Description	NO-BUILD				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	164	384	335	112	320	118	431	1188	14	206	1264	110

Signal Information				Signal Timing Diagram											
Cycle, s	130.0	Reference Phase	2	[Diagram showing 8 phases with timing values]											
Offset, s	0	Reference Point	Begin	[Diagram showing 8 phases with timing values]											
Uncoordinated	No	Simult. Gap E/W	On	[Diagram showing 8 phases with timing values]											
Force Mode	Fixed	Simult. Gap N/S	On	[Diagram showing 8 phases with timing values]											

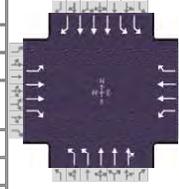
Saturation Flow / Delay	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f_w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Heavy Vehicles and Grade Factor (f_{HVg})	1.000	1.000	0.992	0.992	1.000	1.000	0.992	0.992	1.000	1.000	0.992	1.000
Parking Activity Adjustment Factor (f_p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f_{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f_a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f_{LU})	1.000	0.952	1.000	1.000	0.952	1.000	0.971	1.000	1.000	0.971	0.908	1.000
Left-Turn Adjustment Factor (f_{LT})	0.952	0.000		0.952	0.000		0.952	0.000		0.952	0.000	
Right-Turn Adjustment Factor (f_{RT})		0.000	0.847		0.000	0.847		0.994	0.994		0.000	0.847
Left-Turn Pedestrian Adjustment Factor (f_{LPB})	1.000			1.000			1.000			1.000		
Right-Turn Ped-Bike Adjustment Factor (f_{RPB})			1.000			1.000			1.000			1.000
Work Zone Adjustment Factor (f_{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
DDI Factor (f_{DDI})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Movement Saturation Flow Rate (s), veh/h	1810	3808	1598	1795	3808	1610	3487	5578	66	3514	5406	1610
Proportion of Vehicles Arriving on Green (P)	0.09	0.22	0.22	0.07	0.20	0.20	0.14	0.64	0.48	0.08	0.55	0.42
Incremental Delay Factor (k)	0.11	0.23	0.28	0.11	0.23	0.23	0.42	0.50	0.50	0.14	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t_L)	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Green Ratio (g/C)	0.30	0.22	0.26	0.20	0.14	0.48	0.08	0.42
Permitted Saturation Flow Rate (s_p), veh/h/ln	1060	0	989	0	0	0	0	0
Shared Saturation Flow Rate (s_{sh}), veh/h/ln								
Permitted Effective Green Time (g_p), s	27.1	0.0	25.6	0.0	0.0	0.0	0.0	0.0
Permitted Service Time (g_u), s	15.5	0.0	14.5	0.0	0.0	0.0	0.0	0.0
Permitted Queue Service Time (g_{ps}), s	2.3		1.5					
Time to First Blockage (g_r), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g_{is}), s								
Protected Right Saturation Flow (s_R), veh/h/ln		1598		1610				1610
Protected Right Effective Green Time (g_R), s		18.7		10.2				11.7

Multimodal	EB	WB	NB	SB
Pedestrian F_w / F_v	1.983	0.000	2.107	0.000
Pedestrian F_s / F_{delay}	0.000	0.147	0.000	0.150
Pedestrian M_{corner} / M_{cov}				
Bicycle c_b / d_b	439.92	39.55	393.74	41.93
Bicycle F_w / F_v	-3.64	0.77	-3.64	0.48

HCS7 Signalized Intersection Results Graphical Summary

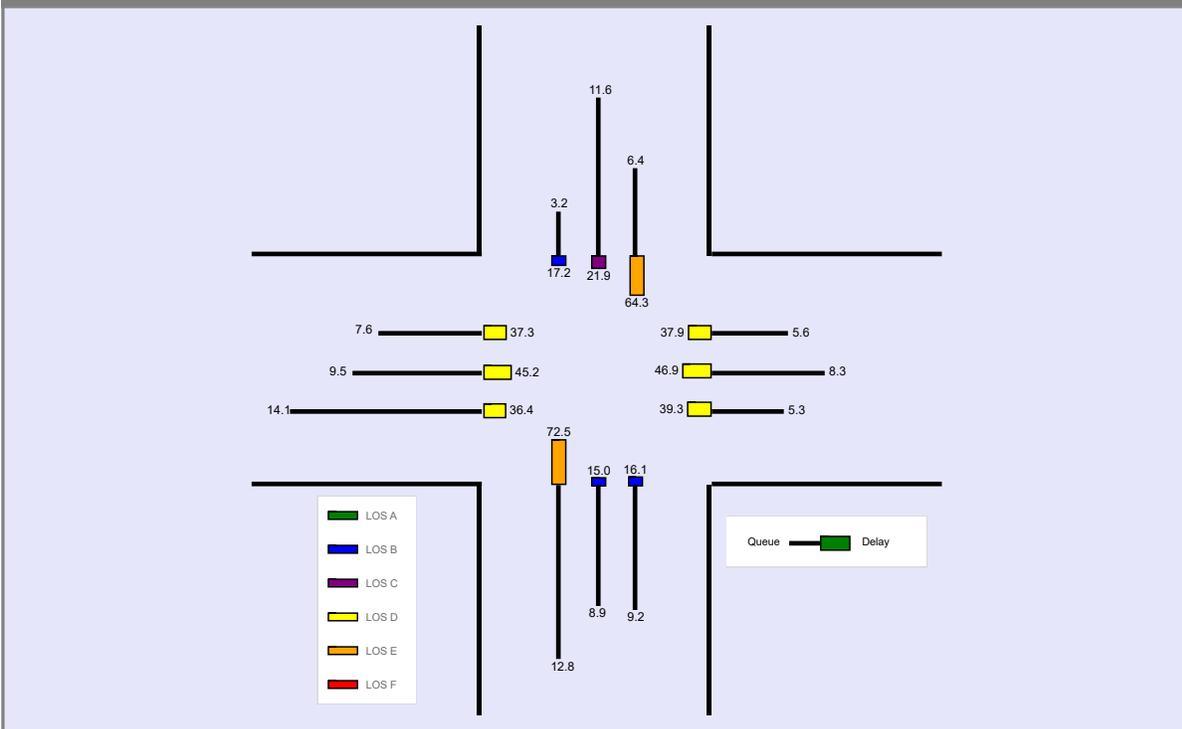
General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	12:00-1:00 PM SAT	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1SAT_NB US 12 at IL 22.xus		
Project Description	NO-BUILD				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	164	384	335	112	320	118	431	1188	14	206	1264	110

Signal Information				EB		WB		NB		SB		
Cycle, s	130.0	Reference Phase	2	Green	10.2	4.0	54.0	8.7	3.0	25.6	1.5	
Offset, s	0	Reference Point	Begin	Yellow	3.5	3.5	4.5	3.5	0.0	4.5	1.5	
Uncoordinated	No	Simult. Gap E/W	On	Red	1.0	1.0	1.5	0.0	0.0	1.5	1.5	
Force Mode	Fixed	Simult. Gap N/S	On									

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Back of Queue (Q), ft/ln (95 th percentile)	194.2	243	364	137.7	212.6	143.6	335.6	234.1	241.7	165.8	309.3	83.8
Back of Queue (Q), veh/ln (95 th percentile)	7.8	9.7	14.4	5.5	8.5	5.7	13.3	9.3	9.7	6.6	12.3	3.4
Queue Storage Ratio (RQ) (95 th percentile)	0.88	0.00	0.84	0.57	0.00	0.55	0.82	0.00	0.00	0.58	0.00	0.37
Control Delay (d), s/veh	37.1	45.2	36.4	39.2	46.9	37.7	74.8	15.6	16.8	65.3	22.8	17.5
Level of Service (LOS)	D	D	D	D	D	D	E	B	B	E	C	B
Approach Delay, s/veh / LOS	40.4			D			43.4			D		
Intersection Delay, s/veh / LOS	33.4						C					



Appendix G | P46

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Appendix G | P47

--- Messages ---

No errors or warnings exist.

--- Comments ---

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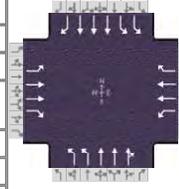
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HCS7 Signalized Intersection Input Data

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	12:00-1:00 PM SAT	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1SAT_Total US 12 at IL 22.xus		
Project Description	TOTAL				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	184	397	335	124	318	118	452	1184	14	206	1291	110

Signal Information				Signal Timing (s)																				
Cycle, s	130.0	Reference Phase	2	Green	10.2	3.7	54.0	9.5	3.4	24.8	Yellow	3.5	3.5	4.5	3.5	0.0	4.5	Red	1.0	1.0	1.5	0.0	0.0	1.5
Offset, s	0	Reference Point	Begin																					
Uncoordinated	No	Simult. Gap E/W	On																					
Force Mode	Fixed	Simult. Gap N/S	On																					

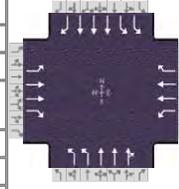
Traffic Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	184	397	335	124	318	118	452	1184	14	206	1291	110
Initial Queue (Q _b), veh/h	0	0	0	0	0	0	0	0	0	0	0	0
Base Saturation Flow Rate (s ₀), veh/h	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	2000	1900
Parking (N _m), man/h	None			None			None			None		
Heavy Vehicles (P _{HV}), %	0	0	1	1	0	0	1	1		0	1	0
Ped / Bike / RTOR, /h	0	0	0	0	0	0	0	0	0	0	0	0
Buses (N _b), buses/h	0	0	0	0	0	0	0	0	0	0	0	0
Arrival Type (A _T)	3	3	3	3	3	3	3	4	3	3	4	3
Upstream Filtering (I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Lane Width (W), ft	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0		12.0	12.0	12.0
Turn Bay Length, ft	220	0	435	240	0	260	410	0		285	0	225
Grade (P _g), %	0			0			0			0		
Speed Limit, mi/h	35	35	35	35	35	35	45	45	45	45	45	45

Phase Information	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Maximum Green (G _{max}) or Phase Split, s	17.0	32.5	15.5	31.0	22.0	64.0	18.0	60.0
Yellow Change Interval (Y), s	3.5	4.5	3.5	4.5	3.5	4.5	3.5	4.5
Red Clearance Interval (R _c), s	0.0	1.5	0.0	1.5	1.0	1.5	1.0	1.5
Minimum Green (G _{min}), s	3	15	3	15	5	15	5	15
Start-Up Lost Time (I _t), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Extension of Effective Green (e), s	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Passage (P _T), s	3.0	5.0	3.0	5.0	3.0	7.0	3.0	7.0
Recall Mode	Off	Off	Off	Off	Off	Max	Off	Max
Dual Entry	No	Yes	No	Yes	No	Yes	No	Yes
Walk (Walk), s	13.0		0.0		0.0		0.0	
Pedestrian Clearance Time (P _C), s	66.0		0.0		0.0		0.0	

Multimodal Information	EB			WB			NB			SB		
85th % Speed / Rest in Walk / Corner Radius	0	No	25	0	No	25	0	No	25	0	No	25
Walkway / Crosswalk Width / Length, ft	9.0	12	0	9.0	12	0	9.0	12	0	9.0	12	0
Street Width / Island / Curb	0	0	No	0	0	No	0	0	No	0	0	No
Width Outside / Bike Lane / Shoulder, ft	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0	12	5.0	2.0
Pedestrian Signal / Occupied Parking	No	0.50										

HCS7 Signalized Intersection Results Summary

General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	12:00-1:00 PM SAT	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1SAT_Total US 12 at IL 22.xus		
Project Description	TOTAL				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	184	397	335	124	318	118	452	1184	14	206	1291	110

Signal Information				Signal Timing (s)										
Cycle, s	130.0	Reference Phase	2											
Offset, s	0	Reference Point	Begin											
Uncoordinated	No	Simult. Gap E/W	On	Green	10.2	3.7	54.0	9.5	3.4	24.8				
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	3.5	3.5	4.5	3.5	0.0	4.5				
				Red	1.0	1.0	1.5	0.0	0.0	1.5				

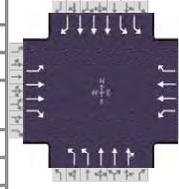
Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase	7	4	3	8	5	2	1	6
Case Number	1.1	3.0	1.1	3.0	2.0	4.0	2.0	3.0
Phase Duration, s	16.4	34.1	13.0	30.8	22.9	68.2	14.7	60.0
Change Period, (Y+R c), s	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Max Allow Headway (MAH), s	4.0	6.1	4.0	6.1	4.0	0.0	4.0	0.0
Queue Clearance Time (g s), s	12.8	25.6	9.5	12.1	19.6		9.9	
Green Extension Time (g e), s	0.0	2.5	0.1	8.0	0.0	0.0	0.3	0.0
Phase Call Probability	1.00	1.00	0.99	1.00	1.00		1.00	
Max Out Probability	1.00	1.00	1.00	0.64	1.00		0.66	

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	7	4	14	3	8	18	5	2	12	1	6	16
Adjusted Flow Rate (v), veh/h	194	418	353	131	335	124	476	842	419	217	1359	116
Adjusted Saturation Flow Rate (s), veh/h/ln	1810	1904	1598	1795	1904	1610	1743	1885	1873	1757	1802	1610
Queue Service Time (g s), s	10.8	12.6	23.6	7.5	10.1	7.9	17.6	15.0	15.2	7.9	21.9	4.9
Cycle Queue Clearance Time (g c), s	10.8	12.6	23.6	7.5	10.1	7.9	17.6	15.0	15.2	7.9	21.9	4.9
Green Ratio (g/C)	0.30	0.22	0.36	0.26	0.19	0.27	0.14	0.48	0.48	0.08	0.42	0.51
Capacity (c), veh/h	354	824	572	289	725	433	493	1804	896	275	2245	828
Volume-to-Capacity Ratio (X)	0.547	0.507	0.617	0.452	0.461	0.287	0.966	0.467	0.467	0.788	0.605	0.140
Back of Queue (Q), ft/ln (95 th percentile)	214.2	251.3	367.9	153.9	213	145.3	374.3	235.8	243.4	166.7	318.7	82.1
Back of Queue (Q), veh/ln (95 th percentile)	8.6	10.1	14.6	6.1	8.5	5.8	14.9	9.4	9.7	6.7	12.6	3.3
Queue Storage Ratio (RQ) (95 th percentile)	0.97	0.00	0.85	0.64	0.00	0.56	0.91	0.00	0.00	0.58	0.00	0.36
Uniform Delay (d 1), s/veh	35.9	44.8	34.4	38.6	46.7	37.7	55.5	15.0	15.3	58.9	21.9	16.5
Incremental Delay (d 2), s/veh	1.6	1.0	2.9	1.1	1.0	0.8	31.8	0.9	1.7	7.0	1.2	0.4
Initial Queue Delay (d 3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh	37.6	45.9	37.3	39.7	47.7	38.4	87.3	15.9	17.0	65.8	23.1	16.9
Level of Service (LOS)	D	D	D	D	D	D	F	B	B	E	C	B
Approach Delay, s/veh / LOS	41.1		D	44.0		D	35.7		D	28.1		C
Intersection Delay, s/veh / LOS	35.2						D					

Multimodal Results	EB	WB	NB	SB
Pedestrian LOS Score / LOS	2.73	C	2.86	C
Bicycle LOS Score / LOS	1.28	A	0.97	A

HCS7 Signalized Intersection Intermediate Values

General Information				Intersection Information			
Agency	GHA			Duration, h	0.250		
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other		
Jurisdiction	IDOT	Time Period	12:00-1:00 PM SAT	PHF	0.95		
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00		
Intersection	US 12 at IL 22	File Name	1SAT_Total US 12 at IL 22.xus				
Project Description	TOTAL						



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	184	397	335	124	318	118	452	1184	14	206	1291	110

Signal Information				Signal Timing Diagram											
Cycle, s	130.0	Reference Phase	2	[Timing Diagram]											
Offset, s	0	Reference Point	Begin	[Timing Diagram]											
Uncoordinated	No	Simult. Gap E/W	On	[Timing Diagram]											
Force Mode	Fixed	Simult. Gap N/S	On	[Timing Diagram]											

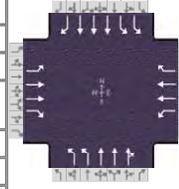
Saturation Flow / Delay	L	T	R	L	T	R	L	T	R	L	T	R
Lane Width Adjustment Factor (f_w)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Heavy Vehicles and Grade Factor (f_{HVg})	1.000	1.000	0.992	0.992	1.000	1.000	0.992	0.992	1.000	1.000	0.992	1.000
Parking Activity Adjustment Factor (f_p)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Bus Blockage Adjustment Factor (f_{bb})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Area Type Adjustment Factor (f_a)	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Lane Utilization Adjustment Factor (f_{LU})	1.000	0.952	1.000	1.000	0.952	1.000	0.971	1.000	1.000	0.971	0.908	1.000
Left-Turn Adjustment Factor (f_{LT})	0.952	0.000		0.952	0.000		0.952	0.000		0.952	0.000	
Right-Turn Adjustment Factor (f_{RT})		0.000	0.847		0.000	0.847		0.994	0.994		0.000	0.847
Left-Turn Pedestrian Adjustment Factor (f_{LPB})	1.000			1.000			1.000			1.000		
Right-Turn Ped-Bike Adjustment Factor (f_{RPB})			1.000			1.000			1.000			1.000
Work Zone Adjustment Factor (f_{wz})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
DDI Factor (f_{DDI})	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Movement Saturation Flow Rate (s), veh/h	1810	3808	1598	1795	3808	1610	3487	5578	66	3514	5406	1610
Proportion of Vehicles Arriving on Green (P)	0.10	0.22	0.22	0.07	0.19	0.19	0.14	0.64	0.48	0.08	0.55	0.42
Incremental Delay Factor (k)	0.13	0.23	0.29	0.11	0.23	0.23	0.47	0.50	0.50	0.15	0.50	0.50

Signal Timing / Movement Groups	EBL	EBT/R	WBL	WBT/R	NBL	NBT/R	SBL	SBT/R
Lost Time (t_L)	3.5	6.0	3.5	6.0	4.5	6.0	4.5	6.0
Green Ratio (g/C)	0.30	0.22	0.26	0.19	0.14	0.48	0.08	0.42
Permitted Saturation Flow Rate (s_p), veh/h/ln	1062	0	976	0	0	0	0	0
Shared Saturation Flow Rate (s_{sh}), veh/h/ln								
Permitted Effective Green Time (g_p), s	26.6	0.0	24.8	0.0	0.0	0.0	0.0	0.0
Permitted Service Time (g_u), s	14.6	0.0	13.6	0.0	0.0	0.0	0.0	0.0
Permitted Queue Service Time (g_{ps}), s	2.7		1.7					
Time to First Blockage (g_r), s	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Queue Service Time Before Blockage (g_{is}), s								
Protected Right Saturation Flow (s_R), veh/h/ln		1598		1610				1610
Protected Right Effective Green Time (g_R), s		18.4		10.2				12.9

Multimodal	EB	WB	NB	SB
Pedestrian F_w / F_v	1.983	0.000	2.107	0.000
Pedestrian F_s / F_{delay}	0.000	0.148	0.000	0.150
Pedestrian M_{corner} / M_{cov}				
Bicycle c_b / d_b	432.95	39.90	381.00	42.59
Bicycle F_w / F_v	-3.64	0.80	-3.64	0.49

HCS7 Signalized Intersection Results Graphical Summary

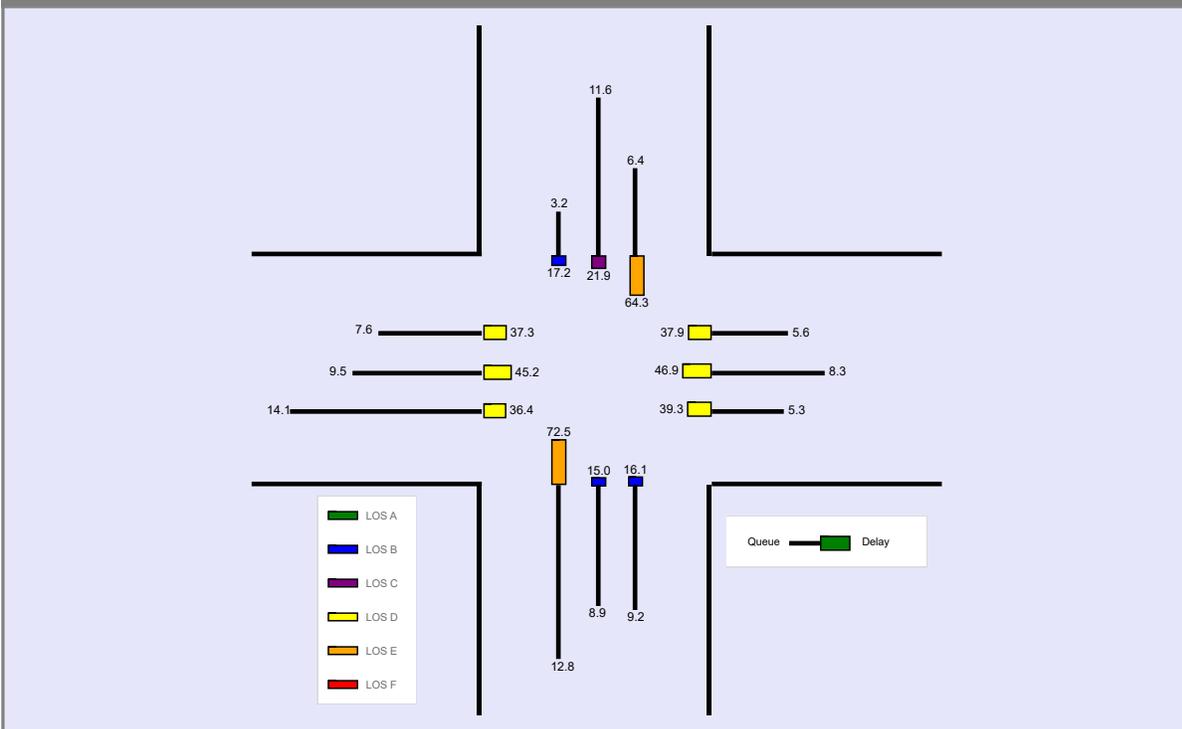
General Information				Intersection Information	
Agency	GHA			Duration, h	0.250
Analyst	TM	Analysis Date	5/2/2022	Area Type	Other
Jurisdiction	IDOT	Time Period	12:00-1:00 PM SAT	PHF	0.95
Urban Street	Rand Road (US Route 12)	Analysis Year	2028	Analysis Period	1> 7:00
Intersection	US 12 at IL 22	File Name	1SAT_Total US 12 at IL 22.xus		
Project Description	TOTAL				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	184	397	335	124	318	118	452	1184	14	206	1291	110

Signal Information				Signal Timing (s)										
Cycle, s	130.0	Reference Phase	2											
Offset, s	0	Reference Point	Begin											
Uncoordinated	No	Simult. Gap E/W	On	Green	10.2	3.7	54.0	9.5	3.4	24.8				
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	3.5	3.5	4.5	3.5	0.0	4.5				
				Red	1.0	1.0	1.5	0.0	0.0	1.5				

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Back of Queue (Q), ft/ln (95 th percentile)	214.2	251.3	367.9	153.9	213	145.3	374.3	235.8	243.4	166.7	318.7	82.1
Back of Queue (Q), veh/ln (95 th percentile)	8.6	10.1	14.6	6.1	8.5	5.8	14.9	9.4	9.7	6.7	12.6	3.3
Queue Storage Ratio (RQ) (95 th percentile)	0.97	0.00	0.85	0.64	0.00	0.56	0.91	0.00	0.00	0.58	0.00	0.36
Control Delay (d), s/veh	37.6	45.9	37.3	39.7	47.7	38.4	87.3	15.9	17.0	65.8	23.1	16.9
Level of Service (LOS)	D	D	D	D	D	D	F	B	B	E	C	B
Approach Delay, s/veh / LOS	41.1			D			44.0			D		
Intersection Delay, s/veh / LOS				35.2						D		



Appendix G | P52

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Appendix G | P53

--- Messages ---

No errors or warnings exist.

--- Comments ---

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HCS™ Streets Version 7.9.5

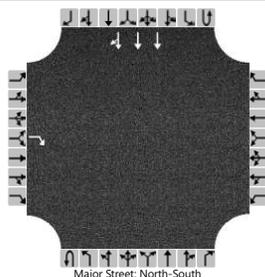
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Appendix G | P54

HCS7 Two-Way Stop-Control Report

General Information		Site Information	
Analyst	TM	Intersection	Rand Road at Site
Agency/Co.	GHA	Jurisdiction	IDOT
Date Performed	5/2/2022	East/West Street	Site (Village Square)
Analysis Year	2022	North/South Street	Rand Road (US Route 12)
Time Analyzed	8:00 - 9:00 AM WEEKDAY	Peak Hour Factor	0.95
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	EXISTING		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	0	0		0	0	0		0	3	0
Configuration				R											T	TR
Volume (veh/h)				2											1721	16
Percent Heavy Vehicles (%)				0												
Proportion Time Blocked																
Percent Grade (%)		0														
Right Turn Channelized		No														
Median Type Storage		Undivided														

Critical and Follow-up Headways

Base Critical Headway (sec)				7.1												
Critical Headway (sec)				7.10												
Base Follow-Up Headway (sec)				3.9												
Follow-Up Headway (sec)				3.90												

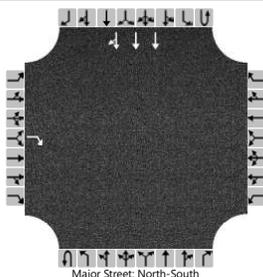
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				2												
Capacity, c (veh/h)				240												
v/c Ratio				0.01												
95% Queue Length, Q ₉₅ (veh)				0.0												
Control Delay (s/veh)				20.2												
Level of Service (LOS)				C												
Approach Delay (s/veh)		20.2														
Approach LOS		C														

HCS7 Two-Way Stop-Control Report

General Information		Site Information	
Analyst	TM	Intersection	Rand Road at Site
Agency/Co.	GHA	Jurisdiction	IDOT
Date Performed	5/2/2022	East/West Street	Site (Village Square)
Analysis Year	2028	North/South Street	Rand Road (US Route 12)
Time Analyzed	8:00 - 9:00 AM WEEKDAY	Peak Hour Factor	0.95
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	NO-BUILD		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	0	0	0	0	0	0	0	0	3	0
Configuration				R											T	TR
Volume (veh/h)				2											1774	16
Percent Heavy Vehicles (%)				0												
Proportion Time Blocked																
Percent Grade (%)		0														
Right Turn Channelized		No														
Median Type Storage		Undivided														

Critical and Follow-up Headways

Base Critical Headway (sec)				7.1												
Critical Headway (sec)				7.10												
Base Follow-Up Headway (sec)				3.9												
Follow-Up Headway (sec)				3.90												

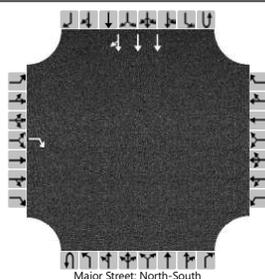
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				2												
Capacity, c (veh/h)				230												
v/c Ratio				0.01												
95% Queue Length, Q ₉₅ (veh)				0.0												
Control Delay (s/veh)				20.8												
Level of Service (LOS)				C												
Approach Delay (s/veh)		20.8														
Approach LOS		C														

HCS7 Two-Way Stop-Control Report

General Information		Site Information	
Analyst	TM	Intersection	Rand Road at Site
Agency/Co.	GHA	Jurisdiction	IDOT
Date Performed	5/2/2022	East/West Street	Site (Village Square)
Analysis Year	2028	North/South Street	Rand Road (US Route 12)
Time Analyzed	8:00 - 9:00 AM WEEKDAY	Peak Hour Factor	0.95
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	Total		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	0	0	0	0	0	0	0	0	3	0
Configuration				R											T	TR
Volume (veh/h)				12											1772	36
Percent Heavy Vehicles (%)				0												
Proportion Time Blocked																
Percent Grade (%)		0														
Right Turn Channelized		No														
Median Type Storage		Undivided														

Critical and Follow-up Headways

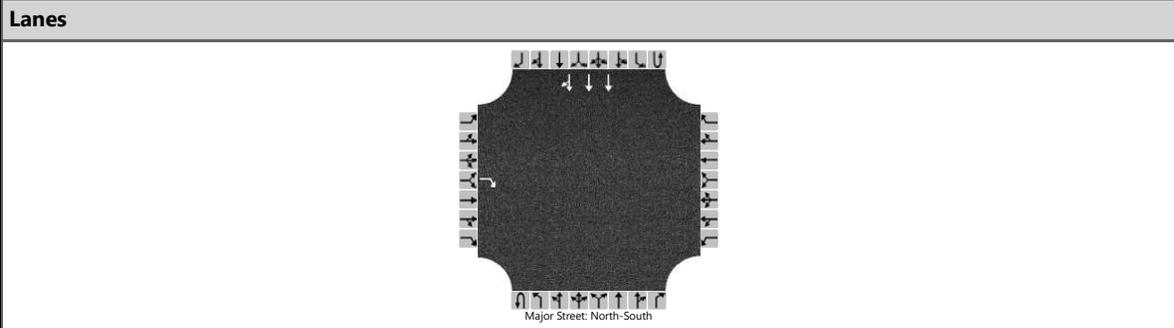
Base Critical Headway (sec)				7.1												
Critical Headway (sec)				7.10												
Base Follow-Up Headway (sec)				3.9												
Follow-Up Headway (sec)				3.90												

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				13												
Capacity, c (veh/h)				226												
v/c Ratio				0.06												
95% Queue Length, Q ₉₅ (veh)				0.2												
Control Delay (s/veh)				21.8												
Level of Service (LOS)				C												
Approach Delay (s/veh)		21.8														
Approach LOS		C														

HCS7 Two-Way Stop-Control Report

General Information		Site Information	
Analyst	TM	Intersection	Rand Road at Site
Agency/Co.	GHA	Jurisdiction	IDOT
Date Performed	5/2/2022	East/West Street	Site (Village Square)
Analysis Year	2022	North/South Street	Rand Road (US Route 12)
Time Analyzed	4:30 - 5:30 PM WEEKDAY	Peak Hour Factor	0.95
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	EXISTING		



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	0	0		0	0	0		0	3	0
Configuration				R											T	TR
Volume (veh/h)				55											1167	57
Percent Heavy Vehicles (%)				0												
Proportion Time Blocked																
Percent Grade (%)		0														
Right Turn Channelized		No														
Median Type Storage		Undivided														

Critical and Follow-up Headways

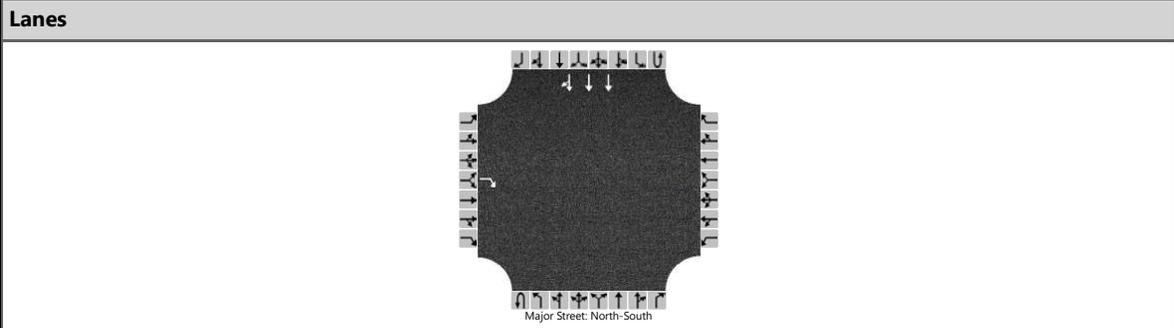
Base Critical Headway (sec)				7.1												
Critical Headway (sec)				7.10												
Base Follow-Up Headway (sec)				3.9												
Follow-Up Headway (sec)				3.90												

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				58												
Capacity, c (veh/h)				360												
v/c Ratio				0.16												
95% Queue Length, Q ₉₅ (veh)				0.6												
Control Delay (s/veh)				16.9												
Level of Service (LOS)				C												
Approach Delay (s/veh)		16.9														
Approach LOS		C														

HCS7 Two-Way Stop-Control Report

General Information		Site Information	
Analyst	TM	Intersection	Rand Road at Site
Agency/Co.	GHA	Jurisdiction	IDOT
Date Performed	5/2/2022	East/West Street	Site (Village Square)
Analysis Year	2028	North/South Street	Rand Road (US Route 12)
Time Analyzed	4:30 - 5:30 PM WEEKDAY	Peak Hour Factor	0.95
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	NO-BUILD		



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	0	0	0	0	0	0	0	0	3	0
Configuration				R											T	TR
Volume (veh/h)				55											1205	57
Percent Heavy Vehicles (%)				0												
Proportion Time Blocked																
Percent Grade (%)		0														
Right Turn Channelized		No														
Median Type Storage		Undivided														

