



AGENDA PACKET
VILLAGE OF LAKE ZURICH
Village Board of Trustees Meeting

June 20, 2022
07:00 pm

VILLAGE OF LAKE ZURICH

VILLAGE BOARD OF TRUSTEES MEETING

**JUNE 20, 2022
07:00 PM
AGENDA**

1. CALL TO ORDER

2. ROLL CALL

Mayor Thomas Poynton, Trustee Dan Bobrowski, Trustee Mary Beth Euker, Trustee Janice Gannon, Trustee Marc Spacone, Trustee Jonathan Sprawka, Trustee Greg Weider.

3. PLEDGE OF ALLEGIANCE

4. PUBLIC COMMENT

This is an opportunity for residents to comment briefly on matters included on the agenda and otherwise of interest to the Board of Trustees. Public Comment is limited to 30 minutes total and up to 5 minutes per speaker.

5. PRESIDENT'S REPORT / COMMUNITY UPDATE

- Oath of Office for Firefighter / Paramedic Joel Fishman

6. CONSENT AGENDA

A. Approval of Minutes of the Village Board Meeting, June 6, 2022

Attachment: [6a.pdf](#)

B. Approval of Semi-Monthly Warrant Register Dated June 20, 2022 Totaling \$598,166

Attachment: [06-20-2022 WARRANT.pdf](#)

C. Ordinance Approving a Special Use Permit for Scenthouse at 708 South Rand Road (Assign Ord. #2022-06-466)

Summary: A Zoning Application has been filed with the Village seeking a Special Use Permit to establish a dog grooming business at 708 South Rand Road. This property is located within the B-3 Regional Shopping Zoning District. No overnight or outdoor activity is proposed at this location. The Planning and Zoning Commission held a public hearing on June 15, 2022 to consider this request and voted x-x in favor of recommending approval.

Attachment: [6c.pdf](#)

D. Ordinance Approving a Special Use Permit for Tactic Sports Performance at 353 Enterprise Parkway (Assign Ord. #2022-06-467)

Summary: A Zoning Application has been filed with the Village seeking a Special Use Permit to establish a physical fitness facility at 353 Enterprise Parkway. This property is located within the I-Industrial Zoning District. The anticipated traffic count per hour of operation is 10 vehicles with 2-4 employees working at one time, and the business seeing between 100-150 customers a week. The Planning and Zoning Commission held a public hearing on June 15, 2022 to consider this request and voted x-x in favor of recommending approval.

Attachment: [6d.pdf](#)

7. NEW BUSINESS - None at this time.

(This agenda item includes matters coming to the Board of Trustees for discussion and possible action).

8. TRUSTEE REPORTS

9. VILLAGE STAFF REPORTS

- Monthly Data Metric Reports

Attachment: [Village Manager's Office.pdf](#)

Attachment: [Finance Department.pdf](#)

Attachment: [Public Works Department.pdf](#)

Attachment: [Community Development Department.pdf](#)

Attachment: [Police Department.pdf](#)

Attachment: [Fire Department.pdf](#)

Attachment: [Parks and Rec Department.pdf](#)

10. EXECUTIVE SESSION called for the purpose of:

- 5 ILCS 120 / 2 (c) (21) review of executive session minutes.
- 5 ILCS 120 / 2 (c) (2) collective bargaining
- 5 ILCS 120 / 2 (c) (1) appointment, employment, compensation, discipline, performance or dismissal of specific employees.

11. ADJOURNMENT

UNAPPROVED MINUTES
VILLAGE OF LAKE ZURICH

Board of Trustees
70 East Main Street



Monday, June 6, 2022 7:00 p.m.

1. **CALL TO ORDER** by Mayor Thomas M. Poynton at 7.00pm.
2. **ROLL CALL:** Mayor Thomas Poynton, Trustee Dan Bobrowski, Trustee Mary Beth Euker, Trustee Janice Gannon, Trustee Marc Spacone, Trustee Greg Weider. Trustee Jonathan Sprawka was absent and excused. Also in attendance: Village Manager Ray Keller, Village Atty. Scott Uhler, Management Services Dir. Michael Duebner, Police Chief Steve Husak, Public Works Dir. Mike Brown.
3. **PLEDGE OF ALLEGIANCE**
4. **PUBLIC COMMENT**
There were none.
5. **PRESIDENT'S REPORT / COMMUNITY UPDATE**
 - A. Proclamations
 - Declaring June 2022 to be National Gun Violence Awareness Month
 - Recognizing June 2022 as LGBTQ Pride Month in Lake Zurich
6. **CONSENT AGENDA**
 - A. Approval of Minutes of the Village Board Meeting, May 16, 2022.
 - B. Approval of Semi-Monthly Warrant Register Dated June 6, 2022 Totaling \$1,077,900.30
 - C. Member Contribution to the Special Recreation Association of Central Lake County in the Amount Not-to-Exceed \$110,046
Summary: The Village of Lake Zurich is a member agency of SRACLC, which provides community-based therapeutic recreation programs and services to people of all ages with disabilities or special needs. The 2022 budget includes \$112,246 in the General Fund for this expense.
 - D. Approval of Letter of Intent and Concurrence for Public Improvements related to the Construction and Right-of-Way Improvements at Miller Road and Route 12
Summary: The Lake County Department of Transportation has requested approval of a letter of intent with the Village for right-of-way improvements at Miller Road and Route 12. The project includes lane widening, left-hand turn lanes, pedestrian push-button crossings and the installation of approximately 1,000 feet of sidewalk on the north side of Miller Road. This project is slated to

Village of Lake Zurich Board of Trustees Regular Meeting, Monday June 6th, 2022. 2

be funded 80% by the LCDOT and 20% by the Village. The Village's share is projected to be \$8,580.

E. Reduction of Surety Bond Guarantee to \$138,500.05 for Jade Development Related to Improvements at Canterbury Estates on West Route 22

Summary: A guarantee of site improvements via a completion bond of \$768,697.05 was provided as a performance security for site work and infrastructure installation at Canterbury Estates. The majority of this work has been completed. The reduced maintenance bond is required to guarantee the improvements against faulty workmanship or materials for a period of two years and cannot be less than 10% of the total initial guarantee.

F. Resolution Requesting Illinois Department of Transportation Permission to Close a Portion of Route 22 to Facilitate a Possible Parade on Sunday, July 24, 2022 RES. #2022-06-067

Summary: The Lions Club Alpine Fest is scheduled for July 22, 23, and 24, 2022 with the possibility of a parade scheduled for Sunday, July 24. The proposed Resolution authorizes a request to the Illinois Department of Transportation to close a portion of Route 22 to facilitate the possible parade between the hours of 10:30 am and 1:30 pm on Sunday, July 24, 2022.

Separate from the IDOT request to close Route 22, the Village intends to close Main Street for the duration of the event as it has in recent years. The Villages' top priority in assisting Lions Club with Alpine Fest coordination is to ensure public safety, as this event results in large crowds in the thousands. The Village is planning on closing Main Street from the evening of Friday, July 22, 2022 until the evening of Sunday, July 24, after cleanup is complete.

G. Ordinance of the Village of Lake Zurich, Illinois Authorizing the Establishment of Tax Increment Financing "Interested Parties" Registry and Adopting Registration Rules ORD. #2022-06-465

Summary: The proposed Ordinance establishes a TIF interested parties' registry, a statutorily-required step in the process towards establishing a potential TIF district within Lake Zurich's industrial park for the purpose of reinvesting in aging infrastructure and partnering with businesses for redevelopment opportunities. This registry would be used to inform entities and individuals regarding information on the proposed redevelopment plan.

H. Rejection of Bid Received from Berger Excavating, Inc. on May 6, 2022 for Phase 1 South Old Rand Road Infrastructure Improvements with the Intent to Re-Bid the Project in Fall 2022

Summary: A competitive bid opening was conducted on May 6, 2022 for South Old Rand Road infrastructure improvements. With only one bid received from Berger Excavating in Wauconda, Staff recommends a formal rejection of this bid with the intent to re-bid the project over the fall when costs for labor and commodities maybe more favorable.

Trustee Bobrowski thanked Public Works Dir. Brown for being fiscally responsible in his rejection of Agenda Item #H's solo bid.

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Recommended Action: A motion was made by Trustee Euker, seconded by Trustee Bobrowski, to approve the Consent Agenda as presented.

AYES: Trustees Bobrowski, Euker, Gannon, Spacone, Weider.

NAYS:0

ABSENT: 1 Trustee Sprawka.

MOTION CARRIED.

7. NEW BUSINESS

A. Agreement with Insituform Technologies USA for 2022 Sanitary Sewer Lining Program in the Amount Not-to-Exceed \$2,116,931.30

Summary: The FY 2022 budget includes \$2.5 million in the Water and Sewer Fund for lining portions of the Village's underground sewer main infrastructure. In 2017, the Village retained American Underground to inspect the large diameter sanitary sewer mains and provide recommendations for repair needs.

The 2022 sewer lining program includes lining approximately 6,200 feet of sewer along a transmission main on Aptakisic Road and a storm sewer lining in Sparrow Ridge subdivision.

A competitive bid opening on May 26, 2022 resulted in four bids, with Insituform Technologies USA, LLC of Chesterfield, Missouri being the lowest responsible bidder. The requested not-to-exceed amount includes the base bid of \$1,950,931.30 plus \$166,000 for engineering and contingency costs related to the project.

Public Works Dir. Brown thanked the Board for their support of the infrastructure repairs. Trustee Spacone reminded residents about the emergency repairs costly repairs in the past and the need to be proactive.

Recommended Action: A motion was made by Trustee Spacone, seconded by Trustee Euker, to approve an agreement with Insituform Technologies USA for 2022 Sanitary Sewer Lining in the Amount Not-to-Exceed \$2,116,931.30.

AYES: Trustees Bobrowski, Euker, Gannon, Spacone, Weider.

NAYS:0

ABSENT: 1 Trustee Sprawka

MOTION CARRIED.

B. Agreement with Mauro Sewer Construction for Flint Creek Estates Water Main Improvements in the Amount Not-to-Exceed \$1,318,798

Summary: The FY 2022 budget includes \$1.5 million in the Water and Sewer Fund for replacing portions of the Village's underground water main infrastructure in Flint Creek Estates.

The proposed project includes the installation of approximately 3,350 linear feet of PVC 8-inch water main pipe, fire hydrants, valves, and connections to the existing water main and water services, including installation of a water main loop on Lancaster Lane and Manchester Court. The work will be located under the pavement and sidewalk requiring extensive asphalt patching and landscape restoration upon completion.

A competitive bid opening on May 26, 2022 resulted in three bids, with Mauro Sewer Construction being the lowest responsible bidder. The requested not-

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to-exceed amount includes the base bid of \$1,198,798 plus \$120,000 for engineering and contingency costs related to the project.

Public Works Dir. Brown stated that this location has been identified in the CIP as there are frequent breaks. Dir. Brown answered the Board's question.

Recommended Action: A motion was made by Trustee Spacone, seconded by Trustee Euker, to approve an agreement with Mauro Sewer Construction for Flint Creek Estates Water Main Improvements in the Amount Not-to-Exceed \$1,318,798.

AYES: Trustees Bobrowski, Euker, Gannon, Spacone, Weider.

NAYS:0

ABSENT: 1 Trustee Sprawka

MOTION CARRIED.

8. TRUSTEE REPORTS

Trustee Weider wished the Summer Campers a great summer, camp started on 6/6/22.

Trustee Bobrowski acknowledged the award received by Village Manager Ray Keller recently at a recent conference.

Trustee Bobrowski reported that the owner of Alpine Shopping Centre has posted no parking signs causing parking issues for people visiting Breezewald Park. He suggested signs showing alternate sites for nearby parking. Village Manager Keller stated that Asst. to Village Manager Kordell had made a map of parking available in the downtown area and it will be shared again.

Trustee Euker thanked Village Clerk Kathleen Johnson for the organizing of flower baskets hanging on Main Street.

9. VILLAGE STAFF REPORTS

There were none.

10. EXECUTIVE SESSION called for the purpose of:

5 ILCS 120 / 2 (c) (21) approval of executive session minutes from March 21, 2022 and April 4th, 2022 and 5 ILCS 120 / 2 (c) (1) appointment, employment, compensation, discipline, performance or dismissal of specific employees was cancelled.

11. ADJOURNMENT

Motion was made by Trustee Bobrowski, seconded by Trustee Spacone, to adjourn the meeting.

AYES: Trustees Bobrowski, Euker, Gannon, Spacone, Weider.

NAYS:0

ABSENT: 1 Trustee Sprawka

MOTION CARRIED.

Meeting adjourned at 7.17pm.

Respectfully submitted: -

Kathleen Johnson, Village Clerk.

Approved by:

Mayor Thomas M. Poynton

Date.

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VILLAGE OF LAKE ZURICH

WARRANT REPORT - 6/20/2022

\$598,166.00

GL Number	GL Desc	Vendor	Invoice Description	Amount
Fund 101 GENERAL				
Dept 00000				
101-00000-10216	PETTY CASH SPECIAL EVENTS	PETTY CASH - PARK & RECREATION	4TH OF JULY 2022 - PETTY CASH	4,500.00
101-00000-10322	DRAWER RECREATION	PETTY CASH - FINANCE	GATE - EXTRA FUNDS	400.00
101-00000-21202	AMBULANCE FEES PAYABLE	MEDICAID ILLINOIS	AMB REF - HILL, S - DOS 1/14/22	98.80
101-00000-21203	RECREATION CREDIT PAYABLE	YARBERRY, TARA	PRG CXL - DANCE	114.00
	Total For Dept 00000			<u>5,112.80</u>
Dept 12120 VILLAGE ADMIN HUMAN RESOURCES				
101-12120-51655	EMPLOYEE RECOGNITION	PETTY CASH - FINANCE	PW LUNCHEON SUPPLIES	61.14
101-12120-52111	OTHER PROFESSIONAL SVCS	CAREERBUILDER EMPL. SCREENING, LLC	EMPLOYMENT SCREENING SERVICES	<u>336.00</u>
	Total For Dept 12120 VILLAGE ADMIN HUMAN RESOURCES			<u>397.14</u>
Dept 12180 VILLAGE ADMIN ECONOMIC DEVELOPMENT				
101-12180-51656	MILEAGE REIMBURSEMENT	PETTY CASH - FINANCE	PARKING	51.00
101-12180-54308	TAX REBATES	BRADFORD LAKE ZURICH 5 LLC	TAX REBATE - FEBRUARY 2022	14,629.58
101-12180-54308	TAX REBATES	VILLAGE OF HAWTHORN WOODS	TAX REBATE - FEBRUARY 2022	4,577.67
101-12180-54308	TAX REBATES	VILLAGE OF KILDEER	TAX REBATE - FEBRUARY 2022	9,155.36
	Total For Dept 12180 VILLAGE ADMIN ECONOMIC DEVELOPMENT			<u>28,413.61</u>
Dept 13001 FINANCE ADMINISTRATION				
101-13001-51652	TRAINING AND MEETINGS	SPARKOWSKI, AMY	REIMB - GFOA CONFERENCE 2022	1,086.81
101-13001-52112	PROFESSIONAL ACCOUNTING	BAKER TILLY VIRCHOW KRAUSE, LLP	FISCAL AUDIT 2021	<u>1,120.00</u>
	Total For Dept 13001 FINANCE ADMINISTRATION			<u>2,206.81</u>
Dept 17001 TECHNOLOGY ADMINISTRATION				
101-17001-52111	OTHER PROFESSIONAL SVCS	LEADINGIT SOLUTIONS, INC	SUPPORT AGMT 2022 - JULY	2,095.60
101-17001-53203	TELEPHONE & DATA SVCS	AT & T	VH ELEVATOR 540-9255	388.53
101-17001-53203	TELEPHONE & DATA SVCS	WINDSTREAM	ANALOG LINES - JUN	154.22
101-17001-56601	CAPITAL LEASE	TOSHIBA FINANCIAL SERVICES	FIRE & CS COPIER LEASE	119.50
101-17001-56601	CAPITAL LEASE	TOSHIBA FINANCIAL SERVICES	FIRE & PD - COPIER LEASE	<u>164.73</u>
	Total For Dept 17001 TECHNOLOGY ADMINISTRATION			<u>2,922.58</u>

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WARRANT REPORT - 6/20/2022
\$598,166.00

<i>GL Number</i>	<i>GL Desc</i>	<i>Vendor</i>	<i>Invoice Description</i>	<i>Amount</i>
Dept 24001 POLICE ADMINISTRATION				
101-24001-52111	OTHER PROFESSIONAL SVCS	GATSO USA, INC	RED LIGHT CAMERA FEE	6,870.00
101-24001-52602	WASTE REMOVAL	DANIELS SHARPSMART, INC	SHARPS REMOVAL - JUN	238.15
101-24001-52602	WASTE REMOVAL	DANIELS SHARPSMART, INC	SHARPS REMOVAL	2.55
101-24001-52602	WASTE REMOVAL	DANIELS SHARPSMART, INC	SHARPS REMOVAL	30.21
101-24001-53208	OFFICE SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	BINDERS, USB DRIVES	45.56
Total For Dept 24001 POLICE ADMINISTRATION				7,186.47
Dept 24210 POLICE OPERATIONS				
101-24210-51652	TRAINING AND MEETINGS	LAW ENFORCEMENT TRAINING LLC	COURT SMART ANNUAL DUES	1,700.00
101-24210-51652	TRAINING AND MEETINGS	NORTHEAST MULTI-REGIONAL TRNG.	TRAINING - HEER BICYCLE	175.00
101-24210-52111	OTHER PROFESSIONAL SVCS	MOTOROLA SOLUTIONS, INC	STARCOM RADIO FEES - JUN	1,530.00
101-24210-52204	OTHER LEGAL	ALBARRAN, LUIS	LOCAL PROSECUTOR FEES	6,666.67
101-24210-52204	OTHER LEGAL	ETERNO, DAVID G	ADJUDICATION HEARING FEE	150.00
101-24210-53209	UNIFORMS	GALL'S, LLC	MARINE UNIT - HATS & PANTS	159.60
101-24210-53209	UNIFORMS	GALL'S, LLC	BIKE UNIT - BATON	8.33
101-24210-53209	UNIFORMS	RAY O'HERRON COMPANY INC.	MARRA - NEW OFFICER UNIFORM	395.02
101-24210-53209	UNIFORMS	RAY O'HERRON COMPANY INC.	LONSKI - SHIRTS, SHOES, BOOTS	367.88
101-24210-53209	UNIFORMS	RAY O'HERRON COMPANY INC.	MARRA - NEW OFFICER UNIFORM	1,749.71
101-24210-53209	UNIFORMS	RAY O'HERRON COMPANY INC.	MCCORMACK - SLIM JIM, MED KIT	57.98
Total For Dept 24210 POLICE OPERATIONS				12,960.19
Dept 24230 POLICE CRIME PREVENTION				
101-24230-52111	OTHER PROFESSIONAL SVCS	TLO LLC	INVESTIGATIVE SEARCH ENGINE - MAY	96.60
101-24230-52111	OTHER PROFESSIONAL SVCS	TRANS UNION LLC	CREDIT CHECKS	132.58
101-24230-52111	OTHER PROFESSIONAL SVCS	WEST PUBLISHING GROUP	INVESTIGATIVE SEARCH ENGINE - MAY	207.95
101-24230-53209	UNIFORMS	GALL'S, LLC	WITT - PANTS	46.89
101-24230-53209	UNIFORMS	RAY O'HERRON COMPANY INC.	PILASKI - PANTS & TIE	67.94
Total For Dept 24230 POLICE CRIME PREVENTION				551.96

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<i>GL Number</i>	<i>GL Desc</i>	<i>Vendor</i>	<i>Invoice Description</i>	<i>Amount</i>
Dept 24240 POLICE INTERGOVERNMENTAL				
101-24240-51652	TRAINING AND MEETINGS	NIPAS	NIPAS AWARDS LUNCHEON	124.00
			Total For Dept 24240 POLICE INTERGOVERNMENTAL	124.00
Dept 25001 FIRE ADMINISTRATION				
101-25001-52111	OTHER PROFESSIONAL SVCS	LEADINGIT SOLUTIONS, INC	SUPPORT AGMT 2022 - JULY	1,128.40
101-25001-53204	CELL PHONES & PAGERS	AT & T	CELL PHONES - FIRE	36.36
101-25001-53206	POSTAGE & SHIPPING	UNITED PARCEL SERVICE	SHIPPING COSTS	116.58
101-25001-53209	UNIFORMS	EAGLE ENGRAVING, INC	BADGES - LIEUTENANTS & CAPTAINS	624.91
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	STEEL TOE BOOTS - FISHMAN	179.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	SHIRT - PENKAVA	79.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	JOB SHIRT - HOLDEN	79.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	JOB SHIRT - MURRAY	79.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	SHIRTS, POLOS, PANTS - WENZEL	313.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	TSHIRTS, LONG SLEEVE - RAINY	134.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	POLOS - STAPLETON	168.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	CAP, SHIRTS, BELT - KLEINHEINZ	125.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	SHIRT - ERB	20.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	BELT - KELLY	29.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	NEW HIRE UNIFORM - FISHMAN	326.50
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	SWEATPANTS, SHIRTS - BOECKMANN	69.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	JOB SHIRT, CAP - REID	76.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	POLOS, SHIRTS - HAUTZINGER	103.50
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	CLASS A UNIFORM, SHIRTS, PANTS - NEMETH	309.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	BOOTS - KEMPF	149.00
101-25001-53209	UNIFORMS	ON TIME EMBROIDERY, INC	JOB SHIRT - SKALSKI	79.00
101-25001-53209	UNIFORMS	REDWING BUSINESS ADVANTAGE A/CS	BOOTS - KEN MOGGE	157.49
101-25001-53210	SMALL TOOLS & EQUIP	LZ ACE LLC	CLAMPS (3)	10.18
101-25001-53211	OTHER SUPPLIES	KMSCO INC	STATION SUPPLIES - BLANKET FOR STATION	420.00
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER TOWELS, TOILET BOWL CLEANER, DETERGE	204.65
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER TOWELS, TRASH BAGS - ST. 4	170.96

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<i>GL Number</i>	<i>GL Desc</i>	<i>Vendor</i>	<i>Invoice Description</i>	<i>Amount</i>
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER TOWELS - ST. 2	53.98
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	CLEANER - ST. 3	24.98
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER TOWELS, TOILET CLEANER, SPONGES, TRASI	456.79
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	DETERGENT, CLEANER - ST. 2	70.77
101-25001-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	PAPER TOWELS, Z FOLDS, DETERGENT, PLATES	283.88
101-25001-54305	EMPLOYEE EXAMS	CENTRAL POLYGRAPH SERVICE, LTD	POLYGRAPH - SUGERMAN - FD	210.00
101-25001-56601	CAPITAL LEASE	TOSHIBA FINANCIAL SERVICES	FIRE & PW - COPIER LEASE	119.50
101-25001-56601	CAPITAL LEASE	TOSHIBA FINANCIAL SERVICES	FIRE & PD - COPIER LEASE	164.74
Total For Dept 25001 FIRE ADMINISTRATION				<u>6,571.17</u>
 Dept 25320 FIRE FIRE SUPPRESSION				
101-25320-52111	OTHER PROFESSIONAL SVCS	MOTOROLA SOLUTIONS, INC	FIRE STARCOM FEES - JUN 2022	1,512.00
101-25320-52704	MAINT-EQUIPMENT	MOTOROLA SOLUTIONS, INC	RADIO REPAIR PARTS	1,399.41
101-25320-53209	UNIFORMS	FIREGROUND SUPPLY	QUICK RELEASE STATION BOOT	150.90
101-25320-53209	UNIFORMS	FIREGROUND SUPPLY	11 PAIRS OF BOOTS	1,071.00
101-25320-53211	OTHER SUPPLIES	INTERSTATE ALL BATTERY CENTER	3V LITHIUM BATTERY	3.20
101-25320-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	REHAB SUPPLIES - WATER	54.95
101-25320-53211	OTHER SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	REHAB SUPPLIES - MIXED FRUIT	30.99
101-25320-55254	MACHINERY & EQUIPMENT	HAIGES MACHINERY, INC	GEAR WASHER W/BASE	<u>11,442.00</u>
Total For Dept 25320 FIRE FIRE SUPPRESSION				<u>15,664.45</u>
 Dept 25330 FIRE EMS				
101-25330-51651	LICENSING/CERTIFICATIONS	LUCAS, BRIAN	PARAMEDIC LICENSE REIMB	40.00
101-25330-51651	LICENSING/CERTIFICATIONS	WILTGEN, MICHAEL	PARAMEDIC LICENSE REIMB	40.00
101-25330-51654	MEMBERSHIPS & SUBSCRIPTIONS	NORTHWEST COMMUNITY HOSPITAL	CPR CARD REPLACEMENT	997.00
101-25330-52118	SOFTWARE MAINTENANCE	LANGUAGELINE SOLUTIONS	LANGUAGE LINE VIDEO INTERPRETATION - MAY '21	129.07
101-25330-52704	MAINT-EQUIPMENT	STRYKER SALES CORPORATION	7 YEAR EMS PROTECT MAINTENANCE AGREEMENT	817.33
101-25330-53211	OTHER SUPPLIES	AMERICAN GASES CORP	OXYGEN RENTAL	152.50
101-25330-53211	OTHER SUPPLIES	AMERICAN GASES CORP	OXYGEN RENTAL	62.26
101-25330-53211	OTHER SUPPLIES	HENRY SCHEIN EMS	SUCTION CATHETERS, ACE BANDAGES	10.88
101-25330-53211	OTHER SUPPLIES	HENRY SCHEIN EMS	MEDICAL EXAM GLOVES - 4 CASES LARGE	494.16