Critical and Follow-up Headways

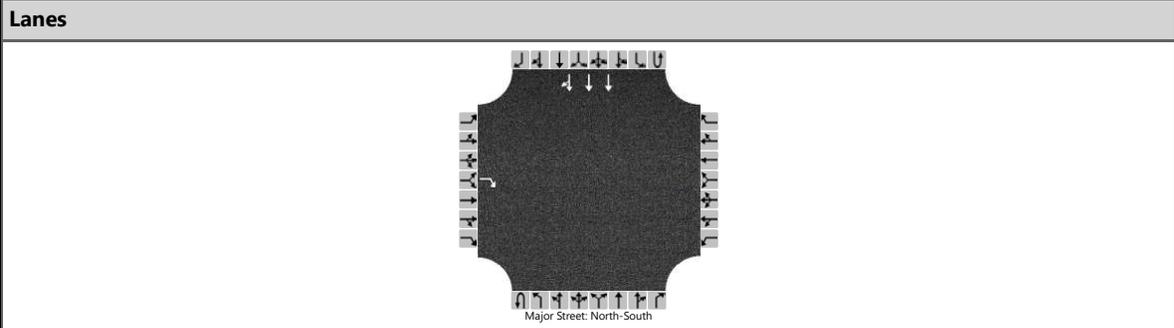
Base Critical Headway (sec)				7.1												
Critical Headway (sec)				7.10												
Base Follow-Up Headway (sec)				3.9												
Follow-Up Headway (sec)				3.90												

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				58												
Capacity, c (veh/h)				349												
v/c Ratio				0.17												
95% Queue Length, Q ₉₅ (veh)				0.6												
Control Delay (s/veh)				17.3												
Level of Service (LOS)				C												
Approach Delay (s/veh)		17.3														
Approach LOS		C														

HCS7 Two-Way Stop-Control Report

General Information		Site Information	
Analyst	TM	Intersection	Rand Road at Site
Agency/Co.	GHA	Jurisdiction	IDOT
Date Performed	5/2/2022	East/West Street	Site (Village Square)
Analysis Year	2028	North/South Street	Rand Road (US Route 12)
Time Analyzed	4:30 - 5:30 PM WEEKDAY	Peak Hour Factor	0.95
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	TOTAL		



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	0	0	0	0	0	0	0	0	3	0
Configuration				R											T	TR
Volume (veh/h)				81											1200	93
Percent Heavy Vehicles (%)				0												
Proportion Time Blocked																
Percent Grade (%)		0														
Right Turn Channelized		No														
Median Type Storage		Undivided														

Critical and Follow-up Headways

Base Critical Headway (sec)				7.1												
Critical Headway (sec)				7.10												
Base Follow-Up Headway (sec)				3.9												
Follow-Up Headway (sec)				3.90												

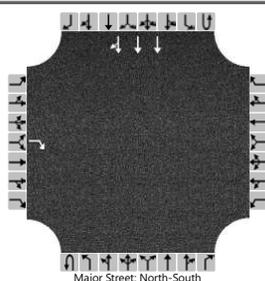
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				85												
Capacity, c (veh/h)				341												
v/c Ratio				0.25												
95% Queue Length, Q ₉₅ (veh)				1.0												
Control Delay (s/veh)				19.0												
Level of Service (LOS)				C												
Approach Delay (s/veh)		19.0														
Approach LOS		C														

HCS7 Two-Way Stop-Control Report

General Information				Site Information			
Analyst	TM			Intersection	Rand Road at Site		
Agency/Co.	GHA			Jurisdiction	IDOT		
Date Performed	5/2/2022			East/West Street	Site (Village Square)		
Analysis Year	2022			North/South Street	Rand Road (US Route 12)		
Time Analyzed	12:00 - 1:00 PM SAT			Peak Hour Factor	0.95		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	EXISTING						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	0	0	0	0	0	0	0	0	3	0
Configuration				R											T	TR
Volume (veh/h)				68											1605	56
Percent Heavy Vehicles (%)				0												
Proportion Time Blocked																
Percent Grade (%)		0														
Right Turn Channelized		No														
Median Type Storage		Undivided														

Critical and Follow-up Headways

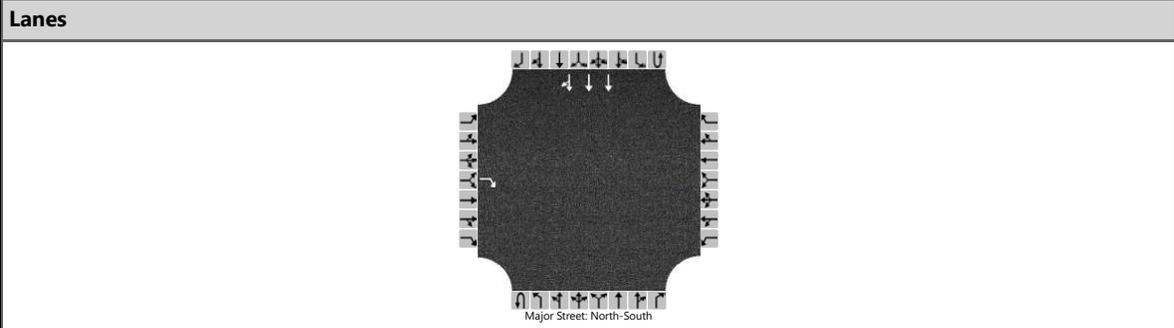
Base Critical Headway (sec)				7.1												
Critical Headway (sec)				7.10												
Base Follow-Up Headway (sec)				3.9												
Follow-Up Headway (sec)				3.90												

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				72												
Capacity, c (veh/h)				255												
v/c Ratio				0.28												
95% Queue Length, Q ₉₅ (veh)				1.1												
Control Delay (s/veh)				24.6												
Level of Service (LOS)				C												
Approach Delay (s/veh)		24.6														
Approach LOS		C														

HCS7 Two-Way Stop-Control Report

General Information		Site Information	
Analyst	TM	Intersection	Rand Road at Site
Agency/Co.	GHA	Jurisdiction	IDOT
Date Performed	5/2/2022	East/West Street	Site (Village Square)
Analysis Year	2028	North/South Street	Rand Road (US Route 12)
Time Analyzed	12:00 - 1:00 PM SAT	Peak Hour Factor	0.95
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	NO-BUILD		



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	0	0	0	0	0	0	0	0	3	0
Configuration				R											T	TR
Volume (veh/h)				68											1655	56
Percent Heavy Vehicles (%)				0												
Proportion Time Blocked																
Percent Grade (%)		0														
Right Turn Channelized		No														
Median Type Storage		Undivided														

Critical and Follow-up Headways

Base Critical Headway (sec)				7.1												
Critical Headway (sec)				7.10												
Base Follow-Up Headway (sec)				3.9												
Follow-Up Headway (sec)				3.90												

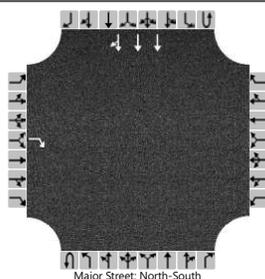
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				72												
Capacity, c (veh/h)				245												
v/c Ratio				0.29												
95% Queue Length, Q ₉₅ (veh)				1.2												
Control Delay (s/veh)				25.7												
Level of Service (LOS)				D												
Approach Delay (s/veh)		25.7														
Approach LOS		D														

HCS7 Two-Way Stop-Control Report

General Information		Site Information	
Analyst	TM	Intersection	Rand Road at Site
Agency/Co.	GHA	Jurisdiction	IDOT
Date Performed	5/2/2022	East/West Street	Site (Village Square)
Analysis Year	2028	North/South Street	Rand Road (US Route 12)
Time Analyzed	12:00 - 1:00 PM SAT	Peak Hour Factor	0.95
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	TOTAL		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	0	0	0	0	0	0	0	0	3	0
Configuration				R											T	TR
Volume (veh/h)				101											1648	102
Percent Heavy Vehicles (%)				0												
Proportion Time Blocked																
Percent Grade (%)		0														
Right Turn Channelized		No														
Median Type Storage		Undivided														

Critical and Follow-up Headways

Base Critical Headway (sec)				7.1												
Critical Headway (sec)				7.10												
Base Follow-Up Headway (sec)				3.9												
Follow-Up Headway (sec)				3.90												

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				106												
Capacity, c (veh/h)				237												
v/c Ratio				0.45												
95% Queue Length, Q ₉₅ (veh)				2.2												
Control Delay (s/veh)				31.9												
Level of Service (LOS)				D												
Approach Delay (s/veh)		31.9														
Approach LOS		D														



At the Heart of Community

OFFICE OF THE VILLAGE MANAGER

70 East Main Street
Lake Zurich, Illinois 60047

(847) 438-5141
LakeZurich.org

AGENDA ITEM

7B

Date: July 5, 2022

To: Ray Keller, Village Manager *PK*

From: Steve Husak, Police Chief

C: Michael Duebner, Management Services Director

Subject: Public Safety Answering Point Consolidation

Issue: In recent years, governmental entities across Lake County have studied whether consolidating more than a dozen independent primary and secondary Public Safety Answering Points (PSAP) in Lake County could enhance the service these PSAPs provide while also more efficiently providing the right public safety resources to the right location, with the right information, in the shortest amount of time.

As a result of Illinois legislation mandating PSAP consolidation, the Lake County Emergency Telephone System Board (ETSB) commissioned a study in 2013. A second study was commissioned in 2015 and completed in 2017. A third study was conducted in 2018 and completed in 2019. All of these reports concluded that emergency dispatch consolidation is a mutually beneficial path for public safety entities in Lake County and the communities they serve.

Analysis: The reports concluded that potential benefits of dispatch consolidation include: reduced call transferring, staffing improvements to provide enhanced coverage for 24/7 operations, more consistent and effective service delivery, greater opportunities for inter-agency response and backup, better data sharing between agencies and responders in the field, along with expanded oversight, enhanced interoperability and the ability to share information across jurisdictions, operational savings, reductions in future capital investment, and the elimination of duplicative technology maintenance agreements.

A significant step toward technological consolidation occurred in 2021 when a county-wide Request For Proposal (RFP) of a scalable, shared, integrated, enterprise family of systems and software that includes Computer Aided Dispatch (C/AD), mobile data, Law Enforcement Records Management System (LE RMS), Jail Management System (JMS), electronic crash, and electronic ticket systems to support 9-1-1 services, emergency dispatch services, and records management for partner municipalities and agencies was received. Tyler Technologies was awarded the

contract for these countywide systems. The project was funded by Lake County and the Lake County ETSB. The various systems should be operational in 2023.

The most significant step toward regional emergency dispatch consolidation occurred in October 2021 when the Lake County Board authorized entering into an agreement for design and construction of a consolidated 911 center and Emergency Operations Center (EOC) on the Lake County campus in Libertyville, Illinois. Once completed, the facility will provide co-location space for a regional 911 center, Lake County Emergency Management Agency (EMA), and the Lake County ETSB. Lake County has committed \$40M in bonds, ARPA funds, and federal grant funds to construct the facility. The project design is scheduled to be complete at the end of 2022, with the goal of construction completion by 2026.

As the 911 consolidation efforts continue, all of the PSAPs in Lake County have been invited to participate in an IGA establishing a new consolidated PSAP for municipal corporations and partners to meet 911 and emergency dispatch requirements. Eight of the Lake County PSAPs, including Lake Zurich, have agreed to further develop 911 consolidation concepts.

A new consolidated PSAP should address the following items:

- Establishment of an independent intergovernmental cooperative for the new consolidated PSAP to provide 911 and emergency dispatch services for participating Lake County communities and fire districts.
- A clear pathway for any Lake County municipal corporations and units of local government to become a partner / member of the new consolidated PSAP.
- By-laws that include PSAP governance structure and initial cost sharing formulas.
- Clearly defined baseline of services provided by the new consolidated PSAP.
- Detailed implementation, migration, and transition plans from individual PSAPs into the Regional Operations and Communications facility in Libertyville.
- Initial staff structure and functions for the new consolidated PSAP.
- Transition pathways for current employees from the various PSAPs across Lake County to the new consolidated PSAP.
- Technology requirements and baseline to support consolidated operations.
- The long-term use of the new, consolidated, county-wide Computer Aided Dispatch system.
- The long-term lease of the 911 and emergency dispatch center and its associated supporting spaces in the Regional Operations and Communications facility on the Lake County government campus in Libertyville.

The Village of Lake Zurich is committed to the concept of PSAP consolidation in order to provide the most timely, effective, and efficient 9-1-1 and emergency dispatch service to Lake County residents and first responders.

Each Lake County PSAP is being asked to contribute \$50,000 to hire a project manager to develop a Planning and Development IGA which will highlight some key understandings of the eight PSAPs and lay out a broad-based concept for a second IGA; the Implementing IGA.

Recommendation: The Village of Lake Zurich and the communities served by our own consolidated dispatch operations have recognized the benefits that are directly attributable to a one-for-many PSAP. Staff is therefore recommending permission to enter into and provide the \$50,000 entry fee toward the regional Public Safety Answering Point Planning/Development IGA leading toward a county-wide consolidation effort that Lake Zurich may choose to be a partner in.

VILLAGE OF LAKE ZURICH
RESOLUTION NO. 2022-07-__



RESOLUTION AUTHORIZING THE EXECUTION OF AN INTERGOVERNMENTAL AGREEMENT REGARDING DEVELOPMENT OF THE PLAN AND AGREEMENT TO CONSOLIDATE PARTICIPATING LAKE COUNTY PUBLIC SAFETY ANSWERING POINTS IN THE AMOUNT NOT-TO-EXCEED \$50,000

SUMMARY

Joint Resolution approving the Intergovernmental Agreement (IGA) Regarding Development of the Plan and Agreement to Consolidate Participating Lake County Public Safety Answering Points (PSAP)s.

- The next phase of 9-1-1 Consolidation in Lake County, Illinois, includes establishing a new consolidated PSAP.
- The Parties to this PSAP Development IGA agree to partner to develop a detailed plan and an additional Implementing IGA to establish a new consolidated PSAP for municipal corporations and other public entities to join as partners to meet 9-1-1 and emergency dispatch requirements in Lake County.
- Committed Parties to this PSAP Development IGA include County of Lake, Lake County Sheriff, CenCom E911, Fox Lake, Gurnee, Lake Zurich, Mundelein, Vernon Hills, and Waukegan.
- Each participating Public Safety Answering Point agrees to provide \$50,000 to hire a project manager and supporting expertise.
- The County agrees to be the Executive Agent for the project and agrees to build the Regional Operations and Communications Facility to house the new consolidated PSAP.

RESOLUTION

WHEREAS, the Parties have authority to enter into this intergovernmental agreement under the Intergovernmental Cooperation Act, 5 ILCS 220/1 *et seq.*, and Article VII, Section 10 of the 1970 Constitution of the State of Illinois, and other applicable law; and

WHEREAS, in April 2017, Lake County and the Lake County ETSB received the 9-1-1 Consolidation Report which concluded that dispatch consolidation is a mutually beneficial path for public safety entities in Lake County; and

WHEREAS, the 9-1-1 Consolidation Report stated the potential benefits of dispatch consolidation include: reduced call transferring; staffing improvements to provide enhanced coverage for 24/7 operations; more consistent and effective service delivery; greater opportunities for inter-agency response and backup; better data sharing between agencies and responders in the field, along with expanded oversight; enhanced interoperability and the ability to share information across jurisdictions; operational savings; reductions in future capital investment; and the elimination of duplicative technology maintenance agreements; and

WHEREAS, the recommendations from the 9-1-1 Consolidation Report have been shared in numerous meetings with community and public safety representatives, including the Parties to this Agreement; and

WHEREAS, in Spring of 2018, a Consortium of 21 Lake County Public Safety Entities (PSEs) agreed through an Intergovernmental Agreement (IGA) to participate in the 9-1-1 Consolidation Implementation Planning Project and committed to the next phase of 9-1-1 consolidation efforts in Lake County; and

WHEREAS, all participating PSEs contributed funds to the 9-1-1 Consolidation Project Fund to hire an on-site project manager and additional consultant services to develop a 9-1-1 Consolidation Implementation Plan; and

WHEREAS, the 21 PSEs worked together through regular meetings of the Consortium Governance Committees and various working groups; and

WHEREAS, in December of 2019, the Consortium's implementation plan (the "Regional 9-1-1 Consortium Concept of Operations and Implementation Plan") was approved by the Consortium Governance Committees; and

WHEREAS, in August 2020, the Consortium unanimously approved extending the original IGA 12 months, through September 6, 2021, in order to continue progress on initiatives in the approved Consortium Concept of Operations; and

WHEREAS, in May 2021, the Consortium completed a joint request for proposal (RFP) and procurement of a scalable, shared, integrated, enterprise family of systems / software that includes Computer Aided Dispatch (CAD), mobile data, Law Enforcement Records Management System (LE RMS), Jail Management System (JMS), Electronic Crash, and Electronic Ticket Systems to support 9-1-1 services, emergency dispatch services, and records management for partner municipalities and agencies throughout Lake County; and

WHEREAS, the Lake County ETSB is the Consortium's Executive Agent for the CAD and mobile data contract and the Lake County Sheriff's Office is the Consortium's Executive Agent for the law enforcement RMS, JMS, E-Crash, and E-Ticket contract; and

WHEREAS, in September 2021, Consortium unanimously approved extending the original IGA an additional 12 months, through September 6, 2022 in order to continue progress on initiatives in the approved Consortium Concept of Operations; and

WHEREAS, in October 2021, the Lake County Board authorized entering into an agreement for architectural and engineering design services for a Consolidated 9-1-1, ETSB, and Emergency Management Agency Facility on the County Campus in Libertyville, Illinois; and

WHEREAS, the Parties to this Agreement remain committed to the next phase of 9-1-1 Consolidation in Lake County, and continue to find it to be in the best interests of the health, safety, and general welfare of not only the residents of the population served by each Party, but all residents of Lake County; and

WHEREAS, the Parties agree to partner to develop a detailed plan and additional IGA to establish a NEW CONSOLIDATED PSAP for municipal corporations and other public entities to join as partners to meet 9-1-1 and emergency dispatch requirements in Lake County; and

WHEREAS, Lake County has agreed to be the Executive Agent for this project for the purpose of hiring and paying a Project Manager, entering into contracts, making payments, and for receiving the initial financial contributions to this project and other revenue, and will create a special segregated fund (the "Regional PSAP Consolidation Fund") for such purposes; and

WHEREAS, the Village of Lake Zurich remains committed to the consolidation of Public Safety Answering Points in order to provide the most timely, effective, and efficient 9-1-1 and emergency dispatch service to Lake County residents and first responders; and

NOW, THEREFORE, BE IT RESOLVED, by Corporate Authorities of the Village of Lake Zurich, Lake County, Illinois, that the Village President is hereby directed and authorized to execute an Intergovernmental Agreement Regarding Development of the Plan and Agreement to Consolidate Participating Lake County Public Safety Answering Points on behalf of the Village of Lake Zurich, and the Village Clerk shall attest to his signature and affix the seal of the Village to the certificate pages. and

APPROVED this ____ day of July, 2022.

AYES:

NAYS:

ABSENT:

ADOPTED this ____ day of July, 2022.

By: _____
Thomas Poynton, Village President

Kathleen Johnson, Village Clerk



VILLAGE MANAGER'S OFFICE

MONTHLY INFORMATION REPORT

JUNE 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION MAKING

70 E. MAIN STREET
LAKE ZURICH, IL 60047

A Look Back at June 2022...

Focus on Local Infrastructure

This year in June, the Village Board approved more than \$3.4 million in local infrastructure improvements, advancing a primary strategic goal of investing in aged pipes. The 2022 sewer lining program including lining about 6,200 feet of sewer along a transmission main on Aptakisic Road and a storm sewer lining in Sparrow Ridge subdivision. Funds were also allocated for replacing some 3,350 feet of underground water mains in Flint Creek Estates, including new 8-inch pipe, fire hydrants, valves, and connections to the existing water services.

Pro Life Action League “Face the Truth Tour”

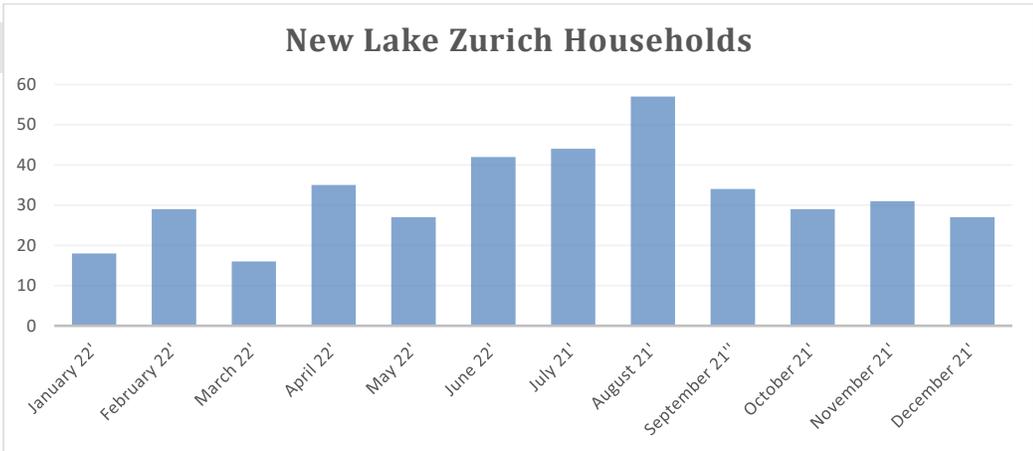
The Pro Life Action League hosted its annual “Face the Truth Tour” in the area of South Rand Road and Route 22 on Tuesday, June 14, from 9:00 a.m. to 10:30 a.m. The Village was previously notified of the event and posted information about the tour on its social media outlets. The Lake Zurich Police Department made contact with the organizers when they arrived and reminded them of the associated safety rules. They were polite and cooperative.

Officers monitored the area and noted approximately 40 people who participated in the event. The participants fanned out approximately 1/2 block covering all four corners of the intersection and remained in the grassy areas along the roadway while holding large signs. There were no counter protesters. There were no calls for service.

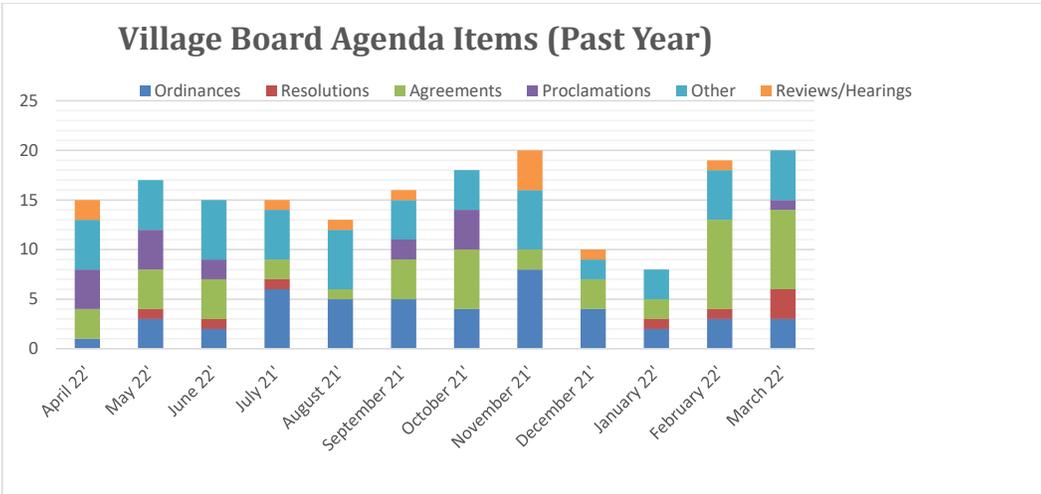
Canterbury Estates Construction

In early June, the Village provided an update on the progress of construction at Canterbury Estates on Route 22. Ryan Homes indicated that they have sold over 50% of the total units and sales continue to be robust. Building 9 on the Northeast corner is nearing completion, Building 8 will be completed in approximately six weeks and Building 7 in approximately ten weeks. Building 1 has begun construction while Buildings 2 and 6 are scheduled to commence soon.





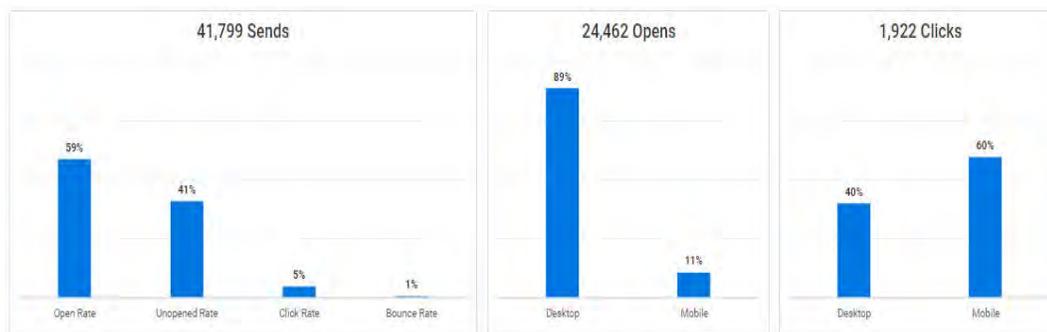
This metric shows the number of new residential homes occupied. Each month, staff sends new Lake Zurich residents a Village welcome packet that provides valuable information to those who are not familiar with the Lake Zurich area or the services offered by their local government. This metric does not include tenets in rental units, but only new single residential owners.



This metric shows the number of action items included on Village Board meeting agendas. As the local legislative governing body, the number of items acted upon by the Village Board has a direct input on Lake Zurich’s strategic orientation. This data can be useful in decisions regarding meeting frequency, legislative workload, agenda preparation, activity levels, etc.

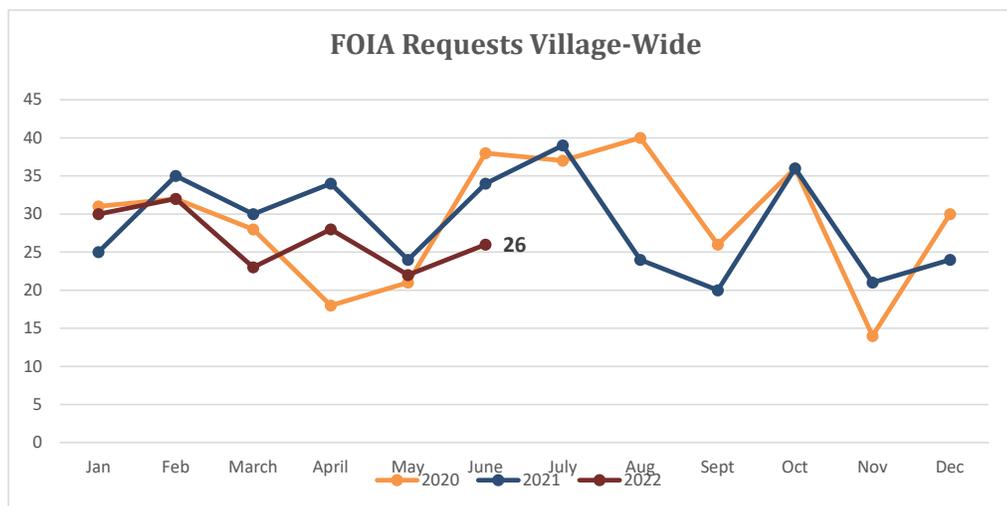
Average length of regular June Village Board meetings: 22 minutes

Benchmarks Rates – Past Month

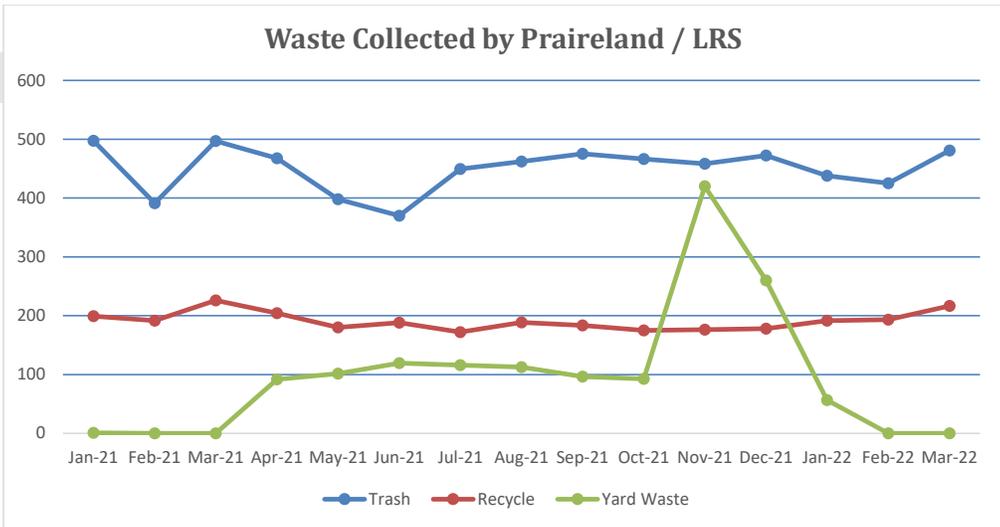


Benchmarks is the official Village e-newsletter that is a central communication device for the community. This graph shows *Benchmarks* rates over the past month. From an initial subscription rate of 756 in July 2013, *Benchmarks* now has nearly 6,000 subscribers.

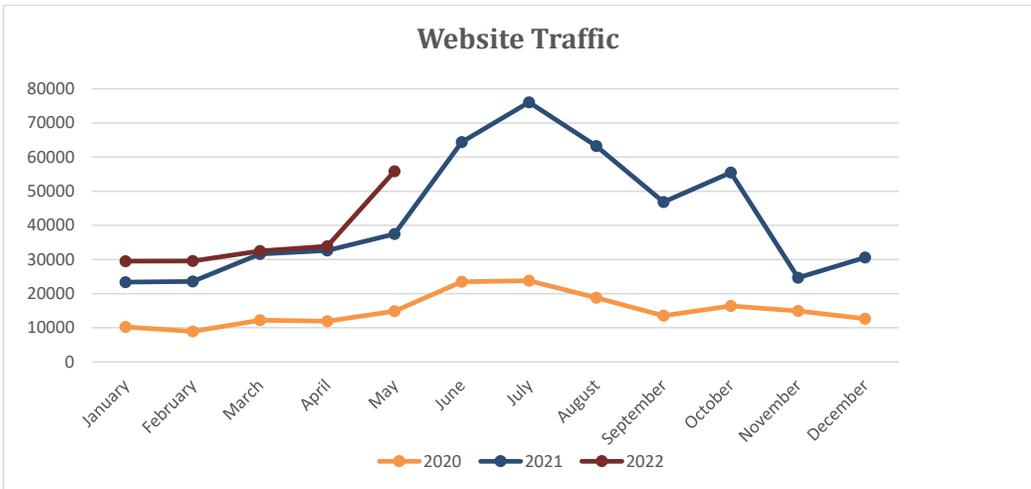
FOIA Requests Village-Wide



Open and honest government is a cornerstone of American democracy. The Freedom of Information Act is intended to ensure that members of the public have access to information about their government and its decision-making processes. This graph includes all of the FOIA requests received Village-wide among all departments.



Praireland Disposal began service to Lake Zurich in September 2020. Lakeshore Recycling Systems (LRS) took over service in October 2021. The above metric reports the volume of waste collected each month including trash, recycling, and yard waste. This metric is updated once per quarter. *Trash* and *Recycling* is reported in tons while *Yard Waste* is reported in cubic yards.



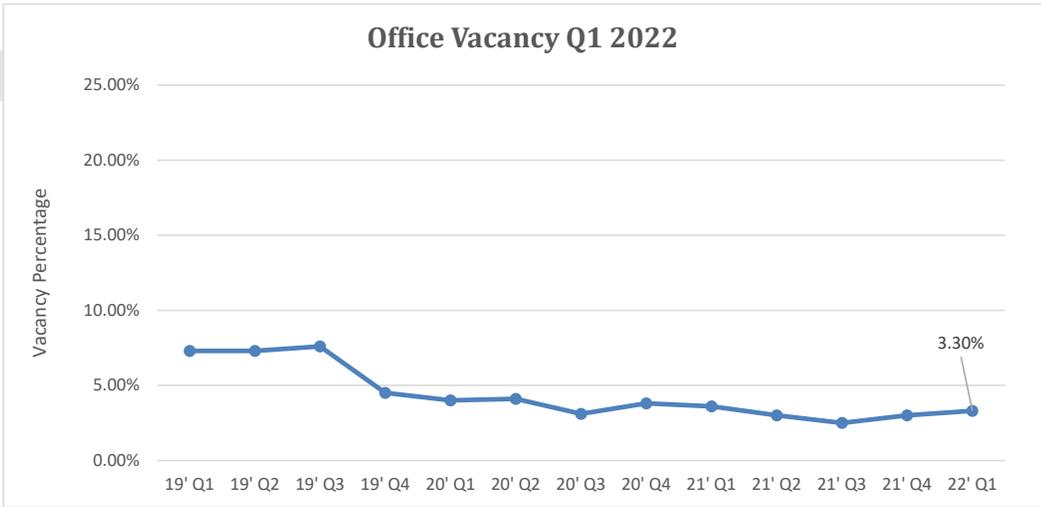
This data represents the number of website visits on LakeZurich.org. A digital presence for Lake Zurich is important for government transparency and providing resident-oriented service. E-government can also improve the overall democratic process by increasing collaboration with citizens and facilitating decision-making. This metric tracks the number of visits to LakeZurich.org. **Most Visited Page on LakeZurich.org for June: Beaches and Fees**



The Lake Zurich retail vacancy rate decreased in the first quarter of 2022 to 3.1% vacant from 3.4% in the fourth quarter of last year (based on Lake County Partners data). As of March 31, 2022, there was 82,341 square feet of retail space reported vacant in Lake Zurich, with average rates at \$14.77 per square foot (nnn).

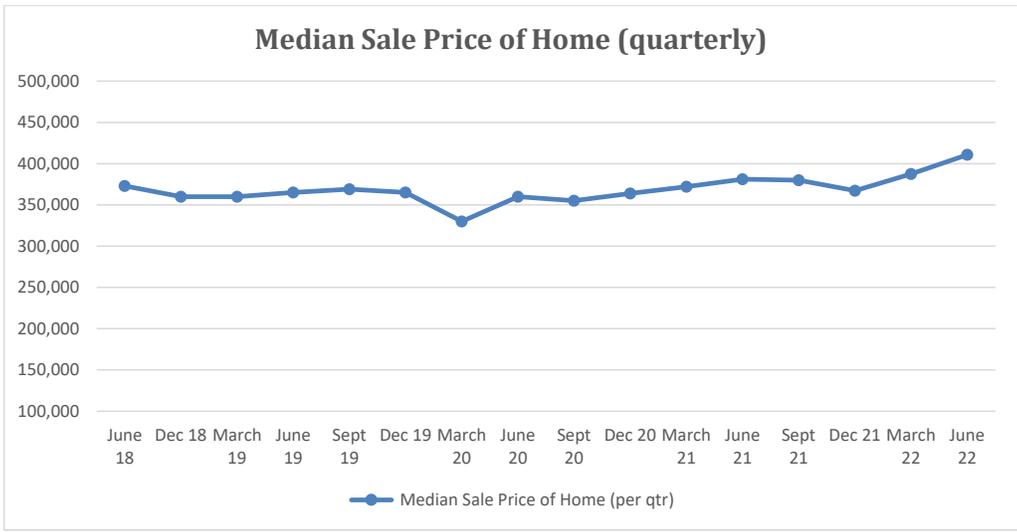


The Lake Zurich industrial vacancy rate decreased to 1.8% in Quarter 1 of 2022 compared to Quarter 4 of last year when 2.2% was reported vacant (based on Lake County Partners data). As of March 31, 2022, there was 102,474 square feet of industrial space reported vacant in Lake Zurich, with average rates at \$6.95 per square foot (nnn).



The Lake Zurich office vacancy rate increased from 3.0% in Quarter 4 of last year to 3.3% reported vacant in Quarter 1 of 2022 (based on Lake County Partners data). As of March 31, 2022, there was 13,363 square feet of office space reported vacant in Lake Zurich, with average rates at \$24.58 per square foot (full service).

Real Estate Housing Trends – Residential Inventory



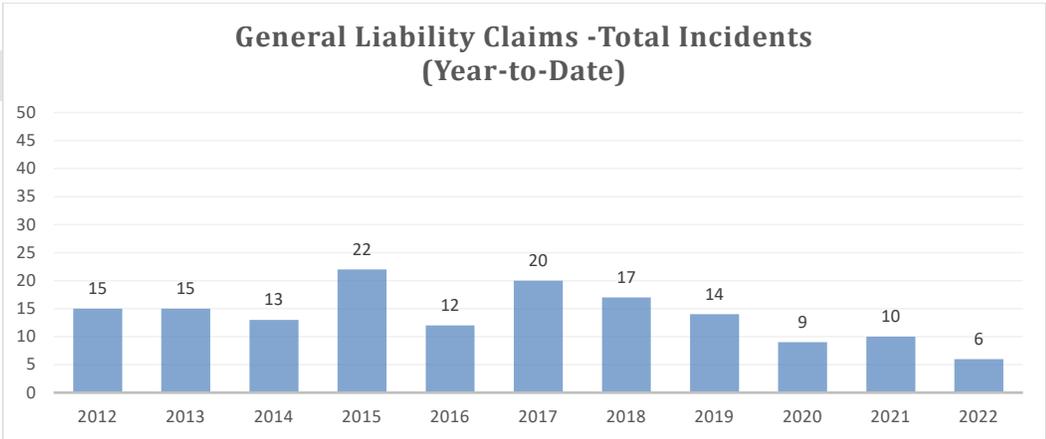
The chart *above* reports the recent trend for median sale price of Lake Zurich houses. The prices are reported by quarter.

The monthly snapshot *below* reports more details about the residential real estate market for the most recent month.

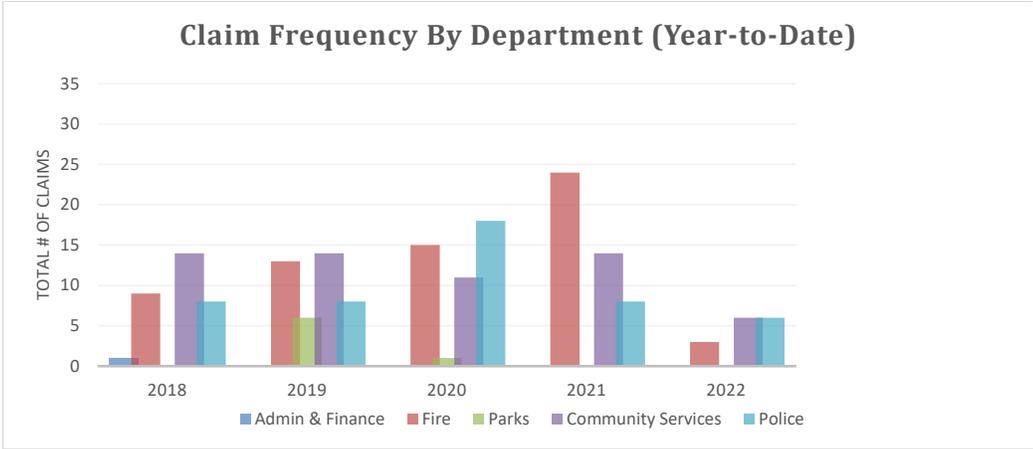
June Snapshot of Real Estate Trends

Homes Reported for Sale:	48
Median Sale Price:	\$410,750
Median Days on Market:	42
Number of Homes Sold:	18

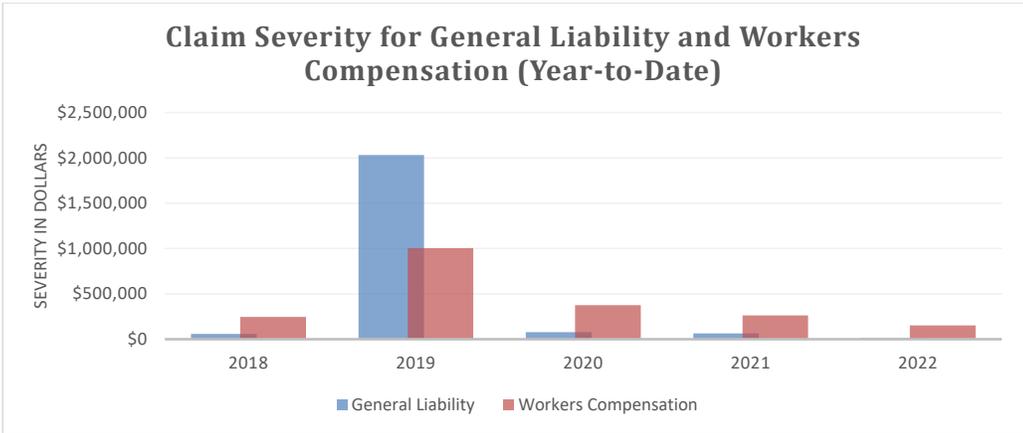
*Soure: Redfin Corporation



Risk management insurance coverage is provided by the Intergovernmental Risk Management Agency, a risk sharing pool of approximately 70 local municipalities and special service districts, which have joined together to manage and fund their property/casualty/workers' compensation claims. This metric reports total General Liability claims (both open and closed claims) in all departments since January 1st.



Loss prevention programs and a culture of safety that encourages safe work practices will decrease claim frequency rates. This data shows the total number of claims by department updated quarterly, which is an aggregate number of the following claim types: Auto Liability, Auto Physical Damage, General Liability, Property Damage, and Workers Compensation. It is important to realize that Community Services is responsible for routine maintenance, so its general liability claims will naturally be high due to claims involving parkway trees, mailboxes, sidewalks, fire hydrants, the municipal fleet, etc.



This metric provides a snapshot of the Village’s overall liability position, separated by General Liability Claims (such as property damage) and Workers Compensation Claims (such as medical bills and lost work-time). Fewer claims filed against the Village mean less money spent and improved financial stability. This data includes the total costs, including net property loss and any other associated expenses, such as attorney fees.



This metric shows the number of new hires over the past 12 months. Includes full-time, part-time, and seasonal employees. A large number of seasonal staff are hired each spring to accommodate parks and recreation programs and lifeguards for the beaches.



FINANCE DEPARTMENT

MONTHLY INFORMATION REPORT

MAY 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION MAKING

70 E. MAIN STREET
LAKE ZURICH, IL 60047

Finance Monthly Report – May 2022

DEPARTMENT NARRATIVE

During May, the focus of the finance department was on the preparation and review of the Annual Comprehensive Financial Report. The staff worked diligently to ensure timely delivery of all year-end financial reports.

GENERAL FUND OPERATING RESULTS
SUMMARY

For the month of May, revenues totaled \$2.79 million and expenditures \$2.25 million, resulting in an operating excess of \$540k. From a budget perspective, we had expected expenditures to exceed revenues by \$323k. Year-to-date figures below represent the fifth month of activity for the year.

General Fund Operating Results

	Current Month Budget	Current Month Actual	Year-to-Date Budget	Year-to-Date Actual
Revenues	\$ 2,126,632	\$ 2,786,403	\$ 9,722,633	\$ 11,362,644
Expenditures	2,449,920	2,246,098	11,063,032	10,463,398
Excess (Deficiency)	\$ (323,288)	\$ 540,305	\$ (1,340,398)	\$ 899,246

REVENUES

Following is a summary of revenues by type through May 31, 2022. These figures represent five months of financial activity. A more detailed analysis can be found on page 9.

Finance Monthly Report – May 2022

	Current Month's Budget	Current Month's Actual	% Variance	Year-to-Date Budget	Year-to-Date Actual	% Variance	% of Annual Budget
Taxes	\$ 457,170	\$ 544,361	19.1%	\$ 1,191,479	\$ 1,358,609	14.03%	13.0%
Intergovernmental	1,394,039	1,781,334	27.8%	7,012,824	7,937,047	13.18%	46.7%
Licenses & Permits	47,812	116,853	144.4%	485,612	625,127	28.73%	72.8%
Fines and Forfeits	36,130	41,186	14.0%	163,400	170,912	4.60%	36.8%
Charges for Services	183,318	277,829	51.6%	805,609	1,288,646	59.96%	73.2%
Investment Income	1,100	16,276	1379.7%	5,200	(88,895)	-1809.52%	-386.5%
Miscellaneous	7,063	8,564	21.3%	58,509	71,199	21.69%	50.6%
Operating Transfers	0	0	0.0%	0	0	0.0%	0.0%
Total Revenue	\$ 2,126,632	\$ 2,786,403	31.0%	\$ 9,722,633	\$ 11,362,644	16.87%	37.1%

Taxes:

Revenues from taxes came in at \$544k in May, exceeding budget expectations. While property taxes are received primarily June through September, the remaining revenues in this category contribute a significant amount of revenue each month all year round.

Telecommunications tax receipts were about 32% lower than expected for the month at \$26k. That is 30% less than the amount received in the same month of the prior year. More information regarding Telecommunications tax can be found on page 12.

Utility taxes were mixed for the month. The gas utility tax had \$50k in receipts compared to an expected \$26k. Electric utility tax came in at \$68k versus the expected \$71k. Combined, utility taxes were 21% higher than expected. The payments are based primarily on April activity. More detail on the Utility Taxes can be found on page 13.

Intergovernmental Revenue:

Revenue from other governments totaled \$1.78 million in May, which exceeded budget expectations for the category.

State sales tax receipts were above budget expectations for the month at \$527k. This represents sales from February and was 13% higher than receipts from the same month last year. More information regarding Sales Tax can be found on page 14.

Income Tax receipts came in 89% above expectations with the receipts for May totaling \$627k compared to an expected \$333k. Details on Income Tax are provided on page 15.

Finance Monthly Report – May 2022

Video gaming tax receipts came in 68% above budget expectations at \$33k. Video gaming tax is received two months in arrears. The video gaming tax receipts budgeted for May relate to tax for March activity.

Licenses and Permits:

Revenue from the issuance of licenses and permits came in at \$117k for May, 144% above budget expectations. Building permits (\$43k), zoning planned unit development (\$19k), and permit plan review (\$17K) were the biggest contributors. Additional items included in license and permit revenue are plumbing permits (\$11k), contractor registration (\$7k), and electric permits (\$7k). Due to the variable nature of these types of revenues, fluctuations are expected throughout the year based on activity.

Fines and Forfeits:

Revenue from police fines came in above expectations during May, with receipts of \$41k. The revenues in this category include various fines generated from police citations, such as red light and local ordinance violations.

Charges for Services:

Revenue from service charges totaled \$278k in May. The main revenue sources in this category are ambulance, engineering fees, and park program fees. As ambulance fees are based purely on activity and need, this revenue source can fluctuate considerably during the year. Ambulance receipts for the month were recorded at \$124k. Engineering review receipts for the month were recorded at \$11k. For park program fees, this is a combination of timing of receipts and fluctuating activity levels; receipts in May were slightly below budget expectations at \$89k. Park fees are 18% higher than expectations year-to-date.

Investment Income:

The General Fund investment income in May was \$16k. Currently, the investments are concentrated in certificates of deposit, treasury obligations, and interest-bearing money market accounts. A detailed cash and investment report can be found on page 17.

Finance Monthly Report – May 2022

Miscellaneous:

The General Fund miscellaneous revenue in May was \$9k. Receipts for this category were rental income (\$5k) and pavilion fees (\$3k), as well as other small items.

EXPENDITURES

For the month of May, expenditures totaled \$2.25 million for the General Fund, which was 8% below projections of \$2.45 million. The table below presents a summary of General Fund expenditures by department as of May 31, 2022. Additional detail can be found on page 9.

Department Or Program	Current Month's Budget	Current Month's Actual	% Variance	YTD Budget	YTD Actual	% Variance	% of Annual Budget
Legislative	\$ 8,947	\$ 3,892	-56.5%	\$ 32,695	\$ 26,794	-18.0%	38.8%
Administration	\$ 91,804	\$ 102,605	11.8%	\$ 512,448	\$ 478,228	-6.7%	32.8%
Finance	\$ 59,450	\$ 52,888	-11.0%	\$ 255,163	\$ 221,006	-13.4%	38.8%
Technology	\$ 29,828	\$ 53,160	78.2%	\$ 165,106	\$ 175,515	6.3%	49.4%
Police	\$ 593,063	\$ 578,840	-2.4%	\$ 2,710,416	2,663,399	-1.7%	31.7%
Fire	\$ 894,505	\$ 899,597	0.6%	\$ 4,312,090	4,194,876	-2.7%	34.0%
Community Develop.	\$ 84,777	\$ 92,480	9.1%	\$ 379,858	356,207	-6.2%	34.9%
Public Works	\$ 318,604	\$ 280,144	-12.1%	\$ 1,498,988	1,386,259	-7.5%	38.1%
Park & Recreation	\$ 236,696	\$ 54,412	-77.0%	\$ 535,038	320,719	-40.1%	26.4%
Operating Transfers	\$ 132,246	\$ 128,079	-3.2%	\$ 661,230	640,396	-3.2%	40.4%
Total	\$ 2,449,920	\$ 2,246,098	-8.3%	\$ 11,063,032	\$ 10,463,398	-5.4%	34.1%

OPERATING RESULTS OF OTHER FUNDS

Following are some observations regarding the revenues and expenditures of other funds. A financial summary of funds other than General is provided on pages 10-11.

Special Revenue Funds:

Motor fuel tax revenue came in at \$69k in May, which was 3% above the budget of \$67k. Conservative estimates for revenues highly sensitive to the economy, such as this one, allow for fluctuations later in the year. Expenditures from the Motor Fuel Tax Fund were \$66k for road salt (\$27k), signs and pavement markers (\$23k), electricity (\$13k), and landscaping (\$3k).

Finance Monthly Report – May 2022

May revenues for the Hotel Tax Fund totaled \$9k. The revenue in this fund is a combination of hotel tax receipts and interest income. Per Village Ordinance #2003-10-252, hotel tax receipts are due quarterly. Therefore, the village does not receive receipts each month. Expenditures of \$7k were recorded for the month, most of which is a transfer to the Special Events Fund for the funding of special events.

The Special Events Fund allocates resources for special events and their corresponding expenditures. Revenues for May totaled \$32k, of which \$19k relates to funding transfers in from other funds, and \$13k was for special event vendor fees and donations. Expenditures for the month totaled \$13k, consisting of normal staff expenses (\$11k), and small amounts relating to special event supplies and public relations.

Debt Service Funds:

The debt service funds record annual debt service payments for several of the village issuances. Revenues for the debt service fund are \$48k from property taxes and \$1k from interest and changes in market value of investments. Transfers from other funding sources will occur later in the year. Interest rates continue to be low for the options available for village investment per law. There were no expenditures recorded for May.

Capital Projects Funds:

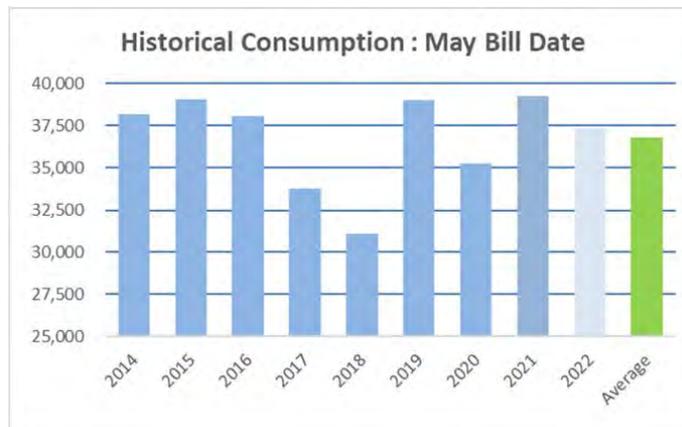
May revenue for the capital projects funds came in at \$395k. The majority of the revenue was from Non-Home Rule Sales Tax (NHRST), with receipts from May of \$169k. This was 17% higher than budget expectations and 17% higher than the same month last year. May receipts represent sales from February. More detail on the NHRST revenue can be found on page 16. Remaining revenues for capital project funds include park impact fees (\$140k), funding transfers (\$68k), and the electric aggregation civic contribution (\$6k), as well as interest income and change in market value of investments.

Expenditures for capital projects were recorded in May of \$328k, consisting of the Paulus Park OSLAD project (\$133k), concrete and road resurfacing (\$160k), and plymovent replacement station 1 (\$24k), as well as other small items.

Finance Monthly Report – May 2022

Water and Sewer Fund:

May revenue totaled \$638k, which was 13% above the budget estimate of \$563k. Consumption metered in May was 37M gallons, consistent with the nine-year average of 37M gallons. The consumption billed in May primarily represents water metered in late April and early May. With about 50M gallons pumped, about 25% of pumped water was lost to main breaks, fire department use, or other small issues. A chart comparing May water consumption over the past eight years provided below.



Expenses in the Water Fund were \$533k for the month. Of this amount, \$162k is a non-cash transaction to record depreciation of the infrastructure assets of the fund and \$7k is for interest payments. The remaining expenses are personnel expenses, other operational items and other smaller operating items. Throughout the year, spending is monitored to ensure revenues are sufficient to cover operations and capital needs as necessary. Any annual surplus would be used for expenditures later in the year and provide cash flow for improvements to maintain the aging infrastructure.

Internal Service Funds:

Internal service funds are used to reserve resources for a specific purpose and to allocate the user charges accordingly. The village has three active internal service funds: Medical Self Insurance, Risk Management and Equipment Replacement. Revenues are a combination of user charges from other funds as appropriate. Expenditures fluctuate, depending on activity levels, particularly in the Risk Management Fund.

Finance Monthly Report – May 2022

The Equipment Replacement fund in particular is subject to funding availability from the General Fund. May expenses include non-cash depreciation expenses (\$38k), extrication equipment (\$32k), utility trailer (\$10k), truck vault (\$6k), and squad car equipment (\$2k).

Special Service Areas:

While the village does not budget for Special Service Area (SSA) revenues and expenses, as funds are being collected and spent for village SSA's, the following information can be of value to report. The only expenses for special service areas in May were \$333 for sweeping and mowing (SSA #8, SSA #11, and SSA #13).

SSA Activity May-22									
SSA #	Location	Beginning Balance 1/1/2022	Year-To-Date		Ending Balance 12/31/2022	Annual Expected		Annual Expected	
			Revenues	Expenses		Revenues	YTD %	Expenses	YTD %
SSA #8	Heatherleigh	67,769	568	7,675	60,662	9,697	5.86%	15,600	49.20%
SSA #9	Willow Ponds	142,814	856	-	143,670	11,851	7.22%	17,306	0.00% ^b
SSA #10	Westberry	16,990	-	-	16,990	1,000	0.00%	-	N/A
SSA #11	Lake Zurich Pines	26,238	-	8	26,230	2,999	0.00% ^a	1,575	0.51%
SSA #13	Conventry Creek	210,080	845	150	210,775	29,894	2.83% ^a	TBD	N/A
SSA #16	Country Club	(2,042)	-	-	(2,042)	1,760	N/A	TBD	N/A
		461,847	2,269	7,833	456,283	57,202	3.97%	34,482	0.00%

a) Flat amount levied per property.
 b) At some point after enough funds have accrued, Willow Ponds will require dredging, estimated at \$120,000+

Police and Firefighters' Pension Funds:

A snapshot of activity related to the public safety pension funds of the village is provided as part of the monthly report. It is important to note that a significant revenue source for both pension funds is the annual property tax levy, of which receipts are typically recorded between June and September of each year, affecting the cash flows of each fund.

The Police Pension Fund had total revenue of \$134k for the month. For May, the fund recorded an unrealized gain of \$28k from investments. Total municipal and member contributions for the month totaled \$106k. Expenses for the month were \$201k of which \$199k was for pension and benefit payments, and \$2k for professional services. For the month of May, the fund experienced a loss of \$67k. As of May 31st, the fund had a net position of \$29.12 million. Additional information can be found on page 18.

Finance Monthly Report – May 2022

The Firefighters' Pension Fund had a similar month for investments, with an unrealized gain of \$5k from investments. Total municipal and member contributions for the month totaled \$137k. Total revenues for the month were \$141k. Expenses for the month were \$195k, most of which was for pension and benefit payments. For the month of May, the fund experienced a loss of \$54k. As of May 31st, the fund had a net position of \$47.27 million. Additional information can be found on page 18.

Conclusion:

For the one fiscal period covered by this report, no major concerns were identified. Major revenue sources are performing well and expenditures have been kept to a minimum. We will continue to monitor revenues and expenditures closely throughout the coming months.

Respectfully Submitted,

Amy Sparkowski

Amy Sparkowski
Director of Finance

VILLAGE OF LAKE ZURICH OPERATING REPORT SUMMARY GENERAL FUND May 31, 2022								
	Current Month			Year-to-Date			Amended Annual Budget	% of Annual Budget Achieved
	Budget	Actual	% Variance	Budget	Actual	% Variance		
REVENUES								
Taxes								
Property Taxes	264,505	329,466	24.6%	264,505	329,466	24.6%	8,367,317	3.9%
Utility Tax - Electric	71,047	68,017	(4.3%)	386,591	389,069	0.6%	970,000	40.1%
Utility Tax - Gas	26,209	49,973	90.7%	186,806	336,115	79.9%	305,000	110.2%
Cable Tv Franchise	57,013	70,723	24.0%	158,290	160,546	1.4%	322,955	49.7%
Telecom Tax	38,396	26,181	(31.8%)	195,287	143,413	(26.6%)	454,000	31.6%
Total Taxes	457,170	544,361	19.1%	1,191,479	1,358,609	14.0%	10,419,272	13.0%
Intergovernmental								
State Sales Tax	471,512	527,013	11.8%	2,760,938	3,087,495	11.8%	7,106,000	43.4%
State Income Tax	332,555	627,194	88.6%	1,155,629	1,688,460	46.1%	2,616,000	64.5%
State Use Tax	56,245	57,543	2.3%	419,502	338,276	(19.4%)	920,000	36.8%
Video Gaming Tax	19,583	32,860	67.8%	97,915	147,748	50.9%	235,000	62.9%
Fire/Rescue Srvc Contract	479,881	479,881	0.0%	2,399,405	2,399,405	0.0%	5,758,573	41.7%
Other Intergovernmental	34,263	56,843	65.9%	179,435	275,663	53.6%	364,624	75.6%
Total Intergovernmental	1,394,039	1,781,334	27.8%	7,012,824	7,937,047	13.2%	17,000,197	46.7%
Licenses & Permits								
Liquor Licenses	103	525	409.7%	164,103	157,480	(4.0%)	170,000	92.6%
Business Licenses	887	695	(21.6%)	102,383	93,950	(8.2%)	101,000	93.0%
Building Permits	17,500	43,448	148.3%	73,980	129,771	75.4%	220,000	59.0%
Permit Plan Review	7,500	16,856	124.7%	30,250	47,596	57.3%	100,000	47.6%
Other Permits	21,822	55,329	153.5%	114,896	196,330	70.9%	267,950	73.3%
Total Licenses & Permits	47,812	116,853	144.4%	485,612	625,127	28.7%	858,950	72.8%
Fines and Forfeits								
	36,130	41,186	14.0%	163,400	170,912	4.6%	464,500	36.8%
Charges for Services								
Fire/Rescue Ambulance Fee	47,146	124,047	163.1%	344,969	697,873	102.3%	675,000	103.4%
Park Program Fees	92,605	89,221	(3.7%)	273,805	321,683	17.5%	618,110	52.0%
Other Charges for Services	43,567	64,562	48.2%	186,835	269,090	44.0%	466,670	57.7%
Total Charges for Services	183,318	277,829	51.6%	805,609	1,288,646	60.0%	1,759,780	73.2%
Investment Income								
	1,100	16,276	1,379.7%	5,200	(88,895)	(1,809.5%)	23,000	-386.5%
Miscellaneous								
	7,063	8,564	21.3%	58,509	71,199	21.7%	140,670	50.6%
Total General Fund Revenues	2,126,632	2,786,403	31.0%	9,722,633	11,362,644	16.9%	30,666,369	37.1%
Operating Transfers In	-	-	0.0%	-	-	0.0%	-	0.0%
EXPENDITURES								
General Government								
Legislative	8,947	3,892	(56.5%)	32,695	26,794	(18.0%)	69,085	38.8%
Administration	91,804	102,605	11.8%	512,448	478,228	(6.7%)	1,458,269	32.8%
Finance	59,450	52,888	(11.0%)	255,163	221,006	(13.4%)	569,543	38.8%
Technology	29,828	53,160	78.2%	165,106	175,515	6.3%	355,119	49.4%
Total Gen. Govt.	190,029	212,546	11.8%	965,412	901,543	(6.6%)	2,452,016	36.8%
Public Safety								
Police	593,063	578,840	(2.4%)	2,710,416	2,663,399	(1.7%)	8,394,457	31.7%
Fire	894,505	899,597	0.6%	4,312,090	4,194,876	(2.7%)	12,347,334	34.0%
Community Development	84,777	92,480	9.1%	379,858	356,207	(6.2%)	1,019,346	34.9%
Total Public Safety	1,572,345	1,570,917	(0.1%)	7,402,364	7,214,482	(2.5%)	21,761,137	33.2%
Streets - Public Works								
	318,604	280,144	(12.1%)	1,498,988	1,386,259	(7.5%)	3,640,370	38.1%
Culture - Park and Recreation								
	236,696	54,412	(77.0%)	535,038	320,719	(40.1%)	1,215,085	26.4%
Total General Fund Expend.	2,317,674	2,118,019	(8.6%)	10,401,802	9,823,002	(5.6%)	29,068,608	33.8%
Operating Transfers Out	132,246	128,079	(3.2%)	661,230	640,396	(3.2%)	1,586,950	40.4%
NET INCOME (LOSS) FOR GENERAL	(323,288)	540,305		(1,340,398)	899,246		10,811	

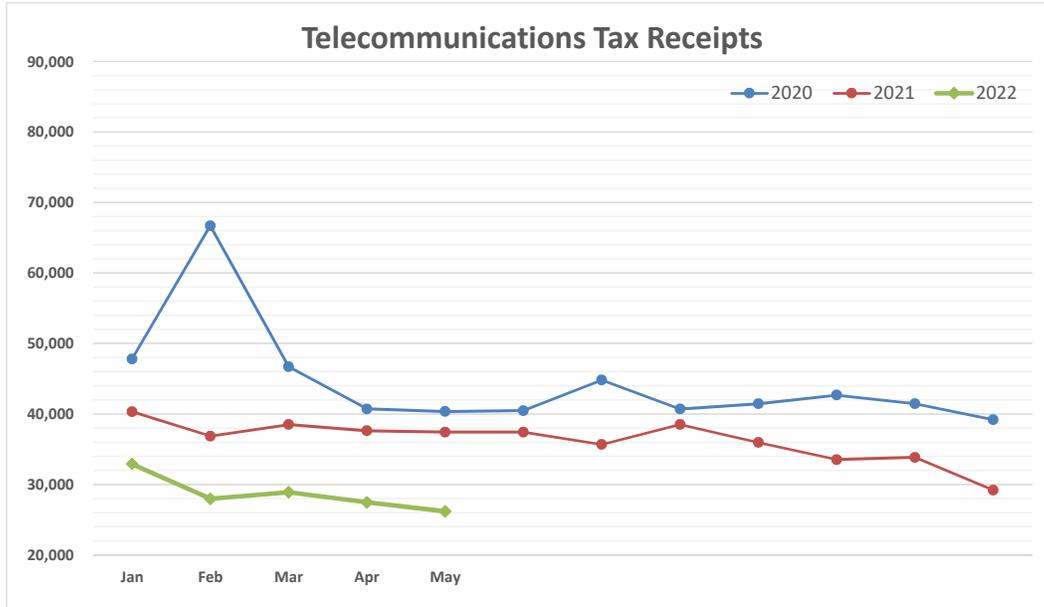
VILLAGE OF LAKE ZURICH
OPERATING REPORT SUMMARY
May 31, 2022

	Current Month			Year-to-Date			Amended Annual Budget	% of Annual Budget Achieved
	Budget	Actual	% Variance	Budget	Actual	% Variance		
SPECIAL REVENUE FUNDS								
MOTOR FUEL TAX FUND								
Revenues	66,635	68,905	3.4%	520,537	545,027	4.7%	1,210,753	45.0%
Expenditures	32,767	66,362	102.5%	166,885	157,369	(5.7%)	447,531	35.2%
Net Activity Gain (Loss)	33,868	2,543		353,652	387,658		763,222	
HOTEL TAX FUND								
Revenues	7,022	9,341	33.0%	22,953	47,357	106.3%	86,130	55.0%
Expenditures	20,542	7,344	(64.3%)	50,935	50,126	(1.6%)	103,953	48.2%
Net Activity Gain (Loss)	(13,520)	1,997		(27,982)	(2,769)		(17,823)	
SPECIAL EVENTS FUND								
Admin & Miscellaneous								
Revenues	13,104	14,146	8.0%	67,120	67,725	0.9%	161,850	41.8%
Expenditures	12,188	13,174	8.1%	68,831	70,290	2.1%	160,161	43.9%
Net Activity Gain (Loss)	916	972		(1,711)	(2,566)		1,689	
Rock the Block								
Revenues	-	1,400	0.0%	-	2,050	0.0%	60,000	3.4%
Expenditures	-	-	0.0%	-	7,848	0.0%	54,361	14.4%
Net Activity Gain (Loss)	-	1,400		-	(5,798)		5,639	
Craft Beer Fest								
Revenues	-	-	0.0%	-	-	0.0%	-	0.0%
Expenditures	-	-	0.0%	-	-	0.0%	-	0.0%
Net Activity Gain (Loss)	-	-		-	-		-	
Farmers Market								
Revenues	2,500	5,800	132.0%	6,150	9,970	62.1%	8,500	117.3%
Expenditures	200	-	(100.0%)	200	365	82.5%	8,342	4.4%
Net Activity Gain (Loss)	2,300	5,800		5,950	9,605		158	
Fourth of July								
Revenues	4,592	7,292	58.8%	22,960	25,908	12.8%	69,100	37.5%
Expenditures	-	-	0.0%	-	16,611	0.0%	68,904	24.1%
Net Activity Gain (Loss)	4,592	7,292		22,960	9,297		196	
Winter Festival								
Revenues	1,146	3,196	178.9%	5,730	7,779	35.8%	16,550	47.0%
Expenditures	-	-	0.0%	50	4,027	7,953.3%	16,402	24.5%
Net Activity Gain (Loss)	1,146	3,196		5,680	3,753		148	
Special Events Fund Total	8,954	18,660		32,879	14,291		7,830	
TIF #1 TAX FUND								
Revenues	47,050	54,519	15.9%	47,118	54,652	16.0%	1,394,900	3.9%
Expenditures	-	-	0.0%	-	-	0.0%	1,387,000	0.0%
Net Activity Gain (Loss)	47,050	54,519		47,118	54,652		7,900	
TIF #2 - DOWNTOWN								
Revenues	12,554	11,706	(6.8%)	22,438	24,356	8.5%	328,650	7.4%
Expenditures	2,750	12,891	368.8%	61,751	86,744	40.5%	1,716,400	5.1%
Net Activity Gain (Loss)	9,804	(1,184)		(39,313)	(62,388)		(1,387,750)	
TIF #3 - RAND ROAD								
Revenues	1,891	3	(99.9%)	1,891	12	(99.4%)	56,080	0.0%
Expenditures	-	-	0.0%	-	-	0.0%	800	0.0%
Net Activity Gain (Loss)	1,891	3		1,891	12		55,280	
DISPATCH CENTER FUND								
Revenues	449,225	427,979	(4.7%)	823,075	921,477	12.0%	1,513,590	60.9%
Expenditures	129,177	117,682	(8.9%)	666,567	655,008	(1.7%)	1,618,461	40.5%
Net Activity Gain (Loss)	320,048	310,296		156,508	266,469		(104,871)	