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\$598,166.00

<i>GL Number</i>	<i>GL Desc</i>	<i>Vendor</i>	<i>Invoice Description</i>	<i>Amount</i>
101-25330-53211	OTHER SUPPLIES	HENRY SCHEIN EMS	CLINICIANS STAT PACKS X5	1,039.95
101-25330-53211	OTHER SUPPLIES	HENRY SCHEIN EMS	EMS MEDICAL SUPPLIES - GAUZE, NEEDLES, CHEST	699.00
101-25330-53211	OTHER SUPPLIES	HENRY SCHEIN EMS	EMS MEDICAL SUPPLIES - NEEDLES, CHEST SEALS	21.74
101-25330-53211	OTHER SUPPLIES	HENRY SCHEIN EMS	GLUCOMETER TESTING SOLUTION	69.54
101-25330-53211	OTHER SUPPLIES	STRYKER SALES CORPORATION	ADULT & PEDIATRIC AED PADS	<u>313.65</u>
		Total For Dept 25330 FIRE EMS		<u>4,887.08</u>
 Dept 25340 FIRE SPECIAL RESCUE				
101-25340-51652	TRAINING AND MEETINGS	KLEINHEINZ, ROBERT G	GAS REIMBURSEMENT FOR CONFERENCE	<u>40.50</u>
		Total For Dept 25340 FIRE SPECIAL RESCUE		<u>40.50</u>
 Dept 25350 FIRE FIRE PREVENTION BUREAU				
101-25350-53211	OTHER SUPPLIES	CIMPRESS USA INC	DIAMOND STYLUS PENS (200)	<u>202.88</u>
		Total For Dept 25350 FIRE FIRE PREVENTION BUREAU		<u>202.88</u>
 Dept 28001 COMMUNITY DEVELOPMENT ADMINISTRATION				
101-28001-52113	ENGR/ARCHITECTURAL	CHRISTOPHER B. BURKE ENG., LTD	MAY 1, 2022 SERVICES TO MAY 28, 2022 INV 1755	1,615.74
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	650 S RAND RD	429.00
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	166 PARKWAY AVE	125.00
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	BLDG PERMIT REVIEW 2022	1,743.75
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	15 S OLD RAND RD	895.00
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	572 W MAIN ST	778.50
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	CANTERBURY ESTATES - HOUSELINE	1,500.00
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	SEC US 12 & NOR DEVP	3,307.00
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	SANCTUARY OF LZ	1,342.50
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	DIST #95 PROJ	268.50
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	53 S OLD RAND RD	313.25
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	LZ COMMERCE CENTER	807.00
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	545 BUESCHING RD	268.50
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	495 ENTERPRISE PKWY	876.50
101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	440 TELSER RD	268.50

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101-28001-52113	ENGR/ARCHITECTURAL	MANHARD CONSULTING LTD	BLOCK G	504.00
101-28001-53209	UNIFORMS	ELEGANT EMBROIDERY INC	SUMMER 2022 CODE ENFORCEMENT/BUILDING DI	460.00
			Total For Dept 28001 COMMUNITY DEVELOPMENT ADMINISTRATION	15,502.74
	Dept 36001 PUBLIC WORKS ADMINISTRATION			
101-36001-51651	LICENSING/CERTIFICATIONS	HARTMANN, ADAM	CDL CLASS A - UPGRADE	51.46
101-36001-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 05-26	110.49
101-36001-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 06-03	83.52
101-36001-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 06-09	38.49
101-36001-52113	ENGR/ARCHITECTURAL	GEWALT HAMILTON ASSOCIATES, INC	LZ OLD RAND PARKING	402.00
101-36001-52603	LAKE/WATER QUALITY MGMT	MC GINTY BROS., INC.	2022 NATURAL AREA MAINT	340.00
101-36001-52603	LAKE/WATER QUALITY MGMT	MC GINTY BROS., INC.	2022 NATURAL AREA MAINT	85.00
101-36001-52603	LAKE/WATER QUALITY MGMT	MC GINTY BROS., INC.	2022 NATURAL AREA MAINT	280.00
101-36001-52603	LAKE/WATER QUALITY MGMT	MC GINTY BROS., INC.	2022 NATURAL AREA MAINT	280.00
101-36001-52605	MOSQUITO ABATEMENT	CLARKE ENVIRON MOSQUITO MGMT	MOSQUITO CONTROL 2022	10,798.00
101-36001-52701	MAINT-BLDGS & GROUNDS	OTIS ELEVATOR COMPANY	VH & CS PRESSURE TESTS	2,600.00
101-36001-52701	MAINT-BLDGS & GROUNDS	CINTAS CORPORATION #2	UNIFORMS/MATS 05-26	53.33
101-36001-52701	MAINT-BLDGS & GROUNDS	CINTAS CORPORATION #2	UNIFORMS/MATS 06-03	53.33
101-36001-52701	MAINT-BLDGS & GROUNDS	CINTAS CORPORATION #2	UNIFORMS/MATS 06-09	53.33
101-36001-52701	MAINT-BLDGS & GROUNDS	METRO DOOR & DOCK, INC	FD OVERHEAD DOOR MAINT	498.58
101-36001-52701	MAINT-BLDGS & GROUNDS	SAFETY-KLEEN CORPORATION	505 TRIPLE TRAP CLEANING	760.01
101-36001-52701	MAINT-BLDGS & GROUNDS	SMITHEREEN PEST MANAGEMENT SERVICES	PD PEST CONTROL - JUN	93.00
101-36001-52701	MAINT-BLDGS & GROUNDS	SMITHEREEN PEST MANAGEMENT SERVICES	PW PEST CONTROL - JUN	49.00
101-36001-52702	MAINT-LAWN & LANDSCAPING	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - MAY 2022	5,489.34
101-36001-53201	ELECTRICITY	COMMONWEALTH EDISON	LOT 42	71.25
101-36001-53204	CELL PHONES & PAGERS	FORCE AMERICA	PW TRUCK DATA PLAN - APR	200.00
101-36001-53206	POSTAGE & SHIPPING	PETTY CASH - FINANCE	CS POSTAGE	7.38
101-36001-53210	SMALL TOOLS & EQUIP	HOME DEPOT CREDIT SERVICES	CONCRETE RAKES	62.94
101-36001-53401	CUSTODIAL SUPPLIES	VALDES, LLC	CUSTODIAL SUPPLIES	377.71
101-36001-53403	LANDSCAPING SUPPLIES	CONSERV FS, INC	SEED	590.00
101-36001-53404	RIGHT OF WAY SUPPLIES	HOME DEPOT CREDIT SERVICES	MORTAR	16.41

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101-36001-53405	BLDG & GROUNDS SUPPLIES	CHICAGO FILTER SUPPLY, INC	FILTERS	254.00
101-36001-53405	BLDG & GROUNDS SUPPLIES	FASTENAL COMPANY	LOT 42 SPRINGS	42.00
101-36001-53405	BLDG & GROUNDS SUPPLIES	HOME DEPOT CREDIT SERVICES	PIPE CLAMPS	11.04
101-36001-53405	BLDG & GROUNDS SUPPLIES	HOME DEPOT CREDIT SERVICES	PLASTIC	16.48
101-36001-53405	BLDG & GROUNDS SUPPLIES	HOME DEPOT CREDIT SERVICES	SEALANT, BRUSH, DEGREASER	57.93
101-36001-53405	BLDG & GROUNDS SUPPLIES	HOME DEPOT CREDIT SERVICES	U BOLTS	15.84
101-36001-53405	BLDG & GROUNDS SUPPLIES	LZ ACE LLC	BRUSH, PEST CONTROL, STAIN	25.19
101-36001-54305	EMPLOYEE EXAMS	NORTHWEST COMMUNITY HOSPITAL	EMPLOYEE TESTING	255.00
101-36001-54306	EQUIPMENT RENTAL	RENTAL MAX LLC	TRENCHER	679.97
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				24,802.02
 Dept 36420 PUBLIC WORKS PARK MAINTENANCE				
101-36420-52702	MAINT-LAWN & LANDSCAPING	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - MAY 2022	21,079.11
101-36420-52702	MAINT-LAWN & LANDSCAPING	MC GINTY BROS., INC.	ROOT FEEDING	2,125.00
101-36420-52704	MAINT-EQUIPMENT	INTL FIRE EQUIPMENT	MAINTENANCE OF FIRE EXTINGUISHERS - VH	182.56
101-36420-53201	ELECTRICITY	COMMONWEALTH EDISON	7 E MAIN ST	24.60
101-36420-53401	CUSTODIAL SUPPLIES	VALDES, LLC	CUSTODIAL SUPPLIES	410.00
101-36420-53403	LANDSCAPING SUPPLIES	AMERICAN GREEN DBA:	REPLACEMENT BUSHES	504.25
101-36420-53405	BLDG & GROUND MAINT SUPP	BATTERIES PLUS HOLDING CORP	BATTERIES	6.72
101-36420-53405	BLDG & GROUND MAINT SUPP	CHICAGO FILTER SUPPLY, INC	FILTERS	238.90
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	PAINT	39.84
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	PIER PARTS	26.28
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	LUMBER AND PAINT	7.70
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	CHECK VALVE	17.98
101-36420-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	PEST CONTROL	9.14
101-36420-53405	BLDG & GROUND MAINT SUPP	LZ ACE LLC	KEYS	6.61
101-36420-53405	BLDG & GROUND MAINT SUPP	LZ ACE LLC	SHELTER BOLTS	5.90
101-36420-54306	EQUIPMENT RENTAL	SERVICE SANITATION, INC	PAULUS PARK PORT-O-POTTY	140.69
101-36420-54306	EQUIPMENT RENTAL	SERVICE SANITATION, INC	CHESTNUT PORT-O-POTTY	127.33
Total For Dept 36420 PUBLIC WORKS PARK MAINTENANCE				24,952.61

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Dept 36471 PUBLIC WORKS FLEET SERVICES				
101-36471-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 05-26	44.04
101-36471-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 06-03	119.41
101-36471-52111	OTHER PROFESSIONAL SVCS	CINTAS CORPORATION #2	UNIFORMS/MATS 06-09	44.04
101-36471-52111	OTHER PROFESSIONAL SVCS	MIKE'S TOWING, INC	SAFETY INSPECTIONS	72.00
101-36471-52703	MAINT-VEHICLES	RUSH TRUCK CENTER	324 ENGINE REPAIR	8,149.58
101-36471-52703	MAINT-VEHICLES	SPRING ALIGN OF PALATINE	ALIGNMENT 246	154.95
101-36471-53206	POSTAGE & SHIPPING	TNK SHIPPING, INC	PARTS RETURN SHIPPING	12.63
101-36471-53211	OTHER SUPPLIES	LZ ACE LLC	PAINTERS TAPE	8.15
101-36471-53211	OTHER SUPPLIES	FASTENAL COMPANY	CUT WHEEL	15.57
101-36471-53406	AUTO PARTS & SUPPLIES	LAKESIDE INTERNATIONAL LLC	BRAKE ROTOR 243	170.41
101-36471-53406	AUTO PARTS & SUPPLIES	LEACH ENTERPRISES INC.	YOKE	33.14
101-36471-53406	AUTO PARTS & SUPPLIES	LEACH ENTERPRISES INC.	SPRING BRAKE	191.22
101-36471-53406	AUTO PARTS & SUPPLIES	LEACH ENTERPRISES INC.	GASKET 243	3.88
101-36471-53406	AUTO PARTS & SUPPLIES	LEACH ENTERPRISES INC.	ABS SENSOR 243	80.41
101-36471-53406	AUTO PARTS & SUPPLIES	MACQUEEN EQUIPMENT, LLC	SWITCH	26.60
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	CORE CREDIT	(54.00)
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	BATTERY	299.74
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	AIR FILTER	15.10
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	FILTERS	122.82
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	BRAKE ROTORS	235.42
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	WIPER 123	13.09
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	WIPERS 123	35.94
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	WIPERS 103	28.02
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	BLOWER	113.54
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	OIL/FILTERS	25.12
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	BRAKE PARTS 243	700.37
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	FILTERS	659.04
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	AC CONDENSER	327.46
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	BATTERY 243	449.61
101-36471-53406	AUTO PARTS & SUPPLIES	MOTOR PARTS & EQUIPMENT CORP	WIPER 120	13.09

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101-36471-53406	AUTO PARTS & SUPPLIES	O'REILLY AUTOMOTIVE STORES, INC	HEADLAMPS	14.66
101-36471-53406	AUTO PARTS & SUPPLIES	POMP'S TIRE SERVICE	SQUAD TIRES	1,720.64
101-36471-53406	AUTO PARTS & SUPPLIES	WICKSTROM AUTO GROUP, INC	BRACKET	102.91
101-36471-53407	EQUIP MAINT PART&SUPPLIE	ARLINGTON POWER EQUIPMENT	CUSHION	16.94
101-36471-53407	EQUIP MAINT PART&SUPPLIE	MOTOR PARTS & EQUIPMENT CORP	FUEL FILTERS	53.15
101-36471-53415	FUELS	BELL FUELS SERVICE CO	FUEL - 6/3	12,103.12
101-36471-53415	FUELS	BELL FUELS SERVICE CO	FUEL - 6/3	14,908.70
101-36471-53418	LUBRICANTS & FLUIDS	MOTOR PARTS & EQUIPMENT CORP	DEF	189.48
101-36471-53418	LUBRICANTS & FLUIDS	MOTOR PARTS & EQUIPMENT CORP	OIL/FILTERS	71.92
Total For Dept 36471 PUBLIC WORKS FLEET SERVICES				<u>41,291.91</u>
 Dept 67001 RECREATION ADMINISTRATION				
101-67001-53206	POSTAGE & SHIPPING	U S POSTMASTER	FAL / WINTER BROCHURE	1,491.60
101-67001-53208	OFFICE SUPPLIES	RUNCO OFFICE SUPPLY & EQUIPMENT CO.	RECEIPT BOOK, PAPER	<u>89.31</u>
Total For Dept 67001 RECREATION ADMINISTRATION				<u>1,580.91</u>
 Dept 67920 RECREATION SPECIAL RECREATION				
101-67920-52116	SRA PROGRAMS	SPECIAL RECREATION ASSOCIATION	SRACLC ANNUAL MEMBER AGENCY CONTRIBUTION	<u>110,046.00</u>
Total For Dept 67920 RECREATION SPECIAL RECREATION				<u>110,046.00</u>
 Dept 67935 RECREATION DANCE				
101-67935-53211	OTHER SUPPLIES	HALOGEN SUPPLY CO. INC.	ROPE LINES FOR ADDITIONAL PIERS	269.75
101-67935-53212	PROGRAM SUPPLIES	PETTY CASH - FINANCE	PROP DANCE BAG	<u>40.30</u>
Total For Dept 67935 RECREATION DANCE				<u>310.05</u>
 Total For Fund 101 GENERAL				<u>305,727.88</u>
 Fund 202 MOTOR FUEL TAX				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
202-36001-52701	MAINT-BLDGS & GROUNDS	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - MAY 2022	4,901.19
202-36001-53201	ELECTRICITY	COMMONWEALTH EDISON	45 S OLD RAND	26.98

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202-36001-53201	ELECTRICITY	COMMONWEALTH EDISON	CLAIRVIEW	30.34
		Total For Dept 36001 PUBLIC WORKS ADMINISTRATION		4,958.51
			Total For Fund 202 MOTOR FUEL TAX	4,958.51
Fund 207 SPECIAL EVENTS FUND				
Dept 67600 RECREATION SPECIAL EVENTS ADMIN				
207-67600-53212	PROGRAM SUPPLIES	BMS MARKETING, INC	EVENT SPONSORSHIP MAILER	740.39
		Total For Dept 67600 RECREATION SPECIAL EVENTS ADMIN		740.39
Dept 67603 RECREATION FARMERS MARKET				
207-67603-52115	RECREATION PROGRAM SERV	ALO, OLINDO	FARMERS MARKET BAND - LINDY ALO 7/01	225.00
207-67603-52115	RECREATION PROGRAM SERV	BAGOT, FRANCIS J.	FARMERS MARKET BAND - BAGOT 6/24	125.00
207-67603-54302	PUBLIC RELATIONS	U S POSTMASTER	FRMS MKT POST CARDS - 1ST RUN	718.72
207-67603-54302	PUBLIC RELATIONS	KK STEVENS PUBLISHING COMPANY	FM AND JULY 4 PROMO MAILER	1,016.82
		Total For Dept 67603 RECREATION FARMERS MARKET		2,085.54
Dept 67604 RECREATION FOURTH OF JULY FESTIVAL				
207-67604-52111	OTHER PROFESSIONAL SVCS	J & M DISPLAYS, INC	FIREWORKS DISPLAY FINAL PAYMENT	16,500.00
207-67604-52115	RECREATION PROGRAM SERV	FAIRWAY GOLF CARS INC.	4TH - GOLF CARTS	1,195.00
207-67604-52115	RECREATION PROGRAM SERV	LESHTZ, ROBERT	4TH BAND - OUT OF STORAGE	600.00
207-67604-52115	RECREATION PROGRAM SERV	POTASH, DAVID B	4TH '22 - DJ	1,000.00
207-67604-52115	RECREATION PROGRAM SERV	RAE, JEFFREY R	4TH '22 - THE RAVE BAND	750.00
207-67604-52115	RECREATION PROGRAM SERV	TM PRODUCTION SERVICES, INC	4TH '22 - SOUND & LIGHTING FOR STAGE	1,225.00
207-67604-54302	PUBLIC RELATIONS	KK STEVENS PUBLISHING COMPANY	FM AND JULY 4 PROMO MAILER	1,016.83
		Total For Dept 67604 RECREATION FOURTH OF JULY FESTIVAL		22,286.83
Dept 67699 RECREATION MISC SPECIAL EVENTS				
207-67699-52115	RECREATION PROGRAM SERV	ADAMS, MATHAIS	GROOVE GROVE BAND	500.00
		Total For Dept 67699 RECREATION MISC SPECIAL EVENTS		500.00

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			Total For Fund 207 SPECIAL EVENTS FUND	<u>25,612.76</u>
Fund 210 TIF #1				
Dept 10490 GENERAL GOVERNMENT TIF				
210-10490-52112 PROFESSIONAL ACCOUNTING		BAKER TILLY VIRCHOW KRAUSE, LLP	FISCAL AUDIT 2021	400.00
		Total For Dept 10490 GENERAL GOVERNMENT TIF		<u>400.00</u>
			Total For Fund 210 TIF #1	<u>400.00</u>
Fund 214 TIF #2 DOWNTOWN				
Dept 10490 GENERAL GOVERNMENT TIF				
214-10490-52112 PROFESSIONAL ACCOUNTING		BAKER TILLY VIRCHOW KRAUSE, LLP	FISCAL AUDIT 2021	400.00
		Total For Dept 10490 GENERAL GOVERNMENT TIF		<u>400.00</u>
			Total For Fund 214 TIF #2 DOWNTOWN	<u>400.00</u>
Fund 216 TIF #3 WEST SIDE				
Dept 10490 GENERAL GOVERNMENT TIF				
216-10490-52112 PROFESSIONAL ACCOUNTING		BAKER TILLY VIRCHOW KRAUSE, LLP	FISCAL AUDIT 2021	400.00
		Total For Dept 10490 GENERAL GOVERNMENT TIF		<u>400.00</u>
			Total For Fund 216 TIF #3 WEST SIDE	<u>400.00</u>
Fund 227 DISPATCH CENTER				
Dept 24220 POLICE DISPATCH				
227-24220-52704 MAINT-EQUIPMENT		RADICOM INC.	RADIO REPAIR	177.50
		Total For Dept 24220 POLICE DISPATCH		<u>177.50</u>
			Total For Fund 227 DISPATCH CENTER	<u>177.50</u>

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Fund 310 TIF #1 DEBT SERVICE				
Dept 10490 GENERAL GOVERNMENT TIF				
310-10490-56604	BOND ISSUE FEES	CHAPMAN & CUTLER LLP	CLOSING COSTS 2022 SHORT TERM BOND	6,500.00
310-10490-56604	BOND ISSUE FEES	FEDERAL EXPRESS CORPORATION	SHIPPING - BOND DOCS	30.48
		Total For Dept 10490 GENERAL GOVERNMENT TIF		<u>6,530.48</u>
				<u>6,530.48</u>
Total For Fund 310 TIF #1 DEBT SERVICE				
Fund 401 VILLAGE CAPITAL PROJECTS				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
401-36001-55251	LAND IMPROVEMENTS	HITCHCOCK DESIGN INC	PAULUS PARK PLANNING - OSLAD	2,454.15
401-36001-55251	LAND IMPROVEMENTS	LANDWORKS LTD	2022 OSLAD	126,221.24
		Total For Dept 36001 PUBLIC WORKS ADMINISTRATION		<u>128,675.39</u>
				<u>128,675.39</u>
Total For Fund 401 VILLAGE CAPITAL PROJECTS				
Fund 405 NHR CAPITAL PROJECTS				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
405-36001-53416	CONCRETE & ASPHALT	FISCHER BROS FRESH CONCRETE, INC.	CONCRETE 6/9	1,100.01
		Total For Dept 36001 PUBLIC WORKS ADMINISTRATION		<u>1,100.01</u>
				<u>1,100.01</u>
Total For Fund 405 NHR CAPITAL PROJECTS				
Fund 501 WATER & SEWER				
Dept 00000				
501-00000-27104	WATER METER LEASE OBLIG	US BANK NATIONAL ASSOC.	WATER METER LEASE PAYMENT #16	27,197.78
		Total For Dept 00000		<u>27,197.78</u>
				<u>27,197.78</u>
Dept 36001 PUBLIC WORKS ADMINISTRATION				
501-36001-53203	TELEPHONE & DATA SVCS	WINDSTREAM	ANALOG LINES - JUN	616.89
501-36001-53209	UNIFORMS	CINTAS CORPORATION #2	UNIFORMS/MATS 05-26	28.00

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501-36001-53209	UNIFORMS	CINTAS CORPORATION #2	UNIFORMS/MATS 06-03	78.08
501-36001-53209	UNIFORMS	CINTAS CORPORATION #2	UNIFORMS/MATS 06-09	28.00
501-36001-54305	EMPLOYEE EXAMS	NORTHWEST COMMUNITY HOSPITAL	EMPLOYEE TESTING	75.00
501-36001-56603	INTEREST	US BANK NATIONAL ASSOC.	WATER METER LEASE PAYMENT #16	<u>16,444.96</u>
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				17,270.93
Dept 36530 PUBLIC WORKS WATER BILLING				
501-36530-52111	OTHER PROFESSIONAL SVCS	DATAPROSE, LLC	WATER BILL PROCESSING - MAY 2022	713.25
501-36530-52112	PROFESSIONAL ACCOUNTING	BAKER TILLY VIRCHOW KRAUSE, LLP	FISCAL AUDIT 2021	1,680.00
501-36530-53206	POSTAGE & SHIPPING	DATAPROSE, LLC	WATER BILL PROCESSING - MAY 2022	<u>2,566.95</u>
Total For Dept 36530 PUBLIC WORKS WATER BILLING				4,960.20
Dept 36550 PUBLIC WORKS WATER SERVICE				
501-36550-52607	WATER SAMPLE ANALYSIS	SUBURBAN LABORATORIES, INC.	WATER SAMPLE ANALYSIS - MAY	558.05
501-36550-52701	MAINT-BLDGS & GROUNDS	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - MAY 2022	799.11
501-36550-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	WELL #11	141.41
501-36550-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	WELL #12	5,993.47
501-36550-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	WELL #7	1,181.03
501-36550-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	WELL #8	8,120.51
501-36550-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	WELL #9	3,245.73
501-36550-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	WELL #10	7,286.65
501-36550-53210	SMALL TOOLS & EQUIP	HOME DEPOT CREDIT SERVICES	PT KIT TOOL BOX	9.98
501-36550-53403	LANDSCAPING SUPPLIES	CONSERV FS, INC	LANDSCAPE REPAIR MATERIALS	859.34
501-36550-53403	LANDSCAPING SUPPLIES	KANZLER CONSTRUCTION LLC	TOPSOIL TICKET #102882	90.00
501-36550-53405	BLDG & GROUND MAINT SUPP	HOME DEPOT CREDIT SERVICES	WELL HOUSE 7,9,10 & 12 (BUILDING) PLUMBING S	229.59
501-36550-53414	CHEMICALS	MIDWEST SALT LLC	BULK WTR COND SALT - WELL #8	2,893.07
501-36550-53414	CHEMICALS	MIDWEST SALT LLC	BULK WTR COND SALT - WELL #12	2,929.07
501-36550-53414	CHEMICALS	MIDWEST SALT LLC	BULK WTR COND SALT - WELL #10	2,841.98
501-36550-53414	CHEMICALS	MIDWEST SALT LLC	BULK WTR COND SALT - WELL #9	2,772.72
501-36550-53414	CHEMICALS	VIKING CHEMICAL COMPANY	CHLORINE	<u>2,347.50</u>
Total For Dept 36550 PUBLIC WORKS WATER SERVICE				42,299.21

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VILLAGE OF LAKE ZURICH
 WARRANT REPORT - 6/20/2022
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<i>GL Number</i>	<i>GL Desc</i>	<i>Vendor</i>	<i>Invoice Description</i>	<i>Amount</i>
Dept 36560 PUBLIC WORKS SEWER SERVICE				
501-36560-52111	OTHER PROFESSIONAL SVCS	STATE INDUSTRIAL PRODUCTS CORP	HYDROGEN SULFIDE REDUCTION PROGRAM - QUE	5,000.00
501-36560-53201	ELECTRICITY	COMMONWEALTH EDISON	ELECTRICITY- FLOW CONTROL	48.60
501-36560-53201	ELECTRICITY	COMMONWEALTH EDISON	ELECTRICITY- VACUUM PRIMING STRUCTURES	27.74
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1115 BETTY DR	33.16
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1297 BERKSHIRE LN	268.34
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 719 CYPRESS BRIDGE	53.71
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1150 DEERPATH RD	87.25
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 90 S PLEASANT RD	148.68
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 750 N RAND RD	2,109.60
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 620 CHURCH ST	270.44
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 61 W MAIN ST	79.41
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1100 QUENTIN	1,443.00
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1005 MARCH ST	92.26
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 825 W MAIN ST	666.46
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1080 HONEY LAKE RD	44.76
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 1160 BRISTOL TRAIL	220.63
501-36560-53201	ELECTRICITY	CONSTELLATION NEW ENERGY, INC.	LIFT/PUMP STATION - 700 OLD MILL GROVE RD	90.68
Total For Dept 36560 PUBLIC WORKS SEWER SERVICE				10,684.72
Total For Fund 501 WATER & SEWER				102,412.84
Fund 603 RISK MANAGEMENT				
Dept 10001 GENERAL GOVERNMENT ADMINISTRATION				
603-10001-52114	LIABILITY INSURANCE CLAIMS	GLOBAL EQUIPMENT COMPANY, INC	PUBLIC WORKS SAFETY EQUIPMENT	171.94
603-10001-52114	LIABILITY INSURANCE CLAIMS	GLOBAL EQUIPMENT COMPANY, INC	PUBLIC WORKS SAFETY EQUIPMENT	270.61
603-10001-52114	LIABILITY INSURANCE CLAIMS	MCNELLY SERVICE, INC	WELL #10 REPAIRS	6,990.00
Total For Dept 10001 GENERAL GOVERNMENT ADMINISTRATION				7,432.55
Total For Fund 603 RISK MANAGEMENT				7,432.55

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VILLAGE OF LAKE ZURICH
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\$598,166.00