VILLAGE OF LAKE ZURICH
 OPERATING REPORT SUMMARY
 May 31, 2022

	Current Month			Year-to-Date			Amended Annual Budget	% of Annual Budget Achieved
	Budget	Actual	% Variance	Budget	Actual	% Variance		
DEBT SERVICE FUNDS								
VILLAGE DEBT SERVICE								
Revenues	41,031	48,746	18.8%	41,263	49,492	19.9%	1,215,700	4.1%
Expenditures	-	-	0.0%	-	-	0.0%	1,206,810	0.0%
Net Activity Gain (Loss)	41,031	48,746		41,263	49,492		8,890	
TIF #1 DEBT SERVICE								
Revenues	67	453	576.4%	335	(2,875)	(958.3%)	2,023,800	(0.1%)
Expenditures	-	-	0.0%	975,803	975,005	(0.1%)	2,045,241	47.7%
Net Activity Gain (Loss)	67	453		(975,468)	(977,880)		(21,441)	
CAPITAL PROJECT FUNDS								
CAPITAL IMPROVEMENTS								
Revenues	74,958	223,402	198.0%	374,790	692,029	84.6%	2,450,577	28.2%
Expenditures	75,166	167,632	123.0%	109,833	266,253	142.4%	1,817,524	14.6%
Net Activity Gain (Loss)	(208)	55,770		264,957	425,776		633,053	
PARK IMPROVEMENTS								
Revenues	-	-	0.0%	-	-	0.0%	-	0.0%
Expenditures	-	-	0.0%	-	-	0.0%	-	0.0%
Net Activity Gain (Loss)	-	-		-	-		-	
NON-HOME RULE SALES TAX								
Revenues	144,683	172,008	18.9%	856,656	1,023,340	19.5%	2,279,500	44.9%
Expenditures	385,958	160,640	(58.4%)	407,126	198,357	(51.3%)	2,272,000	8.7%
Net Activity Gain (Loss)	(241,275)	11,368		449,530	824,983		7,500	
ENTERPRISE FUND								
WATER AND SEWER								
Revenues	562,830	638,134	13.4%	2,866,648	3,037,874	6.0%	7,391,625	41.1%
Expenses								
Administration	54,999	55,508	0.9%	294,749	287,936	(2.3%)	702,115	41.0%
Debt	28,759	7,459	(74.1%)	71,189	71,849	0.9%	147,432	48.7%
Depreciation	161,516	161,516	(0.0%)	807,580	807,579	(0.0%)	1,938,190	41.7%
Billing	18,596	17,658	(5.0%)	102,323	105,920	3.5%	238,763	44.4%
Water	256,044	224,596	(12.3%)	748,435	653,061	(12.7%)	3,434,565	19.0%
Sewer	115,826	65,799	(43.2%)	444,053	370,761	(16.5%)	3,942,217	9.4%
	635,740	532,535		2,468,329	2,297,106		10,403,282	
Net Activity Gain (Loss)	(72,910)	105,599		398,319	740,767		(3,011,657)	
INTERNAL SERVICE FUNDS								
MEDICAL INSURANCE								
Revenues	261,084	254,252	(2.6%)	1,312,548	1,283,232	(2.2%)	3,147,258	40.8%
Expenses	256,384	235,276	(8.2%)	1,282,920	1,492,618	16.3%	3,090,608	48.3%
Net Activity Gain (Loss)	4,700	18,976		29,628	(209,385)		56,650	
RISK MANAGEMENT								
Revenues	121,105	138,728	14.6%	605,526	639,850	5.7%	1,453,271	44.0%
Expenses	37,310	17,108	(54.1%)	1,189,641	1,119,846	(5.9%)	1,612,872	69.4%
Net Activity Gain (Loss)	83,795	121,620		(584,115)	(479,996)		(159,601)	
EQUIPMENT REPLACEMENT								
Revenues	69,919	68,028	(2.7%)	349,595	333,365	(4.6%)	1,039,025	32.1%
Expenses	37,916	87,524	130.8%	333,780	494,641	48.2%	1,241,525	39.8%
Net Activity Gain (Loss)	32,003	(19,496)		15,815	(161,276)		(202,500)	
TOTAL ALL VILLAGE FUNDS	(67,990)	1,270,175		(1,175,716)	1,769,653		(3,354,507)	

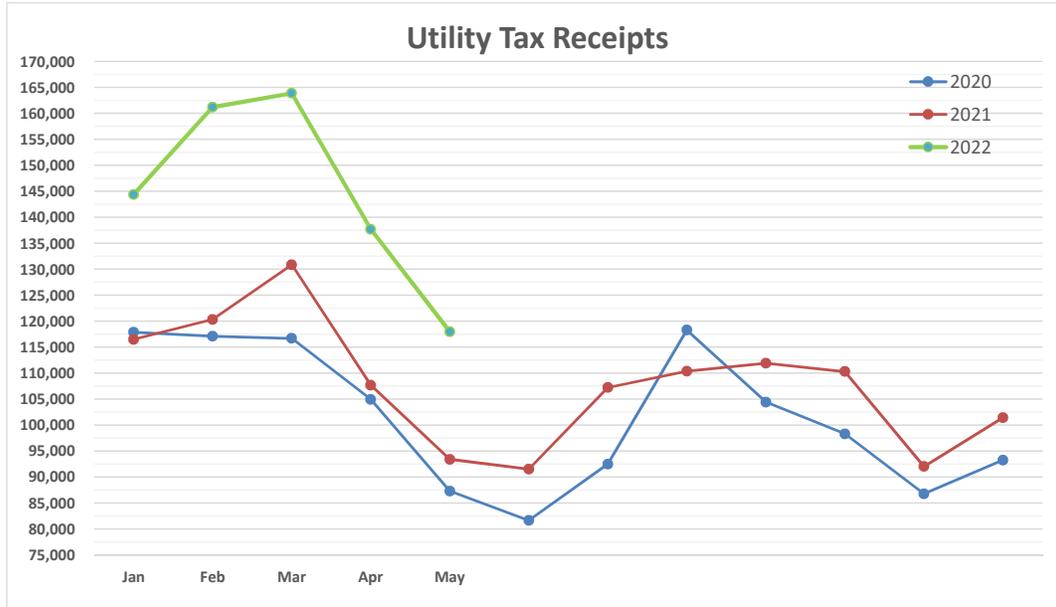
DEPARTMENT OF FINANCE
MONTHLY REPORT
MAY 2022



Collection History

Received	Earned	Historical			Current Year Actual		Current Year Budget		
		FY 2020	FY 2021	% Change	FY 2022	% Change	Budget	Variance \$	Variance %
January	October	47,823	40,329	-15.67%	32,888	-18.45%	41,197	(8,309)	-20.17%
February	November	66,708	36,855	-44.75%	27,974	-24.10%	37,723	(9,749)	-25.84%
March	December	46,694	38,514	-17.52%	28,903	-24.95%	39,482	(10,579)	-26.79%
April	January	40,718	37,621	-7.61%	27,467	-26.99%	38,489	(11,022)	-28.64%
May	February	40,356	37,428	-7.25%	26,181	-30.05%	38,396	(12,215)	-31.81%
June	March	40,486	37,438	-7.53%		-100.00%	38,306	(38,306)	-100.00%
July	April	44,824	35,678	-20.40%		-100.00%	35,646	(35,646)	-100.00%
August	May	40,706	38,518	-5.38%		-100.00%	39,386	(39,386)	-100.00%
September	June	41,448	35,963	-13.23%		-100.00%	35,910	(35,910)	-100.00%
October	July	42,693	33,528	-21.47%		-100.00%	34,396	(34,396)	-100.00%
November	August	41,476	33,847	-18.39%		-100.00%	39,026	(39,026)	-100.00%
December	September	39,177	29,210	-25.44%		-100.00%	36,043	(36,043)	-100.00%
		533,107	434,929	-18.42%	143,413		454,000	(310,587)	
Y-T-D		242,297	190,747	-21.28%	143,413	-24.82%	195,287	(51,874)	-26.56%

DEPARTMENT OF FINANCE
MONTHLY REPORT
MAY 2022

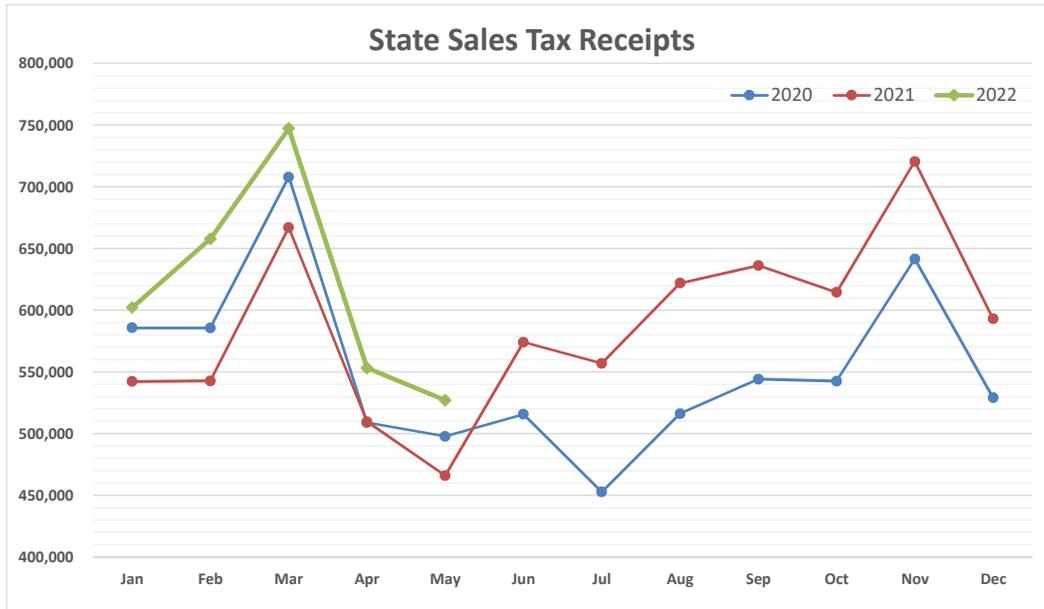


Collection History

COMBINED - ELECTRICITY & GAS

Receipt Month	Liability Month	Historical			Current Year Actual		Current Year Budget		
		2020	2021	% Change	2022	% Change	FY 2022	Variance \$	Variance %
Jan	Dec	117,886	116,503	-1.2%	144,392	23.9%	116,788	27,604	23.6%
Feb	Jan	117,123	120,335	2.7%	161,197	34.0%	129,219	31,978	24.7%
Mar	Feb	116,704	130,883	12.2%	163,887	25.2%	123,981	39,906	32.2%
Apr	Mar	104,962	107,700	2.6%	137,718	27.9%	106,153	31,565	29.7%
May	Apr	87,312	93,403	7.0%	117,990	26.3%	97,256	20,734	21.3%
June	May	81,656	91,526	12.1%	-	-100.0%	91,944	(91,944)	-100.0%
July	June	92,490	107,244	16.0%	-	-100.0%	103,118	(103,118)	-100.0%
Aug	July	118,303	110,403	-6.7%	-	-100.0%	110,585	(110,585)	-100.0%
Sept	Aug	104,416	111,936	7.2%	-	-100.0%	108,327	(108,327)	-100.0%
Oct	Sept	98,328	110,319	12.2%	-	-100.0%	102,025	(102,025)	-100.0%
Nov	Oct	86,781	92,037	6.1%	-	-100.0%	88,006	(88,006)	-100.0%
Dec	Nov	93,274	101,437	8.8%	-	-100.0%	97,598	(97,598)	-100.0%
		1,219,235	1,293,726	6.11%	725,184	-43.9%	1,275,000	(549,816)	
Y-T-D		543,987	568,825	4.57%	725,184	27.5%	573,397	151,787	26.5%

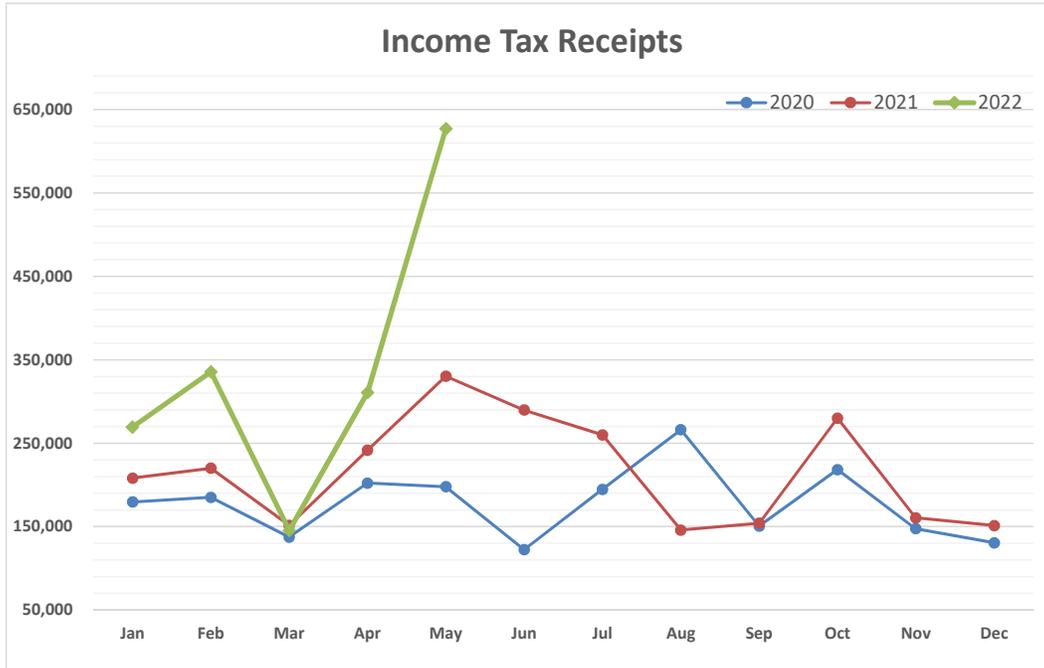
DEPARTMENT OF FINANCE
MONTHLY REPORT
MAY 2022



Collection History

Received	Earned	Historical			Current Year Actual		Current Year Budget		
		2020	2021	% Change	2022	% Change	Budget	Variance \$	Variance %
January	October	585,729	542,215	-7.43%	602,130	11.05%	548,849	53,281	9.71%
February	November	585,612	542,675	-7.33%	657,819	21.22%	549,115	108,704	19.80%
March	December	708,009	667,111	-5.78%	747,307	12.02%	675,618	71,689	10.61%
April	January	508,950	509,698	0.15%	553,226	8.54%	515,844	37,382	7.25%
May	February	497,768	466,021	-6.38%	527,013	13.09%	471,512	55,501	11.77%
June	March	515,679	574,063	11.32%	-	-100.00%	581,173	(581,173)	-100.00%
July	April	452,741	556,926	23.01%	-	-100.00%	563,580	(563,580)	-100.00%
August	May	516,160	622,012	20.51%	-	-100.00%	629,842	(629,842)	-100.00%
September	June	544,099	636,306	16.95%	-	-100.00%	644,351	(644,351)	-100.00%
October	July	542,519	614,470	13.26%	-	-100.00%	622,157	(622,157)	-100.00%
November	August	641,526	720,532	12.32%	-	-100.00%	714,740	(714,740)	-100.00%
December	September	529,081	593,038	12.09%	-	-100.00%	589,219	(589,219)	-100.00%
		6,627,872	7,045,068	6.29%	3,087,495		7,106,000	(4,018,505)	
Y-T-D		2,886,067	2,727,721	-5.49%	3,087,495	13.19%	2,760,938	326,557	11.83%

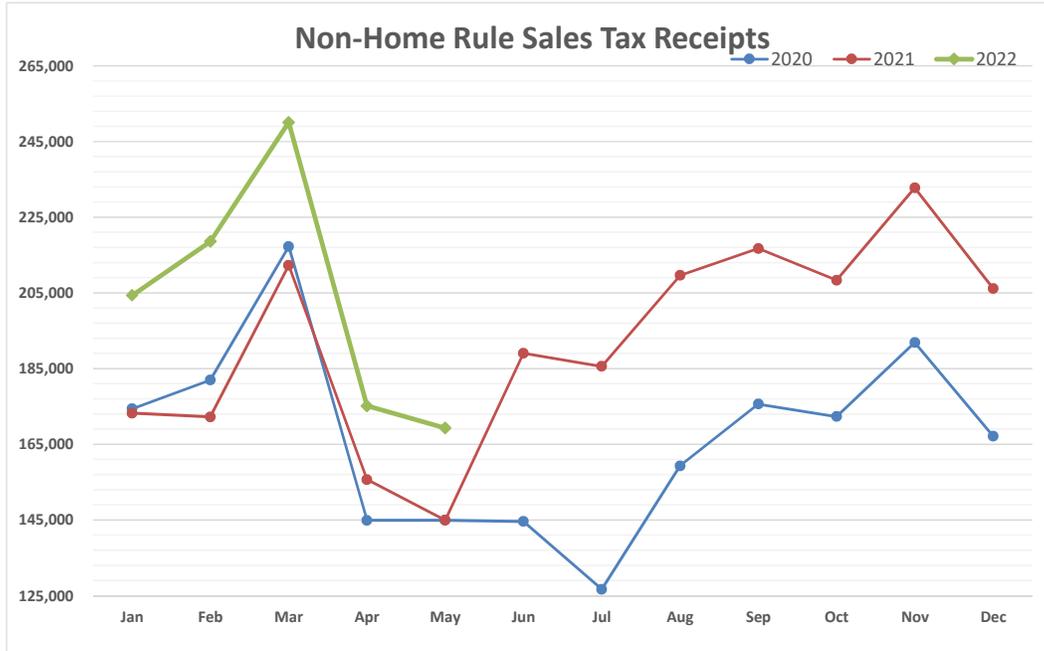
DEPARTMENT OF FINANCE
MONTHLY REPORT
MAY 2022



Revenue History

Vouchered	Historical			Current Year Actual		Current Year Budget		
	2020	2021	% Change	2022	% Change	FY 2022	Variance \$	Variance %
January	179,651	208,145	15.86%	269,221	29.34%	208,535	60,686	29.10%
February	185,089	220,056	18.89%	335,693	52.55%	220,625	115,068	52.16%
March	137,632	151,661	10.19%	145,504	-4.06%	151,204	(5,700)	-3.77%
April	202,147	241,823	19.63%	310,848	28.54%	242,710	68,138	28.07%
May	197,921	330,332	66.90%	627,194	89.87%	332,555	294,639	88.60%
June	122,594	289,833	136.42%	-	-100.00%	291,448	(291,448)	-100.00%
July	194,674	260,006	33.56%	-	-100.00%	261,174	(261,174)	-100.00%
August	266,162	145,998	-45.15%	-	-100.00%	145,456	(145,456)	-100.00%
September	150,811	154,181	2.24%	-	-100.00%	153,762	(153,762)	-100.00%
October	218,387	280,184	28.30%	-	-100.00%	281,655	(281,655)	-100.00%
November	147,566	160,617	8.84%	-	-100.00%	168,141	(168,141)	-100.00%
December	130,645	151,210	15.74%	-	-100.00%	158,735	(158,735)	-100.00%
	2,133,279	2,594,046	21.60%	1,688,460	-34.91%	2,616,000	(927,540)	-35.46%
Y-T-D	902,440	1,152,017	27.66%	1,688,460	46.57%	1,155,629	532,831	46.11%

DEPARTMENT OF FINANCE
MONTHLY REPORT
MAY 2022



Collection History

Received	Earned	Historical			Current Year Actual		Current Year Budget		
		2020	2021	% Change	2022	% Change	Budget	Variance \$	Variance %
January	October	174,393	173,241	-0.66%	204,354	17.96%	172,685	31,669	18.34%
February	November	181,973	172,248	-5.34%	218,598	26.91%	171,697	46,901	27.32%
March	December	217,245	212,281	-2.29%	250,074	17.80%	211,601	38,473	18.18%
April	January	144,913	155,657	7.41%	175,158	12.53%	155,158	20,000	12.89%
May	February	144,946	144,939	0.00%	169,297	16.81%	144,475	24,822	17.18%
June	March	144,621	189,084	30.74%		-100.00%	188,478	(188,478)	-100.00%
July	April	126,701	185,597	46.48%		-100.00%	185,003	(185,003)	-100.00%
August	May	159,315	209,622	31.58%		-100.00%	208,950	(208,950)	-100.00%
September	June	175,641	216,705	23.38%		-100.00%	216,011	(216,011)	-100.00%
October	July	172,331	208,328	20.89%		-100.00%	207,661	(207,661)	-100.00%
November	August	191,900	232,762	21.29%		-100.00%	232,016	(232,016)	-100.00%
December	September	167,141	206,167	23.35%		-100.00%	183,265	(183,265)	-100.00%
		2,001,120	2,306,629	15.27%	1,017,480		2,277,000	(1,259,520)	
Y-T-D		863,469	858,365	-0.59%	1,017,480	18.54%	855,616	161,864	18.92%

Village of Lake Zurich
Investment Report
May 31, 2022

Description	Purchase Date	Maturity Date	Coupon Rate	CUSIP / Account	Par Value	Purchase Price	(Premium) / Discount	Market Value	Unrealized Gain (Loss)
MONEY MARKET & CASH									
Eagle Bank	N/A	N/A	0.000%	214754-1	-	-	-	0.00	N/A
IPRIME	NA	NA	0.000%		1,182,873.04	1,182,873.04	-	1,182,873.04	N/A
CERTIFICATE OF DEPOSIT									
Royal Business Bank	04/14/21	07/15/22	0.070%		249,923.54	249,700.00	223.54	249,700.00	-
Bank USA/Private Bank	01/28/21	07/27/22	0.150%		249,971.52	249,400.00	571.52	249,400.00	-
Customers Bank	01/28/21	07/27/22	0.150%		249,959.40	249,400.00	559.40	249,400.00	-
Third Coast Bank	04/19/21	07/27/22	0.100%		249,929.99	249,600.00	329.99	249,600.00	-
First Internet Bank of IN	02/10/21	08/11/22	0.080%		249,999.63	249,700.00	299.63	249,700.00	-
GBC International Bank	02/10/21	08/11/22	0.090%		249,946.01	249,600.00	346.01	249,600.00	-
Pacific Western Bank	01/28/21	01/30/23	0.210%		249,948.24	248,900.00	1,048.24	248,900.00	-
Servisfirst Bank	01/28/21	01/30/23	0.160%		249,197.83	248,400.00	797.83	248,400.00	-
Allegiance Bank Texas	02/19/21	02/22/23	0.110%		249,953.44	249,400.00	553.44	249,400.00	-
BMW Bank North America	02/19/21	02/22/23	0.150%		249,000.00	249,000.00	-	246,184.81	(2,815.19)
Midland States Bank	02/19/21	02/22/23	0.110%		249,955.94	249,400.00	555.94	249,400.00	-
CIBM Bank, WI	03/26/21	03/27/23	0.070%		249,949.92	249,600.00	349.92	249,600.00	-
First National Bank, ME	03/26/21	03/27/23	0.070%		249,950.10	249,600.00	350.10	249,600.00	-
INSBank, TN	03/26/21	03/27/23	0.130%		249,961.56	249,300.00	661.56	249,300.00	-
Commonwealth Bus Bk	03/31/21	03/31/23	0.100%		249,000.00	249,248.74	(248.74)	245,530.68	(3,718.06)
US Treasury N/B	03/30/22	07/31/23	1.870%	912828S92	754,000.00	747,844.30	6,155.70	745,635.12	(2,209.18)
Alameda Cnty-a-txbl	04/16/21	08/01/23	0.200%	010878AP1	250,000.00	271,707.50	(21,707.50)	255,017.50	(16,690.00)
US Treasury N/B	04/15/21	01/15/24	0.250%	91282CBE0	250,000.00	249,140.63	859.37	241,084.00	(8,056.63)
US Treasury N/B	04/15/21	01/31/25	0.480%	912828Z52	964,000.00	996,422.03	(32,422.03)	931,577.79	(64,844.24)
US Treasury N/B	04/15/21	07/31/25	0.620%	91282CAB7	406,000.00	399,640.39	6,359.61	375,248.75	(24,391.64)
US Treasury N/B	05/19/21	07/31/25	0.570%	91282CAB7	350,000.00	345,351.56	4,648.44	323,490.30	(21,861.26)
US Treasury N/B	07/28/21	07/31/25	0.500%	91282CAB7	252,000.00	249,499.69	2,500.31	232,913.02	(16,586.67)
US Treasury N/B	01/28/22	01/31/26	1.460%	91282CBH3	1,000,000.00	957,890.63	42,109.37	915,898.00	(41,992.63)
TOTAL					9,155,520.16	9,140,618.51	14,901.65	8,937,453.01	(203,165.50)
Per Statement				PMA Invests	9,155,520.16	9,140,618.51	-	8,937,453.01	(203,165.50)
				Total	9,155,520.16	9,140,618.51	-	8,937,453.01	-

Village of Lake Zurich
Police and Firefighters' Pension Funds
Statement of Net Position
May 31, 2022

	POLICE PENSION FUND		FIREFIGHTERS' PENSION FUND	
	May-22	Year-to-Date	May-22	Year-to-Date
Revenues:				
Municipal Contributions	80,982	136,183	97,359	165,905
Member Contributions	25,067	139,056	39,261	216,920
Total Contributions	106,049	275,239	136,619	382,825
Investment Income	28,231	(4,183,333)	4,564	(6,796,905)
Total Revenues	134,280	(3,908,093)	141,183	(6,414,080)
Expenses:				
Pension and Benefits	199,228	994,459	194,876	981,918
Insurance	-	4,989	-	-
Professional Services	1,530	6,610	-	11,109
Investment Expenses	37	32,902	52	25,476
Other Expenses	-	-	-	850
Total Expenses	200,795	1,038,960	194,928	1,019,354
Operating Income (Loss)	(66,515)	(4,947,054)	(53,745)	(7,433,434)
Beginning Net Position*	29,183,771	34,064,309	47,328,404	54,708,093
Ending Net Position	29,117,256	29,117,256	47,274,659	47,274,659
Assets				
Cash and Investments	29,055,281		47,133,936	
Other Assets	79,106		144,085	
Total Assets	29,134,387		47,278,021	
Liabilities	17,131		3,362	
Net Position 5/31	29,117,256		47,274,659	



COMMUNITY DEVELOPMENT DEPARTMENT

MONTHLY INFORMATION REPORT

June 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION MAKING

505 TELSER ROAD
LAKE ZURICH, IL 60047

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DEPARTMENT NARRATIVE

During the month of June 2022, the Community Development Department was engaged in the following activities:

BUILDING & ZONING DIVISION:

Commercial Permits Issued:

- 17 S Old Rd: LZ Blooms
- 676 S Rand (former TGI Fridays): Roof
- 555 S Rand: Target parking lot

Commercial Occupancies Issued:

- 1201 S Rand: Avalon Salon
- 123 Quentin: McDonald's (new owner)
- 890 S Rand, Unit A: Lake County Barbell
- 580 Capital: SVT Supply Chain Solutions

FOIA Requests: Total number of FOIA requests: **11**

PLANNING AND DEVELOPMENT DIVISION:

Planning and Zoning Commission (PZC) Activity:

The following applications were considered by the PZC at their June 15, 2022 meeting.

1. *440 North Old Rand Road – Variation for a Pier – Roger and Victoria Comins (Applicants and Owners).* The public hearing was opened and continued to a future meeting of the PZC to allow the owners time to assemble additional exhibits for the application.
2. *455 South Rand Road (former Giordano's property) – PUD Amendment for a new Bank Building – Chase Bank (Applicants).* The application was presented by Mr. Terron Wright of The Architects Partnership, Ltd., who was accompanied by the traffic engineer for the project and representatives from Chase Bank. He described the site layout, architecture, building materials and traffic circulation for the project. Questions and discussion focused on the circulation between the subject property and the adjacent shopping center. Mr. Jason Sfire of Fidelity Group, the owners of the adjacent shopping center indicated that while he was generally in support of the proposal, he asked that a pending issue related to the traffic circulation between the two properties be resolved prior to approval. The PZC agreed and made that a condition for approval in their findings. Following the close of the hearing, the PZC voted 4-0 to recommend approval of the project.
3. *708 South Rand Road – Special Use Permit for Dog Wellness and Grooming – Scenthound (Applicants).* The application was presented by Ms. Valerie Converse the owner and operator of the facility. She described the design and operation of the tenant space and answered questions of the PZC related to noise attenuation between adjacent tenant spaces. Mr. Jason Sfire of Fidelity Group was also present and further confirmed the materials that were proposed to be used to achieve this. Following the close of the hearing, the PZC voted 4-0 to recommend approval of the application.

4. *353 Enterprise Parkway (Tactic Sports Performance) – Special Use Permit.* Mr. Casey Tiesman, the owner and operator of Tactic Sports Performance presented the application to the PZC. He also indicated that he was in conversation with the adjacent Lake County Stars Baseball program to partner with them in providing private training to their members. There were no objectors to the application at the meeting. Following the close of the hearing, the PZC voted 4-0 to recommend approval of the application.
5. *910 N Rand Road (Walgreens Pharmacy) – Variations of bulk, space and yard requirements.* Village Staff introduced the project indicating that Walgreens had requested the variation along the south lot line of the property resulting from the acquisition of their property by Lake County in connection with the County's project for the widening Miller Road. The property owner was requesting these variations to bring the setbacks rendered non-conforming as a result of the acquisition back into conformance. Ms. Lauren Ryan, attorney for the property owner was also present and answered questions of the PZC. There were no objectors to the application. Following the close of the hearing, the PZC voted 4-0 to recommend approval of the variations.
6. *Text Amendment – Allow for larger Construction Activity Signs on fences.* The Application was presented to the PZC by Community Development Director Saher. He indicated that this was a business-friendly amendment to the sign code to announce new development in the community at the location of its construction. He also indicated that the amendments had been presented to the Village Board at a recent courtesy review and had received favorable feedback. Following the close of the hearing, the PZC voted 4-0 to recommend approval of the amendments.

New Zoning Applications received (for PZC consideration).

The July 20, 2022 meeting of the PZC was canceled as no new applications were received for consideration.

- The Applicant at 440 N. Old Rand Road (Pier Variation) that was continued from the June meeting requested that the application be further continued to the August 17, 2022, PZC meeting.

New and Ongoing Development:

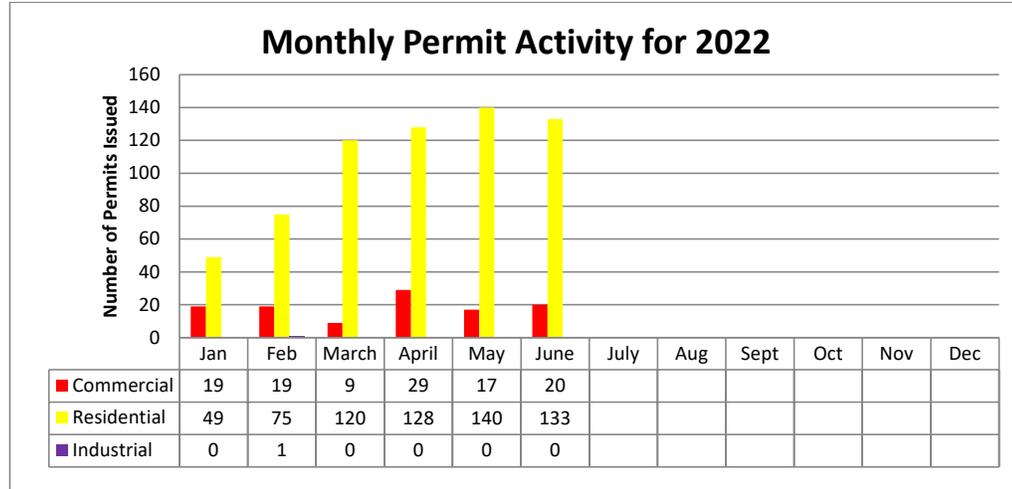
1. *Life Time Construction.* Staff reviewed and granted approval of a revised landscape plan for Life Time at 400 N Rand Road. The revisions focused on the easterly side of the property to compensate for the removal of dead or dying trees particularly around the existing wetland in that area. In addition to the existing trees that will be maintained, a variety of new evergreen trees will be planted along the lot line within that area to continue to ensure successful screening of the property from its neighbors to the east. Screening is further enhanced along the east side of the parking lot with similar new evergreen trees. The landscape plan proposes the right location and mix of landscape material that would thrive in that environment. To the south, and due to the increased size and height of the berm along the south property line for screening the southerly neighbors, several of the plantings will be moved closer to the parking lot. Additionally, plantings will no longer be included within the median island along Old Rand Road due to lack of planting space, the low probability of success to thrive in high traffic and salt conditions, and to preserve visibility along the roadway. Staff believes that these revisions continue to maintain the spirit and intent of the landscape plan, which is to enhance the development itself, while screening it from its surrounding neighbors. Life Time intends to complete the landscape installation over the upcoming months.
2. *Justice Cannabis Bloc.* A ruling from Cook County Circuit Court lifted the injunction that for several months has barred the State from issuing the next round of 185 recreational cannabis dispensary

licenses from the three lotteries that were held in 2021 (including the one for the Lake Zurich Bloc Dispensary that was approved by the Village Board in November 2021). Over the previous weeks, Justice Cannabis had begun building renovations at the former TGI Friday's location on Rand Road and were undergoing permitting. The roof at this location needed a complete replacement, which was a curveball for Justice that is adding significant costs and some more weeks of delay for its Lake Zurich location.

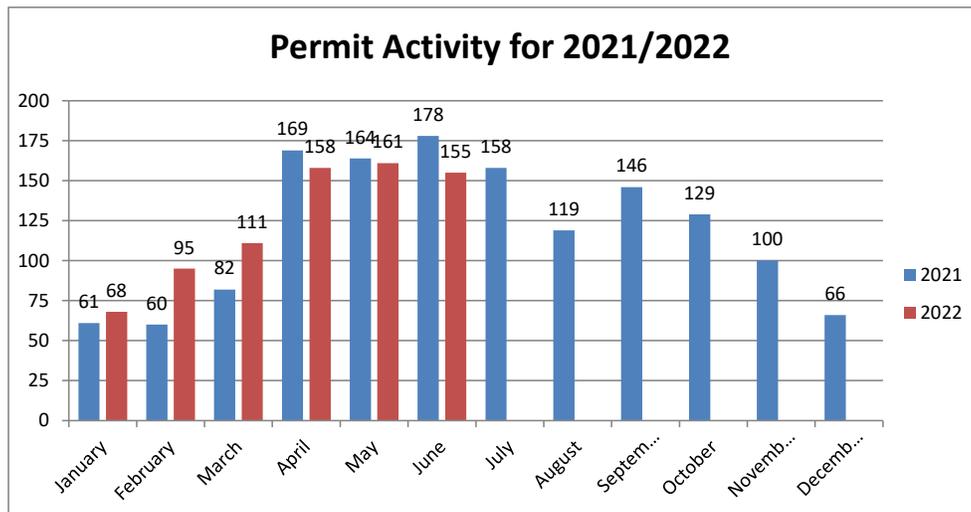
3. Canterbury Estates. Community Development Director Saher was provided an update on the progress of construction at Canterbury Estates on Rt 22. Mr. Scott Shelton of Ryan Homes indicated that they had sold over 50% of the total units and sales continue to be robust. Building 9 on the Northeast corner was nearing completion, Building 8 would be completed in approximately six weeks and Building 7 in approximately ten weeks. Building 1 had begun construction while Buildings 2 and 6 were scheduled to commence soon.
4. Block A development discussions. Assistant Village Manager Witherow and Community Development Director Saher met with Mr. Joseph Billitteri of Premier Commercial Realty and his partner Mr. John Curtis of United Construction Services to discuss a new proposal for Block A. Staff had previously reported meeting them to discuss a proposal in July 2018. At that time, the project did not proceed after it was determined that their request for financial assistance greatly exceeded what the village could provide. This time, they indicated that they had investors for the project and building designs from projects they had recently completed in Huntley and Woodstock. Mr. Billitteri and Mr. Curtis were proposing an approximately 6,000 square foot sports bar (D.C. Cobb's Burgers and Brews) and 4-5 stories of residential apartments, some of which may attract the 65+ age demographic. They indicated that D.C. Cobb's currently has locations in McHenry, Woodstock and East Dundee. They also indicated that in order to make the project work, they would request Village participation from a financial standpoint.
5. Carwash at 575 and 585 Ela Road. Community Development Director Saher was contacted by Mr. Brad Smith of Walker and Dunlop, a Commercial Real Estate Finance Company, inquiring about the two parcels for sale that comprise the properties at 575 and 585 Ela Road and contain two buildings – the George Garner Cyclery (575) facing Ela Road and the Cornerstone National Bank (585) behind it. Mr. Smith wanted to discuss the feasibility of establishing a new automatic car wash facility on the property to be owned and operated by Tommy's Express Car Wash of Michigan. The project would involve demolition of the two buildings to make way for the car wash. Director Saher brought up the common questions that typically need to be addressed with the establishment of such a land use – traffic circulation, lighting, noise (from drying equipment and vacuums), water consumption and waste water treatment and reuse, among others. He also advised Mr. Smith that the land use is classified as a special use requiring a public hearing of the PZC with Village Board approval. Mr. Smith said that he would forward additional details of the proposal shortly. More information about Tommy's can be viewed at <https://tommys-express.com/>

Ongoing Code Enforcement:

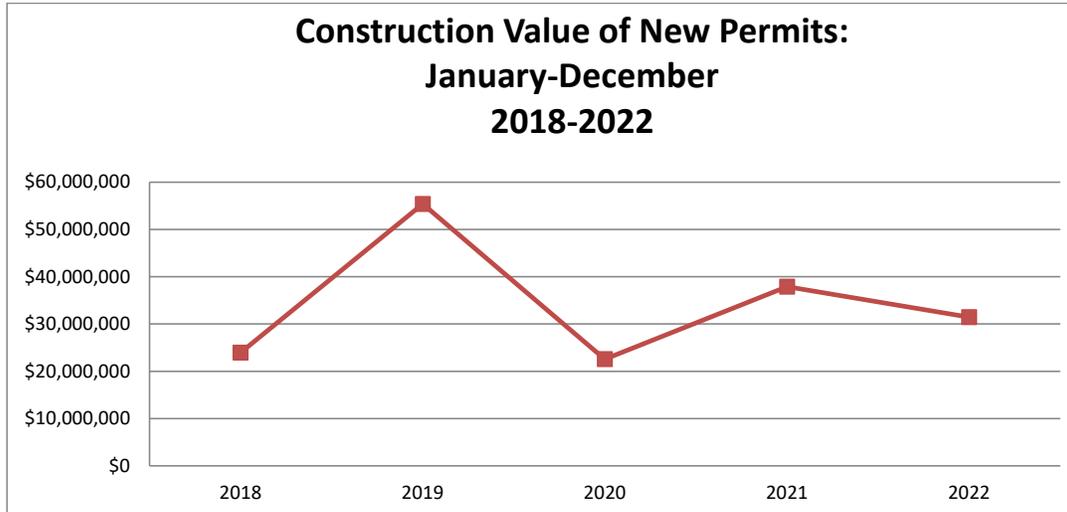
1. Mazeika Violations (228 W. Main Street). Ms. Mary Meyer, Building Services Supervisor, attended court for the hearing scheduled to consider the violations at the property. However, Mr. Mazeika did not appear. The judge ordered him to appear on July 1.



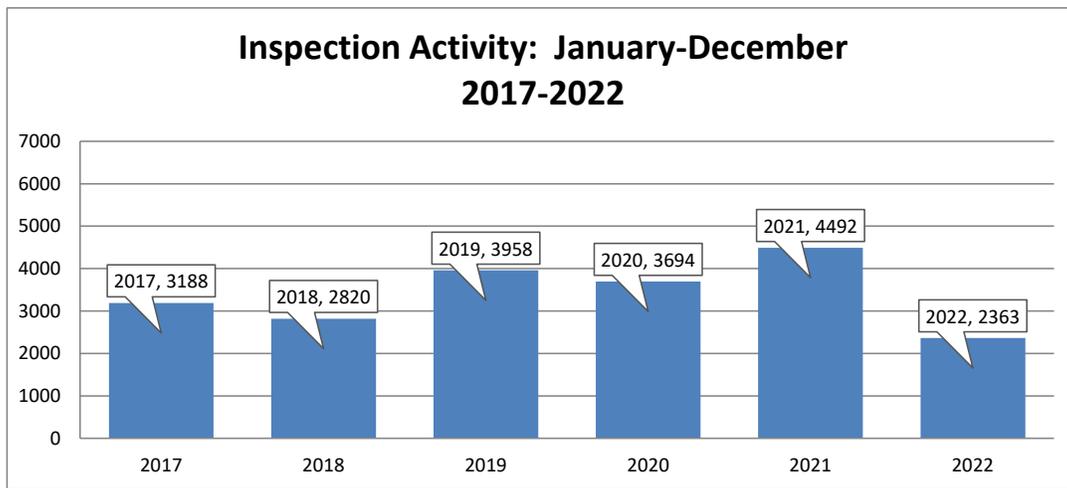
The chart above represents the total of permit activity on a monthly basis for 2022.



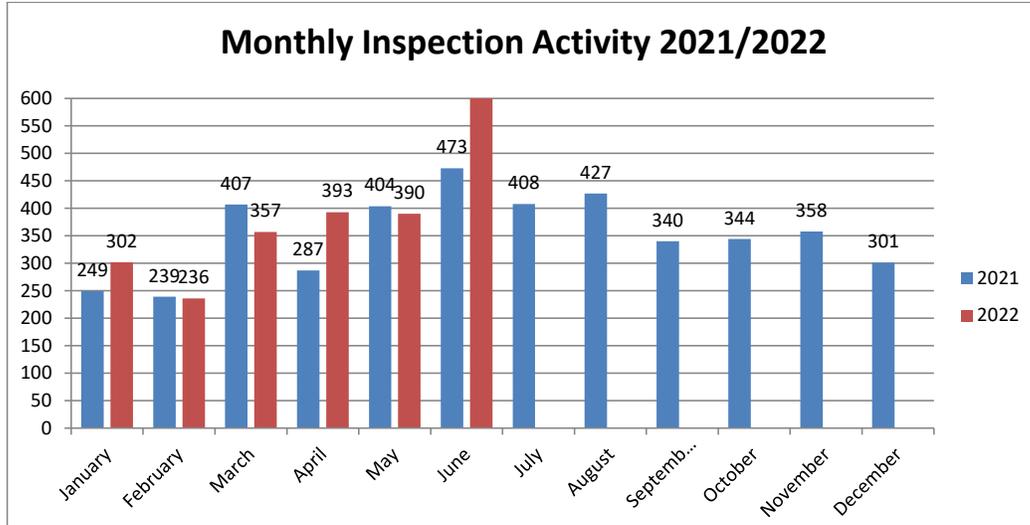
The chart above compares monthly permit activity for 2022 to the previous year 2021.



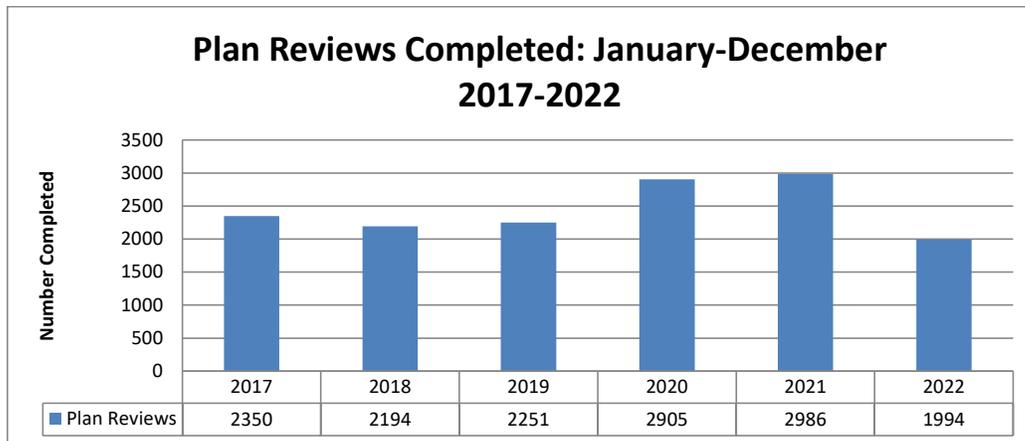
This chart tracks construction value of permit activity by year for 5 years.



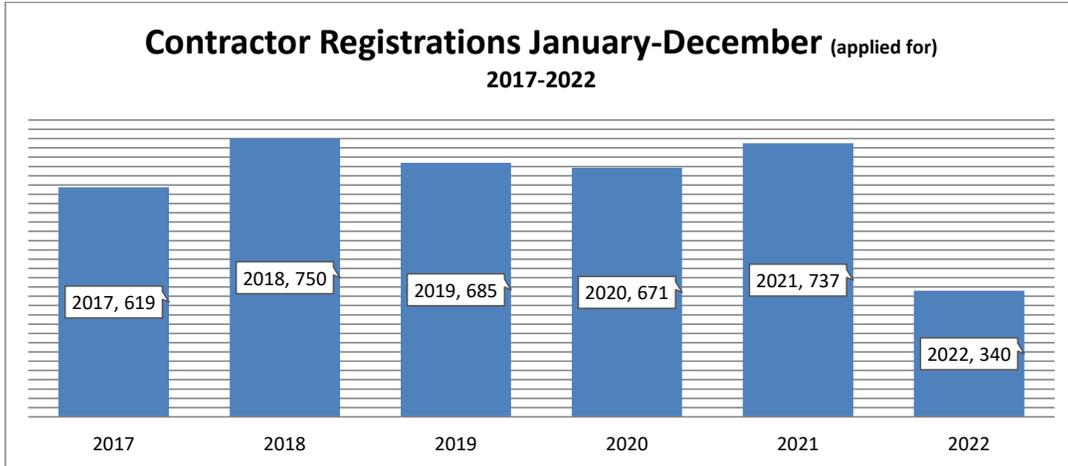
This graph illustrates the number of inspections performed by year.



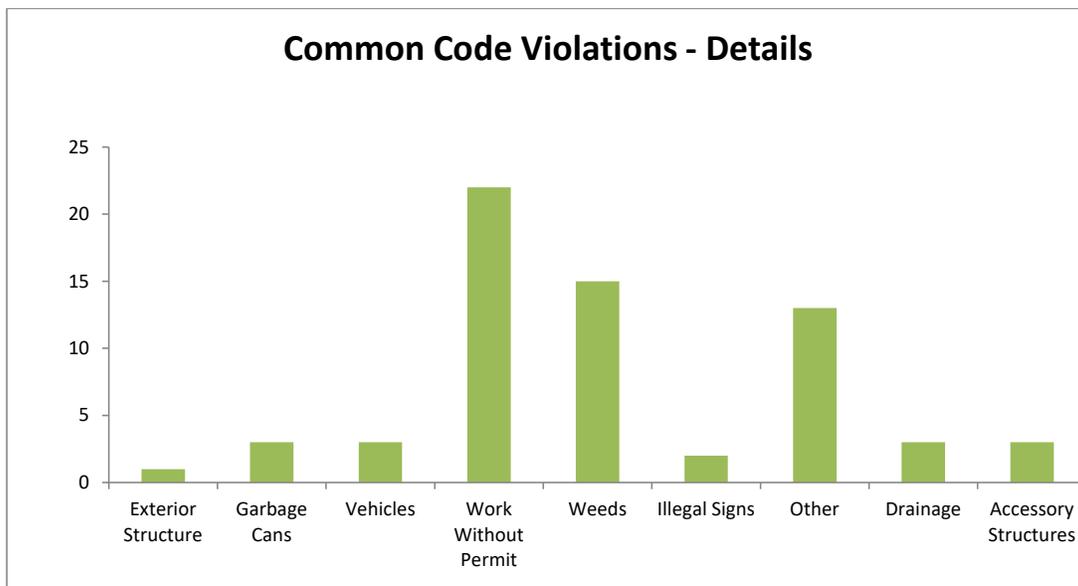
This chart indicates inspection activity on a monthly basis for 2022 compared to the previous year 2021.



This graph illustrates the number of plan reviews performed by year.



The graph represents the number of contractor registrations for the year as compared to prior years. Contractors are required to register on an annual basis to remain current with the village.



This graph illustrates the number of code violations reported for the month. The data varies from month to month and is season dependent.



PUBLIC WORKS DEPARTMENT

MONTHLY INFORMATION REPORT

June 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION MAKING

505 TELSER ROAD
LAKE ZURICH, IL 60047

1

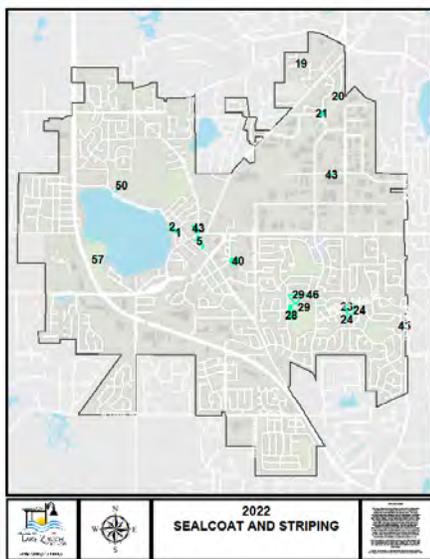
DEPARTMENTAL NARRATIVE

Park Maintenance: Crews have completed spring clean-ups at parks. Public restrooms, beaches, piers, and splash pad are all open for the season.

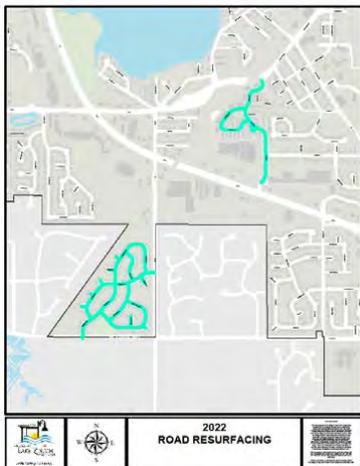
Special Events: Staff assisted with 5 Food Truck Socials. 4 Farmers Markets. Also hosted the Tunnel to Towers Run and a Movies in the Park.

Infrastructure Projects: The 2022 Patching Program has been awarded to Chicagoland Paving of Lake Zurich. Patching began in June with projected completion in July

The 2022 Sealcoat and Striping Contract has been awarded to Patriot Pavement Maintenance and will address various locations throughout the Village.



The 2022 Road Resurfacing Program has been awarded to Peter Baker of Lake Bluff. Concrete and storm water removals, replacements, and repairs began in May with milling and paving to follow.



Crews have completed fieldwork for the 2021 sign replacement program. The program locations mimics the annual Road Resurfacing Program.

June Water Main Break Locations:

On June 13th, Public Works determined a significant underground leak on the 8” diameter fire system service to 345 S. Rand Rd which had flooded their crawl space. Property management for Northlake Commons managed and arranged for the repair of this private service.

Water Main Replacement:

The Rt. 12 emergency water main replacement (between L.A. Fitness and Starbucks) has been postponed due to higher than expected cost estimates. Due to field and operational adjustments, this segment will temporarily remain out of service while a reasonable plan & scope can be developed, budgeted for and competitively bid for in 2022.

The sole bid for S. Old Rand water main replacement was rejected due to higher than anticipated cost. The project scope of work will be reviewed and may be rebid in the fall.

The water main replacement project for Flint Creek Estates was approved and awarded to Mauro Sewer Construction and is anticipated to begin in August.

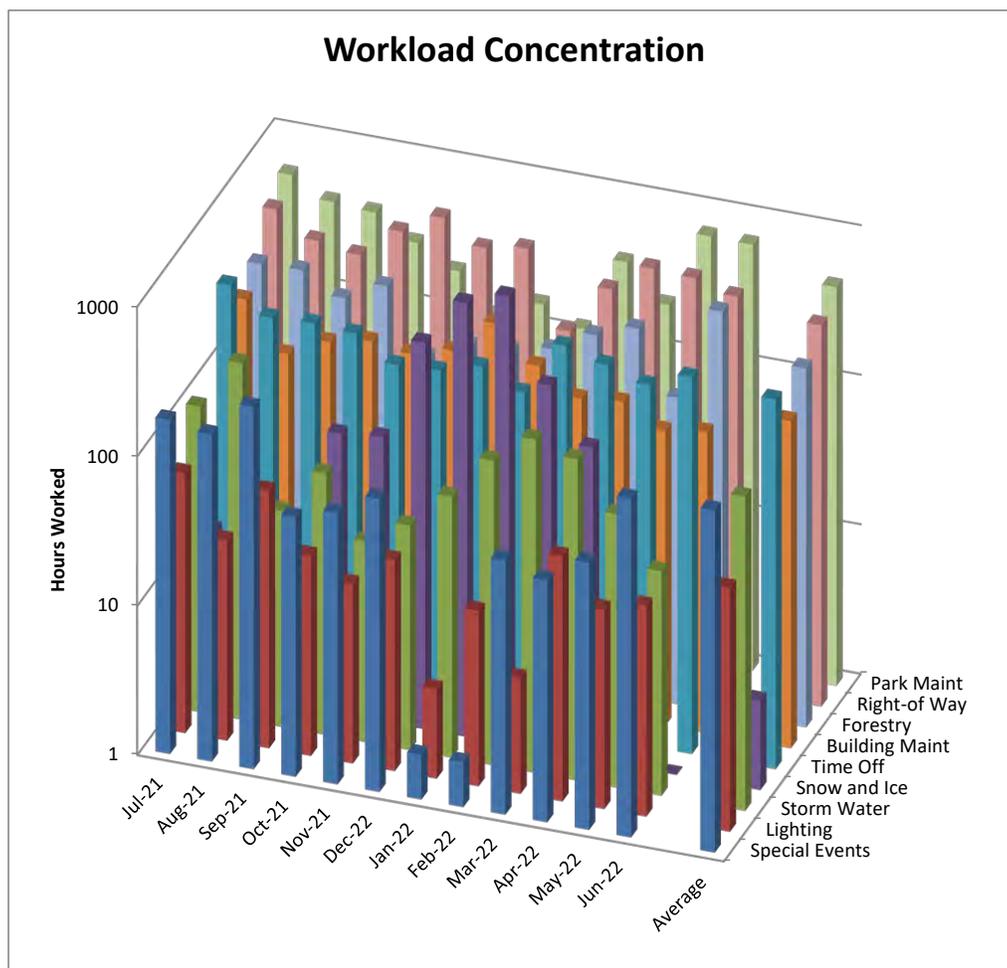
Employee Training:

All employees participated in Trench and Shoring safety training.

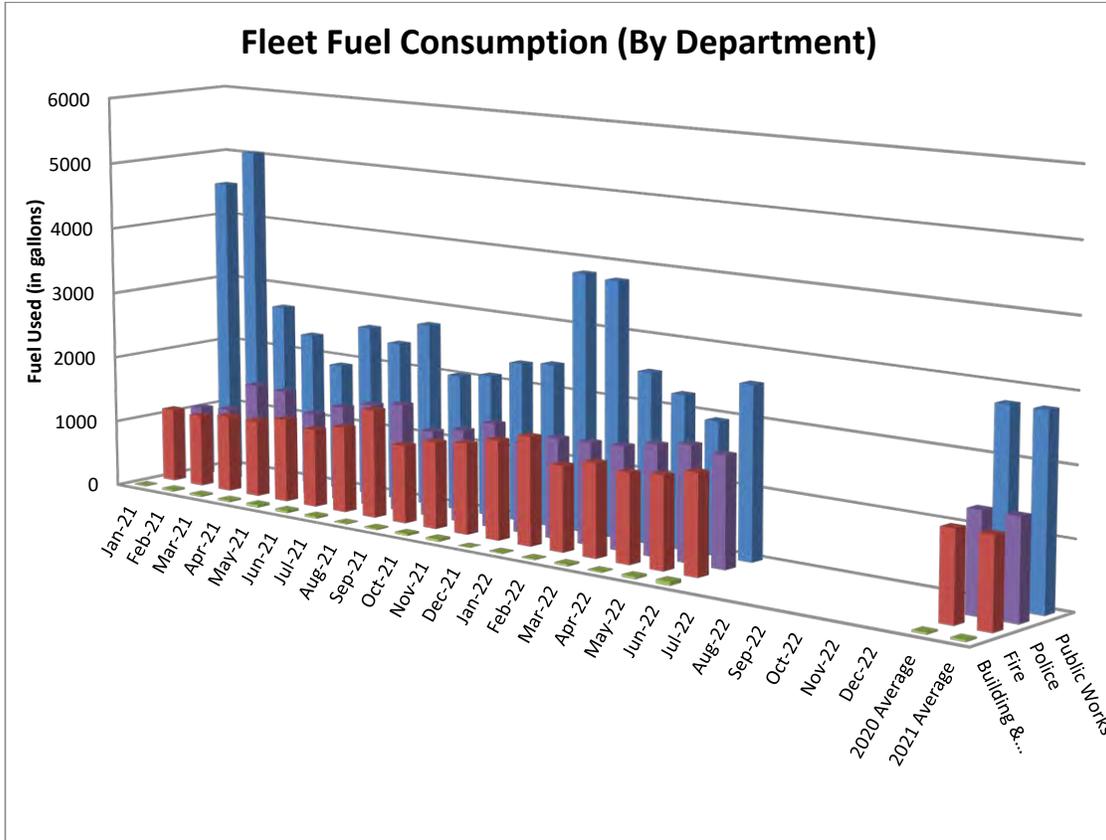
Anniversaries:

New Employees:

Staff Kudos:

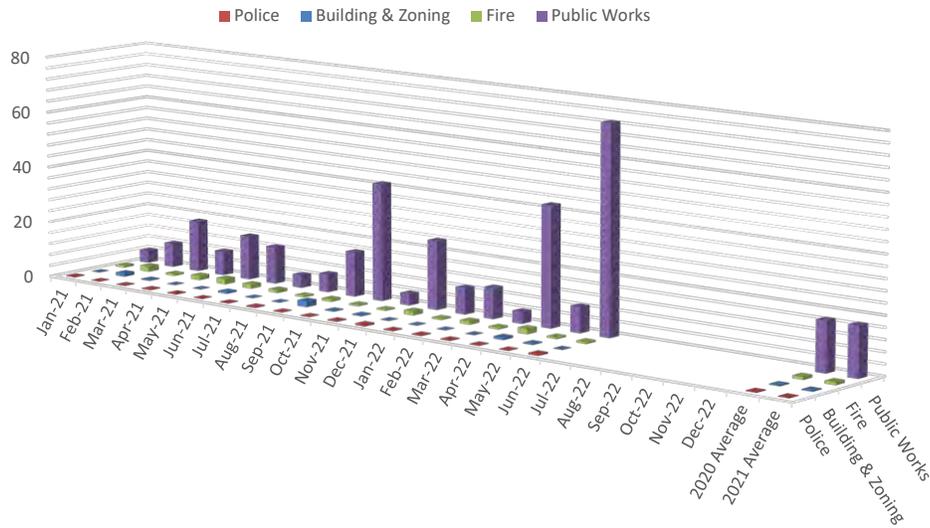


A core function of Public Works are related to the completion of work orders for several categories, including administrative, forestry, park maintenance, municipal property maintenance, right-of-way, snow and ice, street lighting, and storm water system maintenance. This chart shows the number of hours worked on major activities.

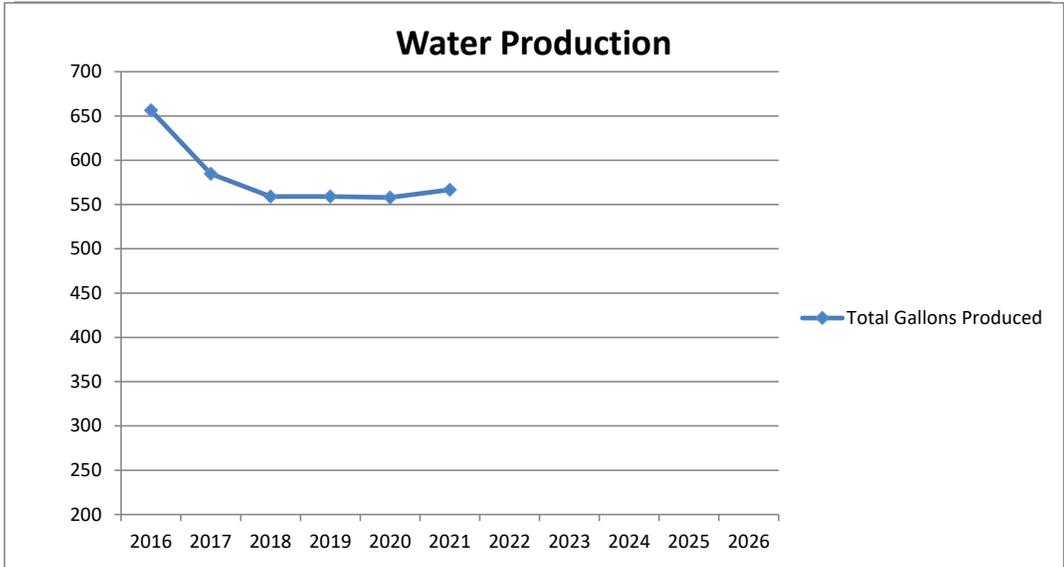


Tracking fuel consumption allows staff to make informed decisions relating to the municipal vehicle fleet, including the number of vehicles in each department, the types of vehicles purchased and the type of fuel source used. Dramatic fluctuations in fuel consumption can occur during events such as heavy snowstorms. (Output measure)

Average Cost per Mile for Village Fleet (By Department)



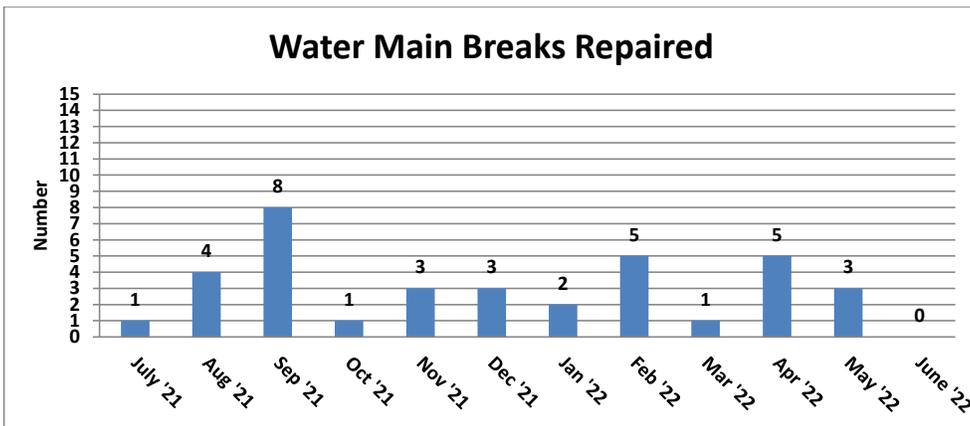
Vehicle cost per mile is an initial indicator of an efficient fleet operation. With basic cost per mile information in hand, all components that feed into that cost can be scrutinized and measured. These components include labor rates, fuel costs and parts costs. Looking further into the Village’ vehicle cost per mile, staff can measure other components such as average vehicle age. When vehicles are replaced within their life cycle, the impact is usually positive.



From 2012 to 2015, there was a steady decline in the annual volume of water produced and used by our community. This trend was altered in 2016 due to dry weather leading to increased watering of lawns and landscaped areas.

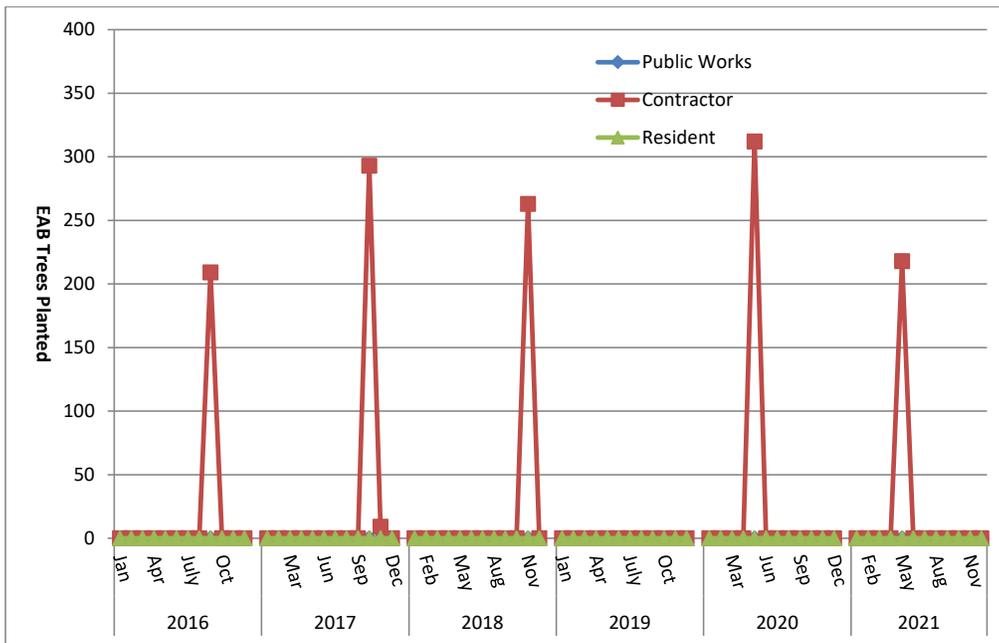
	2016	2017	2018	2019	2020	2021	2022	2023	2024
January	49.301	46.667	45.868	44.227	43.867	42.319	43.414		
February	45.801	40.952	41.098	41.452	41.645	40.367	39.261		
March	53.467	44.543	43.155	43.946	43.552	42.924	41.852		
April	55.963	49.974	45.098	43.570	40.662	45.129	43.301		
May	60.273	49.588	48.065	45.339	44.834	51.240	67.048		
June	63.819	56.169	46.114	45.489	51.130	56.763	60.282		
July	68.751	53.755	57.074	59.526	54.529	53.105			
August	66.229	54.746	54.067	61.419	58.959	54.083			
September	58.664	53.928	46.809	44.786	51.040	51.058			
October	45.838	47.169	44.369	43.476	44.443	44.019			
November	42.120	42.335	42.089	41.475	40.680	42.441			
December	46.088	44.961	45.305	44.379	42.684	43.222			
Total	656.314	584.787	559.111	559.084	558.025	566.670	295.158		
Avg	1.793	1.598	1.532	1.532	1.529	1.553	1.631		
% incr/decr	11.37%	-12.23%	-4.59%	0%	-0.02%	1.55%			

The highlighted months are the lowest for each of these months in the last 6 years. The highest monthly production in the last 6 years occurred in July of 2016. In 2021, our daily average was 1.55 million gallons per day.