<i>GL Number</i>	<i>GL Desc</i>	<i>Vendor</i>	<i>Invoice Description</i>	<i>Amount</i>
Fund 615 EQUIPMENT REPLACEMENT				
Dept 36001 PUBLIC WORKS ADMINISTRATION				
615-36001-55254	MACHINERY & EQUIPMENT	KNAPHEIDE EQUIPMENT CO - CHICAGO	TRAILER PARTS	504.56
615-36001-55254	MACHINERY & EQUIPMENT	KNAPHEIDE EQUIPMENT CO - CHICAGO	BRAVO UTILITY TRAILER PER QUOTE	9,530.00
615-36001-55254	MACHINERY & EQUIPMENT	SUBURBAN ACCENTS, INC	PD TRAILER DECALS	850.00
615-36001-55262	VEHICLES - FIRE	MACQUEEN EQUIPMENT, LLC	DIVIDER HARDWARE	99.98
615-36001-55262	VEHICLES - FIRE	MUNICIPAL EMERGENCY SERVICES, INC	BRACKETS	204.37
Total For Dept 36001 PUBLIC WORKS ADMINISTRATION				11,188.91
Total For Fund 615 EQUIPMENT REPLACEMENT				11,188.91
Fund 710 PERFORMANCE ESCROW				
Dept 00000				
710-00000-21455	BUILDING DEPOSIT PAYABLES	AC HOME DESIGN	BD PAYMENT REF - PERMIT #PB21-0995	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	AC HOME DESIGN	BD PAYMENT REF - PERMIT #PB21-1243	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	COLEMAN, CHRISTINE & FRED	BD BOND REF - PERMIT #BBD22-0191	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	GILKEY WINDOW COMPANY	BD PAYMENT REF - PERMIT #PB21-1069	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	HOME DEPOT USA INC	BD PAYMENT REF - PERMIT #PB21-1371	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	MIKUS ELECTRIC & GENERATORS	BD BOND REF - PERMIT #BBD21-0078	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	MULLER EXTERIORS	BD BOND REF - PERMIT #BBD22-0071	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	NORMANDY CONSTRUCTION CO INC	BD PAYMENT REF - PERMIT #PB21-0884	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	PRO HOME 1 INC.	BD BOND REF - PERMIT #BBD22-0166	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	RENEWAL BY ANDERSON	BD BOND REF - PERMIT #BBD22-0103	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	RENEWAL BY ANDERSON	BD BOND REF - PERMIT #BBD22-0097	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	ROOFED RIGHT AMERICA	BD BOND REF - PERMIT #BBD22-0264	155.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	SSB PETRO INC	BD PAYMENT REF - PERMIT #PB21-1386	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	STANASZEK & SONS	BD BOND REF - PERMIT #BBD22-0225	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	SUNRUN INSTALLATION INC	BD BOND REF - PERMIT #BBD22-0224	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	SUNRUN INSTALLATION INC	BD BOND REF - PERMIT #BBD22-0284	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	TOTAL MIDWEST CONSTRUCTION	BD BOND REF - PERMIT #BBD22-0218	105.00

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VILLAGE OF LAKE ZURICH

WARRANT REPORT - 6/20/2022

\$598,166.00

GL Number	GL Desc	Vendor	Invoice Description	Amount
710-00000-21455	BUILDING DEPOSIT PAYABLES	VEREN, RICHARD & CINDY	BD BOND REF - PERMIT #BBD22-0270	105.00
710-00000-21455	BUILDING DEPOSIT PAYABLES	WINDOW NATION	BD BOND REF - PERMIT #BBD22-0262	105.00
		Total For Dept 00000		<u>2,045.00</u>
			Total For Fund 710 PERFORMANCE ESCROW	<u>2,045.00</u>
Fund 720 PAYROLL CLEARING				
Dept 00000				
720-00000-22302	HEALTH SAVINGS ACCT - EXTERNAL INLAND BANK		PR040122 & PR041522 - BLAAUW HSA BAL	208.00
720-00000-22404	SUPPLEMENTAL LIFE INS PAYABLE	NCPERS-IL IMRF - 0157	GROUP LIFE INS - JUN 2022	188.00
		Total For Dept 00000		<u>396.00</u>
			Total For Fund 720 PAYROLL CLEARING	<u>396.00</u>
Fund 731 SSA #8 HEATHERLEIGH SUBDV				
Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				
731-10099-52604	SWEEPING & MOWING	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - MAY 2022	<u>372.09</u>
		Total For Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY		<u>372.09</u>
			Total For Fund 731 SSA #8 HEATHERLEIGH SUBDV	<u>372.09</u>
Fund 734 SSA #11 LZ PINES SUBDV				
Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				
734-10099-52604	SWEEPING & MOWING	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - MAY 2022	<u>16.00</u>
		Total For Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY		<u>16.00</u>
			Total For Fund 734 SSA #11 LZ PINES SUBDV	<u>16.00</u>
Fund 735 SSA #13 CONVENTRY CRK SUB				
Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY				
735-10099-52604	SWEEPING & MOWING	APEX LANDSCAPING, INC	2022 MOWING CONTRACT - MAY 2022	320.08

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VILLAGE OF LAKE ZURICH
 WARRANT REPORT - 6/20/2022
\$598,166.00

<i>GL Number</i>	<i>GL Desc</i>	<i>Vendor</i>	<i>Invoice Description</i>	<i>Amount</i>
			Total For Dept 10099 GENERAL GOVERNMENT SSA ACTIVITY	320.08
			Total For Fund 735 SSA #13 CONVENTRY CRK SUB	320.08

Fund Totals:

Fund 101 GENERAL	305,727.88
Fund 202 MOTOR FUEL TAX	4,958.51
Fund 207 SPECIAL EVENTS FUND	25,612.76
Fund 210 TIF #1	400.00
Fund 214 TIF #2 DOWNTOWN	400.00
Fund 216 TIF #3 WEST SIDE	400.00
Fund 227 DISPATCH CENTER	177.50
Fund 310 TIF #1 DEBT SERVICE	6,530.48
Fund 401 VILLAGE CAPITAL PROJECTS	128,675.39
Fund 405 NHR CAPITAL PROJECTS	1,100.01
Fund 501 WATER & SEWER	102,412.84
Fund 603 RISK MANAGEMENT	7,432.55
Fund 615 EQUIPMENT REPLACEMENT	11,188.91
Fund 710 PERFORMANCE ESCROW	2,045.00
Fund 720 PAYROLL CLEARING	396.00
Fund 731 SSA #8 HEATHERLEIGH SUBDV	372.09
Fund 734 SSA #11 LZ PINES SUBDV	16.00
Fund 735 SSA #13 CONVENTRY CRK SUB	320.08
Total for All Funds	<u>598,166.00</u>



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

Phone (847) 540-1696
Fax (847) 726-2182
LakeZurich.org

MEMORANDUM

Date: June 20, 2022

To: Ray Keller, Village Manager

From: Sarosh Saher, Community Development Director

CC: Tim Verbeka, Planner
Mary Meyer, Building Services Supervisor

Re: Zoning Application for 708 South Rand Road – “Scenthound”
Special Use Permit for Dog Grooming (No Boarding)

Issue

Mo Dastagir and Valerie Converse, (the “Applicants”), have filed a zoning application for the property at 708 South Rand Road (the “Subject Property”). Specifically, the applicant is seeking:

- Special Use Permit approval for the establishment of a dog grooming and wellness center under the special use category for Grooming Services for Pets (0752) within the B-3 Regional Shopping District

Village Strategic Plan: This agenda item is consistent with the following objectives under Goal #2

- Expand the Village’s role as a major regional economic hub in Lake County
- Continue Route 12 Corridor Development
- Become more business friendly and customer oriented

Analysis

The Subject Property is located within the Village’s B-3 Regional Shopping District. The proposed use will be located within a 2,036 square-foot retail tenant space within the 94,004 square-foot multi-tenant commercial building constructed at Deerpath Court.

The Applicant is proposing to establish a dog grooming facility that focuses on routine and preventive care for dogs. As part of the operation, the Applicants will buildout the tenant space to

Special Use Permit – 708 South Rand Road – Scenthound
June 20, 2022

suit their needs including adding a waiting area, grooming/bathing area, as well as area for the staff. The facility is intended to operate between 8:00 a.m. and 5:00 p.m., 6 days a week, Monday – Saturday, employing 5 employees. No overnight or outdoor activity is proposed at this location. Any noise generated by the proposed use will be mitigated by means of noise-reducing insulating building material so as to prevent transmission to the adjacent tenant spaces.

The Planning and Zoning Commission (PZC) held public hearing on June 15, 2022, to consider the application and did not receive any comment or objection to the application. Following the close of the hearing, the PZC voted 4-0 in favor of recommending approval of the Special Use Permit. No additional conditions were added by the PZC other than those initially recommended by staff. The video stream from the PZC meetings can be accessed via the following links:

<https://play.champds.com/lakezurich/event/58>

A detailed evaluation and summary of the project can be found in the Staff Report that was provided to the Planning and Zoning Commission, which is made a part of the attached Ordinance.

Recommendation

At their meeting on June 15, 2022, the Planning and Zoning Commission recommended approval of the Special Use Permit incorporating the conditions for approval provided by staff in its report.

Staff therefore recommends approval of the attached ordinance, with its specific attachments based on the following conditions for approval that are contained within said ordinance:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application and Cover Letter dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
 - b. Exhibit A: Legal Description
 - c. Exhibit B: Floor Plan/Elevations, dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
 - d. Site Plan, dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
 - e. Proof of Ownership, dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
2. All noise mitigation measures shall be implemented according to the proposed plan following review and approval of Village staff. In the event such measures are not sufficient to completely mitigate the transmission of noise to adjacent properties, additional measures shall be implemented to the satisfaction of the Village.
3. The Applicant shall submit any proposals for onsite signage or branding to the village prior to final plan approval. The final proposed signage plan shall be approved by Village staff.

● Page 2

Special Use Permit – 708 South Rand Road – Scenthound
June 20, 2022

4. All activities related to the animal grooming business shall be conducted wholly within the Rental Space being leased from Owner and addressed at 708 South Rand Road within Deerpath Court Retail Center.
5. The Special Use constituting the dog grooming and wellness center services known as "Scenthound" shall be located within and associated with the Rental Space being leased from Owner and addressed at 708 South Rand Road within Deerpath Court Retail Center and shall be allowed to continue under successive ownership, or be allowed to relocate to any of the remaining tenant spaces within the multi-tenant building located within Deerpath Court Shopping Center at parcel number 14-20-404-045, so long as the general location within such building, design and operation is in substantial conformance with the approvals granted by this ordinance. This condition shall not allow for the expansion of the Special Use into an immediately adjacent tenant space.
6. Such Special Use shall expire if this grooming and wellness use ceases operating at the property for a period of more than 365 days.
7. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.
 - Approval Ordinance including the following exhibits
 - Exhibit A – Legal description of the subject property
 - Exhibit B – Rental Space Floor Plans
 - Exhibit C – June 15, 2022 staff reports and planning and zoning commission recommendation/conditions and accompanying documentation

● Page 3

ORDINANCE NO. 2022-06-466

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT
*Scenthound, 708 South Rand Road***

WHEREAS, Mo Dastagir and Valerie Converse are the applicants ("Applicant") for a special use permit for that rental space approximately 2,036 square feet ("Rental Space") located within the existing multi-tenant building ("Subject Property") at 708 South Rand Road, said Rental Space as depicted and located on that plan attached hereto as Exhibit B and legally described in Exhibit A hereto; and

WHEREAS, Deerpath Court Retail Center LLC, d/b/a The Fidelity Group, Ltd. is the owner of the Subject Property ("Owner") and wishes to lease the Rental Space to Applicant; and

WHEREAS, Applicant as owner and operator of ARK Franchise Holding Corporation, d/b/a "Scenthound," wishes to lease the Rental Space from Owner to establish a dog grooming and wellness center with no boarding or doggy daycare at the Subject Property as described in the preceding paragraph, such use being classified a special use in the B-3 Regional Shopping District; and

WHEREAS, Applicant seeks a special use permit to establish such dog grooming and wellness center within the Rental Space on the Subject Property; and

WHEREAS, the Applicant has filed zoning application PZC 2022-11, dated May 16, 2022 (the "Application") seeking the approval of the following:

- Special Use Permit approval for the establishment of a dog grooming and wellness center under the special use category for Grooming Services for Pets (0752) within the B-3 Regional Shopping District

WHEREAS, in compliance with the law, and the requirements of the Village of Lake Zurich Zoning Code, notice was published on May 28, 2022, in The Daily Herald, and the Village posted a public hearing sign on the Subject Property on May 25, 2022, both the newspaper and sign notices informing the public of a public hearing to be held before the Lake Zurich Planning and Zoning Commission ("PZC") on June 15, 2022, to consider the Application for this requested zoning authority and approval; and

WHEREAS, the PZC received and considered the STAFF REPORT dated June 15, 2022, which was provided to the PZC for the meeting, addressing the request for

approval of said Special Use Permit to allow for the establishment and operation of this facility providing specialized grooming and wellness services for dogs within the Rental Space at the Subject Property in the B-3 Regional Shopping District; and

WHEREAS, the PZC considered all information presented by the Applicant, and the applicable factors required under of the Zoning Code; and, after the conclusion of the public hearing, the PZC recommended that the Board of Trustees approve the special use requested in this Application, subject to those conditions of approval recommended by Village staff; and

WHEREAS, the Mayor and Board of Trustees of the Village of Lake Zurich met on June 20, 2022, and considered the findings and recommendations of the PZC, including the STAFF REPORT dated June 15, 2022, all consisting of 9 pages, said required zoning standards, findings and recommendations attached hereto as Exhibit C and having considered all of the facts and circumstances affecting the Application and these recommended approvals, the Mayor and Board of Trustees have determined that the applicable standards related to this special use approval has been met.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: ADOPTION AND INCORPORATION OF RECITALS. The foregoing recitals, findings, recommendations, exhibits and plans are incorporated herein as findings and requirements of the Mayor and Board of Trustees, and Exhibits referenced herein are made a part of and incorporated into this Ordinance and related approval, except as otherwise provided below.

SECTION 2: GRANT OF SPECIAL USE PERMIT. The Mayor and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Chapter 4 (Section 9-4-3, A. 2.) and Chapter 19 (Sections 9-19-3 through 9-19-5) of the Lake Zurich Zoning Code, hereby grant the following approval, based on the STAFF REPORT dated June 15, 2022, and final findings and recommendations of the PZC dated, all consisting of 9 pages, attached hereto as **Exhibit B**, and submitted as part of the zoning application:

- Special Use Permit approval for the establishment of a dog grooming and wellness center under the special use category for Grooming Services for Pets (0752) within the B-3 Regional Shopping District.

And subject to the following conditions for approval:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application and Cover Letter dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
 - b. Exhibit A: Legal Description

417574_1

- c. Exhibit B: Floor Plan/Elevations, dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
- d. Site Plan, dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
- e. Proof of Ownership, dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse

2. All noise mitigation measures shall be implemented according to the proposed plan following review and approval of Village staff. In the event such measures are not sufficient to completely mitigate the transmission of noise to adjacent properties, additional measures shall be implemented to the satisfaction of the Village.
3. The Applicant shall submit any proposals for onsite signage or branding to the village prior to final plan approval. The final proposed signage plan shall be approved by Village staff.
4. All activities related to the animal grooming business shall be conducted wholly within the Rental Space being leased from Owner and addressed at 708 South Rand Road within Deerpath Court Retail Center.
5. The Special Use constituting the dog grooming and wellness center services known as "Scenthound" shall be located within and associated with the Rental Space being leased from Owner and addressed at 708 South Rand Road within Deerpath Court Retail Center and shall be allowed to continue under successive ownership, or be allowed to relocate to any of the remaining tenant spaces within the multi-tenant building located within Deerpath Court Shopping Center at parcel number 14-20-404-045, so long as the general location within such building, design and operation is in substantial conformance with the approvals granted by this ordinance. This condition shall not allow for the expansion of the Special Use into an immediately adjacent tenant space.
6. Such Special Use shall expire if this grooming and wellness use ceases operating at the property for a period of more than 365 days.
7. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

SECTION 3: FINDINGS IN SUPPORT OF APPROVAL OF GRANT OF SPECIAL USE PERMITS. The findings, conditions and recommendations as set forth in the STAFF REPORT dated June 15, 2022, and the PZC recommendations, all consisting of 9 pages, along with the filings provided to the PZC, Chapter 6 (Section 9-6-3) and Chapter 19 of the Lake Zurich Zoning Code, are hereby accepted as the Board's own, are incorporated herein by this reference and shall be made a part of the official record for the Application.

SECTION 4: SEVERABILITY. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 5: CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 6: EFFECTIVE DATE. This Ordinance shall be in full force and effect upon its passage and approval, as provided by law.

PASSED THIS _____ day of June, 2022.

Ayes:

Nays:

Absent:

Abstain:

APPROVED this _____ day of June, 2022.

Mayor Tom Poynton

ATTEST:

Village Clerk
Kathleen Johnson

417574_1

EXHIBIT A

Legal description of the Subject Property

LOTS 4 AND 5 IN DEERPATH COURT RETAIL CENTER, BEING A SUBDIVISION AND RESUBDIVISION OF PART OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 20 TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL, MERIDIAN, ACCORDING TO THE SECOND AMENDED AND RESTATED PLAT THEREOF, RECORDED OCTOBER 10, 1990 AS DOCUMENT 2952457 IN LAKE COUNTY, ILLINOIS.

LOT 1 AND 3 IN DEERPATH COURT RETAIL CENTER THIRD RESUBDIVISION, BEING A RESUBDIVISION OF LOT 1 IN DEERPATH COURT RETAIL CENTER OF PART OF THE SOUTH HALF OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 15, 2001 AS DOCUMENT 4781048, IN LAKE COUNTY, ILLINOIS.

P.I.N. - 14-20-404-045

417574_1

EXHIBIT B

Rental Space Floor Plans

417574_1

EXHIBIT C

**June 15, 2022 staff reports and PZC recommendation/conditions and
accompanying documentation**

417574_1



At the Heart of Community

COMMUNITY SERVICES DEPARTMENT
Building and Zoning Division

505 Telser Road
Lake Zurich, Illinois 60047

(847) 540-1696
Fax (847) 726-2182
LakeZurich.org

APPLICATION PZC 2022-11
PZC Hearing Date: June 15, 2022

AGENDA ITEM 4.C

STAFF REPORT

To: Chairperson Stratman and Members of the Planning & Zoning Commission

From: Sarosh Saher, Community Development Director

CC: Mary Meyer, Building Services Supervisor
Tim Verbeke, Planner

Date: June 15, 2022

Re: PZC 2022-11 Zoning Application for 708 South Rand Road
Special Use Permit for Dog Grooming (No Boarding) known as "Scenthound"

SUBJECT

Mo Dastagir and Valerie Converse, (the "Applicants") propose to establish a dog grooming and wellness center with no boarding or doggy daycare at the property commonly known as 708 South Rand Road. The Applicant requests a Special Use permit for the establishment of a pet grooming facility and its component uses within the B-3 Regional Shopping Business district.

GENERAL INFORMATION

Requested Action: Special Use Permit

Current Zoning: B-3 Regional Shopping Business District

Current Use: Vacant Tenant Space

Property Location: 708 South Rand Road

Applicant: ARK Franchise Holding Corporation
Mo Dastagir and Valerie Converse d/b/a Scenthound

Owner: Deerpath Court Retail Center LLC (The Fidelity Group, Ltd.)

Staff Coordinator: Tim Verbeke, Planner

**Staff Report
APPLICATION PZC 2022-11**

**Community Development Department
PZC Hearing Date: June 15, 2022**

LIST OF EXHIBITS

- A. Legal Description
- B. Public Hearing Sign
- C. Site Photos
- D. Aerial Map
- E. Zoning Map
- F. Parcel Map
- G. Development Application and Attachments
- H. Development Review Comments

BACKGROUND

Mo Dastagir and Valerie Converse of ARK Franchise Holdings Corporation, d/b/a Scenthound (the “Applicants”), are the Applicants for the pet grooming facility that is proposed to be located in 708 South Rand Road, which is a tenant space within an existing commercial building at Deerpath Court Retail Center, and legally described in Exhibit A attached hereto (the “Subject Property”). The Applicant filed an application with the Village of Lake Zurich received on May 16, 2022 (the “Application”) seeking:

- Special Use Permit approval for the establishment of a Grooming Services for Pets (0752) within the B-3 Regional Shopping District

The Subject Property is located within the Village’s B-3 Regional Shopping District. The existing shopping center, within Deerpath Court currently houses a variety of tenants including “Walmart,” with neighboring spaces occupied by “Dream Lashes & Brow,” “Burn Boot Camp,” “Page’s Healthy Paws,” and “Ivy Rehab.” The proposed grooming facility will occupy a middle tenant space formerly occupied by “Dream Beauty Supply.”

Scenthound, is a franchise that will be owned and operated by Mo Dastagir and Valerie Converse. The facility focuses on routine and preventive care for dogs including: skin, coat, ears, nails and teeth (SCENT). There are currently 180 different Scenthound locations around 12 US states, with this being the first location in Illinois. As part of the operation, the Applicants will buildout the tenant space to suit their needs including adding a waiting area, grooming/bathing area, as well as area for the staff.

Proposal

Scenthound is proposed to operate within a 2,036 square-foot retail tenant space within the 94,004 square-foot multi-tenant commercial building constructed on an at Deerpath Court. The unit (708 S Rand Rand) is located at the westerly end of the building. The facility is proposed to accommodate four grooming tables and four separate bathing areas. The model takes a unique approach to grooming with a focus on the five core areas of routine and preventive care for dogs: Skin, Coat, Ears, Nails and Teeth (SCENT). Scenthound currently has 180 locations sold, open or under development across 12 states. Each animal is estimated to spend roughly 1-2 hours on the premises, therefore Scenthound is not proposing any outdoor pet relief areas.

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The facility is intended to operate between 8:00 a.m. and 5:00 p.m., 6 days a week, Monday – Saturday, employing 5 employees. There is no overnight boarding planned for this facility, and if the need arises in the future, a request for zoning approval will be submitted. This facility will exclusively service domestic dogs on a membership basis.

Dog Grooming Facilities are classified as “Grooming Services for Pets (0752).” This land use is allowed as Special Uses within the B-3 district.

Pursuant to public notice published on May 28, 2022, in the Daily Herald, a public hearing has been scheduled with the Lake Zurich Planning & Zoning Commission for June 15, 2022, to consider the Application. On May 25, 2022, the Village posted a public hearing sign on the Subject Property (Exhibit B).

Staff offers the following additional information:

- A. Courtesy Review.** Due to the low impact of this project, its location within an established retail center and its smaller operational footprint with no overnight or outdoor activity, courtesy review was not recommended.
- B. Zoning History.** The subject property is a tenant space within the Deerpath Court Retail Center which was built in 1991, and has been owned by the same owner for the life of the development. The property is zoned within the B-3 Regional shopping business district. Deerpath Court Retail Center has seen a number of retail and service land uses since its construction and continues to serve the larger demographic of the region that travels along the Route 12 corridor.
- A majority of the tenant space will be allotted to pet grooming with roughly 500 square feet left for the employee’s benefit. If the business succeeds, there is an opportunity to expand into the employee area and utilize the entire 2,036 square feet of floor area.
- C. Surrounding Land Use and Zoning.** The subject property is located on Route 12, which is a major commercial arterial. The land immediately to the east and south of the Subject Property is zoned B-3 Regional Shopping district and improved with the remaining portion of Deerpath Court and supports a variety of commercial uses. The properties to the west are zoned B-3 Regional Shopping district and improved with Greyhawk Shopping Center and supports a variety of commercial and service uses. To the north of the Subject Property, the property is zoned the R-4 Single Family Residential District and improved with older construction single family homes which are a part of The Rand Estates subdivision.
- D. Trend of Development.** The subject property is located along the thriving Route 12 commercial corridor that traverses the southern side of the Village. The accessibility and high visibility from a major north-south arterial such as Route 12 makes the Subject Property a desirable location for many retail- and service-oriented businesses. Similar land uses in the vicinity include “Page’s Healthy Paws” and “Alpine Animal Hospital, which are less than one quarter of a mile away.

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E. Zoning District. Three (3) zoning districts are provided for business and commercial uses. When taken together, these districts are intended to permit development of property for the full range of business and commercial uses needed to serve the citizens of Lake Zurich and the surrounding suburban area. The B-3 regional shopping district is intended to provide locations for major retail centers. The regulations are designed to encourage a broad range of attractive retail and compatible service uses in those centers.

GENERAL FINDINGS

As it relates to the proposed Special Use Permit, Chapter 19 of the Zoning Code entitled "Special Use Permits" provides for special uses that have some special impact or uniqueness that requires a careful review of their location, design, configuration, and special impact to determine, against fixed standards, the desirability of permitting their establishment on any given site. They are uses that may or may not be appropriate in a particular location depending on a weighing, in each case, of the public need and benefit against the local impact and effect. The standards for special uses examine the location, design and operational characteristics of a use. Staff offers the following findings on specific sections of the Code.

Standards for Special Use Permits

A. General Standards. No special use permit shall be recommended or granted pursuant to this Chapter unless the applicant shall establish that:

1. **Code and Plan Purposes.** The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the official Comprehensive Plan.

Staff Response: Standard met. The development will continue to remain in substantial conformance with the purpose and intent of the B-3 Regional Shopping District, and the land use designation of the adopted Comprehensive Plan.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

Staff Response: Standard met. The business is consistent with commercial-oriented development along the Route 12 corridor. The business is proposed to operate entirely within the tenant space and will not have any substantial or undue adverse effect upon any adjacent properties and will not adversely impact the public health, safety, and general welfare of the Village. Pet grooming facilities continue to exist within shopping centers within the Village and operate with no undue adverse impacts.

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To minimize the transmission of noise to the adjacent tenant spaces, the Applicant has proposed a noise mitigation plan that includes insulating the walls between tenants with mineral-wood insulation, QuietRock (a sound-reducing drywall) and Fiberglass Reinforced Panels (FRP). This will remove the need for complex soundproofing of the space.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

Staff Response: Standard Met. The property on which Scenthound is proposed is largely surrounded by commercial buildings and uses. The proposed land use will therefore not have any detrimental impact on immediately surrounding commercial property. Additionally, the proposed use will not have any negative impact on residential buildings to the north which lie approximately 375 feet away. All activity will be conducted within the enclosed tenant space.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

Staff Response: The property is currently served with adequate public utilities and services provided by the village.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through the surrounding streets.