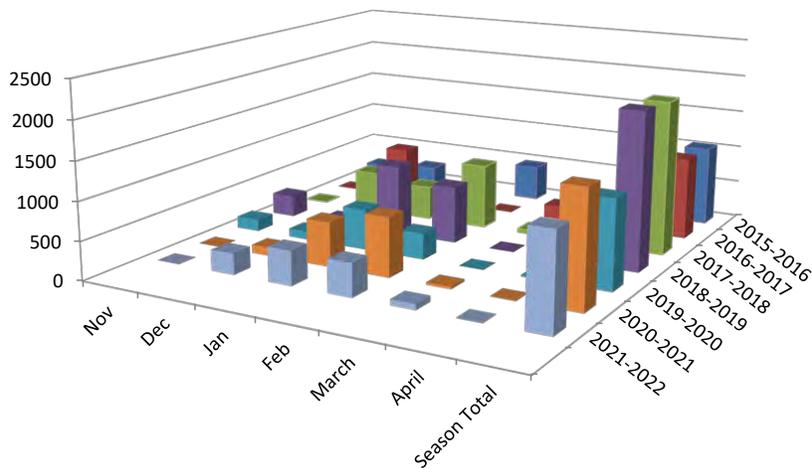


A water main break can be a hole or crack in the water main. Common causes of breaks in the water main include: age, pipe material, shifting in the ground attributed to fluctuations in moisture and temperature (below and above the frost line), corrosive soil that causes a thinning of the water main pipe, improper backfill, severe changes in water pressure (hammer) which has several causes and physical contact (damage) by excavating contractors.

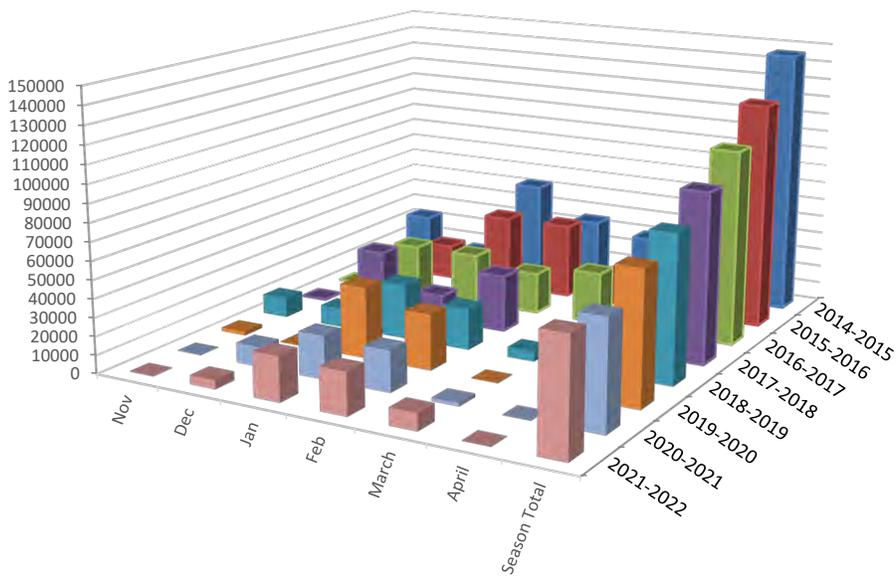
Emerald Ash Borer Tree Replacement Program



Tons of Road Salt



Gallons of Liquid Deicer





PARKS & RECREATION DEPARTMENT

MONTHLY INFORMATION REPORT

June 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION MAKING

70 E. MAIN STREET
LAKE ZURICH, IL 60047

Departmental Narrative

The Lake Zurich Farmers Market has been in operation since Friday, June 3rd and will remain open until September 9th (with an abbreviated smaller market to be held on the Fridays of September 16th and 23rd) at Paulus Park featuring over 30 vendors, weekly artisans, live music, a variety of hot food vendors, recycling at the welcome booth and pet rescues. Approximate attendance is higher than years past with the market seeing over 1,300 attendees weekly. Thank you again to our sponsors for the market: Gold Sponsor- Lake Zurich Tire & Auto Inc, Silver Sponsors- DipStick Oil Change, LRS and Stephanie Seplowin, Coldwell Banker and Bronze Sponsors- McDonalds/Mendez-Lawrence-Herrera and Medical Murray.

Block A Food Truck Socials continue to run weekly (thru September) featuring 2-3 unique food truck vendors on the property from 4-7pm (weather pending). Thank you to the community volunteers for organizing and handling the event day logistics especially Cara Marquis who heads up the efforts. The merging of Groove Grove events with the Block A Food Truck Socials was a success. The first event of the series took place on Wednesday, June 29th and featured live entertainment provided by South City Collective and 5 unique artisans showcasing the products and talents to the community along the Promenade. The event brought out over 300 people. The next two Groove Grove events are set to run on July 27th and August 31st. Thank you again to our Gold Sponsor, Lake Zurich Tire and Auto Inc. for their support of the Groove Grove events.

The first free Movies in the Park event held on Friday, June 17th at Paulus Park at 8:30pm featured Sing 2 and brought out over 200 attendees to enjoy the flick. The final Movies in the Park is set to run on Friday, July 15th and will feature Clifford the Big Red Dog. Thank you again to our Movies in the Park Sponsors- Silver Sponsor, Lake Zurich Tire and Auto Inc. and Bronze Sponsors Martin Enterprises Heating and Air Conditioning.

Dick Schick's 30th Annual FREE Community Fishing Derby was held on Sunday, June 19th at Paulus Park from 9am-12pm. No registration was necessary nor fishing license required as it was a free IDNR fishing weekend. The event was a success with 89 participants catching (and releasing) over 80 fish. Fish caught and released included bass, blue gills, sun fish, perch and a pumpkin seed fish. Largest fish caught was a 14-inch bass by Mateo Martinez. All participants walked away with a prize for their participation. The department would like to thank the Schick family, specifically Anne, Mike and John, as well as Bob Warren for continuing to volunteer their time to organize and hold this event each year. A big thank you to Tim Andrews for donating all the bait for the day's festivities.

Paulus Park Beach and Breezewald Beach moved into regular season hours as of June 6th. Training of the newly hired 30+ lifeguard team continues into mid-June with the hopes to open the Wubit inflatables following the July 4th holiday. The department has experienced issues surrounding Breezewald Beach in regards to vandalism and access throughout the month. The lifeguard chair at the beach was damaged and immediately addressed by Public Works. A ring buoy on the site had the safety rope stolen and needed to be replaced. Additionally the buoy rope and pipe that holds it into place was removed at some point during the evening of June 25th causing a closure of the site on Sunday, June 26th until the Public Works team could address it.

Beach reopen for regular hours of operation the following day. The department has increased signage and is working with the Police Department to provide additional patrols at the park in the upcoming months.

Day Camp wrapped up the first four-week session at the end of June with 41 tweens registered daily for Teen Camp, 126 kids registered daily for Camp Alpine and 85 preschoolers registered daily for Kamp Kiddie. The second four-week sessions have filled to capacity numbers for all camps with limited availability for the week of post camp. The department is continuing to experience a high volume of outdoor, athletic and Summer dance program registration causing many wait listed class participants. The department has accommodated all dance wait lists and is working with contractors to add extra instructors as well as offer additional classes to accommodate most of the wait listed participants prior to the sessions beginning

The department has finalized the Fall brochure which hit household late June. New this Fall much like our Yellow Brick Road Preschool program, we will be offering a week priority registration for our currently enrolled (fall 2021-summer 2022) dance participants. Priority registration for our Fall/Spring Dance Program begins Monday, July 25th followed by resident registration on August 1st and nonresident registration on August 8th. Registration for Yellow Brick Road Preschool is going well with enrollment numbers higher than last year at this time. Registration for both our signature dance and preschool programs are ongoing thru the early Fall.

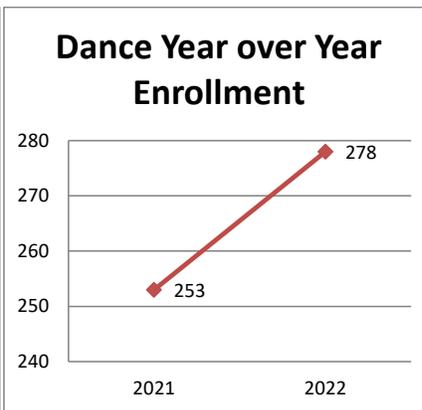
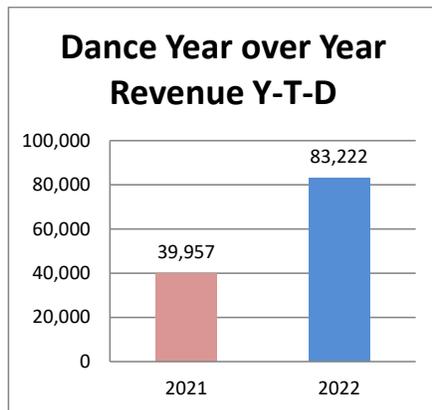
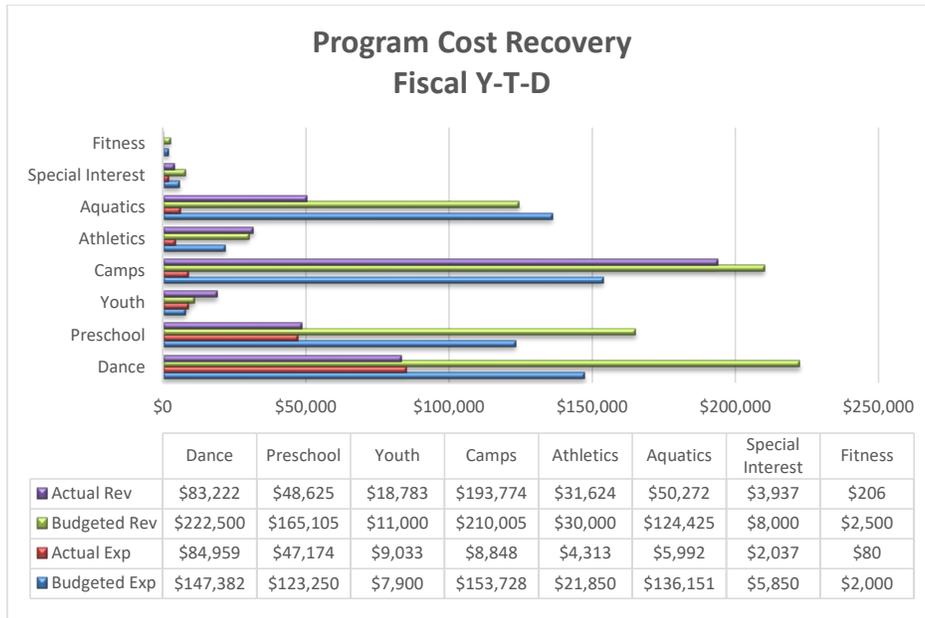
The department is continuing to work with the Public Works team to complete a variety of projects including prepping program and beach areas for the Summer season, park visit work orders, OSLAD approved projects (variations and signage), the Chalet deck replacement, parking lot renovation at Buffalo Creek, basketball court renovation at Oak Ridge Park and Barn renovation outstanding punch list items (ie. elevator and upper level windows).

The department has received Village Board approval for the following special event to operate their special events on Village property the remainder of 2022: Unplugged Fest (8/7), Taste of the Towns (8/14), Boys Scout Overnight (8/20-8/21), Alpine Races (8/21), Brazilian Festival (8/27-8/28) and All Community Event's Jack O Lantern World (Thurs-Sun entire month of Oct). The only other external partner the Village is still anticipating an application from is Phase 3's Bushel of Apples Fest. The department will continue their collaboration with Ancient Oaks Foundation quarterly community events.

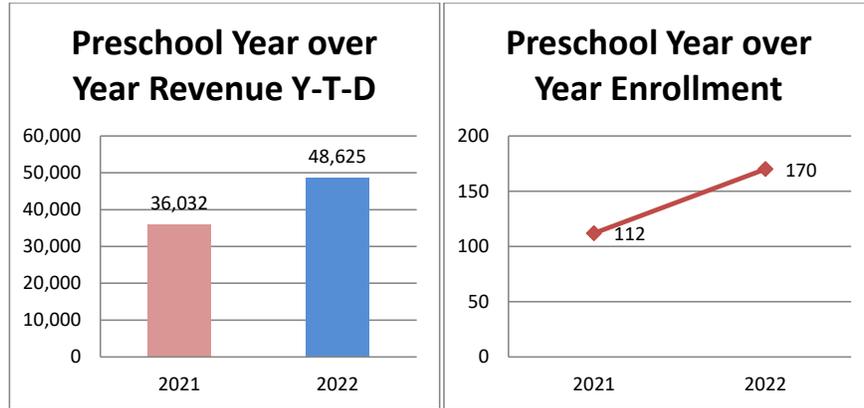
The Stephen Siller Tunnel to Towers 5K Run/Walk took place at Paulus Park on Sunday, June 12th at 7:30am. This annual run/walk around Lake Zurich follows the footsteps of 9/11 hero, firefighter Stephen Siller to ensure that we never forget and honor the sacrifices of our first responders and military heroes. Registration for the event is still proceeding at tunnel2towers.org. Additionally, the organizers had placed up the Remembrance Flag Display at the Paulus Park Sled Hill (up thru Sunday, June 12th) in collaboration with the True Patriots Care Foundation presenting 343 flag displays in remembrance of each firefighter lost on 9/11. They saw great success with their event reporting over 500 attendees and a variety of event sponsors. They have communicated their desire to return to Paulus Park in 2023.

The organizers of the LZ Tri have chosen to cancel their 2022 event as of Friday, July 1st. The event was approved by Village Board in February to be held at Paulus Park on Sunday, July 10, 2022 by Championship 247. The local contact employee for Championship 247 who had been leading the LZ Tri event operations for 8+ years stepped away from the company in November 2021. He provided a comprehensive document listing all necessary event tasks, timelines and contacts. This was provided to both Championship and the Village. As Championship 247 submitted paperwork to return to Paulus Park in 2022, Village staff including DC Christopherson, Sergeant Gaffney and Park and Rec Director Bonnie Caputo met with the owner of Championship 247 and a few members of his team in December of 2021 to discuss the event operations and expectations. The document provided by the former employee of Championship was thoroughly reviewed at this time. In March, the Village passed the resolution for use of local and State roads for the LZ Tri. This was both emailed and mailed to the IDOT rep on March 23, 2022. In April, Village staff (listed above) called for meetings in May and June with Championship 247 to ensure they were on track and progressing with contacts/permits leading up to the LZ Tri. Virtual meetings in May and June were used to continue to review the expectations associated with event operations, routes, and permitting. To the Village's knowledge, Championship 247 began the permitting process as well as contacting of volunteers and other involved agencies early June. During the week of June 20th, information received by Village staff from partnering agencies indicated that Championship 247 was not providing necessary documentation to obtain permit approval through Lake County Department of Transportation (LCDOT) as well as IDOT for the bike course. Approvals from Hawthorn Woods, North Barrington and Lake County Sheriffs are needed to obtain both the LCDOT and IDOT permits. On Friday, June 24th, Village Park and Recreation Director Caputo notified Championship 247 that due to the proximity of the event and the upcoming holiday, the Village was requiring the approvals from LCDOT and IDOT to be submitted no later than 9am on Friday, July 1st otherwise they would need to adjust the event to be a duathlon removing the bike course for this year. On Friday, July 1st it was confirmed that Championship 247 had not received a permit from LCDOT nor IDOT. The Village communicated the need to move forward without the bike portion of the event only allowing the swim and run courses. Championship 247 responded by informing the Village that the event was canceled for this year. The Village team, listed above, contacted all partnering agencies as well as known volunteer groups to inform them of the cancellation.

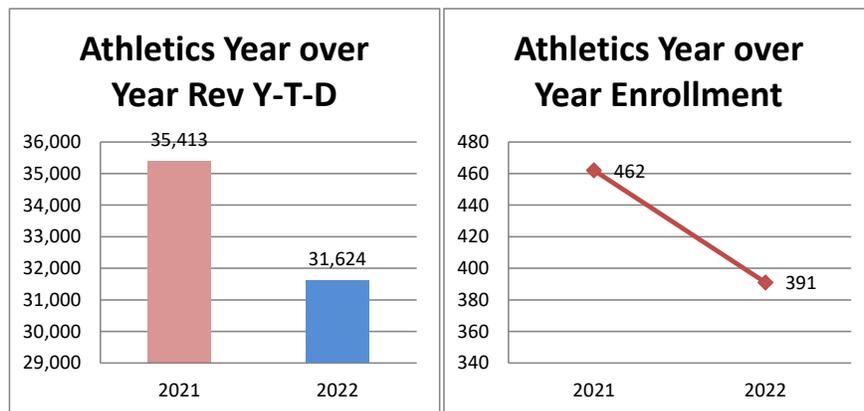
Further details on both Village sponsored, external and internal events can be found in our seasonal program brochure, online or by contacting the department.



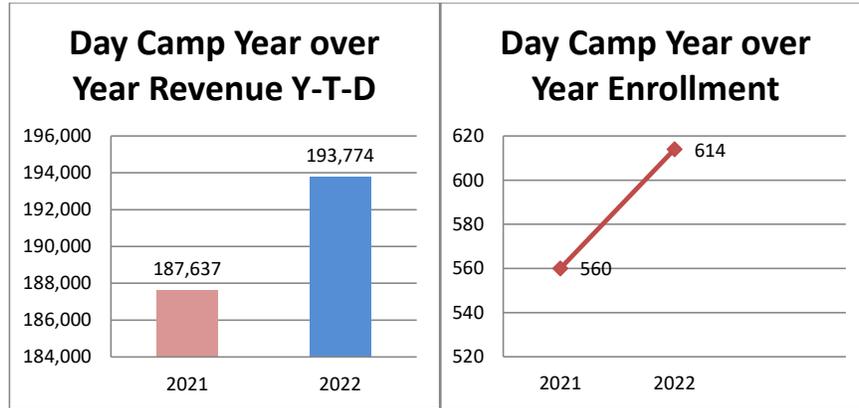
Dance programs include Ballet/Tap, Pointe, Jazz, Company, Lyrical, Hip Hop, Mom & Me classes, etc. The Academy of Performing Arts also offers summer camp/class options. Registrations above are only reflective for registrations taken to join the dance program for 2nd semester and recital ticket sales.



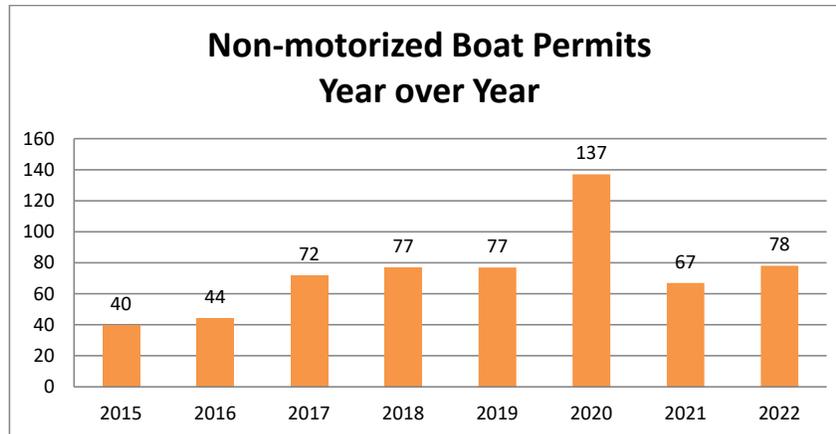
Preschool includes Terrific Twos, Just for Me Almost 3, Lunch Bunch and enrichment programs, Preschool (3yrs-4yrs). Classes in Winter/Spring 2020 operated daily in three locations: The Barn, St. Peter’s Church and Buffalo Creek. Classes for Winter/Spring 2021 were condensed to operate daily at 1 location due to lower enrollment: Buffalo Creek. Due to increased need and enrollment, Fall 2021 includes operations at both the Paulus Park Barn and Buffalo Creek locations.



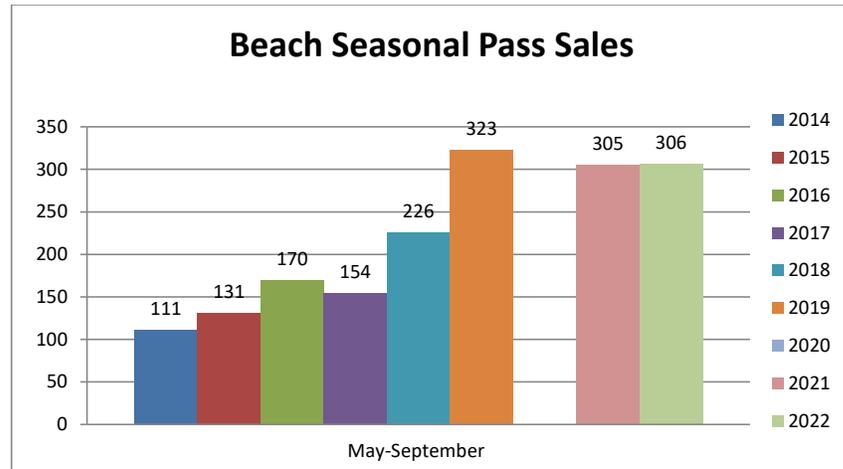
Athletic programs include the following independent contractors: tennis, tae kwon do, golf, soccer, horseback riding, agility training, and youth/parent child sports. There has been a dip year over year due to contractor’s instructor availability.



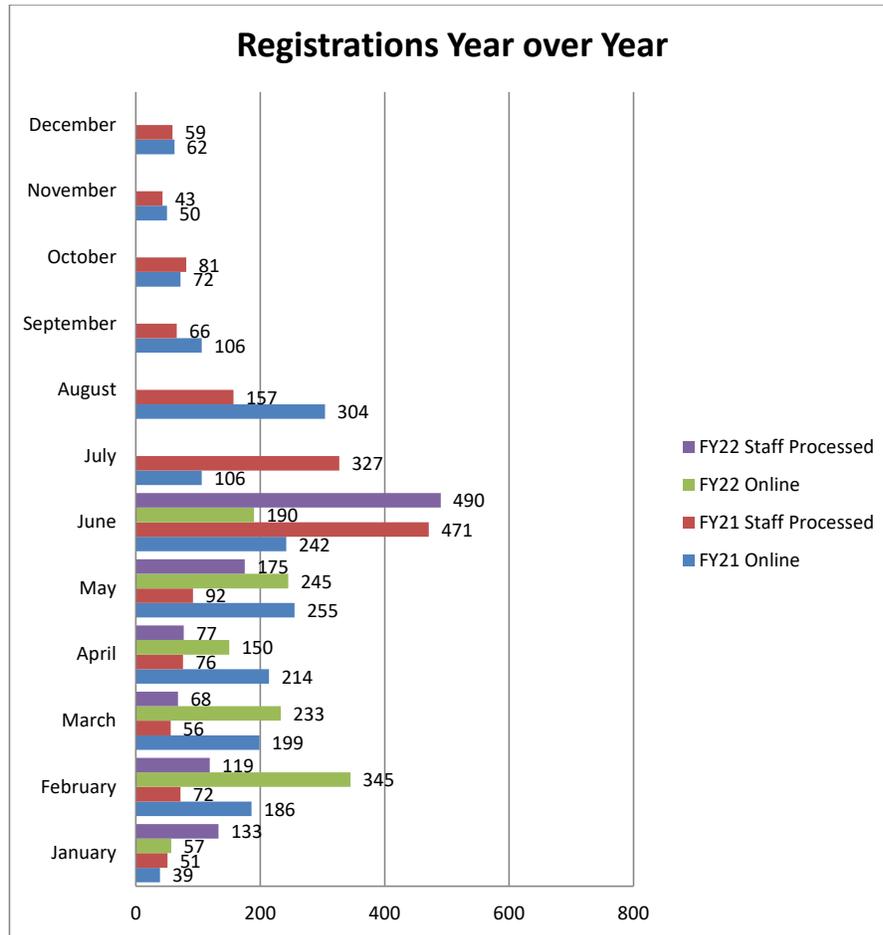
Day camp includes Kamp Kiddie (ages 3-5), Camp Alpine (grades 1st-5th) and Teen Camp (grades 6th-8th) as well as daily lunch punch cards and specialty weekly camps. Revenue does not necessarily follow enrollment due to adjusted fees due to the July 4th holiday on a Monday this year (was Sunday in 2021) and an increase in resident enrollment year over year (in 2021, 25% enrollment was nonresident which is a higher camper rate).



2021 and 2022 numbers include both daily and seasonal nonmotorized craft permits; includes 16 daily permits and 62 season permits purchased.



Beach pass sales are back up for the season. In 2018 the Paulus Park location underwent a beach expansion adding an addition 220 feet of shoreline to the facility. In addition, passes increased in 2019 due to the addition of the Wibit inflatables. In 2020, beach passes were eliminated due to COVID.



Online registration is available to all residents and non-residents enrolling in programs. Beach membership and facility rentals must be made in person at the Barn. Payments made at the beach are NOT included in these numbers. Numbers do not include processing for refunds, credits, POS and rentals.



FIRE DEPARTMENT

MONTHLY INFORMATION REPORT

June 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION-MAKING

70 E. MAIN STREET
LAKE ZURICH, IL 60047

OUR MISSION: To care for and protect our community.

OUR VISION: The Lake Zurich Fire Department is dedicated to meeting the ever-changing needs of our community, while ensuring a safe and secure environment for all, through professional development, unity, and teamwork.

OUR VALUES: Professionalism, Responsibility, Integrity, Dedication, Honor

Departmental Narrative - June 2022 Overview

In June, the Department responded to **402** calls for service, averaged **13** calls per day and required **659 individual vehicle responses** to provide the necessary personnel for each incident.

Forty-eight (48%) percent of the service area responses occurred while another call was in progress. Twenty-six (26%) percent of the service area needs to the community required an apparatus from a Lake Zurich Fire Department non-primary engine or ambulance; or a mutual aid department due to multiple calls. This leads to a service area without a primary engine or ambulance and increased response times.



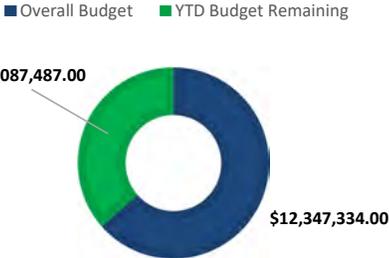
Our current staffing model increases response times when simultaneous calls occur as the Department is only structured to handle a single response per station. We staff two vehicles with only three personnel using what is called a "jump company. If the call is for the ambulance, the personnel respond with the ambulance, and if it is a fire call, the staff responds with the engine. One of the vehicles remains in the station unstaffed on every incident we respond to due to the limited personnel we have on shift. Once a station commits on a call, the next call for service requires another station or mutual aid to handle the incident.



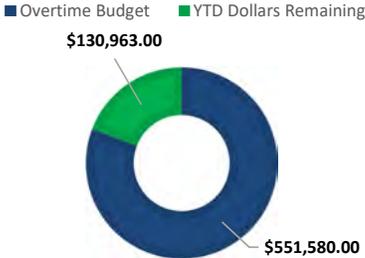
Administration Division

The department continues to work with the Board of Fire and Police Commission (BOFPC) on screening new hire candidates for the three (3) open positions in the department. The screening process requires many hours, including a background interview, follow-up phone calls, neighborhood canvas, and medical and psychological exams. The department anticipates exhausting our budgeted overtime costs but costs decrease once we can bring the new hires on board and have them assigned to shift.

FIRE DEPARTMENT BUDGET



OVERTIME ACCOUNTS



Fire Engine Ride to School! (pictured right)



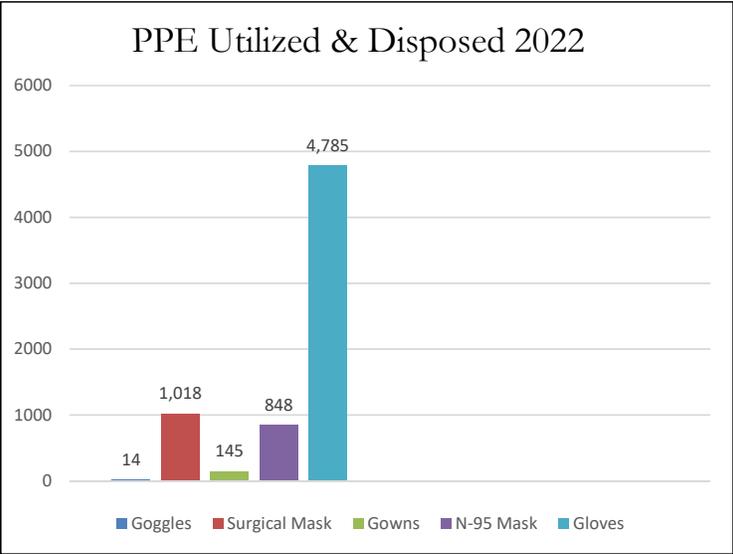
Thank you for the Girl Scout Treats! (pictured above)
Joint Pub-Ed event with Long Grove Firefighters. (pictured left)

COVID-19 Updates

We are tracking the Personal Protective Equipment (PPE) that members use and dispose of due to the COVID-19 pandemic.

In June, we issued **6 pairs of safety goggles** and used **150 surgical masks** on patients, **197 - N95 respirators** for our personnel, **17 gowns**, and approximately **1011 surgical gloves**.

The graph pictured to the right shows the year-to-date (2022).



Our Personnel



We welcomed our newest Firefighter/Paramedic Joel Fishman to the Department on June 6, 2022.



Congratulations to Firefighter/Paramedic Jeff Hall on his Fire Investigator Certificate!

Community Focus/Risk Reduction/Public Education

Examples of community focus/risk reduction/public education include but are not limited to; school talks and station tours where a safety message such as stop, drop, and roll is covered. We also monitor fire and severe weather drills in schools and educate children about fire safety. Also, we teach exit drills in the home to middle school students and provide CPR/First-Aid training.

Pictured right is a CPR class with Lake Zurich Parks and Recreation staff.



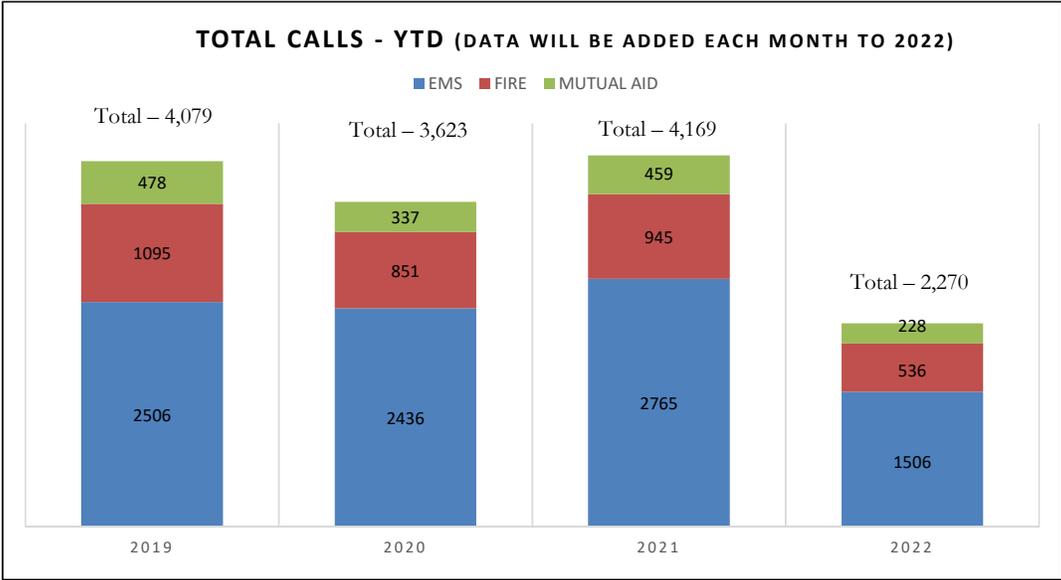
Our three probationary members, FF/PMs Joel Fishman, Anthony Kinsley, and Dan Frano completed a live burn training this month. *(Pictured left)*

Operations Division

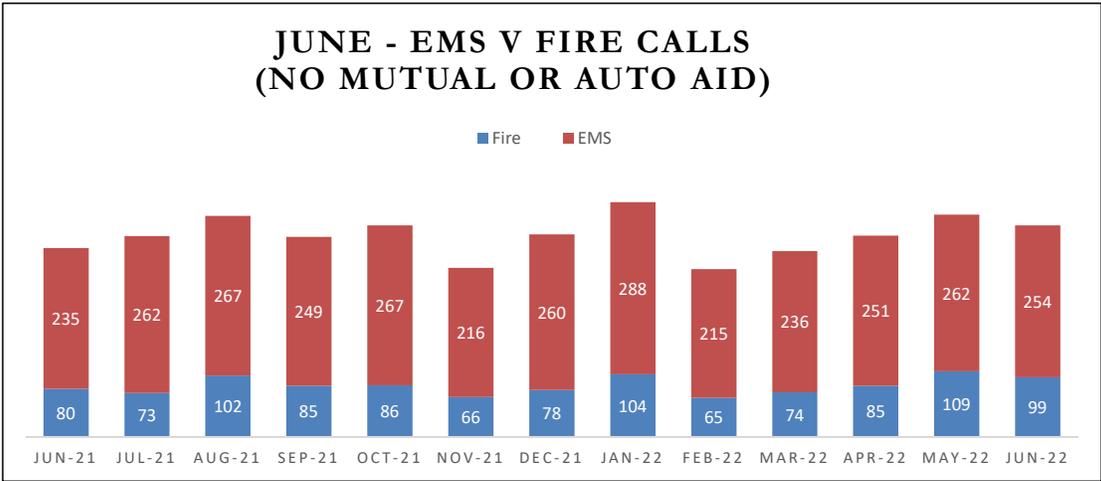
Vehicles Out of Service

- During June, the following vehicles were out of service due to maintenance, repairs, or breakdowns:
 - **Ambulances** – 524 hours
 - **Engines** – 3.50 hours
 - **Year-To-Date Hours:**

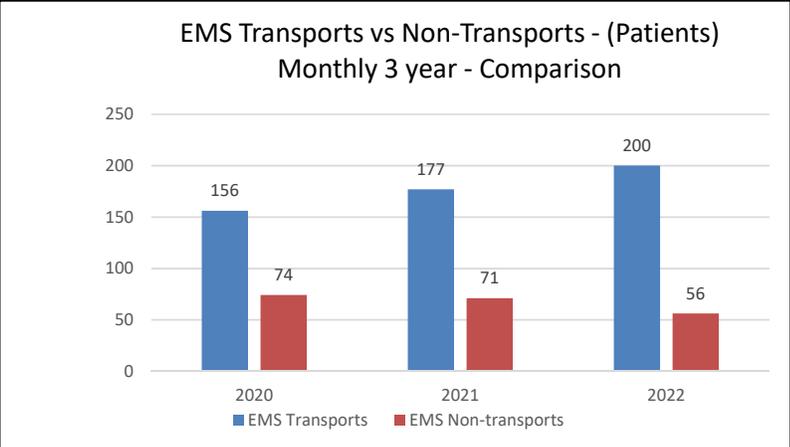
Ambulances: 683.18 hours | Engines: 1,020.08 hours



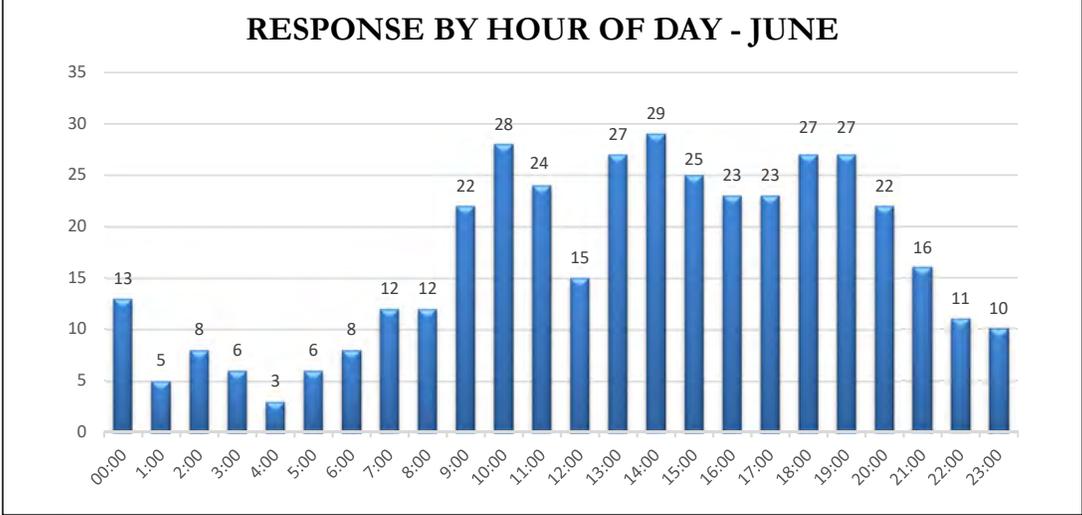
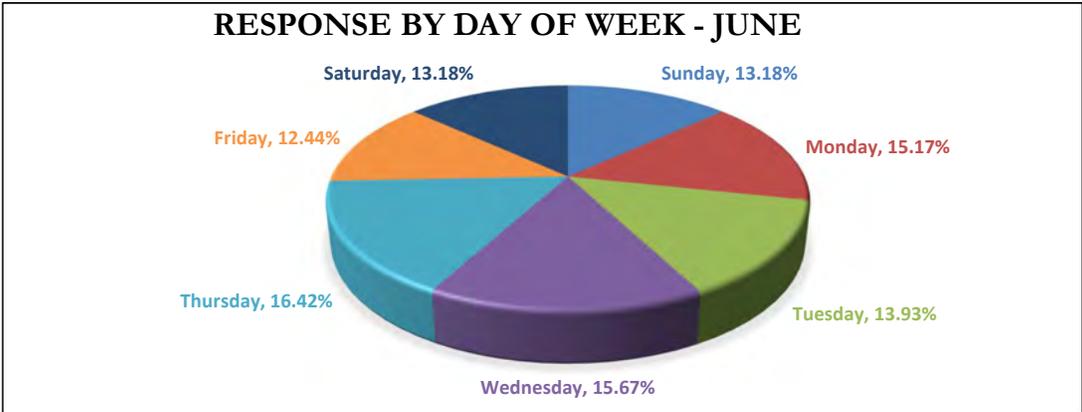
Below is the breakdown of Fire versus EMS incidents in Lake Zurich – minus aid given. Our fire calls include structure fires, car fires, grass fires, dumpster fires, wires down, and other types of service calls.



The following chart reflects activity related to emergency medical services, a core function of the fire department — not every EMS call results in transport. A prime example of this is an automobile accident where several victims refuse transport. EMS transports always outpace refusals. This chart compares the month of June across 3 years. The trend is consistent with the data period. These numbers represent the patients seen.



The following two charts break down calls by the day of the week and hour of the day.



STATIONS & STAFFING |  OFFICER  FIREFIGHTER/PARAMEDIC

STATION 1
 321 S. Buesching Road
 Lake Zurich, IL 60047

APPARATUS & STAFFING
 BATTALION 32


 ENGINE 321
 AMBULANCE 321



STATION 2
 350 W. Highway 22
 North Barrington, IL 60010

APPARATUS & STAFFING

ENGINE 322
 AMBULANCE 322



STATION 3
 1075 Old McHenry Road
 Lake Zurich, IL 60047

APPARATUS & STAFFING

ENGINE 323
 AMBULANCE 323



STATION 4
 21970 Field Pkwy
 Deer Park, IL 60010

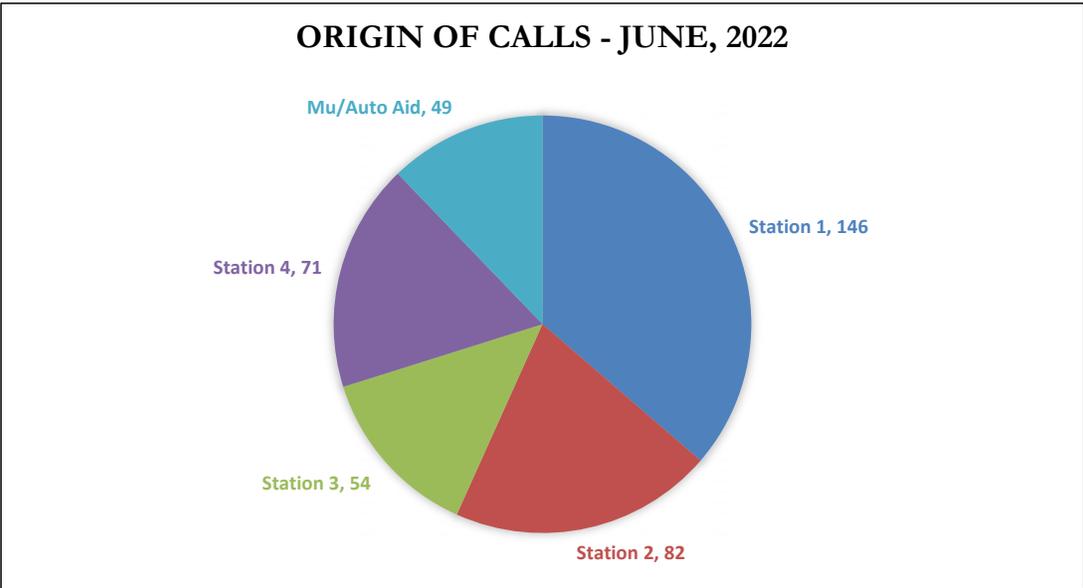
APPARATUS & STAFFING

ENGINE 324
 AMBULANCE 324

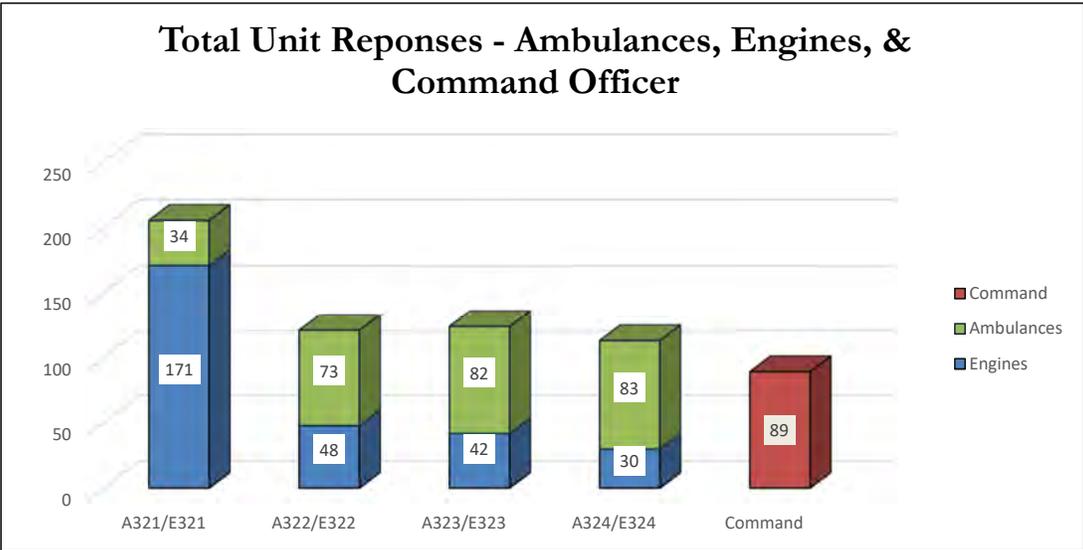
  



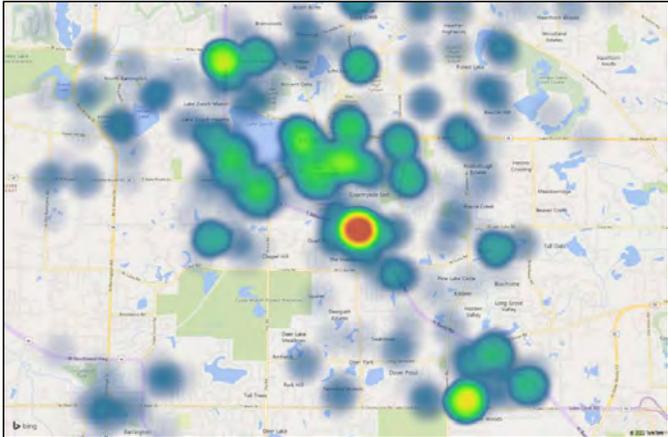
The graph below represents the percentage of calls by each station and mutual/auto aid for June 2022. The chart does **not** represent the station that responded as the primary resource to the area – it means **where** the call originated. Station 1 is historically the busiest district.



The graph below shows the responses by each unit – Ambulances, Engines, and Command Officer – in June



The following graphic is a visual representation of call distribution for June. As visually displayed, the assisted living/memory care facilities are a large portion of our department calls and are consistently within the top ten locations responded to each month. We frequently respond to doctor offices, health clinics, and automobile accidents near the Route 12 corridor.

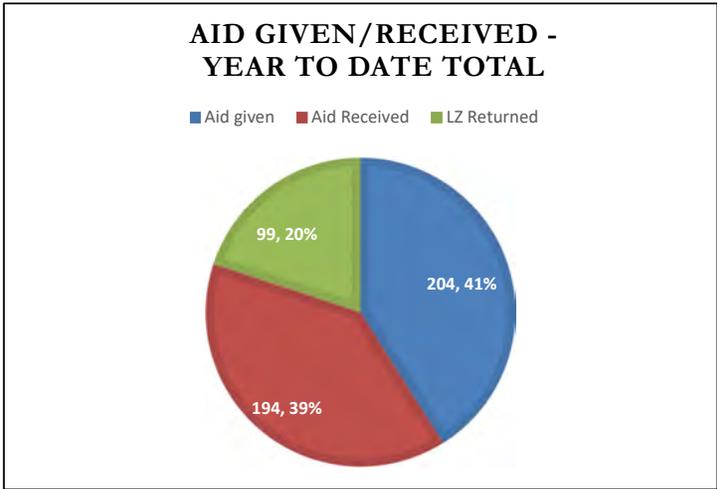


Frequent Call Locations:

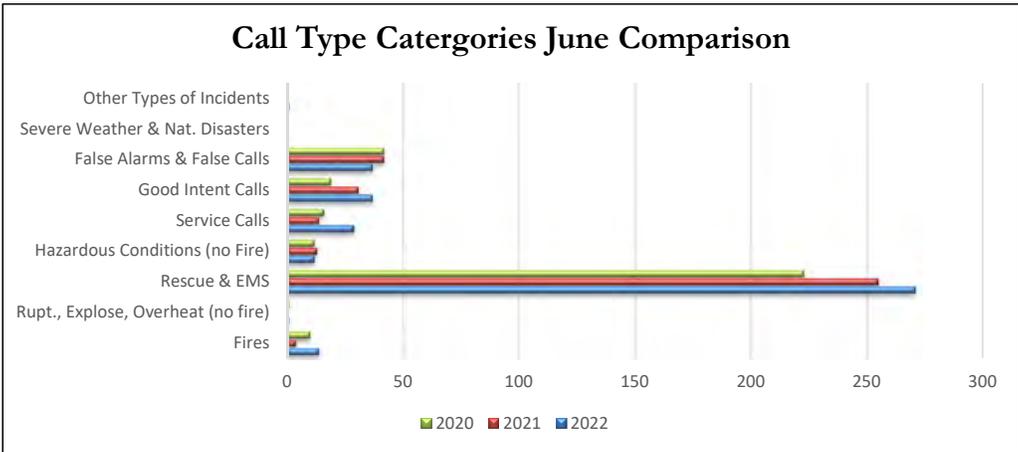
- 900 S. Rand Road – Avantara Health Care Center of Lake Zurich – 24 responses
- 21840 Lake Cook Road – Deer Park Village Senior Living – 19 responses
- 795 N. Rand Road – Azpira Place of Lake Zurich – 16 responses
- 777 Church Street - Cedar Lake Assistant Living - 9 Responses
- 21481 Rand Road – Northwest Community Healthcare – 4 responses

**Mutual/Auto Aid Response
Year to Date –**

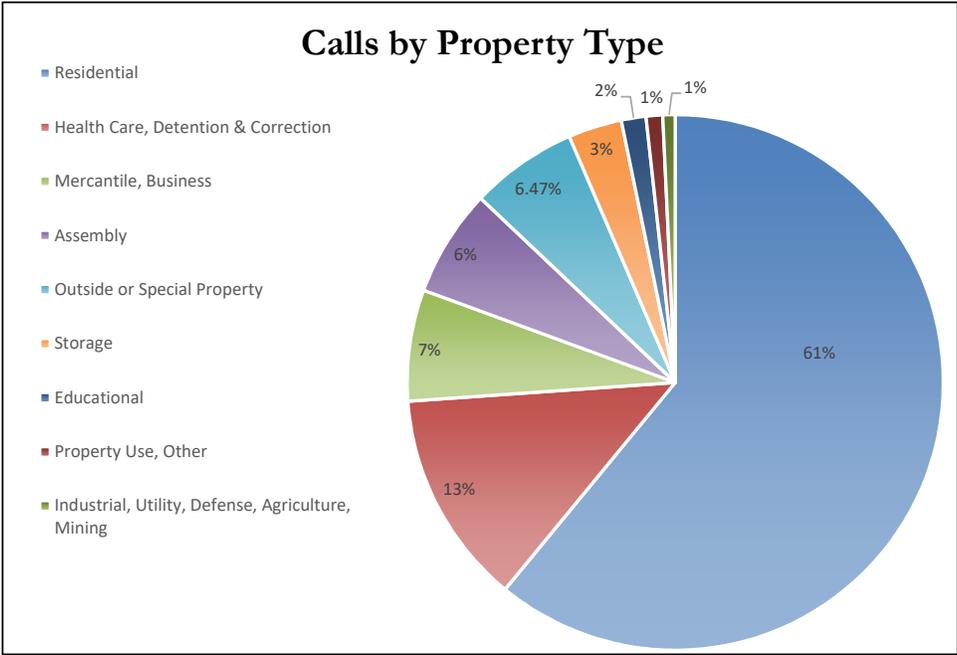
The mutual aid agreements are designed not to overburden any agency and are looked at carefully for necessary adjustments. Run cards for the Department have changed, and our partners respond to assist us more often. In June, we responded to **49 mutual aid calls and returned 25 times** before arrival. The chart to the right shows YTD Aid Given/Received and how many times LZ returned before their arrival. Many of our response incidents do not require intervention from the LZPD 911 center through automated dispatching and resource sharing. They are handled by the agency requesting our response — direct cost savings to our budget and an added benefit of the automated dispatch system.



All calls we code as a department within the National Fire Incident Reporting System (NFIRS). The codes all relate to the text categories noted in the chart below. As indicated below, you will see that the trends remain mostly the same across the three years. As shown below, rescue and EMS incidents account for most calls we respond to and continue to increase.

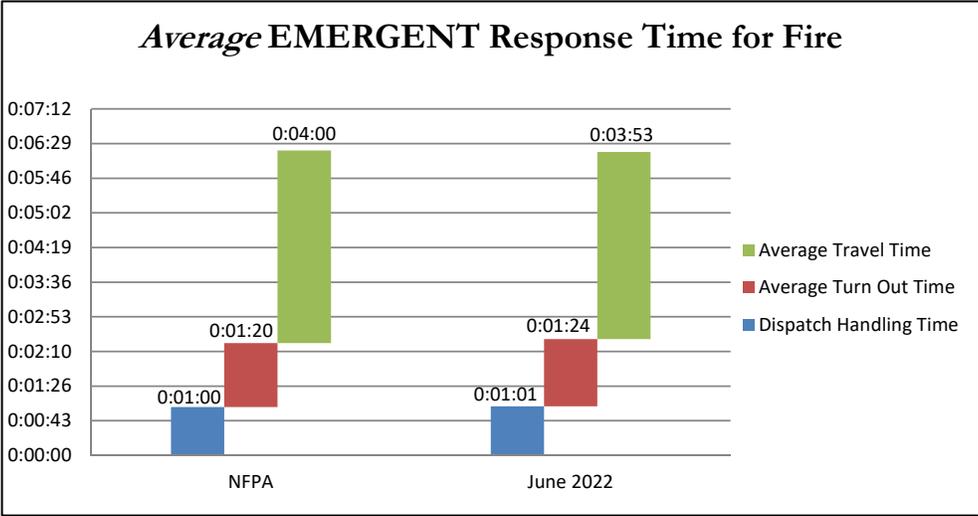
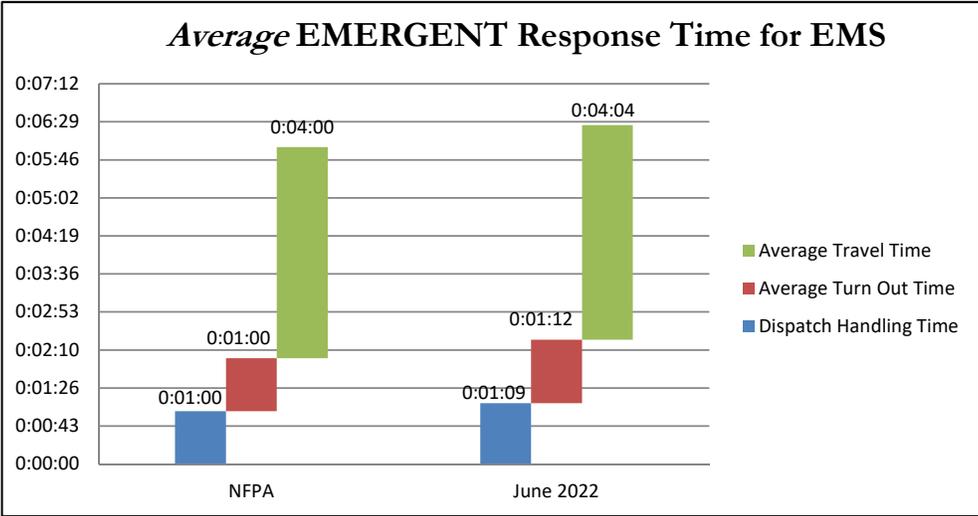


As previously mentioned, there is a national standard for coding the type of property use. How is this relevant? We see trends in various occupancies and use them to determine our service demand. For example, the healthcare category would increase if additional assisted living or nursing homes were open. As shown below, we continue to respond to Residential Properties more than any other (61%), and Health Care were second with (13%) of all calls.



Response time includes three key factors: dispatch handling, turnout, and travel time. Dispatch handling time is when dispatch takes in information and then dispatch personnel. The turnout time is when the crews receive the call to the time they get into the vehicles and hit the enroute button. Travel time reflects the time from en route to when they arrive at the incident scene. Construction, speed limits, weather, and train traffic can impact response times. The overall goal for arrival at an emergency fire call is 6 minutes and 20 seconds from the time of notification until the first unit arrives on the scene. For a response to an EMS incident, this time is 6 minutes.

The following two graphs compare the average emergency response times for Fire and EMS calls within our first arriving unit's primary response area. These times will vary based on the first responding unit's location, multiple calls, weather, time of day, and traffic conditions. *Dispatch handle times have increased after switching to the new CAD system and delays caused by processing an alarm. The ETSB and Infor continue to work on the issue.



Training Division

During June, we completed the following shift training:

New Hire Orientation – Joel Fishman successfully completed the 2 week Orientation which concluded with a live fire training day at Wauconda’s training facility and was assigned to Black Shift.

Hose Advancement – Firefighters practiced advancing a hose line through a course while flowing water.

Genesis Extrication Tool Overview – Crews reviewed the operation of our new Genesis Extrication tools.

Water Supply – Crews trained on obtaining a water supply to the engine while flowing large volumes of water, before the engine ran out of tank water.



Echo Solar Panels – Crews reviewed the new solar panels at Echo and reviewed safe shut down procedures during an emergency.

Hazmat Operations – Crews reviewed hazmat science and completed a practical drill with the Lake County Haz-Mat team involving a tanker truck leaking an unknown chemical.

Dive Support – Crews completed training on supporting dive operations followed by a practical session on Lake Zurich.

Mandated Reporter – Paramedics completed the mandatory Department of Children and Family Services (DCFS) mandated reporter training. This training outlines the types of situations that paramedics are required to report to DCFS.

Fire Scene Search – Crews reviewed the proper search procedures and which locations are probable areas expected to find victims.

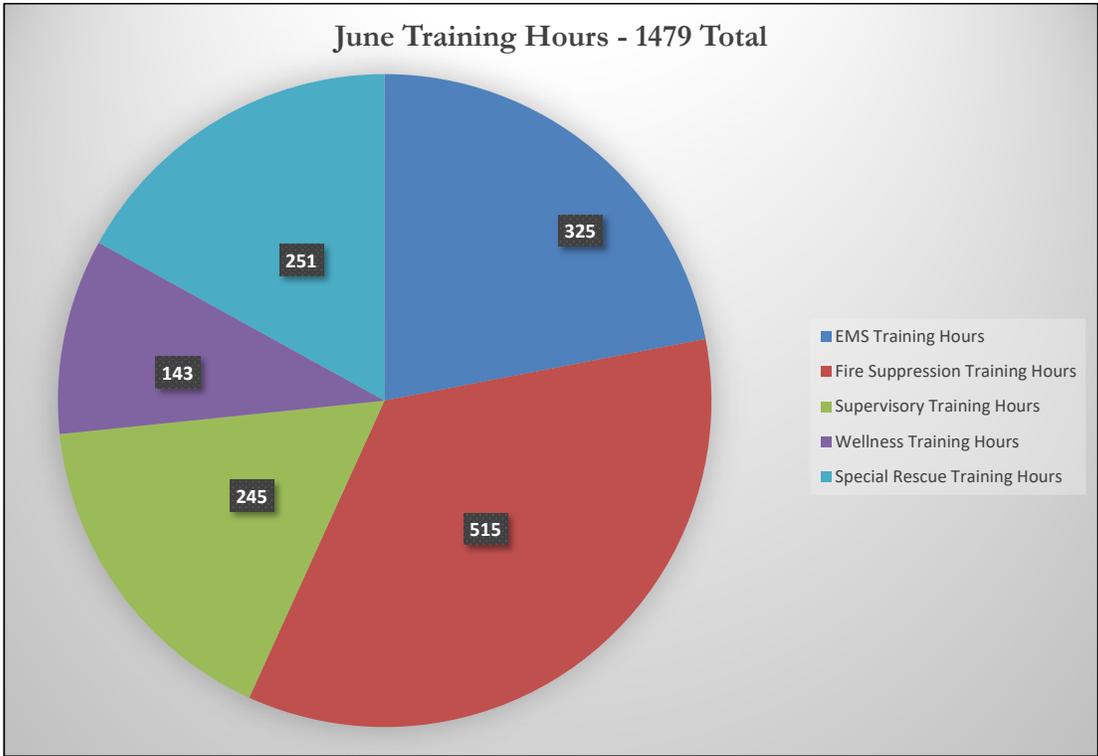
The following members attended Outside Training:

FF. Spata - Completed the 24 hour Engine Company Operations class.

D/C Christopherson - Completed the 24 hour FSLA class.

FF. Frano and FF. Kinsley - Completed the 4 hour Traffic Incident Management – Blocking class.

Lt. Stapleton - Completed the 40 hour Company Officer Academy.



Fire Prevention Bureau Division

The month of June was extremely busy for the Fire Prevention Bureau. Specialist Kleinheinz attended a 3-Day Fire Investigation Conference in Stevens Point, WI.

The month was one of our highest months for Plan Reviews. We received 37 Reviews and spent over 50 hours on the Review process.

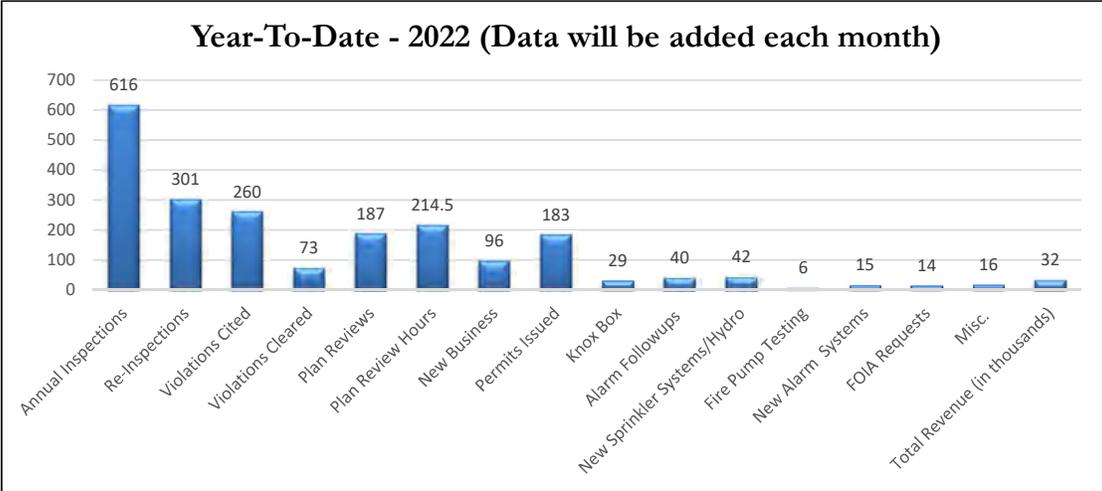
The Fire Prevention Bureau was notified by Public Works of a water main break under Jewel Foods on West Route 22. Nearly 2 days was spent working with property managers and village staff to insure a safe site and to return water service as quickly as possible to the occupants.

June is also our preparation month for numerous fireworks shows. The Fire Department and the Fire Prevention Bureau provide permits and site safety for 4 shows during June and July. The shows take long hours of meetings, permits and set up before ever being shot.

JUNE 2022 ACTIVITIES

- Construction Meetings
 - Lifetime
 - Sanctuary
 - Village of Deer Park/Deer Park Mall

- Dunkin Donuts of Deer Park
- Fireworks site meetings
- Weekly food truck inspections
- Casey's
- Gere Marie on new buildings
- Higher Ground Kildeer





POLICE DEPARTMENT

MONTHLY INFORMATION REPORT

JUNE 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION MAKING

70 E. MAIN STREET
LAKE ZURICH, IL 60047

Departmental Narrative

General

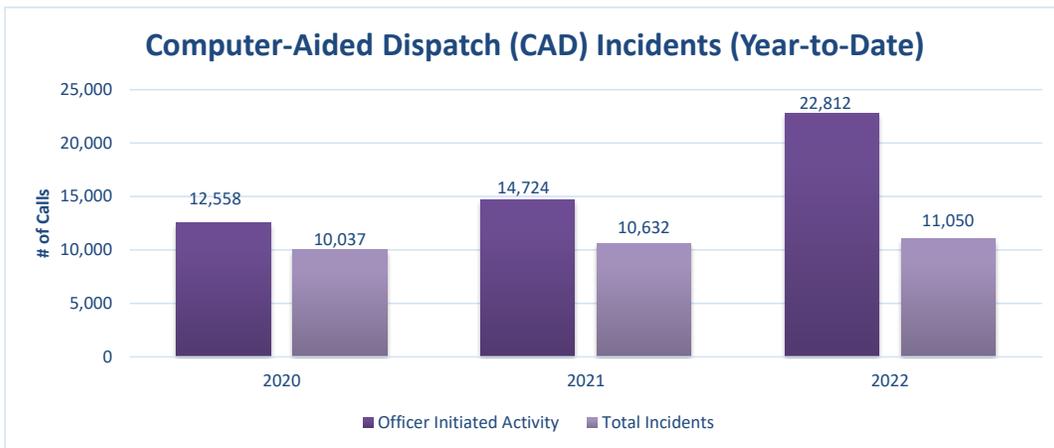
- Investigative Aide John Filantres retired (for the second time) on June 1, 2022. He served the Department as a sworn officer and civilian for a combined 44 years.
- Chief Husak was recognized for his service to the Northeastern Illinois Regional Crime Laboratory (NIRCL) Executive Board. Chief Husak has served on the board since 2015 and culminated his service as president from 2019-2022.
- Our Department launched a vehicle safety program in collaboration with Advance Auto Parts in Lake Zurich. Representatives from the business gave our Department \$1500 in gift cards that officers can issue to motorists in need to encourage them to repair headlights, taillights, or other minor equipment issues.
- The Police Department processed 20 Freedom of Information requests this month.
- Our agency participated in an IDOT speeding enforcement campaign from June 6th to 14th. 32 grant hours were worked as part of the campaign. The grant hours yielded the following results: 52 speeding citations, 3 distracted driving citations, and 3 other citations.
- The Pro-Life Action League hosted its annual "Truth Tour" in the area of South Rand Road and Route 22 on Tuesday, June 14th. Officers monitored the area and noted approximately 40 people who participated in the event. The participants fanned out approximately ½ block covering all four corners of the intersection and remained in the grassy areas along the roadway while holding large signs. The dispatch center only received one complaint during the event.