Staff Response: Standard met. The proposed dog wellness and grooming facility intends to use existing access points, driveways and parking constructed as part of the subdivision. The parking lot is subject to a shared access, parking and maintenance agreement and was constructed to accommodate the parking demand for a multi-tenant commercial building at full capacity plus the entire Deerpath Court development.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Staff Response: Not applicable. The property on which the land use is proposed has been previously developed. There are therefore no features of natural, scenic, or historic importance that will be affected.

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7. **Compliance with Standards.** The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

Staff Response: Standard met. There are no additional standards imposed on the land use by the code. The proposed location will not include an outdoor pet walking/exercise area.

8. **Positive Effect.** The proposed special use creating a positive effect for the zoning district, its purpose, and adjacent properties shall be placed before the benefits of the petitioner.

Staff Response: Standard met. The Applicants have presented that there is a desire and need for dog wellness and grooming services in the Village of Lake Zurich. The land use will also fill a previously vacant tenant space.

B. **Special Standards for Specified Special Uses.** When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district, a permit for such use in such district shall not be recommended or granted unless the applicant shall establish compliance with such special standards.

Staff Response: Standard met. Staff has not identified any additional special standards required for the proposed Special Use Permit.

C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Board of Trustees shall consider:

1. **Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Staff Response: Standard met. Improving an empty storefront with a thriving business will benefit the Village of Lake Zurich and its residents.

2. **Alternative Locations.** Whether the purposes of the zoning code can be met by the location of the proposed use and development in some other area or zoning district that may be more appropriate than the proposed site.

Staff Response: The Applicant has explored numerous, locations within village but has not been able to find a space that suited their needs or was compatible to adjacent properties. The property is currently under contract by the Applicants.

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The land use pertaining to grooming services for animal specialties is classified as a special use in the B-3 zoning district. In as much as a grooming business may be located in other areas, the subject property offers the ability of the owner to establish a use that is appropriate for the property and in the area of the community in which it is proposed.

3. **Mitigation of Adverse Impacts.** Whether all steps possible have been taken to minimize any substantial or undue adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Staff Response: Standard met. The retail center has been developed to prevent any undue adverse effect on itself or on surrounding property in relation to its location, design and operation.

Scenthound is intended to be operated entirely within the tenant space of the building. No overnight or outdoor activity is proposed at this location. Any noise generated by the use will be mitigated so as to prevent transmission to the adjacent tenant spaces. The land use will therefore minimal impact on the subject property or surrounding properties.

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RECOMMENDATION

The recommendation of the Planning and Zoning Commission should be based on the standards included in the following Sections of the Lake Zurich Municipal Code:

- Section 9-19-3: Standards for Special Use Permits

Based on the review of staff, the standards for approval have been met and therefore staff recommends that the Planning and Zoning Commission make these standards a part of the official record of the Application.

Staff of the Community Development Department therefore recommends the approval of Application PZC 2022-11, subject to the following conditions:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application and Cover Letter dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
 - b. Exhibit A: Legal Description
 - c. Floor Plan/Elevations, dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
 - d. Site Plan, dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
 - e. Lease, dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
2. All noise mitigation measures shall be implemented according to the proposed plan following review and approval of Village staff. In the event such measures are not sufficient to completely mitigate the transmission of noise to adjacent properties, additional measures shall be implemented to the satisfaction of the Village.
3. The Applicant shall submit any proposals for onsite signage or branding to the village prior to final plan approval. The final proposed signage plan shall be approved by Village staff.
4. All activities related to the animal grooming business shall be conducted wholly within the tenant space addressed at 708 South Rand Road within Deerpath Court Retail Center.
5. The special use constituting the grooming services known as "Scenthound" shall be located within and associated with the tenant space addressed at 708 South Rand Road within Deerpath Court Retail Center and shall be allowed to continue under successive ownership, or be allowed to relocate to any of the remaining tenant spaces within the multi-tenant building located within Deerpath Court Shopping Center at parcel number 14-20-404-045, so long as the general location within such building, design and operation is in substantial conformance with the approvals granted by this ordinance. Such Special Use shall expire if this grooming use ceases operating at the property for a period of more than 365 days.
6. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

Respectfully Submitted,

Tim Verbeke, Planner

Staff Report
APPLICATION PZC 2022-11

Community Development Department
PZC Hearing Date: June 15, 2022

**LAKE ZURICH PLANNING & ZONING COMMISSION
FINAL FINDINGS & RECOMMENDATIONS**

**708 S RAND RD – PET GROOMING
JUNE 15, 2022**

The Planning & Zoning Commission recommends approval of Application PZC 2022-11, and the Planning & Zoning Commission adopts the findings as contained within the Staff Report dated **June 15, 2022** for this Application and subject to any changes or approval conditions as listed:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application and Cover Letter dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
 - b. Exhibit A: Legal Description
 - c. Floor Plan/Elevations, dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
 - d. Site Plan, dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
 - e. Lease, dated May 16, 2022, and prepared by Mo Dastagir and Valerie Converse
2. All noise mitigation measures shall be implemented according to the proposed plan following review and approval of Village staff. In the event such measures are not sufficient to completely mitigate the transmission of noise to adjacent properties, additional measures shall be implemented to the satisfaction of the Village.
3. The Applicant shall submit any proposals for onsite signage or branding to the village prior to final plan approval. The final proposed signage plan shall be approved by Village staff.
4. All activities related to the animal grooming business shall be conducted wholly within the tenant space addressed at 708 South Rand Road within Deerpath Court Retail Center.
5. The special use constituting the grooming services known as “Scenthound” shall be located within and associated with the tenant space addressed at 708 South Rand Road within Deerpath Court Retail Center and shall be allowed to continue under successive ownership, or be allowed to relocate to any of the remaining tenant spaces within the multi-tenant building located within Deerpath Court Shopping Center at parcel number 14-20-404-045, so long as the general location within such building, design and operation is in substantial conformance with the approvals granted by this ordinance. Such Special Use shall expire if this grooming use ceases operating at the property for a period of more than 365 days.
6. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.
 - Without any further additions, changes, modifications and/or approval conditions.
 - With the following additions, changes, modifications and/or approval conditions:

Planning & Zoning Commission Chairman

**Staff Report
APPLICATION PZC 2022-11**

**Community Development Department
PZC Hearing Date: June 15, 2022**

**EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY**

LOTS 4 AND 5 IN DEERPATH COURT RETAIL CENTER, BEING A SUBDIVISION AND RESUBDIVISION OF PART OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 20 TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL, MERIDIAN, ACCORDING TO THE SECOND AMENDED AND RESTATED PLAT THEREOF, RECORDED OCTOBER 10, 1990 AS DOCUMENT 2952457 IN LAKE COUNTY, ILLINOIS.

LOT 1 AND 3 IN DEERPATH COURT RETAIL CENTER THIRD RESUBDIVISION, BEING A RESUBDIVISION OF LOT 1 IN DEERPATH COURT RETAIL CENTER OF PART OF THE SOUTH HALF OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 15, 2001 AS DOCUMENT 4781048, IN LAKE COUNTY, ILLINOIS.

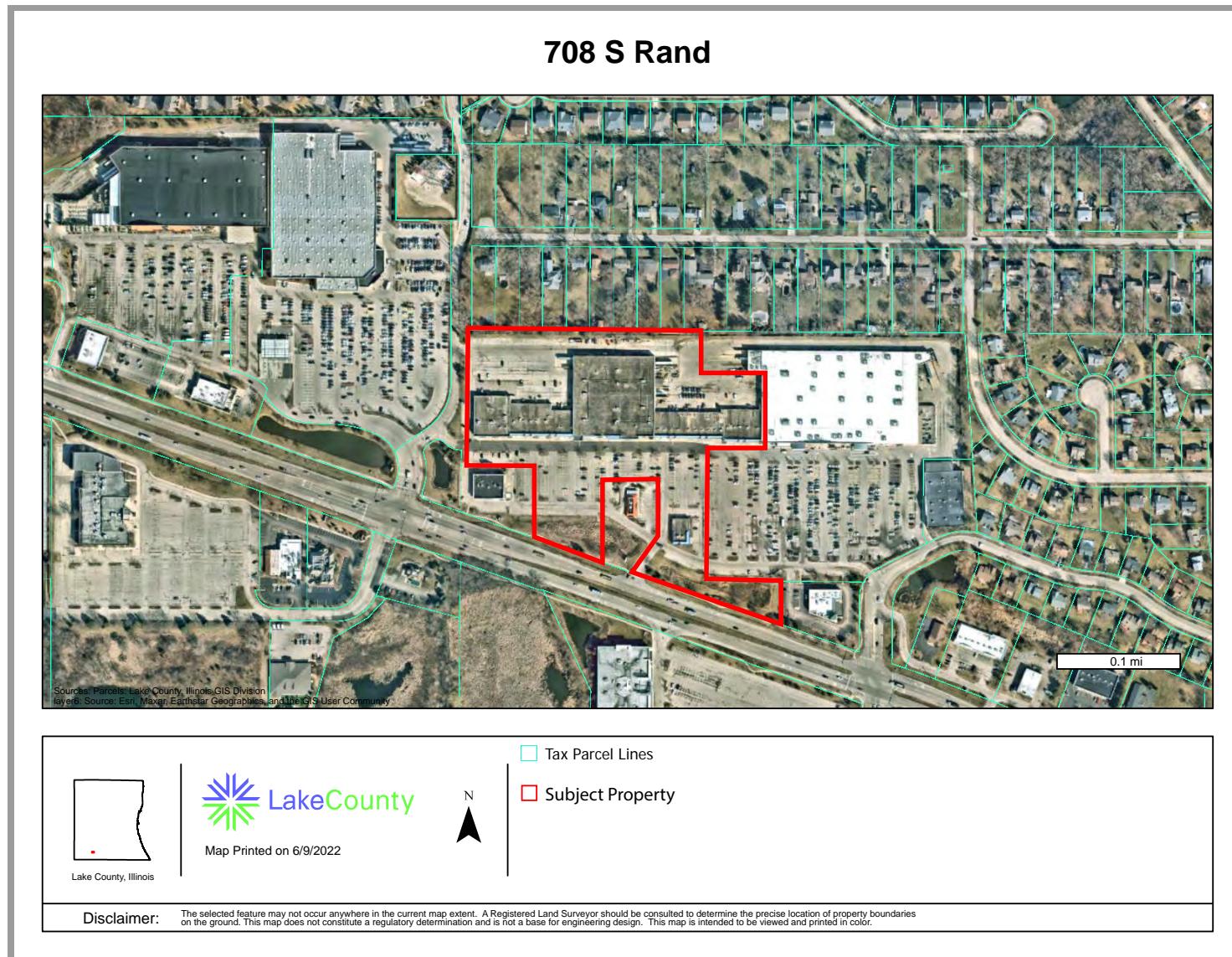
P.I.N. - 14-20-404-045

Staff Report
APPLICATION PZC 2022-11

Community Development Department
PZC Hearing Date: June 15, 2022

EXHIBIT B
PUBLIC HEARING SIGN AT SUBJECT PROPERTY

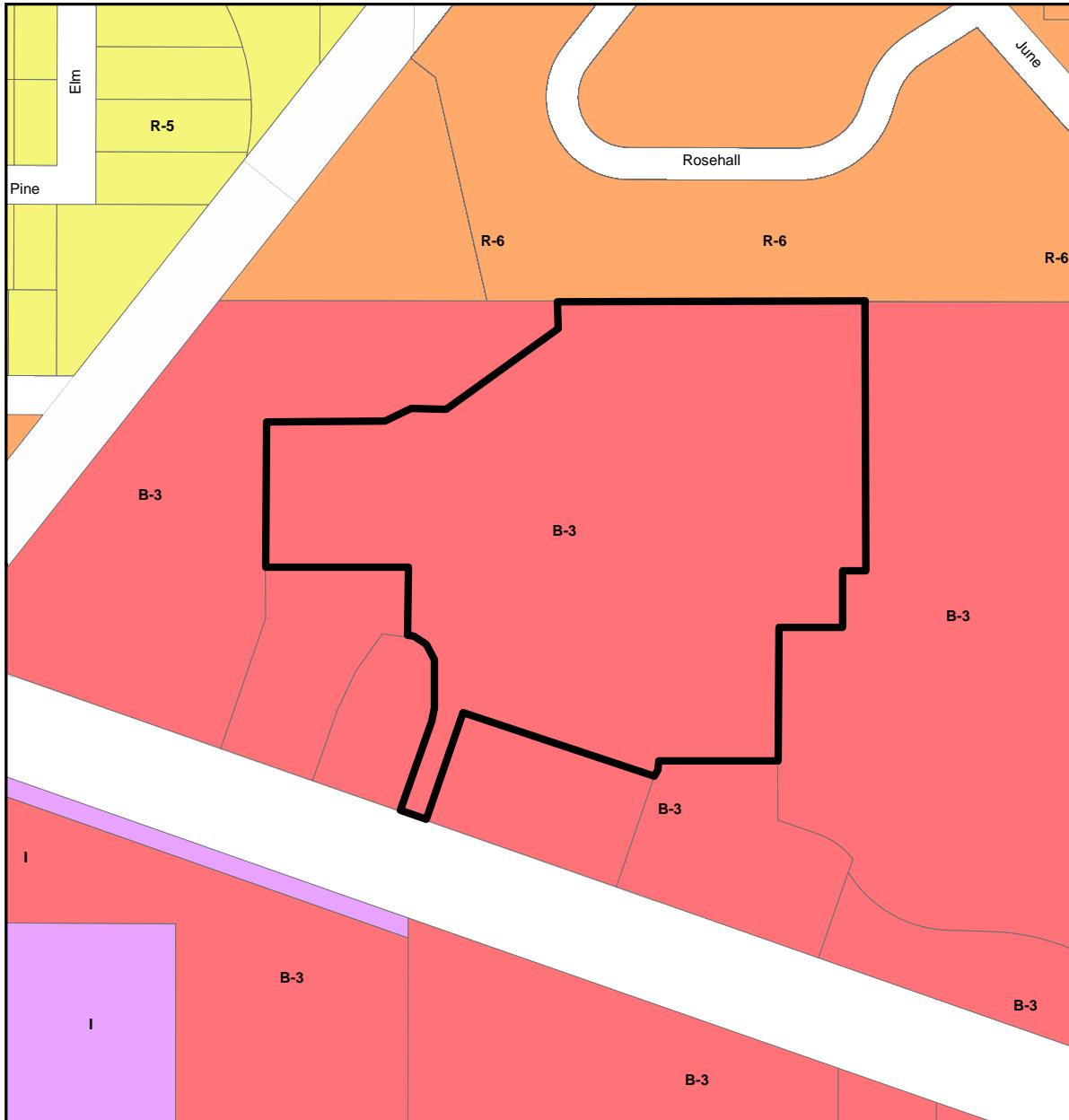






Scenthound

708 S Rand Road



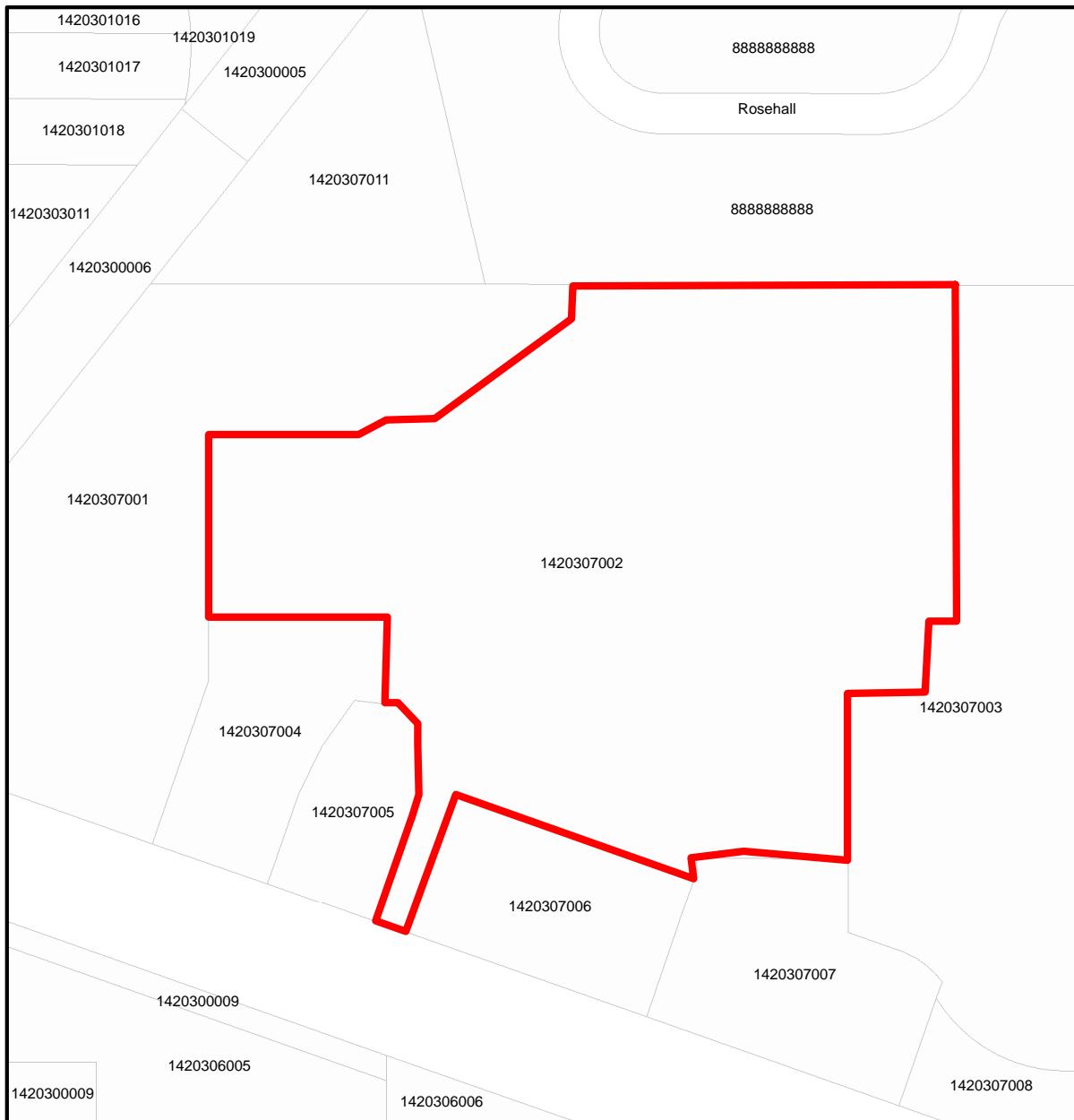
COMMUNITY SERVICES DEPARTMENT
Building and Zoning Division
505 Telser Road, Lake Zurich, Illinois 60047

(847) 540-1696
Fax: (847) 726-2182
LakeZurich.org



Scenthound

708 S Rand Road



COMMUNITY SERVICES DEPARTMENT
 Building and Zoning Division
 505 Telser Road, Lake Zurich, Illinois 60047

(847) 540-1696
 Fax: (847) 726-2182
 LakeZurich.org



FIRE DEPARTMENT
Fire Prevention Bureau

1075 N. Old McHenry Road
Lake Zurich, Illinois 60047
Fire.bureau@lakezurich.org
(847) 540-5073
LakeZurich.org

At the Heart of Community

June 6, 2022

To: Tim Verbeke
Village Planner
Village of Lake Zurich
505 Telser Road
Lake Zurich, Illinois 60047

Re: PR22- 169
Scenthound
708 S. Rand Rd.
Lake Zurich, Illinois 60047

Dear Tim,

Thank you for the planning packet. After reviewing the documents I have the following comments:

1. Provide proper fire alarm and sprinkler drawings to my office for review.

I do not have any further comments until drawings are received. The Fire Department has no objection to this occupancy.

Sincerely,

Bob Kleinheinz
Bob Kleinheinz
Fire Prevention Specialist-CFO
Lake Zurich Fire Department
Bob.kleinheinz@lakezurich.org
Fire.bureau@lakezurich.org
C: 847-489-3280
O: 847-540-5073

Date: 05/16/2022

APPLICATION COVER LETTER

To,

Orlando Stratman & Sarosh Saher,
 Village of Lake Zurich,
 505 Tesler Road,
 Lake Zurich, IL - 60047

Approvals Requested:	Business License, Certificate of Occupancy, GC Permits
Property address:	708 S Rand Road, Lake Zurich – 60047
Retail Location:	Deerpath Court
Property Owner / Lessor:	Jason Sfire c/o The Fidelity Group LTD
Total Sqft:	2036
Existing Store Front:	Yes
Architects:	Kaya Doyle c/o Wellness Advocacy
Proposed GC:	Jason Sfire c/o The Fidelity Group LTD
Projected Timeline of Build out:	45 – 60 days
Structural Buildout:	No
Applicant / Lessee Names:	Mo Dastagir and Valerie Converse
Residents of Village:	Kildeer
Years of Residency:	7
Name of Company:	ARK Franchise Holdings Corporation
Doing Business As:	Scenthound
Nature of Business:	Dog Wellness and Grooming (No Boarding)
Owner Operated:	Yes
Hours of Operation:	Mon – Sat, 8AM – 5PM
Number of Staff:	5 Employees
Number of Pets at one time:	Less than 5

Background on Scenthound

Scenthound was founded in 2015 after CEO Tim Vogel spent more than 10 years running both a mobile grooming business and local grooming Scentsers, witnessing firsthand the shortcomings within a booming pet industry and the lack of education surrounding dog care. Vogel began a mission to give dogs and their owners a fast, easy, and affordable solution that not only keeps them clean and looking great but maintains their overall health and wellness.

Scenthound started franchising since 2019 and is a wellness-centered, membership-based dog grooming franchise. The model takes a unique approach to grooming with a focus on the five core areas of routine and preventive care for dogs: Skin, Coat, Ears, Nails and Teeth (SCENT). Scenthound currently has 180 locations sold, open or under development across 12 states.

Details about the applicants, location selection and the business follow in a separate document

Overall Build Costs and Investment Plan Based on Franchisor Disclosure Document

Estimated Franchise Start-up Funds Needed

Expenditures	Per Item 19 in FDD		ESTIMATED INVESTMENT
	Low	High	
Initial Franchise Fee	\$49,000	\$49,000	\$49,900
Leasehold Improvements	\$70,000	\$170,000	\$105,000
Furniture, Fixtures and Equipment (Including POS system)	\$25,000	\$30,000	\$27,000
Plans, Permits & Licenses	\$2,500	\$7,500	\$3,500
Signage	\$4,000	\$7,000	\$5,000
Initial Inventory Supplies	\$2,000	\$4,000	\$3,000
Grand Opening Advertising	\$5,000	\$10,000	\$7,500
Initial Training Expenses	\$500	\$5,000	\$2,500
Professional Fees	\$500	\$2,500	\$1,750
Utility Deposits	\$1,500	\$4,000	\$1,500
Lease Deposits	\$3,500	\$6,500	\$3,700
Insurance	\$1,000	\$3,000	\$2,000
Additional Funds for first 3 months (Working Capital)	\$40,000	\$80,000	\$40,000
TOTAL ESTIMATED INITIAL INVESTMENT (SINGLE UNIT FRANCHISE)	\$204,500	\$378,500	\$252,350

Our business is funded through a combination of funding strategies. We have successfully been approved by Huntington Bank for a Small Business Loan, simultaneously, we have already set up our 401k savings through the Roll Over for Business Start-ups (ROBS) program plus we have infused our personal equity into the business through a cash infusion.

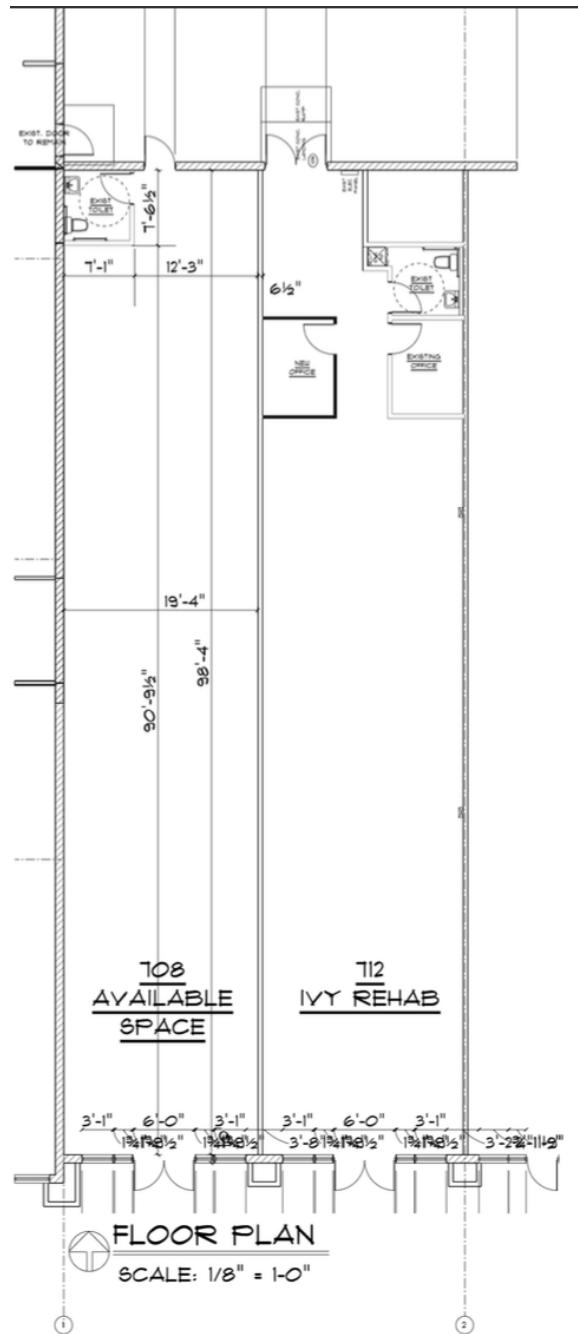
Square footage and Nonstructural design plan

We've signed a lease to utilize 2,036 sqft of space from our landlord. The Franchisor only requires a space of 1,300 to 1500 sqft but we leased the extra space so that we can accommodate employee benefits such as a Conference / Training Room, A break out area where we will have a mini kitchen with snacks for employees.

As the location used to be an existing retail space which is not vacant and is an empty box shell, we see no concerns in designing the store to meet our needs. There are no structural changes being made to the building but only partition walls are being created so that we can create different zones for our business to operate in. We expect to complete the design of the store in 45 to 60 days with support from our GC.

Please see pre-design and post-design pictures are below.