Patrol and Communications

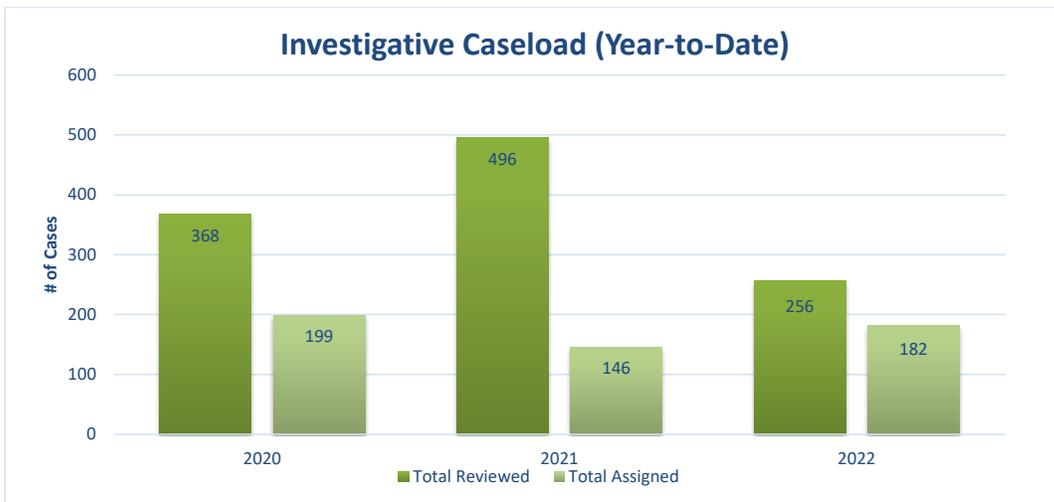
- Officer Jeffrey Marra joined the Department on June 6th. He transferred from Mundelein Police Department prior to coming to Lake Zurich.
- Telecommunicator Kirsten Crenshaw joined the Department on June 6th. She comes to us having experience as a community service officer, an auxiliary police officer, and a telecommunicator.
- Officer Kourtev received a Department P.R.I.D.E. Award for rising above his normal job duties while on a recent call on June 8th.
- Year-to-date, officers conducted 2339 traffic stops and issued 1200 traffic citations.
- During the month, Dispatch handled 1792 9-1-1 calls and 4643 administrative calls.
- There were two Major Crash Assistance Team callouts in June. On June 18, Officer Young assisted the Winthrop Harbor Police Department on a search and rescue mission. Young served as a relief drone pilot and observer. On June 24, Officer Young assisted the Lincolnshire Police Department with an officer-involved crash. Young assisted at Condell Hospital.

Investigations

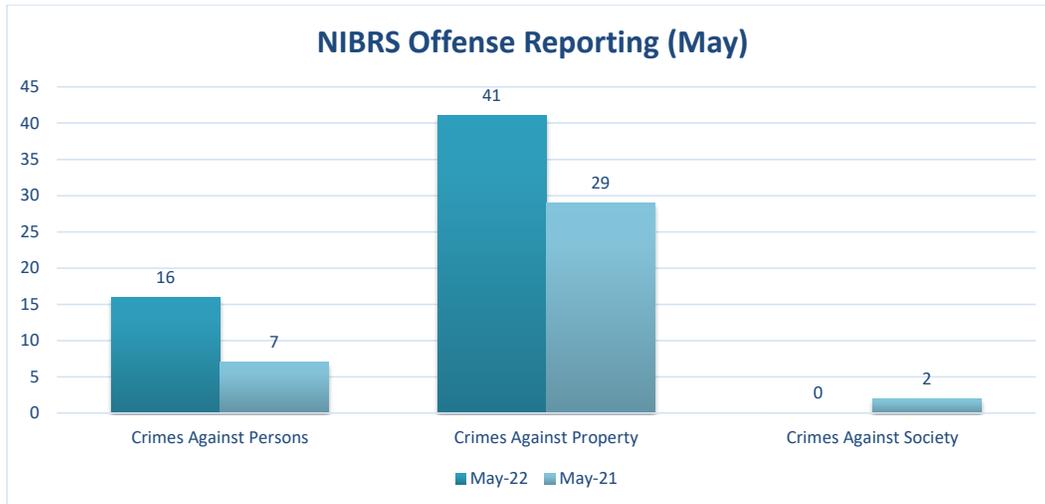
- The Criminal Investigations Division is currently investigating 152 cases, averaging 38 cases per detective. Of the 152 cases, 9 have been sent to the Lake County State's Attorney's Office (LCSAO) to obtain arrest warrants for identified suspects.
- Two liquor licenses were requested and approved.
- Alcohol compliance checks were conducted at all Lake Zurich alcohol retail stores. Two stores sold alcohol to a confidential informant who was under the age of 21. Both clerks were cited for selling alcohol to a minor.



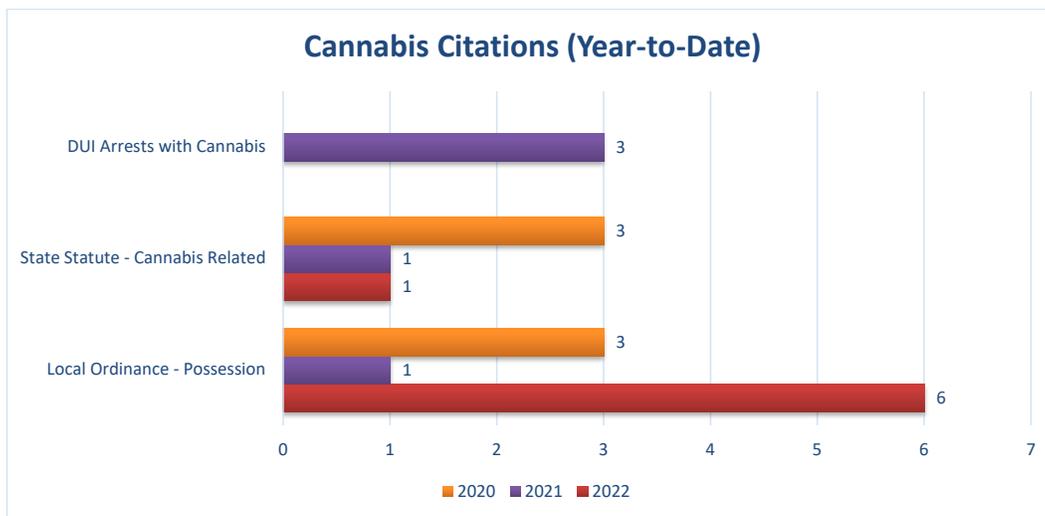
Officer initiated activity includes DUI Arrests, Vehicle Violation Citations, Non-Vehicle Violation Citations, Driving while License Suspended/Revoked, Crime Prevention Notices, Criminal Arrests, Traffic Citations, Traffic Stops, Extra Watches conducted, and Zero Tolerance enforcement. Total incidents are all CAD incidents. Frontline data, including vacation watches and directed patrols, are now listed under officer-initiated activity and are no longer CAD incidents.



Original criminal reports, generally taken by Patrol section personnel, are reviewed by the Investigations Commander and assigned to Investigative personnel based on Solvability Factors.



The Lake Zurich Police Department has switched over to the FBI's National Incident-Based Reporting System (NIBRS). Data is broken down into the following three categories: Crimes Against Persons, which include crimes such as murder, assault, and sex offenses; Crimes Against Property, which include crimes such as robbery, burglary, theft, fraud, and stolen property; and Crimes Against Society, which includes crimes such as drug/narcotic violations, pornography, and weapon violations.



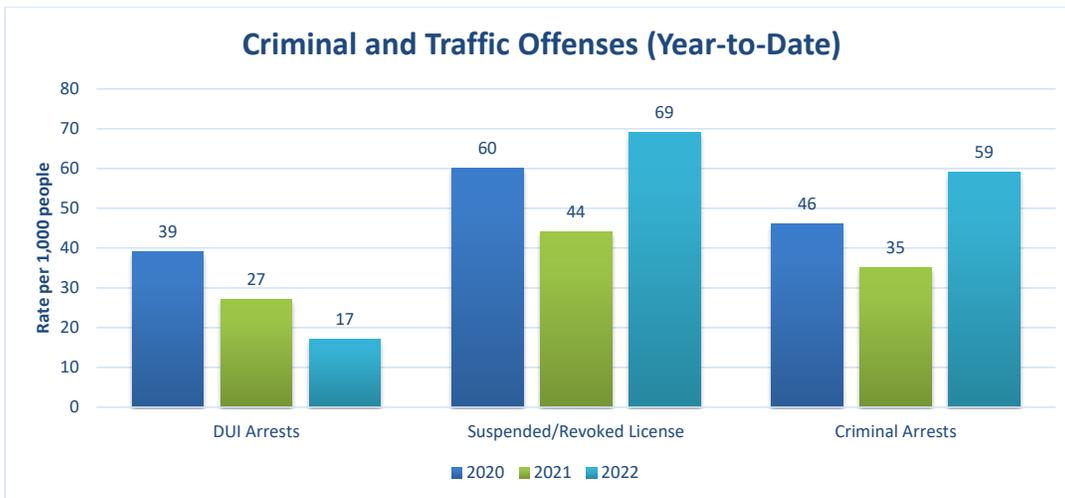
Illinois passed new cannabis rules and regulations that went into effect on January 1, 2020. These citations include local ordinance cannabis possession citations, state statute cannabis related citations (includes possession, delivery, paraphernalia, and DUI), and DUI arrests with cannabis as the primary or contributing factor.



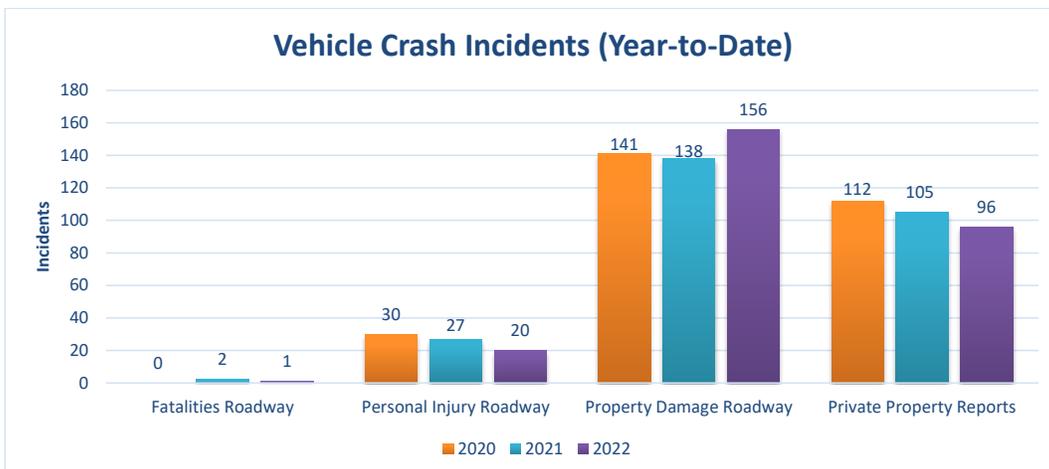
Law enforcement agencies in Illinois are now required to report to the state any incident where a law enforcement officer was dispatched to deal with a person experiencing a mental health crisis or incident. The report shall include the number of incidents, the level of law enforcement response and the outcome of each incident. For purposes of this section, a ‘mental health crisis’ is when a person’s behavior puts them at risk of hurting themselves or others or prevents them from being able to care for themselves.



Information depicted in this graph relates to traffic stops conducted by Department personnel.



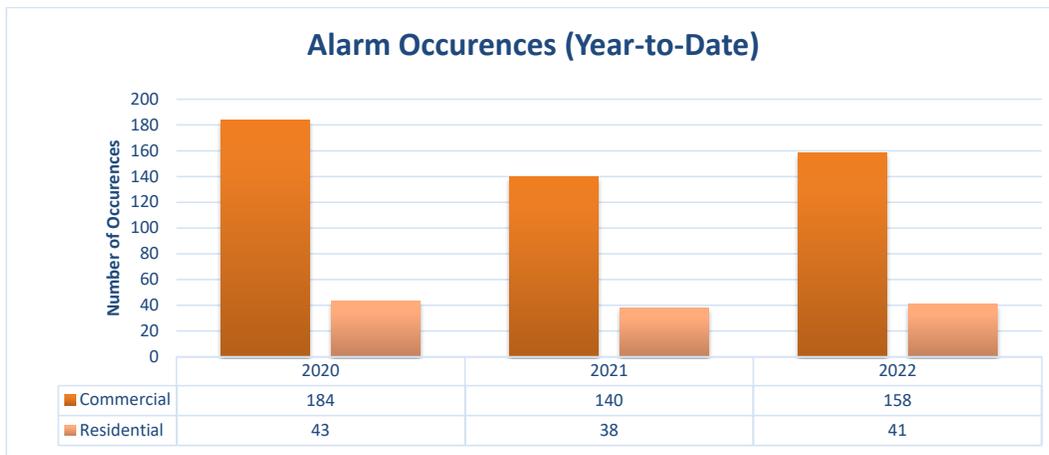
Information depicted in this graph relates to Driving Under the Influence of Alcohol/Drug arrests, Driving while Driver’s License Suspended/Revoked arrests, and various criminal arrests (Domestic Battery, Retail Theft, Drug Offenses, etc.) conducted by Department personnel.



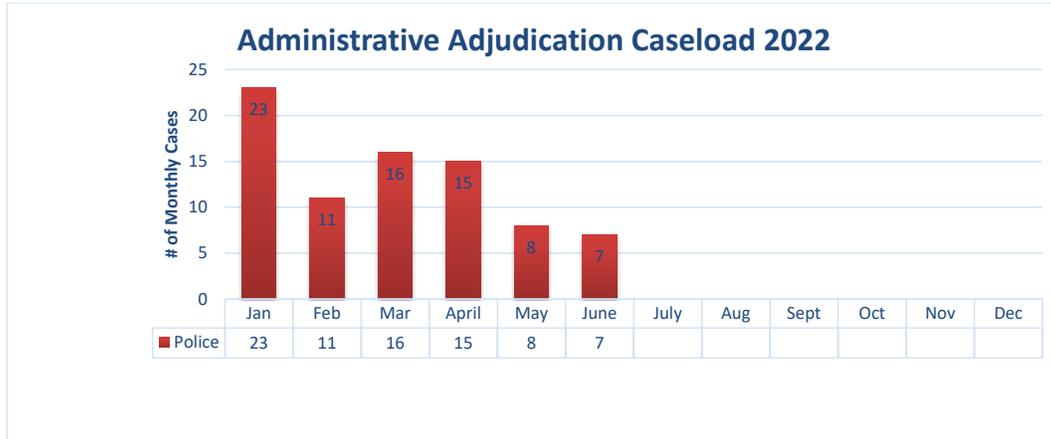
The Department conducts traffic crash investigations on both public roadways and private property (primarily parking lots). The traffic crashes are broken down into four categories: fatal, personal injury, property damage, and private property. Routine traffic crashes are taken by Patrol personnel. Traffic Safety personnel investigate fatal, serious personal injury, and commercial motor vehicles.



Training is an important element to maintain or improve skills/knowledge/ability. The main categories of training include field training, chief’s training, civilian training, firearms training, outside agency training, in-house training, and renewal required training.



The records department monitors the number of alarms to which Patrol personnel respond – many of the alarms are false.



The Administrative Adjudication process was originally put in place to address automated traffic enforcement citations. This program has been expanded to review vehicle equipment compliance citations, administrative tows, and parking citations.

Red Light Camera Violations and Accidents (Year-to-Date)

2022	Red Light Violations		Adjudication for Red Light Violations				Accidents at Red Light Intersections		
	Citations	Net Received	Hearings	Liable	Not Liable	Non-Suit	12/ Miller Road	12/ Route 22	12/ June Terrace
January	213	\$11,760.00	1	1	0	0	1	4	1
February	75	\$14,300.00	3	2	1	0	2	1	2
March	226	\$6,570.00	6	5	0	1	0	4	0
April	241	\$8,120.00	2	1	0	1	0	2	0
May	229	\$8,280.00	0	0	0	0	1	3	1
June	206	\$13,070.00	3	1	2	0	2	2	1
July									
August									
September									
October									
November									
December									
Total	1190	\$62,100.00	15	10	3	2	6	16	5

Information depicted in this chart relates to red light camera violations, adjudication (court) for those contesting their violation, and accidents that have occurred at intersections with red light cameras.

**VILLAGE OF LAKE ZURICH, ILLINOIS
ANNUAL TREASURER'S REPORT
FISCAL YEAR ENDED DECEMBER 31, 2021**

The report that follows complies with the publication requirement as defined in the Illinois Compiled Statutes Chapter 65 Section 5/3.1-35-65:

REVENUES: Major revenue sources for the fiscal year included property taxes 11,170,535, telecommunications taxes 408,996, utility taxes 1,321,613, sales taxes 9,722,198, local use taxes 754,627, shared income tax 2,594,046, charges for services 19,095,459, grants 1,723,034, and miscellaneous 1,719,638 for a total of \$48,510,146.

SUMMARY STATEMENT OF VILLAGE FINANCIAL CONDITION:

**Change in Net Position
For the Fiscal Year Ended December 31, 2021**

	Governmenta Activities	Business- Activities	Total Village Wide
Category	2021	2021	2021
Revenues:			
Program revenues:			
Charges for services	\$ 11,246,919	\$ 7,848,540	\$ 19,095,459
Operating grants	810,422	-	810,422
Capital grants	648,180	-	648,180
General revenues:			
Taxes	13,388,750	-	13,388,750
Intergovernmental	13,446,255	-	13,446,255
Investment earnings	(14,708)	(1,707)	(16,415)
Other	1,136,646	849	1,137,495
Total revenues	40,662,464	7,847,682	48,510,146
Expenses:			
General Government	1,724,549	-	1,724,549
Public Safety	18,808,688	-	18,808,688
Highways and Streets	5,464,562	-	5,464,562
Culture and Recreation	1,236,703	-	1,236,703
Economic Development	618,979	-	618,979
Interest on long-term debt	885,519	-	885,519
Water/Sewer	-	4,960,349	4,960,349
Total expenses	28,739,000	4,960,349	33,699,349
Change in Net Position	11,923,464	2,887,333	14,810,797
Beginning net position	49,110,675	46,160,991	95,271,666
Ending net position	61,034,139	49,048,324	110,082,463

VENDOR DISBURSEMENT \$2,500 AND HIGHER: Barras PhD. PC., Joshua A. 2500; Field, Ken 2500; P F Pettibone & Company 2509; Chuck's Compressors Inc 2528; Clifford-Wald, A Kip Company 2540; Eagle Engraving, Inc 2618; Basic 2625; Precision Lock & Safe, Inc 2627; Lake County Collector 2653; LZ Family Martial Arts Academy 2670; Jasper Weller, LLC 2692; Kondic, Jennifer 2741; Chicago Parts & Sound LLC

2749; Municipal Fleet Managers Assn. 2855; American Gases Corp 2919; Dogz Are Us, LLC 2979; Diversified Audio Group, Inc 3000; Spring Align Of Palatine 3006; Kallish, Deacon 3036; Nfront Athletics LLC 3046; Gold Shield Detective Agency, Inc 3060; Morton, Doug & Jessica 3060; Frankenstitch Promotions, LLC 3100; E S R I Inc. 3100; Casper True Value Hardware Inc 3114; Thomas Pump Co., Inc 3119; Linko Technology Inc 3125; Cutler Workwear 3131; Soil & Material Consultant Inc. 3148; Sterling Codifiers LLC 3174; At & T 3246; LFC Entertainment Grp Of Orland Pk 3250; Range Ventilation Design Inc 3250; Vanderstappen Land Surveying Inc 3300; Factory Motor Parts 3300; Service Sanitation, Inc 3315; JMLJ Construction Co Inc 3365; Cummins Sales And Service 3404; Menards - Long Grove 3494; Team Reil, Inc 3546; Mike'S Towing, Inc 3556; Central Polygraph Service, Ltd 3570; Des Plaines Park Distr 3585; Murawski, Timothy & Alaina 3600; Kathleen Field Orr & Associates 3619; Polywka Group LLC 3625; Safety-Kleen Corporation 3659; 911 Tech Inc. 3700; Fastenal Company 3730; Suburban Law Enforcement Academy 3736; Petroleum Technologies Eqpt., Inc 3739; Plea Association 3756; Heintzelman Law LLC 3757; Applied Concepts Inc. 3770; Bush, John 3800; USA Bluebook 3869; Lake County Partners 3926; Boarman Kroos Vogel Group, Inc 4000; Stanley Security Solutions 4037; Adams Steel Service & Supply, Inc 4041; American Mobile Staging, Inc 4100; Blue Cross Blue Shield Illinois 4100; On Course Riding Academy 4120; Moretti, Kathryn A. 4220; Sherwin Williams Co 4330; Applause Talent Presentations 4330; LZ Fire Pension Fund 4338; Fambrow Management, LLC 4354; Intime Services Inc 4380; Thompson Elevator Insp Service Inc 4384; Lai, Ltd 4386; Mediastar 4465; NIPSTA 4500; Cricket Theatre Company 4515; American Backflow & Fire Prevention 4531; CALEA 4595; Village Of Vernon Hills 4638; Wizard Of Wood Flooring Ltd 4670; Esscoe LLC 4713; Everbridge Inc 4785; Personnel Strategies, LLC 4800; Axon Enterprises, Inc 4804; Wickstrom Auto Group, Inc 4874; Speer Financial Inc 5000; Air One Equipment Inc 5018; M/I Homes Of Chicago 5090; Frontline Public Safety Solutions 5288; Mauro Sewer Construction 5313; Golden Fence, Inc 5400; Braniff Communications Inc. 5493; Kns Property Management Inc 5531; Teska Associates 5560; United Laboratories, Inc 5572; Construction & Geotechnical 5600; Clark Hill PLC 5630; Power DMS, Inc 5777; G10 Enterprises, LLC 5820; Kotlowski, Thomas 5844; Barrington Transportation Co. 5889; Ferguson Enterprises LLC 5940; Knox Associates, Inc 5978; Bella Cain Inc 6000; Interspiro Inc. 6140; Conserv FS, Inc 6230; NIPAS 6292; Aronson Fence, Inc 6325; MABAS Division IV 6365; Vermont Systems, Inc. 6428; Mid American Water Of Wauconda Inc 6471; Chapman & Cutler LLP 6500; Paddock Publications Inc. 6538; Dinges Fire Company 6565; Henry Schein EMS 6627; Insight Public Sector, Inc 6659; Northeast Multi-Regional Trng. 6795; Aladtec, Inc 7058; Best Technology Systems, Inc 7325; Earthchannel Communications, Inc 7495; Telcom Innovations Group, LLC 7531; Vortex Technologies Inc. 7650; Viking Chemical Company 7653; Elevated Safety LLC 7740; West Side Tractor Sales 7807; U S Postmaster 7813; CMRS - Postage By Phone 8000; Toshiba Financial Services 8153; Lake County Div Of Transportation 8315; SWALCO 8333; Gasaway Distributors Inc. 8443; Icon Building Group 8489; Metro Door & Dock, Inc 8595; Runnion Equipment Company 8641; SES 8648; JMK Design, Ltd 8915; Lexipol, LLC 8972; AEC Fire Safety & Security, Inc 9002; Grainger 9146; ESO Solutions, Inc 9242; Otis Elevator Company 9260; Windstream 9533; Roca Builders Inc 9673; Elegant Embroidery Inc 9934; Northwest Municipal Conference 10012; HBK Water Meter Service Inc. 10206; The Tree Medix, LLC 10400; Kloss Distributing Company, Inc 10426; Suburban Laboratories, Inc. 10519; KK Stevens Publishing Company 10648; Fischer Bros Fresh Concrete, Inc. 11042; Mobotrex, Inc 11272; Civic Plus 11349; J U L I E Inc. 12045; Il Department Of Transportation 12162; Metropolitan Industries Inc. 12318; Soil Eng & Testing Consultants, LLC 12438; Lake County, Illinois CVB 12500; Thorne Electric Inc. 12865; Kiesler Police Supply, Inc. 12941; Garden Homes 13250; Municipal Emergency Services, Inc 13288; Precision Pavement Markings, Inc 13410; Foster & Foster, Inc 13506; K-Tech Specialty Coatings, Inc 13618; Traffic Control & Protection Inc 13804; Rasco Mason Contractors

14032; Motor Parts & Equipment Corp 14464; Environmental Aquatic Mgmt LLC 14500; Meade, Inc 14728; Napa Auto Parts 14775; Thelen Materials, LLC 14892; Integrated Lakes Management Inc 15000; J & M Displays, Inc 15000; Dell USA LP 15307; Cleansands, Inc 15500; Keller-Heartt Oil., Inc 15602; Atlas Bobcat, LLC 15663; Rush Truck Center 15749; Joseph D Foreman & Company, Inc 15882; Wachs Valve & Hydrant Services, LLC 16080; Homer Industries Inc. 17010; Home Depot Credit Services 17535; Terrain Group 17600; Call One, Inc 18663; Premier Fence Inc 18945; Nicor Gas Company 18968; Policy Confluence Inc. DBA Polco 19100; American Garage Floor Systems 19479; Wisconsin Department Of Revenue 20175; Health Endeavors, SC 20651; Alpha Paintworks, Inc 20700; ME Simpson Co., Inc 21060; Toshiba Business Solutions, USA 21087; On Time Embroidery, Inc 21293; FOP Fraternal Order Of Police 21560; Vision Service Plan Of Illinois NFP 21648; BS&A Software 21721; LZ Development Group LLC 22400; Performance Paving Ltd 24000; Rainbow Collision Center, Inc 24512; Hot Shots Sports 25741; RAE Lifts 26400; Compass Minerals American Inc 27363; Stryker Sales Corporation 28040; Greco Electric 28552; BA Lighting, LLC 29535; Northern Il Police Crime Lab 30549; Altorfer Industries, Inc 31296; Mc Ginty Bros., Inc. 33775; Andres Medical Billing 35099; Robert E. Hummel Construction 35920; Crystal Maintenance Plus Corp 36836; Baker Tilly Virchow Krause, LLP 37390; LeadingIT Solutions, Inc 37944; Local 150 38628; Mcnelly Service, Inc 38795; Sutton Ford Inc 39308; Evans & Son Blacktop, Inc 42538; Dataprose, LLC 43914; CDM Smith, Inc 43987; IAFF 44040; Bell Fuels Inc. 44664; Christopher B. Burke Eng., Ltd 47631; Motorola Solutions, Inc 48111; State Industrial Products Corp 48875; CDW Government LLC 49262; Clarke Environ Mosquito Mgmt 50443; St. Aubin Nursery & Landscaping 52577; Priority Dispatch Corp 53021; Village Of Hawthorn Woods 59623; Gatso USA, Inc 60810; Martin Enterprises Heating/Air Cond 61824; Clark Baird Smith LLP 64091; Tax Exempt Leasing Corp 66361; Bonnell Industries Inc 71799; Cargill Salt 71900; Albarran, Luis 73333; AEP Energy, Inc 75565; Aflac Inc. 76595; Patriot Pavement Maintenance 78503; Klein Thorpe & Jenkins 81044; Standard Equipment Company 85659; Hitchcock Design Inc 86048; Layne Christensen Company 89959; Schroeder Asphalt Services, Inc 92221; Fireground Supply 96243; Commonwealth Edison 105852; Standard Life Insurance Company 114605; Engineering Enterprises, Inc 125267; Lake County Treasurer 126061; Xylem Water Solutions USA, Inc 127293; US Bank National Assoc. 130928; Tyler Technologies, Inc 131233; Village Of Kildeer 131298; Copenhagen Construction, Inc 135506; Landworks Ltd 150012; Bell Fuels Service Co 155021; Suburban Concrete Inc 164806; Inland Bank 170243; LC Metropolitan Enforcement Group 174509; Special Recreation Association 182071; Bradford Lake Zurich 5 LLC 187422; Sewertech LLC 187909; Sebert Landscaping 230089; Il EPA 244414; Lake Zurich Pol Pnsn Fund 336071; Constellation New Energy, Inc. 358595; Peter Baker & Son Company 391294; IPPFA 447900; American Express 458551; Midwest Operating Eng L/150 481278; Sawyer Falduto Asset Management LLC 497933; ICMA 504908; Manhard Consulting Ltd 512419; Lake Zurich Community Unit School District 95 544699; Macqueen Equipment, LLC 626493; Illinois Department Of Revenue 645765; I M R F 893702; Intergovernmental Risk Mgmt Agency 902175; Cornerstone National Bank & Trust 1190557; Builders Paving, LLC 1322929; Lake County Public Works Dept. 2175544; I P B C 2360531; Bank Of New York Mellon 2639647; United States Department Of The Treasury 4013631

EMPLOYEE COMPENSATION, Less Than \$25,000: I. Ahumada, A. Albitzer, L. Anderson, R. Anderson, C. Andrews, A. Arden, N. Austin, B. Bailey, M. Baygood, J. Beaudoin, Z. Berman, N. Bianchi, D. Bobrowski, G. Borst, W. Borst, K. Bos, G. Bourke, K. Boyce-Zanello, M. Boynton, G. Brown, M. Brown, S. Brown, C. Buckman, J. Bukowski, B. Burch, D. Carrillo Jr, K. Carter, K. Cecala, T. Cianci, A. Ciezadlo, L. Cunningham, V. Czerwinski, M. Euker, A. Fahey, V. Fahey, J. Filantres, A. Fleming, D. Frano, J. Gannon, S. Gibson, D.

Gold, A. Gralinski, N. Gralinski, C. Gwizdala, J. Harper, A. Hefner, A. Hernandez, J. Higgins, C. Hoffmann, K. Hunt, E. Husak, J. Husak, M. Ignatenko, M. Jackson, K. Johnson, M. Johnson, S. Johnson, A. Johnston, K. Johnston, J. Kadzielawski, W. Karlberg, K. Kauffman, A. Kinsley, L. Klodnicki, C. Kottke, E. Langer, A. Leon, J. Lewis Ii, S. Lord, M. Lucas, E. Macdonald, M. Machamer, A. Malin, S. Mazzalonga, J. Mccreary, E. Mejicano-Gormley, B. Melnychuk, A. Mescha, C. Mescha, A. Miller, G. Mirabelli, A. Mohs, F. Moreno, L. Moses, D. Mueller, V. Multra, S. Netzal, E. Oleary, K. Oleksy, P. Omalley, M. Ossmann, N. Ossmann, O. Paparone, V. Paradiso, H. Paulus, R. Perocho, K. Peterson, N. Petroff, D. Petrow, D. Powers, T. Poynton, O. Pratt, A. Proksa, T. Rae, S. Reiss, J. Riddle, R. Ristoff, C. Rosenbaum, E. Rowley, J. Rowley, H. Ryan, J. Sabia, G. Scarry, G. Schaedel, M. Schroeder, D. Schultz, A. Schutz, K. Schwichtenberg, K. Schwichtenberg, N. Seidl, J. Simpson, M. Spacone, J. Sprawka, E. Strack Jr, P. Taurus, J. Temple, A. Tognetti, C. Tognetti, T. Tognetti, T. Turczynski, E. Tyndorf, L. Ulbrich, S. Vojack, S. Weber, G. Weider, N. Welter, L. Wenzel, S. Wicks, L. Wilkes, J. Wollard, J. Wollard, M. Zack, K. Zolnierek, M. Zolnierek **\$25,000-\$49,999**: K. Amato, A. Bonestroo, M. Buffo, C. Flannery, J. Higgins, J. Malcolm, J. Tapia, G. Villa **\$50,000-\$74,999**: L. Biondo, C. Boyd, M. Brown, S. Fenton, N. Gerling, D. Gleich, A. Kadzielawski, L. Kaminski, G. Kourtev, J. Kramer, V. McCormack, J. Michaels, J. Reusch, N. Risicato, S. Ritchie, M. Smith, J. Sprow, J. Stanonik, F. Stefka, S. Steiner, O. Taylor, M. Vazquez, T. Verbeke, W. Wierer, A. Wilson, T. Yango **\$75,000-\$99,999**: S. Abbott, J. Bartoli, T. Brown, H. Cipolla, B. Corral, S. Creech, J. Cuellar, K. Glasder, A. Harper, E. Harrison, A. Hartmann, A. Holub, R. Kleinheinz, K. Kordell, S. Kroll, R. Kulig, C. Lovelace, S. Matheson, M. Meyer, P. Murray, P. Neyfeldt, Z. Panik, D. Pearson, A. Popiolek, J. Radtke, K. Schroeder, J. Schuler, S. Severino, M. Sikorski, A. Sparkowski, B. Spata, P. Steffy, A. Tanner, B. Thomey, S. Walkington, M. Wicinski, R. Wojcik **\$100,000-\$124,999**: J. Alber, C. Beidelman, R. Bene, B. Blaauw, C. Boeckmann, D. Bradstreet, J. Brooks, A. Campbell, S. Cascio, M. Cernock, J. Corral, M. Frey, S. Frost, M. Griffiths, J. Hall, A. Heer, J. Holden, G. Kingery, A. Lonski, B. Lucas, J. Mahanna, K. Michehl, R. Mitch Iii, K. Mogge Jr, S. Nemeth, S. Norman, S. Paulus, P. Penkava, E. Ryan, S. Schmitt, C. Siemers, A. Skalski, B. Stodola, P. Stone, P. Struga, J. Vanacker, M. Wiltgen **\$125,000 and Greater**: D. Anderson, I. Bereza, C. Booth, M. Brown, R. Butler, B. Caputo, J. Christopherson, S. Cornell, M. Duebner, D. Erb, C. Gaffney, D. Gibson, J. Grant, A. Grunder, M. Hautzinger, C. Hedquist, J. Henriksen, K. Hohs, B. Hoops, S. Husak, J. Johnson, R. Johnson Jr, T. Johnston, L. Kammin, R. Keller, J. Kelly, M. Kempf, S. Knight, J. Kraus, G. Pilaski, D. Pilgard, P. Rainey, D. Reid, P. Rotstein, S. Saher, D. Santoyo, A. Sieber, S. Stapleton, D. Thiergood, J. Wascow, M. Wenzel, R. Witherow, R. Witt, B. Yee, A. Young