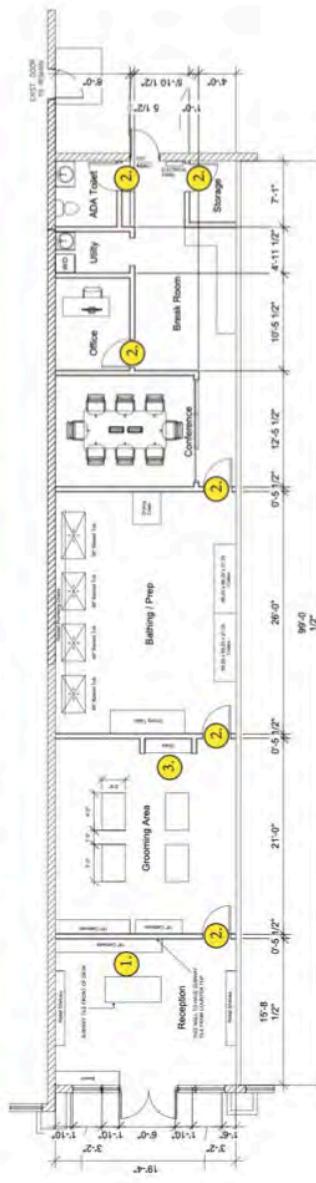
Pre-Design Floor Plan



FLOOR PLAN

1. Power and Ethernet to travel down wall and under concrete floor, up to desk; power and Ethernet are supplied to both sides of the desk.
All interior doors have an automatic closure function.
2. All interior doors have an automatic closure function.
3. To the right of the scale is a knee-wall.

Post-Design Floor Plan



SCIENTHOUND DESIGN & CONSTRUCTION MANUAL 2021
© Bilingual Optimum 2021 | PROPERTY OF BILINGUAL CONSTRUCTION
Reproduction is not allowed without written authorisation from Bilingual Construction.

Date: 05/15/2022

DETAILS ABOUT OUR PROJECT AND OUR BUSINESS

To,

Orlando Stratman & Sarosh Saher,
Village of Lake Zurich,
505 Tesler Road,
Lake Zurich, IL - 60047

Our Background

My wife Valerie and I've been residents of the Lake Zurich & Kildeer community since 2015. We moved here from Switzerland 7 years ago not knowing anyone in Illinois, but we came here to raise our young children in a safe and secure community purely based on what we read online when researching communities to live in. Now, 7 years later, we continue to believe that this was the best decision we made to raise our 3 children (Aged 13, 10 and 4) with respect to what community has done for us and the roots that we've grown with our friends and our neighbors.

In the next chapter of our growth, we are looking to start our first brick and mortar business within the community. My wife Valerie is an aspiring entrepreneur and has started and run several businesses from home while I have been a Senior Executive in Corporate America for many years. We have recently identified a Pet Care and Grooming Franchise Business called 'Scenthound' as our next adventure and have signed our Franchise Agreement in February of 2022. My wife will be owner & operator of this business on a day-to-day level.

What location have we identified?

We've determined a store location in Lake Zurich as our perfect location for our new business.

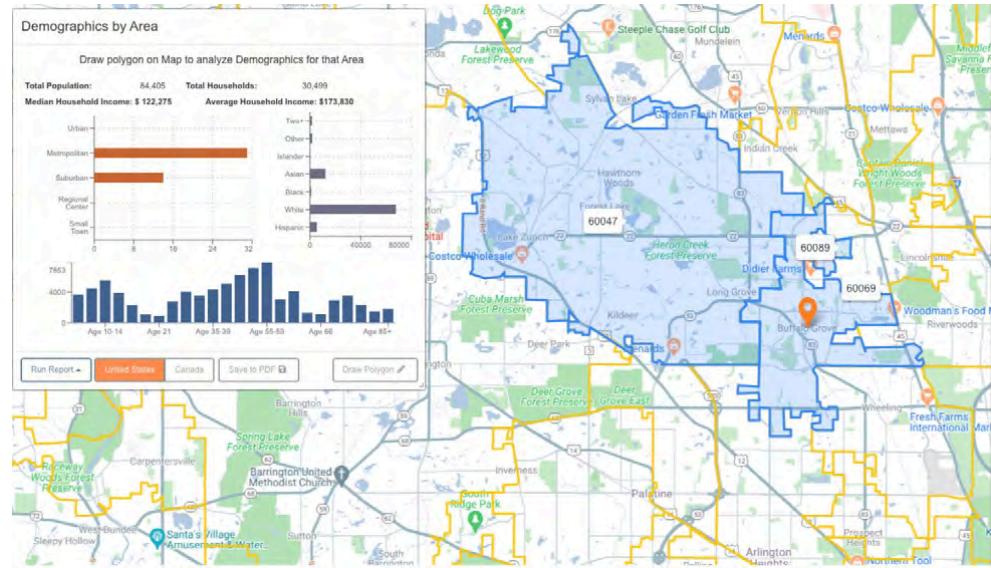
Details of the property are as follows:

Shopping Center:	Deerpath Court
Address:	708 South Rand Road, Lake Zurich- 60047
Company Owner:	The Fidelity Group LTD
Property Owner:	Jason Sfire
Property Status:	Existing Store front now vacant for occupancy

Why Lake Zurich?

Since February 2022, we've been scouting locations in the Lake Zurich and Kildeer area because we feel that being part of our community is vital to our lives and our business. We want to conveniently be located near shopping areas, retail establishments or restaurants areas so that our customers can conveniently drop off their Pets into our stores and then run their errands or grab a meal while their Pet is getting ready to be picked up.

What demographic considerations did we make?



In the 3 zip codes of interest:

- Total Population = 84,405
- Total Households = 30,499
- Median Household Income = \$122,275
- Average Household Income = \$173,830
- Higher density of target Age group = > 25 less than < 65

What business are we opening?

Scenthound is one of the fastest growing Pet Franchises in the country and has more than 30+ locations operating across the country and has another 180+ in various stages of development.

Please learn more about Scenthound's business: <https://www.prnewswire.com/news-releases/Scenthound-marks-remarkable-2021-growth-with-multi-unit-franchise-development-signings-301444651.html>

Key quotes from Tom Vogel the CEO of Scenthound:

"Over the last twelve months, Scenthound has been on an incredible trajectory of growth that we largely attribute to our keen knack for technology-driven innovation and the strength of our franchisees. Being pioneers in an ever-growing industry, we are proud to be revolutionizing how consumers approach pet care and expanding our franchise footprint across the country in 2021 and beyond," said Tim Vogel, CEO of Scenthound "With a unique

approach to routine and preventive dog care and a continuously evolving business model, we are confident that our success and complete disruption of the \$100B pet industry will continue well into 2022."

"When we opened our doors years ago, we already knew that our brand was going to redefine the pet care industry and our success to date proves just that. Our strong and recession-resistant business model and unparalleled corporate support team prove to be a key component in both attracting and retaining franchisees," Vogel continued. "Scenthound's main goal has always been to remove barriers so that people can love and connect with their dogs. In the coming years, with strong local franchisees in cities across the country, we hope to further that goal by opening 100 units and sell an additional 200."

While our parent company name will be ARK Franchise Holdings Corporation, our Business will operate under the name Scenthound (Parent Franchisor is based in Jupiter, Florida and operates as Scenthound) where we will focus on Pet Parents who love their Dogs. Our business is solely focused on Dogs and will provide a subscription-based service (monthly payments) to Pet Parents across the Lake Zurich community where we will be able to take care of the health needs of our pet friends at an average of 35 - 40 mins per pet. We do not expect to have more than 4-5 pets inside our store at a time so our ability to service our Pet Friends as efficiently as possible is paramount to our business model.

What services do we provide and how are they priced?

We provide 5 primary services through a monthly subscription level across 3 tiers of membership. Our services base services at Scenthound are:

**Skin
Coat
Ears
Nose
Teeth**

Here are costs and service tiers that our business will provide at a monthly subscription level
(kindly consider Tier 2 Pricing for the state of Illinois)

Pricing Tier / Service Pricing Guide
August 2021

1. Membership Pricing:

Membership	Tier 1	Tier 2	Tier 3
1 – Base	\$29.00	\$35.00	\$39.00
2 – Premium	\$39.00	\$45.00	\$49.00
3 – Unlimited Premium	\$59.00	\$65.00	\$69.00
Registration Fee	\$30.00	\$30.00	\$30.00
Service Discount	25%	25%	25%
Minimum Wage	Up to \$11	Up to \$13	Up to \$15
Rent / PSF	Up to \$40	Up to \$55	Up to \$70

2. Membership Benefits:

Membership Benefits	#1 (Base)	#2 (Premium)	#3 (Unlimited)
Unlimited Baths	No	No	Yes
Nail Grind Included	No	Yes	Yes
24/7 Virtual Vet Access	No	Yes	Yes
Virtual Vet Access Fee*	N/A	\$2.50	\$2.50
Reciprocity	No	Yes	Yes
Rollover Baths	No	Up to 2	N/A
Service Discount	25%	25%	25%
In-Scenter Solutions Discount	None	25%	25%
Member Rewards	\$50 Value	\$100 Value	\$100 Value

*\$2.50 Virtual Vet Access Fee per member on premium membership is paid by Franchisee to Scenthound Services for access to VV Service.

3. Founders Pricing

Launch Marketing Wave	# Available	Registration Fee
Wave 1 - \$10 Off	50	Waived
Wave 2 - \$5 Off	100	Waived
Wave 3 – Full price	N/A	Waived
Open -> 30 days post open	N/A	\$10

4. Non-Member & Service / Package Pricing:

Services	Current	Tier 1	Tier 2	Tier 3
E-scent-ials	\$35.00	\$40.00	\$45.00	\$50.00
Nail Clip	\$10.00	\$14.00	\$16.00	\$18.00
Nail Grind	\$5.00	\$6.00	\$6.00	\$6.00
Nail Clip & Grind	\$15.00	\$20.00	\$22.00	\$24.00
Toothbrushing	\$10.00	\$12.00	\$14.00	\$16.00
Ear Cleaning	\$5.00	\$10.00	\$12.00	\$14.00
Gland Expressing	\$15.00	\$20.00	\$22.00	\$24.00
Facial Scrub	\$5.00	\$6.00	\$6.00	\$6.00
Plaque Reduction	\$25.00	\$26.00	\$28.00	\$30.00
Deep Conditioner	\$7.00	\$8.00	\$10.00	\$12.00
Zymox Treatment	\$10.00	\$12.00	\$12.00	\$12.00
Eyes & Brows	\$15.00	\$16.00	\$18.00	\$20.00
Sanitary Trim	\$15.00	\$16.00	\$18.00	\$18.00
Paw Trim	\$10.00	\$12.00	\$14.00	\$16.00
Non-Anesthetic Dental	\$185.00	\$249.00*	\$299.00*	\$299.00*

Note: Non-Anesthetic Dental prices are recommended price. Price may change based on what the your market can sustain.

Packages	Current		Tier 1		Tier 2		Tier 3	
	NMBR	MBR	NMBR	MBR	NMBR	MBR	NMBR	MBR
Blow Out L1	\$20.00	\$15.00	\$22.00	\$16.50	\$24.00	\$18.00	\$26.00	\$19.50
Blow Out L3	\$30.00	\$22.50	\$32.00	\$24.00	\$34.00	\$25.50	\$36.00	\$27.00
Blow Out L3	\$40.00	\$30.00	\$42.00	\$31.50	\$44.00	\$33.00	\$46.00	\$34.50
Barber L1	\$40.00	\$30.00	\$44.00	\$33.00	\$48.00	\$36.00	\$52.00	\$39.00
Barber L2	\$60.00	\$45.00	\$64.00	\$48.00	\$68.00	\$51.00	\$72.00	\$54.00
Barber L3	\$80.00	\$60.00	\$84.00	\$63.00	\$88.00	\$66.00	\$92.00	\$69.00
Flea & Tick L1	\$15.00	\$11.25	\$16.00	\$12.00	\$18.00	\$13.50	\$20.00	\$15.00
Flea & Tick L2	\$20.00	\$15.00	\$22.00	\$16.50	\$24.00	\$18.00	\$26.00	\$19.50
Flea & Tick L3	\$25.00	\$18.75	\$28.00	\$21.00	\$30.00	\$22.50	\$32.00	\$24.00
Shedding L1	\$40.00	\$30.00	\$44.00	\$33.00	\$48.00	\$36.00	\$52.00	\$39.00
Shedding L2	\$60.00	\$45.00	\$64.00	\$48.00	\$68.00	\$51.00	\$72.00	\$54.00
Shedding L3	\$80.00	\$60.00	\$84.00	\$63.00	\$88.00	\$66.00	\$92.00	\$69.00
Shedding Prgm L1	N/A	\$22.50	N/A	\$24.75	N/A	\$27.00	N/A	\$29.25
Shedding Prgm L2	N/A	\$33.75	N/A	\$36.00	N/A	\$38.25	N/A	\$40.50
Shedding Prgm L3	N/A	\$45.00	N/A	\$47.25	N/A	\$49.50	N/A	\$52.75

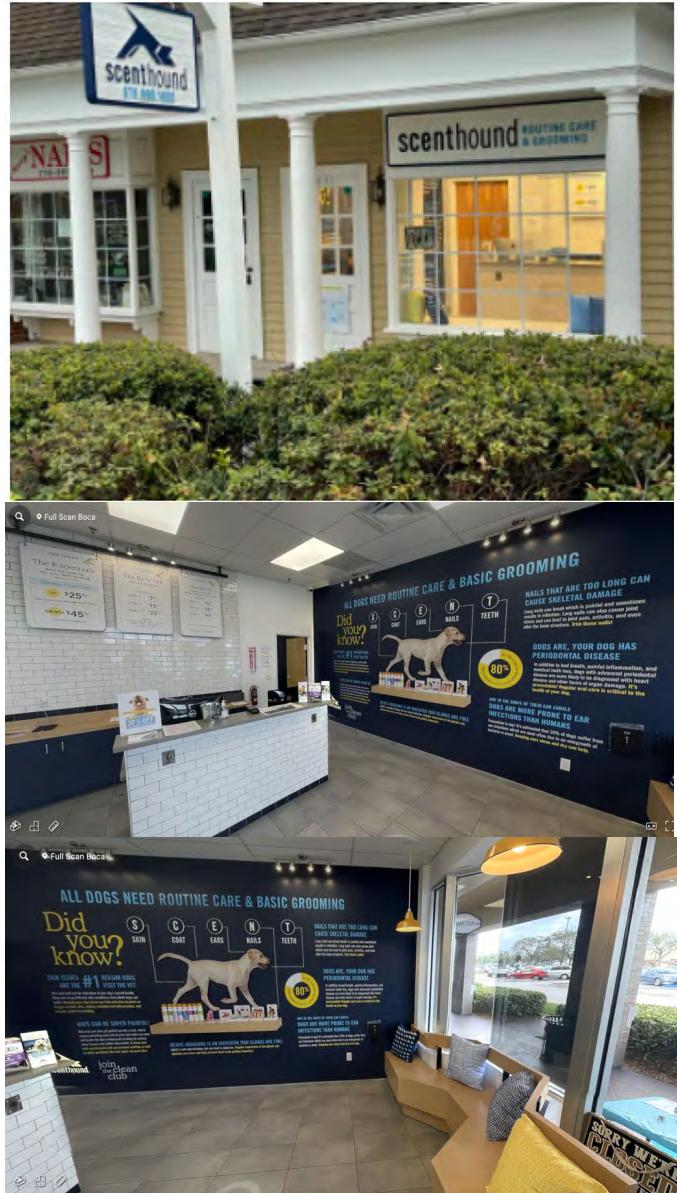
Note: In the above chart, the current levels 1&2 have been combined into a new level 1; level 3 has become level 2; and the specialty level has become level 3 at a fixed price. All new levels reflect pricing more aligned with the level previously above them. For example, the new level 1 pricing is aligned with the previous level 2.

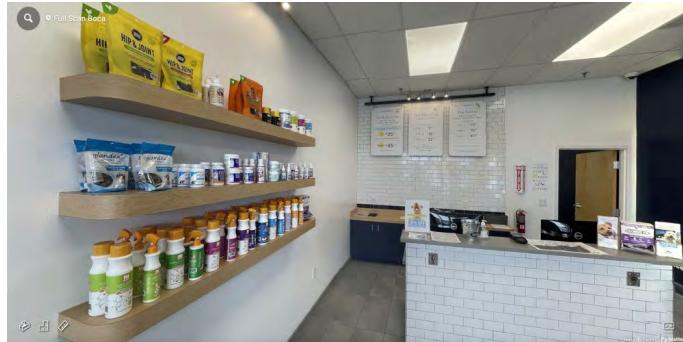
NMBR = Non-Member
 MBR = Member

What is the look and feel of our store design?

Our store will have a premium & contemporary look and feel where Pet Parents feel safe, secure and confident that their Pet's needs are being take care of. For our Architecture and Build out needs, we have enlisted the services of **Kaya Doyle (Architect) and Jason Sfire (General Contractor)**, respectfully. We hope their inclusion will make sure that we meet and exceed the requirements of the Lake Zurich village and allow us to closely partner with you as prepare to build and launch our business.

Please see some sample pictures below





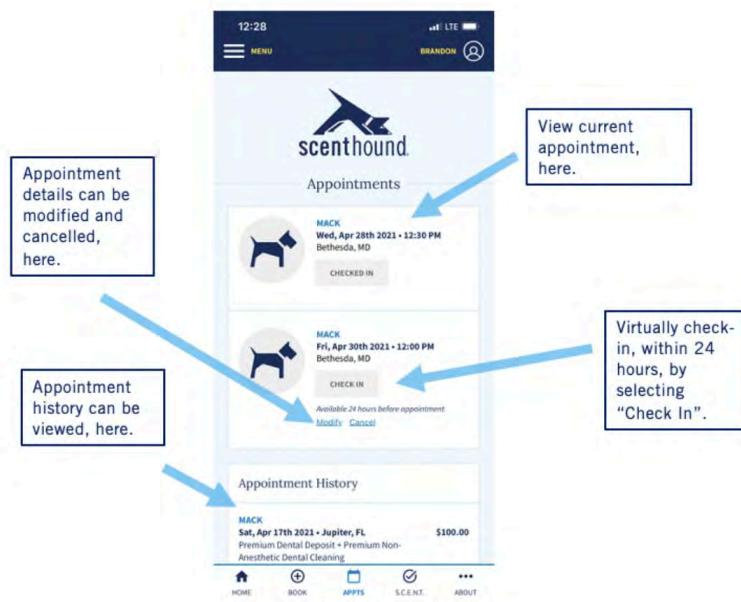
What are the key differentiators of our business?

The secret sauce of the Scenthound business is the Blue-Ocean Strategy that has allowed Tim Vogel and his team to take their Pet Business centered routine and preventive dog care to an explosive level. The model is based on the simplicity of what it provides as a service while addressing the needs of Dogs in areas that matter the most. The routine care Skin, Teeth, Nails and Ears of dogs allow them to live longer and healthier lives and reduce the burden of diseases through early detection as opposed to a yearly visit to the Vet.

Additionally, the business model is built around being able to service and support dogs at an average of 35-40 minutes rather than housing them for hours away from their Pet Parents causing further stress on the dogs from not being in their own environment.

Scenthound also use state of the art technology to provide our Pet Parents ease of mind by providing a scorecard of their Pet's health after every visit and we have an Cell Phone App that allows Pet Parents to set up appointments, get reminders, speak to their Virtual Vet and also know when their pet is ready to be picked up. Additionally, there is valuable information that we provide to our Pet Parents on how to take care of their Pets to make sure that they are happy and healthy.

See a few screenshots of our app:



S.C.E.N.T. TAB

The "S.C.E.N.T. Check" tab allows users to view past and current S.C.E.N.T. Checks.



How many employees will we hire, and wages will we pay?

Our business will be the first of its kind in Illinois and we hope to hire 4-5 employees in our store where we could have 3 Scent Techs (Junior level technicians) who would take care of our Pet Friends by giving them a bath, trim their nails, clean their teeth and their ears. One senior employee would be a Groomer who would be a trained and experienced Pet Groomer and would act as Mentor to their Junior employees. Additionally, we will have one Store Manager who would manage the front desk and run the store.

We expect to be very competitive with the wages that we will provide to our employees as we want to attract the right talent into our business, and we want them to feel valued and we want them to provide a stellar experience to our Pet Friends. It is our express intention to hire from within the community so that we can give back in our way to what the community has done for us. We intend to pay an average of 30% above minimum wage for our hourly employees and provide an annualized salary of above 35% to our Store Manager plus they will have an opportunity to share in tips with other employees.

In the future, as our business grows, we may also determine what additional benefits we could provide our employees.

Please see an example of the wage table below

Role	State Minimum Wage (hourly) not including tips	10%	15%	20%
ScentTech	\$ 12.00	\$ 13.20	\$ 13.80	\$ 14.40
Role	State Minimum Wage (hourly) not including tips	20%	30%	40%
Groomer	\$ 12.00	\$ 14.40	\$ 15.60	\$ 16.80

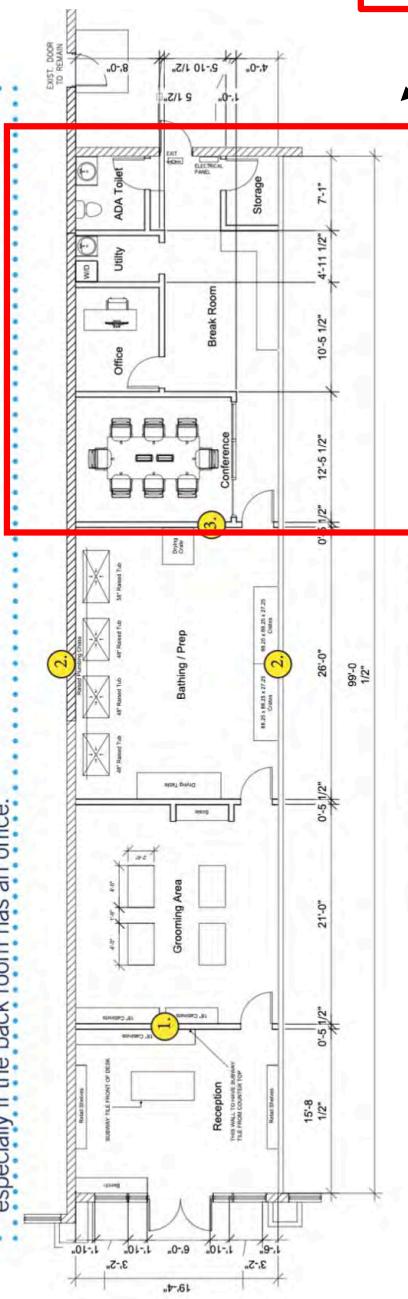
Role	State Minimum Wage for office manager (Annualized) not including tips	15%	25%	35%
Store Manager	\$ 37,369.00	\$ 42,974.35	\$ 46,711.25	\$ 50,448.15

Further, to keep our employees happy and to invest in their future, part of our store design will incorporate a Break Area, a Conference Room / Training Room and employer provided snacks and beverages. We're intentionally building a store at 2036 sqft although this is not required by the Parent Franchisor because the right employee experience and morale will translate into how we operate our business and how we are part of our community. This additional buildout and sqft management will be an investment from our side and is not mandated by the Scenthound Parent franchise that requires only a maximum of 1300 sqft to operate.

See details of our employee area below:

NOISE-MITIGATION PLAN

1. The wall between the lobby and the grooming room shall be built to deck and filled with mineral-wool type insulation, and wall board shall be 5/8" sound-deadening gypsum, Quietrock or equal, to deck, both sides.
2. The tenant-shared walls in the bathing room (on either side of the room - behind tubs / behind cages) should either: a) use mineral-wool insulation, Quietrock, then FRP if unfinished, or b) have a new layer of Quietrock on top of the existing drywall before adding FRP if finished.
3. It is recommended that the wall between the bathing room and the back room use Quietrock as well, especially if the back room has an office.



How are we funding our business?

Our business is funded through a combination of funding strategies. We have successfully been approved by Huntington Bank for a Small Business Loan, simultaneously, we have already set up our 401k savings through the Roll Over for Business Start-ups (ROBS) program plus we have infused our personal equity into the business through a cash infusion.

The total start-up cost of the business including franchise fee would be \$350,000 to \$400,000 where we would attempt to spend a lion's share of the funds towards hiring local contractor and firms to help launch our business.

What is our business plan?

Our business plan is predicated on the fact that our community would enjoy the ease and convenience of our service that should show an increase in monthly subscriptions month over month and our stellar customer service and our passion for our Pet Friends should keep retention of membership high.

We expect to launch our store with 350 members on day 1 and expect to continuously grow our number every month while keeping our retention rate at 93% or better to get to 750 members.

To grow our membership numbers, we expect to spend about 1% of our revenue per month on national advertising and about \$2,100 per month on local advertising such as social media, print advertising, local community events and partnering with the Village Office. We also intend to build strategic relationships animal shelters (to provide a Free bath & grooming service to newly adopted dogs), dog grooming schools (to hire young individuals for internship programs and eventually hire them) and veterinarian offices (so that we can refer our Pet Friends to them and the Vets can refer Pet Friends to us for routine care).



We've planned our business to every level of detail that we can think of to make sure that we can not only do justice to the Scenthound Brand but so that we have an opportunity to be an important pillar of our community and bringing jobs back into it. It is vitally important for us to be successful and to be able to show our children to how to build a business from the ground up. Please see below some details about our member growth and also our Year 1 (12 months of operations) forecast and projections. We have a 3-year plan that we've built considering all our variables.

YEAR	YEAR 1
Total Members	747
Membership Revenue (Membership + Add on's)	\$ 501,154
Non Member Revenues	\$ 82,189
Total Revenue	<u>\$ 583,343</u>
 Cost of Goods Sold	
Wages	\$ 191,385
Scenter Manager Wages	\$ 39,000
Royalties (Franchise Fee)	\$ 35,001
Marketing Fee	\$ 5,833
Technology Fee	\$ 9,650
Cost of Retail Supplies	\$ 14,584
Dental Care	\$ 14,584
Credit card Fees	\$ 16,334
Total Gross Margin	<u>\$ 256,973</u>
 Operating Expenses	
Total Rent	\$ 44,400
Repairs & maintenance	\$ 6,000
Office Expenses(Tel/Internet, Security, Utilities, Supplies, POS)	\$ 10,400
Insurance (Business, Property, Liability)	\$ 6,500
Licenses and Permits	\$ 3,250
Marketing (excluding grand opening costs)	\$ 24,996
Payroll Taxes *Calculated as a percentage of wages	\$ 8,409
Depreciation	\$ -
Other Operating	\$ 17,334
Total Operating Expenses	<u>\$ 118,308</u>
Net PROFIT	<u>\$ 138,665</u>

Our closing comments

We've spent the last 7 years being very active in our community, my wife is the Chair of the PTO for Kildeer Countryside Elementary school, she ran the Girl Scout and Boys Scout troop for Elementary school as a Troop Leader, we have conducted several fund-raising events for the Village of Kildeer and the Chief of Police's special Olympics charity, we've also been part of several keep Kildeer clean initiatives and continue to look for opportunities where we contribute to our community.

We hope that you will consider our application towards starting our business and allow us to further grow within the community and continue to grow bonds that exist for a long time through us and our children.

With Gratitude,

Valerie Converse & Mo Dastagir

With additional support from:
Raina Dastagir (Aged 13)
Azlan Dastagir (Aged 10)
Kaizer Dastagir (Aged 4)



(Please Type or Print)

ZONING APPLICATION

Community Development Department

505 Telser Rd.
Lake Zurich, IL 60047
Phone: (847) 540-1696
Fax: (847) 540-1769

1. Address of Subject Property: 708 S RAND ROAD, LAKE ZURICH, IL - 60047
2. Please attach complete legal description
3. Property Identification number(s): 14-20-404-045
4. Owner of record is: THE FIDELITY GROUP LTD Phone: 847-438-5000
E-Mail jasone_fg1td.net Address: 795 ELA SUITE 110, LAKE ZURICH, IL - 60047
E-Mail Valerie.conversee@gmail.com Address: 21859 N WOLTER LN, KILDEER, IL - 60047
5. Applicant is (if different from owner): VALERIE CONVERSE Phone: 847-666-8732
E-Mail Valerie.conversee@gmail.com Address: 21859 N WOLTER LN, KILDEER, IL - 60047
6. Applicant's interest in the property (owner, agent, realtor, etc.): LESSEE
7. All existing uses and improvements on the property are: RETAIL STORE INSIDE DEERPATH COURT SHOPPING AREA
8. The proposed uses on the property are: DESIGN & SET UP FOR A DOG GROOMING BUSINESS
9. List any covenants, conditions, or restrictions concerning the use, type of improvements, setbacks, area, or height requirements placed on the Subject Property and now of record and the date of expiration of said restrictions:
NONE
10. Describe any contract or agreement of any nature relevant to the sale or disposal of the Subject Property:
NONE
11. For applications requiring a public hearing, please attach a list which contains the PIN, owner, and owner's mailing address of all properties located within 250 feet (excluding all Public Right-of-Ways) of the Subject Property.

THE APPLICANT'S SIGNATURE BELOW INDICATES THE INFORMATION CONTAINED IN THIS APPLICATION AND ON ANY ACCOMPANYING DOCUMENTS IS TRUE AND CORRECT.
THE APPLICANT ALSO ACKNOWLEDGES IF THE CONSULTANT EXPENSES EXCEED THE INITIAL ESCROW DEPOSIT,
THE APPLICANT WILL REIMBURSE THE ACCOUNT IMMEDIATELY.

VALERIE CONVERSE

(Name of applicant)

Valerie
(Signature of applicant)

Subscribed and sworn to before me this 17 day of May, 2022.

Evette S. Miller
(Notary Public)



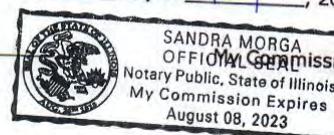
9-2-2022

Jason A. Serr
(Name of Owner, if different)

Jason A. Serr
(Signature of Owner, if different)

Subscribed and sworn to before me this 18 day of May, 2022.

Sandra Morgan
(Notary Public)



8-8-2023

_____ or zoning refer your application requires. For assistance, please contact Staff:

Zoning Code Map Amendment to change zoning of Subject Property from _____ to _____

Zoning Code Text Amendment to amend the following section(s) of the Zoning Code _____

(See Section 18-103 of the Lake Zurich Zoning Code for specific standards. If a specific parcel is the subject of this amendment, then provide the additional information listed in Section 18-103C.)

Special Use Permit/Amendment for _____

(See Section 19-103 of the Lake Zurich Zoning Code for specific standards.)

Planned Unit Development/Major Adjustment/Amendment

(Planned Unit Developments are a distinct category of special use and are intended to create a more desirable environment than through strict application of the zoning and subdivision regulations. See Section 22-105 of the Lake Zurich Zoning Code for specific standards. Please list all the 'modifications' requested in the cover letter.)

Variation for _____

(See Section 17-104 of the Lake Zurich Zoning Code for specific standards. Please indicate what your specific hardships are in the cover letter.)

Modification to the Land Development Code (includes retaining walls more than 2 feet in height)

(See Section 10-6-18 of the Land Development Code for specific standards.)

Preliminary Plat of Subdivision

Final Plat of Subdivision or Amendment to Plat of Subdivision

(See Sections 10-5-2 and 10-5-9 of the Land Development Code for specific standards.)

Site Plan Approval/Major Adjustment/Amendment

(See Section 20-103 of the Lake Zurich Zoning Code for specific standards.)

Exterior Appearance Approval or Amendment

(See Section 21-103 of the Lake Zurich Zoning Code for specific standards.)

APPLICATION TO ANNEX CERTAIN TERRITORY

All land annexed to the Village is classified automatically after such annexation in the R-1\2 Single Family Residential District. The owner must file an application for a Zoning Map amendment if he or she desires a different zoning classification for the Subject Property.

Petition to Annex Certain Territory (Please complete attached petition)

Application to Annex Certain Territory

COMPREHENSIVE PLAN APPLICATION

Comprehensive Plan Map Amendment for _____

Comprehensive Plan Text Amendment for _____

EXHIBIT A
LEGAL DESCRIPTION OF SHOPPING CENTER

PARCEL 1: LOTS 4 AND 5 IN DEERPATH COURT RETAIL CENTER, BEING A SUBDIVISION AND RESUBDIVISION OF PART OF THE SOUTH $\frac{1}{2}$ OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE SECOND AMENDED AND RESTATED PLAT THEREOF, RECORDED OCTOBER 10, 1990 AS DOCUMENT 2952457 IN LAKE COUNTY, ILLINOIS.

PARCEL 2: LOTS 1 AND 3 IN DEERPATH COURT RETAIL CENTER THIRD RESUBDIVISION, BEING A RESUBDIVISION OF LOT 1 IN DEERPATH COURT RETAIL CENTER OF PART OF THE SOUTH HALF OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 15, 2001 AS DOCUMENT 4781048, IN LAKE COUNTY ILLINOIS.



Community Development Department
 505 Telser Road
 Lake Zurich, IL 60047
 P: (847) 540-1696 F: (847) 726-2182
www.LakeZurich.org
Permits@LakeZurich.org

Permit Application

Date of Application 05/16/2022

Project Information

Property Address: 708 S RAND ROAD, LAKE ZURICH, IL - 60047

Type of Project: BUILD - OUT

Owner's Name/Address: THE FIDELITY GROUP LTD
 (If different from above)

Business Name: _____
 (For commercial/industrial applications only)

Owner's Phone: 847-438-5000

Owner's Email: jason@fgltd.net

Description of Work

Build out of location to run a dog grooming business. All business plans and architectural diagrams are attached for review.

Contractor Information

Contractors are required to be registered with the Village of Lake Zurich. Please refer to the Contractor Registration Application.

General Contractor: FIDELITY CONSTRUCTION

Phone: 847-438-5000

Address: 795 ELA RD, LAKE ZURICH, IL - 60047

E-mail: jason@fgltd.net

Other Contractor: _____ Type: _____

Phone: _____

Address: _____

E-mail: _____

Other Contractor: _____ Type: _____

Phone: _____

Address: _____

E-mail: _____

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Printed Applicant Name: VALERIE CONVERSE

Phone: 847-666-8732

Applicant Signature: Valerie Converse

Owner or Contractor

(Please Select One)

Property Owner Signature: Valerie Converse

Application must be signed by the property owner. A signed letter of authorization/contract from the property owner must be submitted with the application in lieu of signature on application.

Director of Building and Zoning Signature: _____

Date: _____

Additional Contractors

Contractors are required to be registered with the Village of Lake Zurich. Please refer to the Contractor Registration Application.

Other Contractor: _____	Type: _____	Phone: _____
Address: _____		E-mail: _____
Other Contractor: _____	Type: _____	Phone: _____
Address: _____		E-mail: _____
Other Contractor: _____	Type: _____	Phone: _____
Address: _____		E-mail: _____
Other Contractor: _____	Type: _____	Phone: _____
Address: _____		E-mail: _____



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

(847) 540-1696
Fax (847) 726-2182
LakeZurich.org

PROCEDURE FOR BUSINESS OCCUPANCY IN LAKE ZURICH

- 1) Contact Community Development Department to determine if use is permitted at specific location. If use is permitted, follow step #2. If use is not permitted or requires a Special Use permit, follow step #7.
- 2) If your business proposes selling and/or serving alcohol, contact Michael Duebner at 847-540-1690 for liquor license requirements.
- 3) If your business proposes selling and/or serving food, contact the Lake County Health Department at 847-377-8040 for requirements.
- 4) If no alterations or improvements (structural, plumbing, electrical, etc.) are proposed, complete the attached forms and return them to the Building & Zoning Department along with the required inspection fee. After zoning approval, applicant will be contacted to schedule inspections. Please call 48 hours in advance of required inspection time. Inspections are conducted M-F between 8:30a.m.-3:30p.m.
- 5) Completed forms can be e-mailed directly to Permits@LakeZurich.org. The fee can be paid by cash, check (payable to the Village of Lake Zurich), and credit card or online at: <http://LakeZurich.org/Epay>. All credit card and online payments are subject to a 2.25% processing fee.
- 6) If alterations/improvements are proposed, contact the Building & Zoning Department for permit requirements.
- 7) Once all inspections have passed and the Certificate of Occupancy is ready to be issued, a business representative will be required to sign for the Certificate at the Community Services Facility. If applicable, the business license fee will be due at time of Certificate issuance.
- 8) Businesses that are not permitted or require a Special Use permit need to receive approvals prior to occupancy allowance. The application process is approximately 60 days. Contact the The Village Planner at 847-540-1759 to arrange for a pre-application meeting.

FEES FOR OCCUPANCY INSPECTION:

Square footage:	Fees
0 - 5,000	\$170.00
5,001 - 10,000	\$255.00
10,001 - 50,000	\$365.00
More than 50,001	\$505.00

PLEASE SUBMIT A FLOOR PLAN INDICATING THE AREA YOU INTEND TO OCCUPY WITH THE APPLICATION

Failed inspections are allowed one re-inspection. Additional re-inspections are scheduled after a re-inspection fee is paid



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047
(847) 540-1696
Fax (847) 726-2182
Permits@LakeZurich.org
www.LakeZurich.org

BUSINESS LICENSE & OCCUPANCY APPLICATION

ATTACH FLOOR PLAN CLEARLY ILLUSTRATING THE BUILDING AREA YOU INTEND TO OCCUPY

Check one of the following:

Existing Building: New Tenant, No Alterations Existing Building: New Tenant, Alterations to Building
 Existing Building: Name/Ownership Change Only New Building: New Occupant

Other: _____

1. Business Name: **ARK FRANCHISE HOLDINGS CORPORATION D.B.A SCENTHOUND**
2. Location/address: **708 S RAND RD, LAKE ZURICH, IL** Business Phone: **847-754-9247**
3. Business owner's name: **VALERIE CONVERSE** Email: **Vconverse@scenthound.com**
4. Circle one: Single ownership, partnership, corporation, joint venture, other: _____
5. Property Owner Name: **THE FIDELITY GROUP LTD** Phone: **847-438-5000**
6. Emergency Contact Name: **MICHAEL DASTAGIR** Address: **21859 N WOLTER LN, KILDEER** Phone: **847-666-8732**
7. Type of business use (BE SPECIFIC) – if an office – what type of service, if retail, what products are sold, if manufacturing, what products, etc. **DOG GROOMING AND WELLNESS BUSINESS. NO BOARDING FOR DOGS.**

8. Employee/Building Data:

Total Number of Employees	5
Number of Toilet Rooms	1
Number of Exits	2
Total Square Footage of space	2036
Proposed Move In Date:	JUL-15
Parking Spaces Required	3

9. Will trucks be parked on site? **NO** If yes, where/how many? _____
10. Will hazardous chemicals/material be stored on site? If yes, a list must be provided of hazardous chemicals. **NO**
11. A separate permit is required for parking lot sealing/restriping. Initial to acknowledge: **VC**
12. A permit and screening is required for changes to rooftop mechanical units. Initial to acknowledge: **VC**
13. Permanent & temporary signs require a permit (including banners etc). Initial to acknowledge: **VC**
14. Outdoor storage is not permitted; dumpsters shall be within approved enclosures. Initial to acknowledge: **VC**
15. RPZ (backflow preventers) shall be certified annually. Initial to acknowledge: **VC**

NO BUSINESS SHALL BE OCCUPIED WITHOUT A CERTIFIED OF OCCUPANCY AND BUSINESS LICENSE ISSUED BY THE VILLAGE OF LAKE ZURICH. FAILURE TO OBTAIN CERTIFICATE AND OR BUSINESS LICENSE MAY RESULT IN BUSINESS CLOSING AND OR FINES.

Val Converse

Signature – business owner/agent
Responsible for above requirements

VALERIE CONVERSE

Printed name – business owner/agent

05/16/2022

Date

Office Use Only: Zoning SIC#: _____ Approved _____ Denied _____
Comments: _____

Building and Zoning Signature: _____ Date: _____



At the Heart of Community

PUBLIC WORKS DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

(847) 540-1696
Fax (847) 726-2182
LakeZurich.org

INDUSTRIAL WASTEWATER QUESTIONNAIRE

Facility Name: SCENT HOUND - LAKE ZURICH

Facility Address: 705 S RAND ROAD, LAKE ZURICH, IL - 60047

Telephone Number: 847-666-8732

Facility Representative: VALERIE CONVERSE

Describe the type of business activity at this location:

DOG GROOMING AND WELLNESS

Number of employees: 5 Days of operation: 6
Hours of operation: 8AM - 5PM

List all North American Industry Classification System Numbers (SIC Numbers): _____

Does this facility generate any wastewater from any manufacturing process?
Yes No

Does this facility operate a pretreatment process or device used for treating wastewater prior to discharge to the sewer? Yes No

Does this facility have a grease trap? Yes No
If yes, how many? _____

Name of person completing this report: VALERIE CONVERSE

Title: PRESIDENT

For Office Use Only

Date Received: _____

Further Action Necessary: _____

Reviewed By: _____ Date: _____



At the Heart of Community

FIRE DEPARTMENT
Fire Prevention Bureau

1075 Old McHenry Road
Lake Zurich, Illinois 60047

(847) 540-5073
FAX: (847) 550-1779
LakeZurich.org

OCCUPANCY DIRECTORY / EMERGENCY CONTACTS

FAX BACK TO FIRE PREVENTION BUREAU 847-550-1779

OR EMAIL TO: FIRE.BUREAU@LAKEZURICH.ORG

Date: 05/16/2022

Name of Business: SCENTHOUND - LAKE ZURICH
 Business Address: 708 S RAND ROAD, LAKE ZURICH, IL - 60047
 Business Phone: 847- 666 - 8732
 Business Email: vconverse@scenthound.com
 Business Owner: VALERIE CONVERSE After Hrs Phone: 847-666-8732
 Building Owner: THE FIDELITY GROUP LTD Phone: 847 - 438 - 5000
 Building Owner Mail Address: 795 ELA ROAD, SUITE 110
 City: LAKE ZURICH State: IL Zip: 60047
 Building Owner Email: jason@fgltd.net

LIST THE EMERGENCY CONTACTS THAT CAN BE CALLED FOR INFORMATION
AFTER BUSINESS HOURS

Name: M0 DASTAGIR Primary Phone: 847-754-9247
 Secondary Phone: _____
 Name: _____ Primary Phone: _____
 Secondary Phone: _____
 Name: _____ Primary Phone: _____
 Secondary Phone: _____



At the Heart of Community

FINANCE DEPARTMENT

70 East Main Street
Lake Zurich, Illinois 60047

(847) 438-5141
LakeZurich.org

UTILITY BILLING ACCOUNT APPLICATION

PROPERTY SERVICE ADDRESS

Street Address: S,RAND ROAD	Unit #: 708
City: LAKE ZURICH	State: IL
	Zip: 60047

PROPERTY OWNER

Name (Last, First): THE FIDELITY GROUP LTD	Home Phone: 847-438-5000
Email: jason@fgltd.net	Cell Phone:
Previous Lake Zurich Utility Billing Customer? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Work Phone:
Mailing Address (if different):	Unit #:
City:	State: Zip:

"Can we sign you up for the free official Village e-newsletter, *Benchmarks*?"

YES

NO

OCCUPANCY INFORMATION

Date to Start Service: 05/23/2022	Is this property <input type="checkbox"/> Owner Occupied or <input checked="" type="checkbox"/> Rental?
IF RENTAL PROPERTY*	
Tenant Name (Last, First): CONVERSE, VALERIE	Tenant Phone: 847-666-8732
Party to be billed: <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Tenant	

*Pursuant to Village regulation, the property owner and any tenants are jointly liable and agree to pay the Village of Lake Zurich as prescribed in the effective Village rate schedules and to comply with all applicable Village ordinances related to water and sewer matters.

IDENTIFICATION AUTHENTICATION

Primary Account Holder	
Name (Last, First) CONVERSE, VALERIE	Type of ID: DRIVERS LICENSE
If Other Identification, Explain:	Last four digits of government issued ID: 4620
Additional Authorized Parties (Optional)	
Name (Last, First) DASTAGIR, MOHAMMED	Type of ID: DRIVERS LICENSE
If Other Identification, Explain:	Last four digits of government issued ID: 7364
Name (Last, First)	Type of ID:
If Other Identification, Explain:	Last four digits of government issued ID:

AGREEMENT

I hereby certify that the information provided is complete and accurate to the best of my knowledge. I/We understand and agree to the above conditions, which will remain in force until the Village receives written notice to terminate the above service.

Account Holder Signature: ValCon

Date: **05/16/2022**

INTERNAL USE ONLY

Date Application Received: _____

ID Verified by Staff: _____

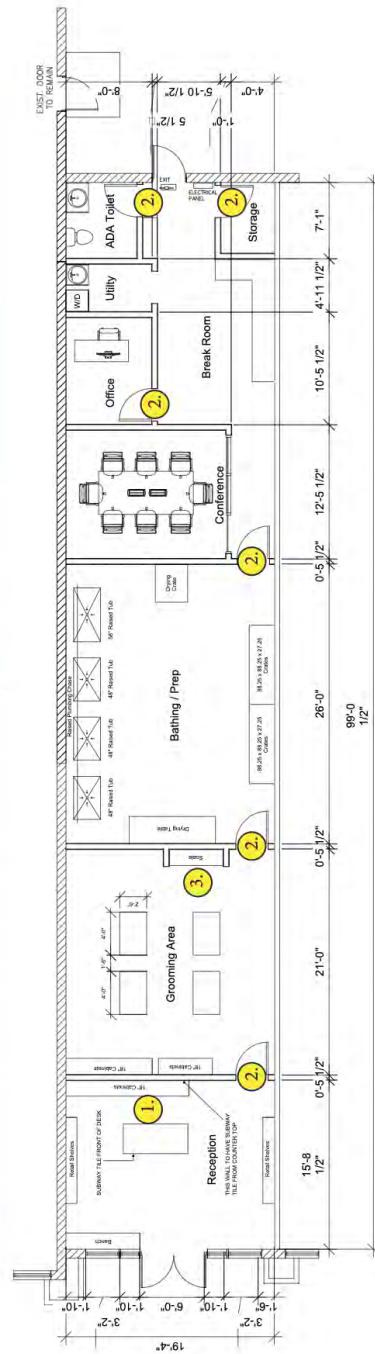
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FLOOR PLAN

- ① Power and Ethernet to travel down wall and under concrete floor, up to desk; power and Ethernet are supplied to both sides of the desk.
- All interior doors have an automatic closure function.
- ② All interior doors have an automatic closure function.
- ③ To the right of the scale is a knee-wall.



PROPOSED PLAN
 SCALE: 1/8" = 1'-0"

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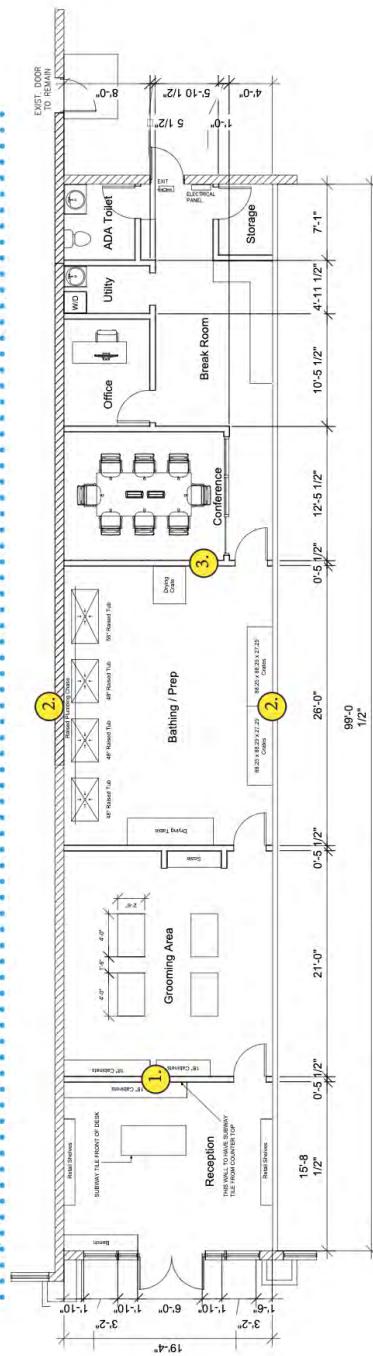
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NOISE-MITIGATION PLAN

1. The wall between the lobby and the grooming room shall be built to deck and filled with mineral-wool type insulation, and wall board shall be 5/8" sound-deadening gypsum, Quietrock or equal, to deck, both sides.
2. The tenant-shared walls in the bathing room (on either side of the room - behind tubs / behind cages) should either: a) use mineral-wool insulation, Quietrock, then FRP if unfinished, or b) have a new layer of Quietrock on top of the existing drywall before adding FRP if finished.
3. It is recommended that the wall between the bathing room and the back room use Quietrock as well, especially if the back room has an office.



 **PROPOSED PLAN**
SCALE: 1/8" = 1'-0"

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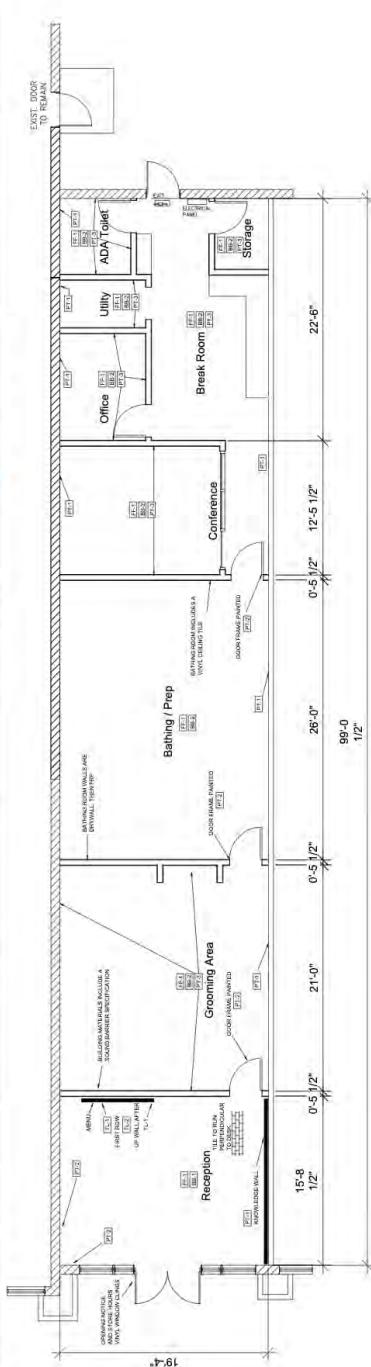
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FINISH & MATERIAL PLAN

FINISH LEGEND

BALL OUT	TYPE	MFG	DESCRIPTION	NOTES	ROOM NAME	WALL	FLOOR FINISH	BASE	CEILING
PT-1	SATIN	SHERWIN WILLIAMS	SW 6244 NAVAL	ACCENT PAINT	LOBBY	GYP BD. PAINT	TILE	TILE	ACT @ 10'-0" A.F.F.
PT-2	SATIN	SHERWIN WILLIAMS	SW 7006 EXTRA WHITE SATIN	LOBBY MAIN WALL PAINT					
PT-3	SATIN	SHERWIN WILLIAMS	SW 6253 OLYMPIUS WHITE	SERVICE ROOM MAIN WALL PAINT					
TL-1	TILE	DAL TILE	GLOSSY NAVY BLUE ACCENT: SEMI GLOSS 6'X3"	"TO BE USED AS THE BASE ROW FOR THE FRONT DESK AND TILED WALL"	GROOMING	GYP BD. PAINT	TILE	VINYL	ACT @ 10'-0" A.F.F.
TL-2	TILE	DAL TILE	GLOSSY ARCTIC WHITE: SEMI GLOSS 6'X3"	"TO BE USED ABOVE THE ROW OF GLOSSY NAVY BLUE 6'X12' COVE BASE"	BATHING & PREP	FRP	TILE	VINYL	ACT @ 10'-0" A.F.F.
BB-1	COVE BASE TILE	JOHNSONITE	STYLE: W/9; COLOR: ELECTRIC MOSS	INSTALLED IN ALL ROOMS EXCEPT LOBBY	BACK ROOM	GYP BD. PAINT	TILE	VINYL	ACT @ 10'-0" A.F.F.
BB-2	COVE BASE VINYL		STYLE: W/9; COLOR: ELECTRIC MOSS	12'X24"	ADA	GYP BD. PAINT	TILE	VINYL	ACT @ 10'-0" A.F.F.
FF-1	TILE	DAL TILE	STYLE: W/9; COLOR: ELECTRIC MOSS	INSTALLED IN ALL ROOMS EXCEPT LOBBY	RESTROOM	GYP BD. PAINT	TILE	VINYL	ACT @ 10'-0" A.F.F.
FRP	FRP	MARLITE	COLOR: WHITE	FLAT NON-TEXTURED					



FINISH PLAN

 SCALE: 1/8" = 1'-0"

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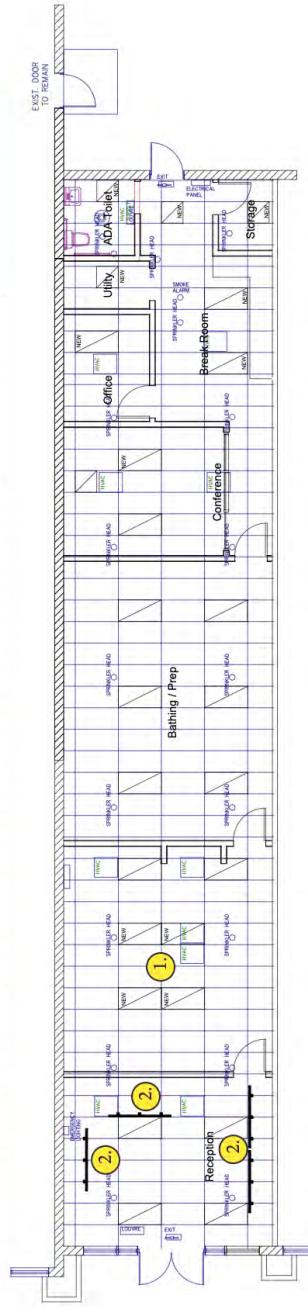
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LIGHTING PLAN

1. Lighting should be positioned directly over each grooming station.
2. Three groups of track lights; one set on the retail shelving, one focused on the knowledge wall, and the last on the menu.

All lights have a 30-minute motion feature.

Track lighting and ceiling lights are on separate timers.



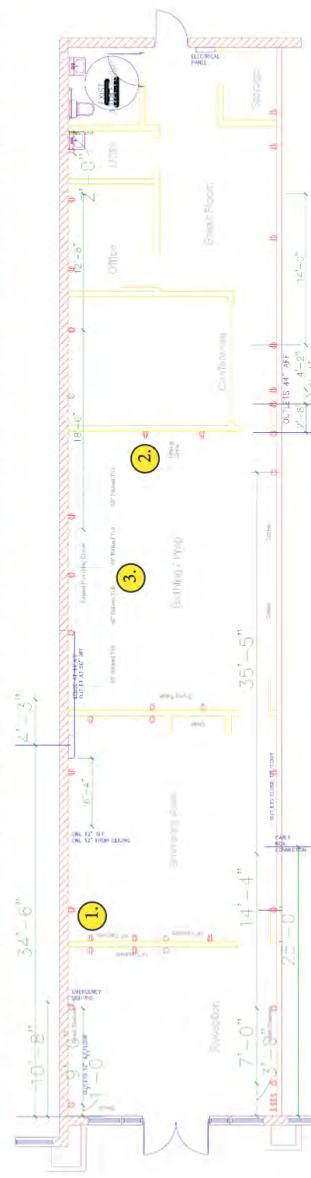
REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

NEW = PROPOSED

POWER PLAN

1. Cabinet wall to have a duplex and data port for TV monitor install.
2. Drying crates must be on a 30-minute timer.
3. Electrical for each blow dryer between the tubs to be on dedicated line to prevent tripping the breaker when in use. (Will change in plan after prototype approval.)



OUTLET LOCATIONS

NOTE:
ELECTRICAL DRAWINGS ARE FOR REFERENCE ONLY AND MAY BE UPDATED IN FUTURE.

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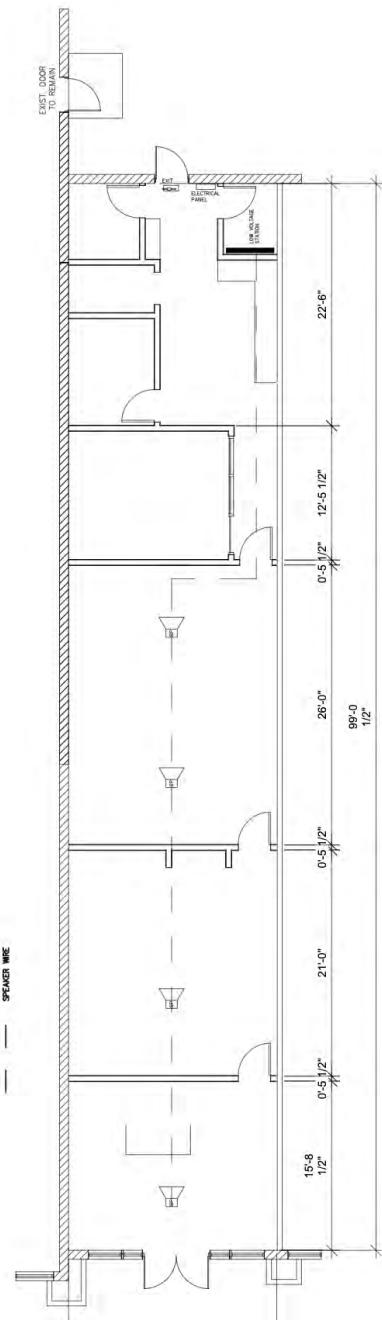
LOW VOLTAGE PLAN

SOUND

- Wired in sequence, single volume control located in BOH.

SPEAKER: INSTALLED IN CEILING, SPEAKER WIRE RUN THROUGH CEILING AND DOWN WALL TO CABINET IN GROOMING ROOM

SPEAKER WIRE



L/V SOUND

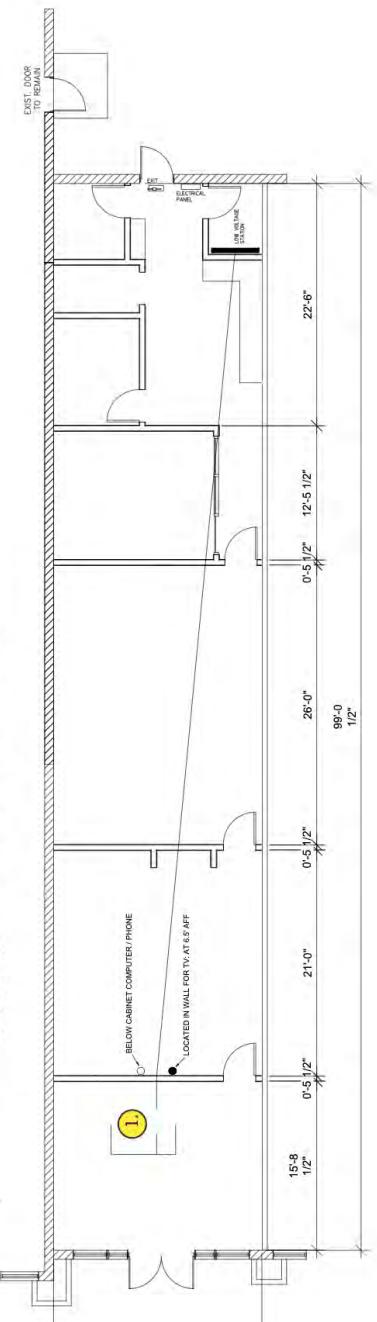
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LOW VOLTAGE PLAN

① VOIP through computer at front desk.
POTS line usually not required unless needed as a base building fire alarm system.

DUPLEX CAT 5/6 JACK
CAT 5 CABLES ARE RUN THROUGH CONDUIT IN CONCRETE TO FRONT DESK WHERE THEY SPLIT TO ENTER ONE OF DESK
SINGLE CAT 5/6 JACK
GROUP OF 7 CAT 5/6 CABLES RUNNING THROUGH CEILING FROM LOW VOLTAGE STATION TO WALL WHERE 4 WILL GO
THROUGH CONDUIT IN THE FRONT DESK, 2 WILL GO TO DUPLEX OUTLET BELOW COUNTER AND 1 WILL GO TO
SINGLE OUTLET IN WALL.



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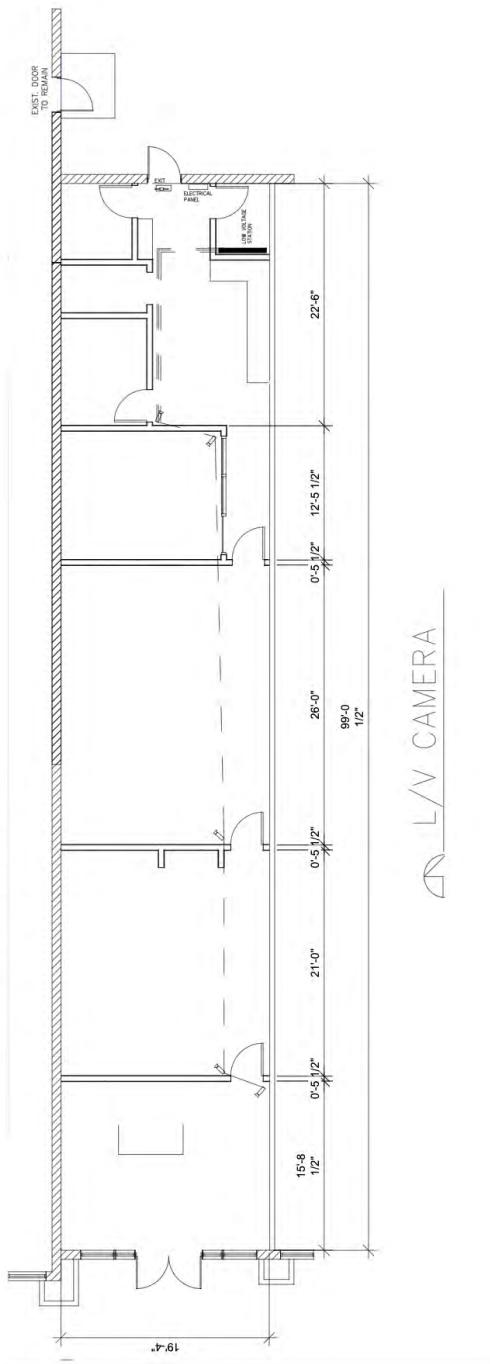
LOW VOLTAGE PLAN

CAMERA

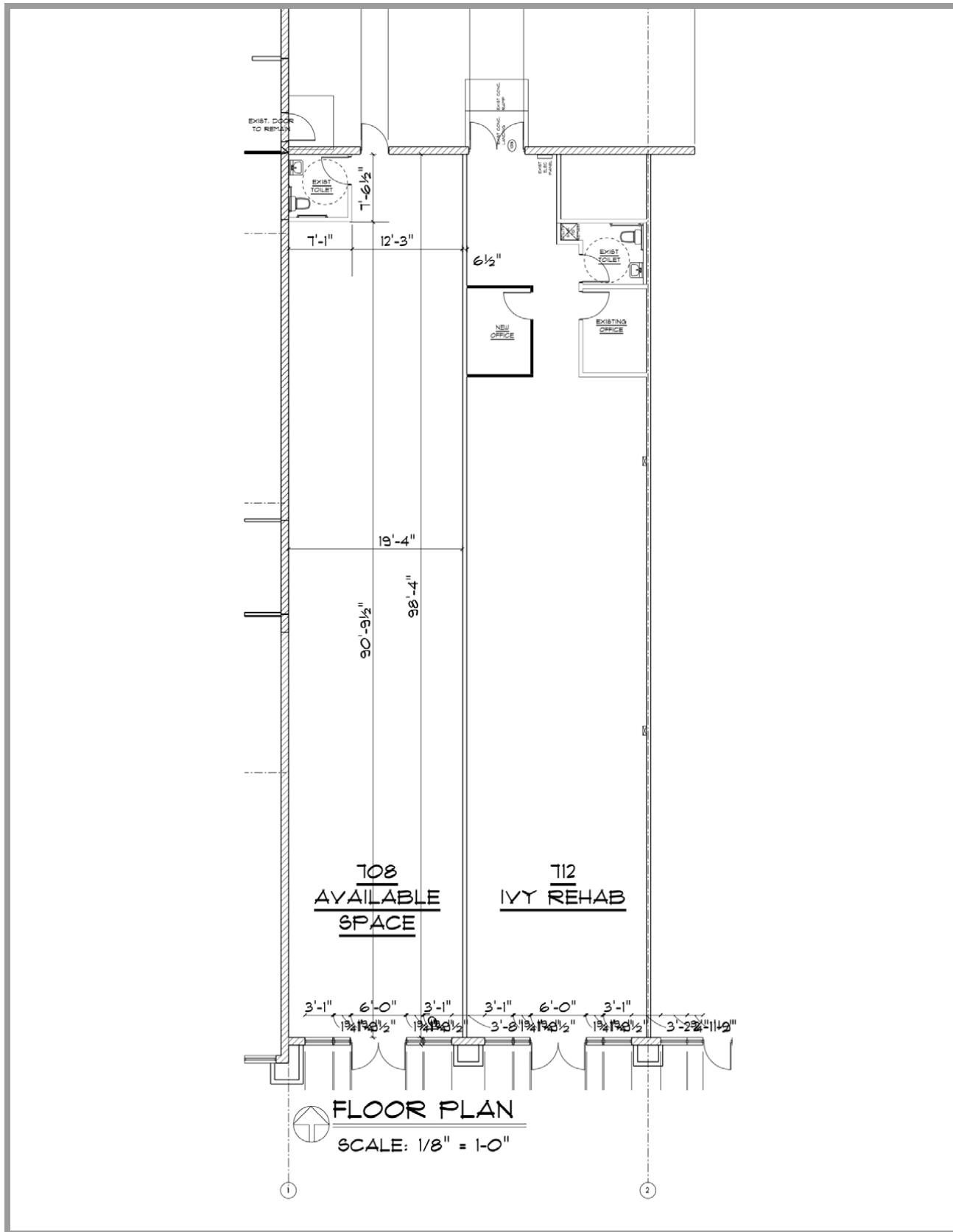
- GC to provide conduit as needed and CAT 5-E wiring in ceiling to camera locations, leaving a 6' loop at end.
- Cameras provided and installed by Verkada.



□1 —
CAMERA
CAT 5/6 CABLES RUN THROUGH CEILING TO EACH CAMERA



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Design & Construction Manual

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Overview

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NOTE: If the general contractor or project management firm finds any discrepancies between the Design & Construction Manual and the construction documents for specific franchisee locations they shall immediately be brought to the attention of the Rollout Connection for clarification prior to ordering or installing materials, fixtures or equipment.

WORKING WITH ROLLOUT CONNECTION

Welcome to the Scenthound Design & Construction Manual, provided to you by the team here at Rollout Connection. Here you will find the Brand Standard for the design and construction of each Scenthound location.

ABOUT US

Our team has decades of combined experience managing projects for franchise chains of all sizes, including rapidly-growing brands such as Aroma Joe's, Beard Papa's, CityRow, The Lash Lounge, Sweetwaters Coffee & Tea, and more. Franchise buildouts are all we do. Our over-riding goals are to remove friction from the construction process and accelerate franchise openings. We are entrepreneurs at heart, we love being a part of helping you grow your business and that of your franchisees, and we work every day to continue to grow our company in a way that earns and honors your trust.

LITTLE CONSTRUCTION EXPERIENCE?

Franchisees typically have little to no commercial construction experience, and to complicate matters, there are fewer and fewer qualified local commercial GC's and subcontractors in today's market.

LACK OF TIME?

Even Franchisees with some construction experience suffer from a lack of time - keeping busy with another full-time job or business, family obligations, and start-up activities such as hiring employees and marketing the business for a successful launch.

WATCHING THE BUDGET?

Lack of commercial construction experience and time to properly manage the project can wreak havoc on the budget - including failing to secure enough funds to complete the project, being hit with unreasonably high contractor bids and cost overruns, and delaying the opening of the business to miss out on all-important revenue.

EXPERIENCED, CARING HANDS

We celebrate franchise entrepreneurship and all we do are franchise buildouts. We manage over \$20 Million of projects annually all over the country - that's a lot of new franchise locations!

SAVE (A LOT OF) TIME

Not only is our franchise buildout program designed to be completely turn-key to allow you to focus on other important activities, our finely-tuned process typically shaves 4-8 weeks off the construction timeline.

SAVE MONEY, MAKE MONEY

Our seasoned team ensures accurate architectural plans are provided for no surprises experience, competitively drives down bids from our national stable of general contractors, and manages faster project completion to get Franchisees open and generating revenue weeks and even months faster.

SCHEMATIC & DESIGN DEVELOPMENT PACKAGE GUIDELINES

Each building and space will have their own set of unique characteristics. These will include a variety of layouts, square footage differences and support obstructions. With this in mind we must continue to strive to ensure Scenthound design and construction standards, laid out in this manual, are adhered to.

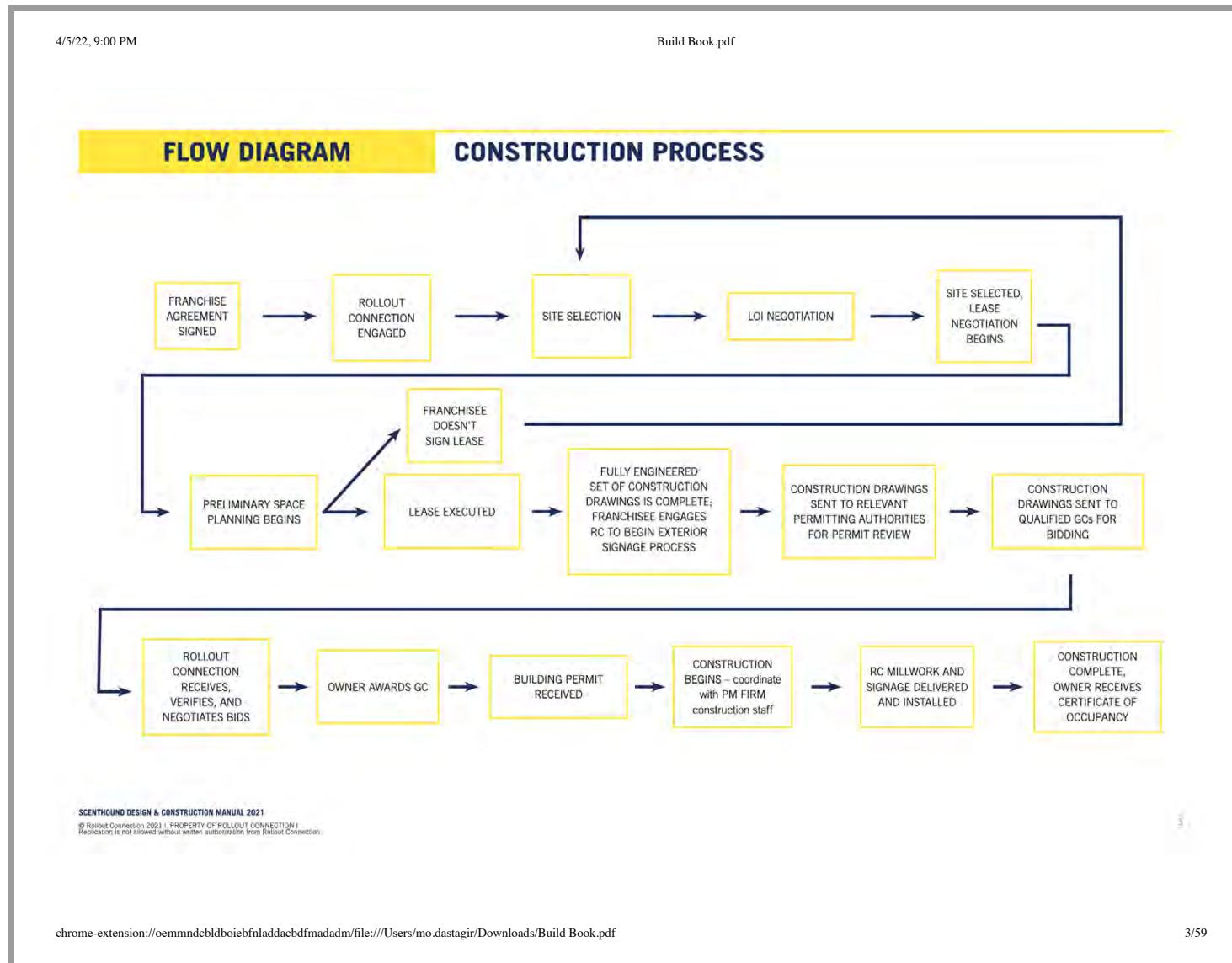
Our team at Rollout Connection will work directly with each location to see that each plan optimizes square footage and creates the best possible guest experience.

In this Design & Construction Manual, we focus on the requirements necessary to produce construction documents that meet Scenthound's and Rollout Connection's Brand Standards.

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RESPONSIBILITY MATRIX

ITEM	FURNISH				INSTALL				NOTES
	GC	VENDOR #	ROLLOUT CONNECTION	OWNER	GC	VENDOR #	ROLLOUT CONNECTION	OWNER	
I. GENERAL CONDITIONS									
SUPERVISION	X				X				
INSURANCE	X				X				
TRASH REMOVAL	X				X				
DUMPSTERS	X				X				
FINAL CLEAN UP	X				X				
BONDS AND DEPOSITS	X				X				
PERMITS	X				X				
CONSTRUCTION BARRICADE	X				X				
II. DEMOLITION									
DEMOLITION	X				X				
CONCRETE AND SOIL REMOVAL	X				X				
DISPOSAL	X				X				
III. CONCRETE									
SAW CUTTING	X				X				
CORE DRILLING	X				X				
SLAB ON GRADE	X				X				
FOOTINGS	X				X				
CONCRETE PATCH	X				X				
IV. MASONRY									
MISC	X				X				
V. METALS									
STRUCTURAL STEEL	X				X				
LIGHT GAUGE METAL FRAMING	X				X				
VI. CARPENTRY									
WOOD BLOCKING	X				X				
FINISH CARPENTRY	X				X				
MILLWORK INSTALL		1	X			1	X		SEE MILLWORK PACKAGE DETAILS IN RESPONSIBILITY MATRIX; ROLLOUT CONNECTION IS PREFERRED BUT NOT A REQUIRED VENDOR FOR INSTALL, DEFAULT TO GC

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RESPONSIBILITY MATRIX CONTINUED

FRONT DESK	1	X		1	X		E F I H
COUNTERTOPS	1	X		1	X		E F I H
RECEPTION DESK COUNTERTOP	X	1		X	1		
LOBBY CABINETS	1	X		1	X		E F I H
RETAIL SHELF	1	X		1	X		E F I H
LOBBY BENCH	1	X		1	X		E F I H
GROOMING ROOM CABINETS	1	X		1	X		E F I H
OFFICE CABINETS	1	X		1	X		E F I H
OFFICE SHELVING	1	X		1	X		E F I H
OFFICE DESK	1	X		1	X		E F I H
VII. THERMAL AND MOISTURE PROTECTION							
INSULATION	X			X			
ROOF PENETRATION	X			X			
CAULKING	X			X			
VIII. DOORS, WINDOWS, AND GLASS							
INTERIOR DOORS	X			X			
INTERIOR DOOR HARDWARE	X			X			
EXTERIOR DOORS	X			X			
EXTERIOR DOOR HARDWARE	X			X			
STORE FRONT SYSTEMS	X			X			
WINDOWS	X			X			
IX. FINISHES							
DEMISING WALLS DRYWALL HUNG AND FINISHED	X			X			
INTERIOR PARTITIONS DRYWALL HUNG AND FINISHED	X			X			
CEILING SOFFITS DRYWALL HUNG AND FINISHED	X			X			
ACOUSTICAL CEILING SYSTEM	X			X			
RUNNING TRIM - WALL BASE	X			X			H
FLOOR PREP	X			X			
CERAMIC TILE	X			X			
FRP	X			X			
PAINT AND WALL COVERING	X			X			
DECOR - INTERIOR GRAPHICS		1	X		1	X	E F G I, GC SHALL ASSIST OWNER'S INSTALLER

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RESPONSIBILITY MATRIX CONTINUED

Category	Item	Departmental Responsibility						Notes
		Architect	Structural	MEP	Electrical	General	Other	
X. SPECIALTIES	ACCESSIBLE SIGNAGE - BATHROOMS	X				X		
X. SPECIALTIES	ACCESSIBLE SIGNAGE - EXIT DOORS	X				X		
X. SPECIALTIES	EXTERIOR SIGNAGE			X				X C D E F I. ROLLOUT CONNECTION IS A RECOMMENDED BUT NOT REQUIRED VENDOR FOR THIS ITEM
XI. EQUIPMENT	GROOMING EQUIPMENT			3	X	X	3	
XI. EQUIPMENT	FIRE EXTINGUISHERS	X				X		
XI. EQUIPMENT	TOWEL DISPENSER	X				X		
XI. EQUIPMENT	SOAP DISPENSER	X				X		
XI. EQUIPMENT	GRAB BARS	X				X		
XI. EQUIPMENT	TOILET TISSUE DISPENSER	X				X		
XI. EQUIPMENT	BATHROOM MIRROR	X				X		
XII. FURNISHINGS	FURNITURE (IF APPLICABLE)			?	X	X	X	B F I
XV. MECHANICAL	HVAC RTU	X				X		
XV. MECHANICAL	SERVICE EXISTING UNIT	X				X		
XV. MECHANICAL	FLUE PIPING	X				X		
XV. MECHANICAL	RESTROOM EXHAUST FAN AND PIPING	X				X		
XV. MECHANICAL	HVAC DISTRIBUTION	X				X		
XV. MECHANICAL	HVAC AIR BALANCE	X				X		
XV. PLUMBING	PLUMBING ROUGH	X				X		
XV. PLUMBING	PLUMBING FINISH	X				X		
XV. PLUMBING	WATER HEATER	X				X		
XV. PLUMBING	GAS PIPING	X				X		
XV. PLUMBING	FIRE SPRINKLERS	X				X		
XVI. ELECTRICAL	ELECTRICAL DEMOLITION			X			X	
XVI. ELECTRICAL	SERVICE CABLE AND CONDUIT			X			X	
XVI. ELECTRICAL	PANEL AND SWITCH GEAR			X			X	

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RESPONSIBILITY MATRIX CONTINUED

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NOTE:
GC TO ACCEPT AND STORE ALL OWNER DELIVERIES.
ALL OWNER FURNISHED ITEMS GC TO COORDINATE.

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CONTACT LIST

VENDOR	#	CONTACT	EMAIL	PHONE
ROLLOUT CONNECTION	1	KIRK TRAMMEL	kirk@rolloutconnection.com	(920) 850-9767
SCENTHOUND CORPORATE	2	KIERAN SCOTT	keran@scenthound.com	(561) 203-2489
GROOMER'S CHOICE - GROOMING EQUIPMENT	3	JARED SIDEL	jsidel@groomerschoice.com	(605) 782-0480
BARN LIGHT ELECTRICAL - LIGHTING FIXTURES	4	BARN LIGHT ELECTRIC COMPANY	sales@barnlight.com	(800) 407-8784
VERKADA - SECURITY CAMERAS	5	BRANDON BOWERS	bbowers@zenetekds.com	

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Prototype Design

Traditional Store Layout

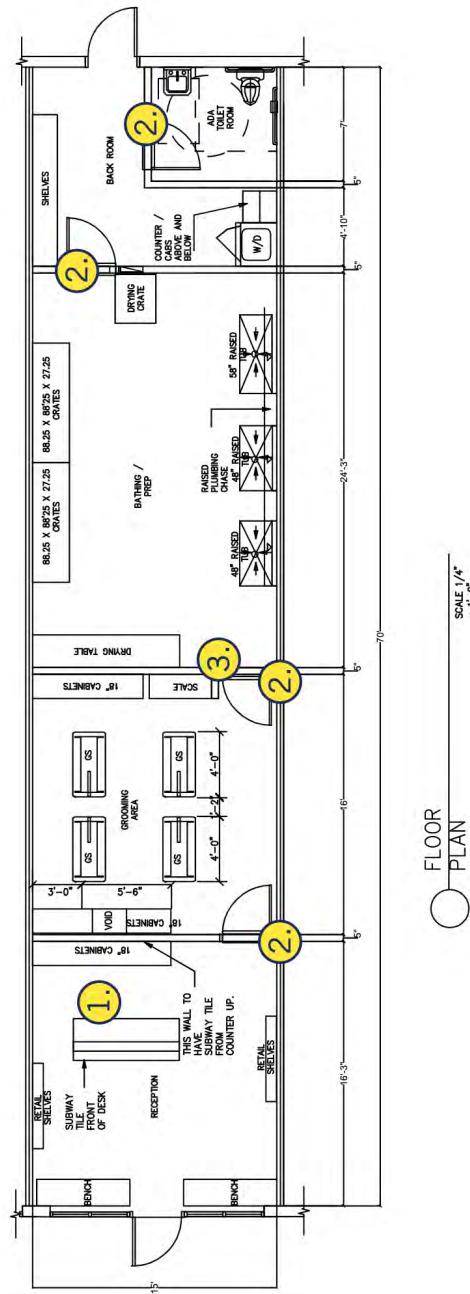
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FLOOR PLAN

1. Power and Ethernet to travel down wall and under concrete floor, up to desk; power and Ethernet are supplied to both sides of the desk.
2. All interior doors have an automatic closure function.
3. To the right of the scale is a knee-wall.



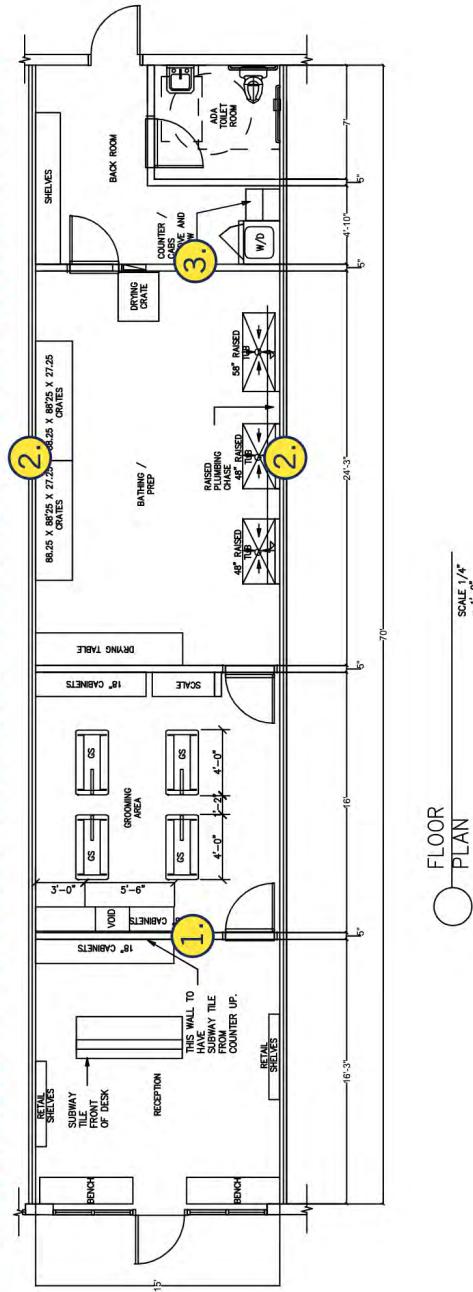
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10

NOISE-MITIGATION PLAN

1. The wall between the lobby and the grooming room shall be built to deck and filled with mineral-wool type insulation, and wall board shall be 5/8" sound-deadening gypsum, Quietrock or equal, to deck, both sides.
2. The tenant-shared walls in the bathing room (on either side of the room - behind tubs / behind cages) should either: a) use mineral-wool insulation, Quietrock, then FRP if unfinished, or b) have a new layer of Quietrock on top of the existing drywall before adding FRP if finished.
3. It is recommended that the wall between the bathing room and the back room use Quietrock as well, especially if the back room has an office.



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FLOOR PLAN

SCALE 1/4"

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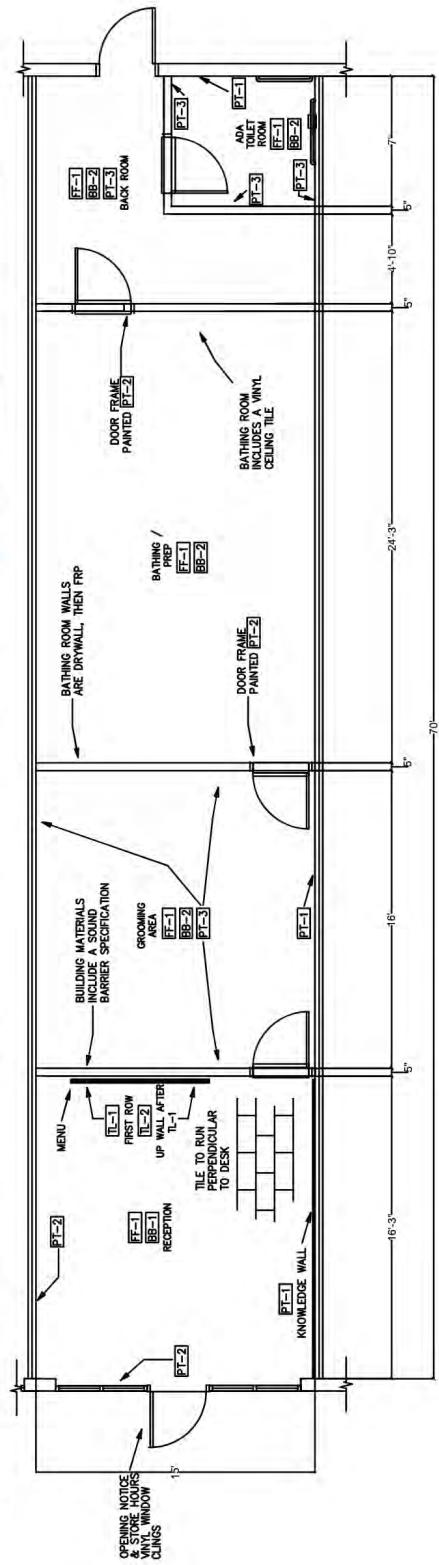
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FINISH & MATERIAL PLAN

FINISH LEGEND

CALL OUT	TYPE	MFG	DESCRIPTION	NOTES	ROOM NAME	WALL	FLOOR FINISH	BASE	CEILING
PT-1	SATIN	SHERWIN WILLIAMS	SW 6244 NAVAL	ACCENT PAINT	LOBBY	GYP. BD. PAINT	TILE	TILE	ACT @ 10'-0" A.F.F.
PT-2	SATIN	SHERWIN WILLIAMS	SW 7006 EXTRA WHITE SATIN	LOBBY MAIN WALL PAINT	SERVICE ROOM MAIN WALL PAINT	GYP. BD. PAINT	TILE	TILE	ACT @ 10'-0" A.F.F.
PT-3	SATIN	SHERWIN WILLIAMS	SW 6253 OLYMPUS WHITE	TO BE USED AS THE BASE ROW FOR THE FRONT DESK, AND TILED WALL	GROOMING	GYP. BD. PAINT	TILE	TILE	ACT @ 10'-0" A.F.F.
TL-1	TILE	DALTILE	GLOSSY NAVY BLUE ACCENT; SEMI GLOSS 6"X3"	TO BE USED ABOVE THE ROW OF GLOSSY NAVY BLUE	BATHING	FRP & PREP	VINYL	VINYL	ACT @ 10'-0" A.F.F.
TL-2	TILE	DALTILE	GLOSSY ARCTIC WHITE; SEMI GLOSS 6"X3"	6"X12" COVE BASE	BACK ROOM	GYP. BD. PAINT	VINYL	VINYL	ACT @ 10'-0" A.F.F.
BB-1	COVE BASE TILE	DALTILE	STYLE: V-79; COLOR: ELECTRIC MOSS	INSTALLED IN ALL ROOMS EXCEPT LOBBY	ADA RESTROOM	GYP. BD. PAINT	VINYL	VINYL	ACT @ 10'-0" A.F.F.
BB-2	COVE BASE VINYL	JOHNSONITE	STYLE: TA5; COLOR: COLONIAL GREY	12"X24"					
FF-1	TILE	DALTILE	COLOR: ELECTRIC MOSS	FLAT NON-TEXTURED COLOR, WHITE					
FRP	FRP	MARLIETE							



FINISH
PLAN

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SCALE 1/4"

= 1'-0"

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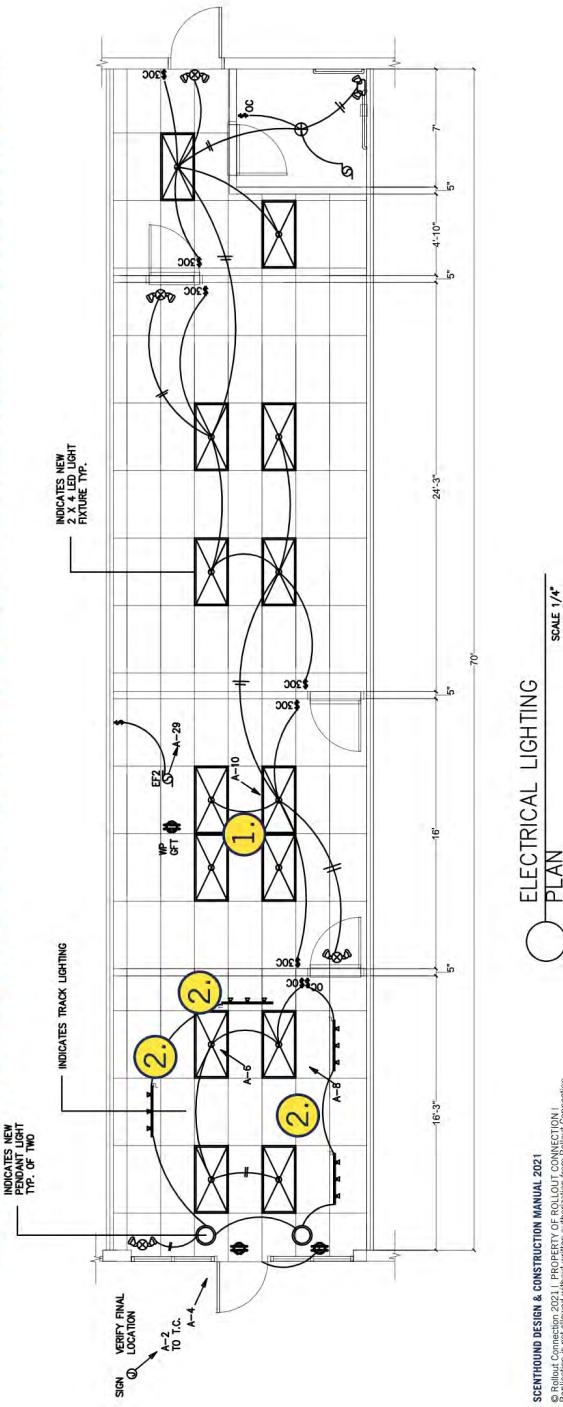
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LIGHTING PLAN

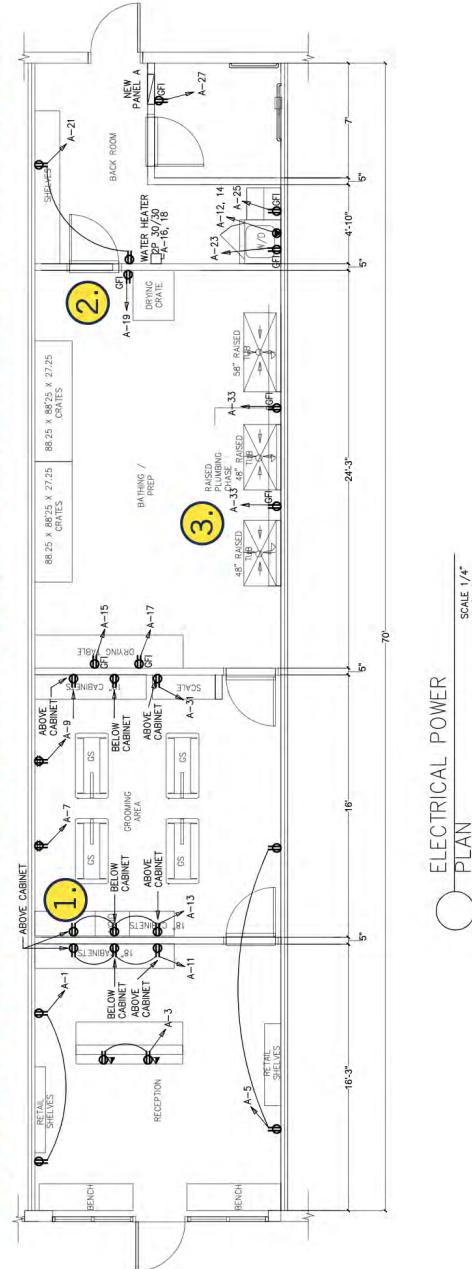
1. Lighting should be positioned directly over each grooming station.
2. Three groups of track lights; one set on the retail shelving, one focused on the knowledge wall, and the last on the menu.

All lights have a 30-minute motion feature.
Track lighting and ceiling lights are on separate timers.



POWER PLAN

1. Cabinet wall to have a duplex and data port for TV monitor install.
2. Drying crates must be on a 30-minute timer.
3. Electrical for each blow dryer between the tubs to be on dedicated line to prevent tripping the breaker when in use. (Will change in plan after prototype approval.)



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ELECTRICAL POWER
 PLAN

SCALE 1/4"

NOTE:
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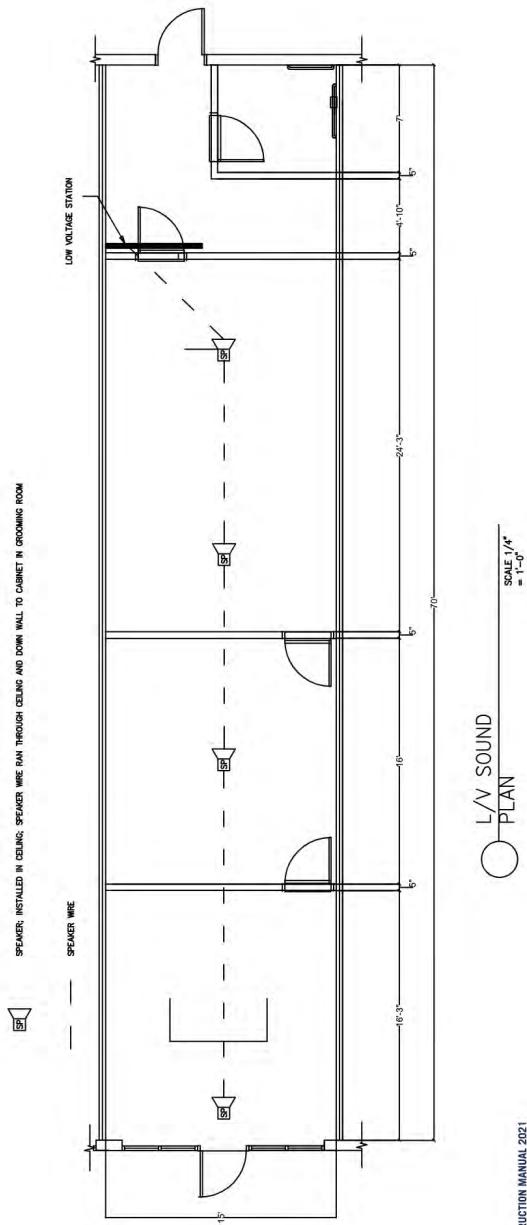
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LOW VOLTAGE PLAN

SOUND

- Wired in sequence, single volume control located in BOH.



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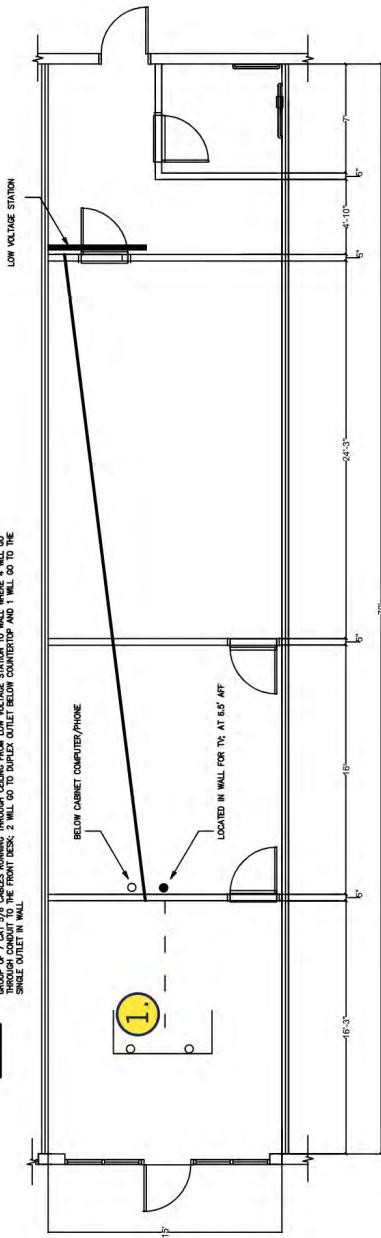
LOW VOLTAGE PLAN

PHONE

① VOIP through computer at front desk.

POTS line usually not required unless needed as a base building fire alarm system.

- DUREX CAT 5/6 JACK
- CAT 6 CABLES ARE RAN THROUGH CONDUIT IN CONCRETE TO FRONT DESK WHERE THEY SPUT TO EITHER SIDE OF DESK
- SINGLE CAT 5/6 JACK
- GROUP OF 7 CAT 5/6 CABLES RUNNING THROUGH CEILING FROM LOW VOLTAGE STATION TO WALL WHERE 4 WILL GO TO COMPUTER, 2 WILL GO TO DUPLEX OUTLET BELOW COMPUTER, AND 1 WILL GO TO THE PHONE OUTLET IN THE WALL



L/V COMPUTER/PHONE
PLAN

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LOW VOLTAGE PLAN

CAMERA

Picture of low voltage station in Boca.

11 Cat 5/6 Cables (Black)

4 power cameras

7 power computer / phone

1 Cat 5/6 Cable (Yellow)

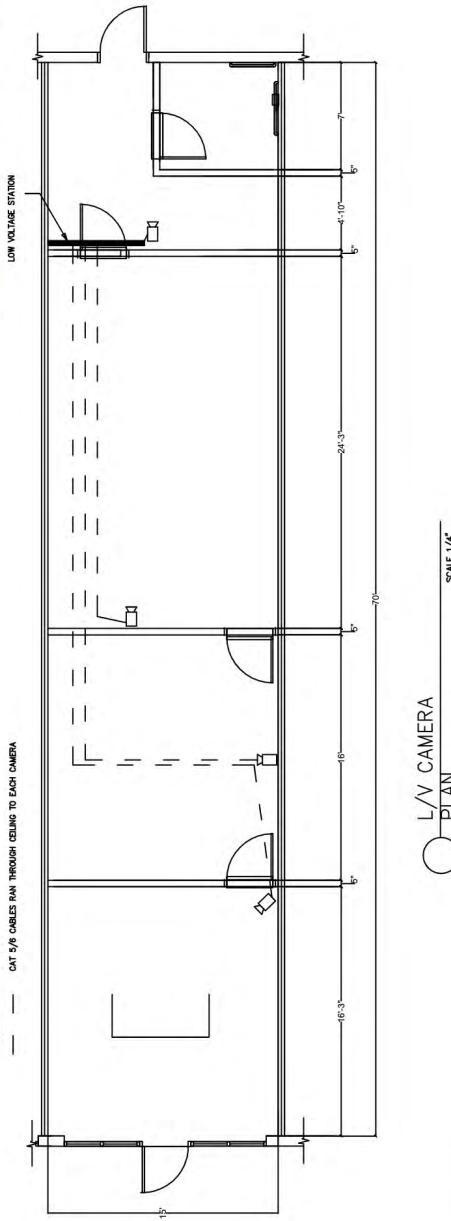
Supplies internet from router to network switch.



- GC to provide conduit as needed and CAT 5-E wiring in ceiling to camera locations, leaving a 6' loop at end.
- Cameras provided and installed by Verkada.

□ — CAMERA

CAT 5/6 CABLES RUN THROUGH CEILING TO EACH CAMERA



○ L/V CAMERA
PLAN

SCALE 1/4"

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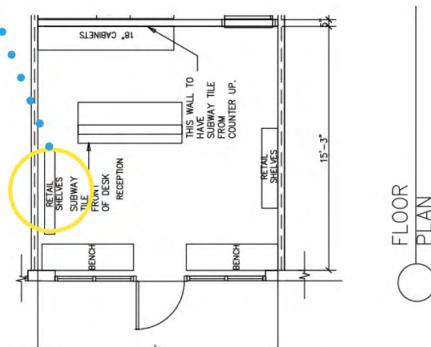
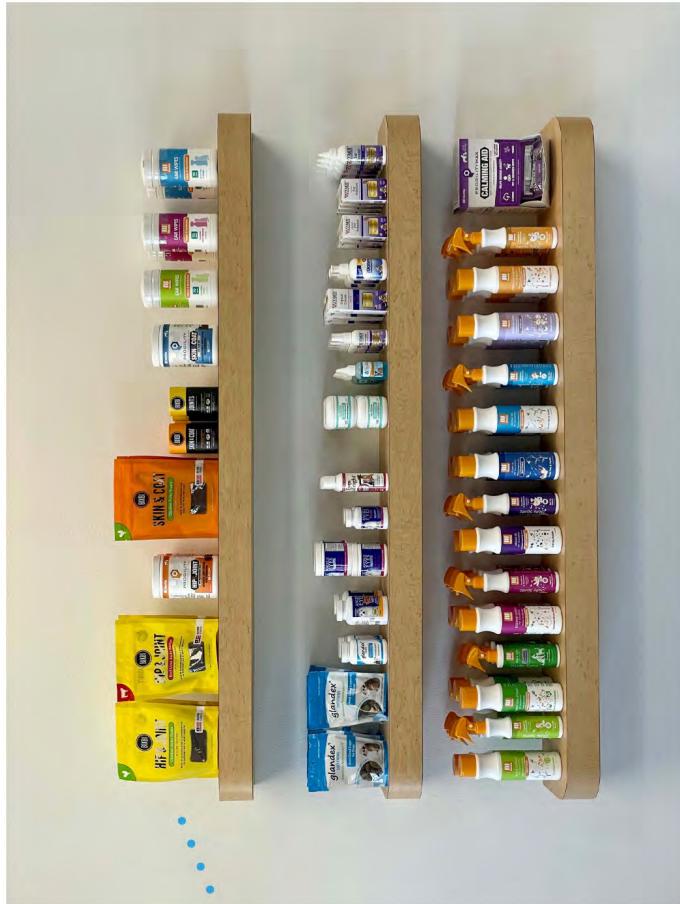
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INTERIOR DETAILS

These are the main retail shelves in the lobby area.

There will be some retail available on the opposite wall, though it is limited. A majority of visibility should remain on this larger display to encourage interaction and purchase.



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INTERIOR DETAILS CONTINUED



The reception desk is to include the following:

- Dog hooks

Bottom of dog hook is 31.25" off ground; exterior side of dog hook is 7.5" from edge.

Reception desk countertop is provided and installed by GC.

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INTERIOR FINISHES

KEY

CALLOUT	LOCATION	DESCRIPTION	MANUFACTURER	PRODUCT/CATALOGUE #	COLOR/FINISH	REMARKS
FF-1	BUILDING	FLOOR TILE	DALTILE	VL79	ELECTRIC MOSS	12"X24"
LAM-1	CABINETRY	CABINET LAMINATE	WILSONART	D379	INDIGO	
LAM-2	BENCH/ RETAIL	BENCH/COUNTERTOP LAMINATE	WILSONART	10734-60	LIMBER MAPLE	NOTE: TO BE USED AS LAMINATE COVERING FOR BENCH, RETAIL SHELVES, SCENT STATION SHELF, AND COUNTERTOPS ABOVE CABINETS.
ST-1	LOBBY	FRONT DESK COUNTER-TOP	CAESARSTONE	4030 (H)	PEBBLE	RECEPTION DESK COUNTERTOP IS PROVIDED AND INSTALLED BY GC
TL-1	LOBBY	SUBWAY TILE	DALTILE	K189	NAVY BLUE GLOSSY	6"X3" NOTE: TO BE USED AS THE BASE ROW FOR THE FRONT DESK & TILED WALL
TL-2	LOBBY	SUBWAY TILE	DALTILE	0190	ARCTIC WHITE GLOSSY	6"X3" NOTE: TO BE USED ABOVE THE ROW OF GLOSSY NAVY BLUE.
BB-1	LOBBY	LOBBY COVE BASE TILE	DALTILE	VL79	ELECTRIC MOSS	6"X12" COVE BASE
BB-2	ALL ROOMS EXCEPT LOBBY	VINYL COVE BASE	JOHNSONITE	TA5	COLONIAL GREY	NOTE: TO BE USED AS COVE BASE IN ALL ROOMS EXCEPT LOBBY.
PT-1		ACCENT PAINT	SHERWIN-WILLIAMS	SW 6244	NAVAL	NOTE: TO BE USED IN THE LOBBY FOR KNOL-EDGE WALL, IN TRIMMING ROOM ON 1 WALL, AND IN RESTROOM ON 1 WALL WHERE THE TOILET/SINK ARE.
PT-2		MAIN PAINT	SHERWIN-WILLIAMS	SW 7006	EXTRA WHITE	NOTE: TO BE USED IN THE LOBBY FOR 3 WALLS, AND ON MOULDING/TRIM/DOOR JAMS.
PT-3		SECONDARY PAINT	SHERWIN-WILLIAMS	SW 6253 234-C1	OLYMPUS WHITE	NOTE: TO BE USED IN TRIMMING ROOM FOR 3 WALLS, IN RESTROOM FOR 3 WALLS, AND IN BACKROOM/SUPPLY ROOM ON ALL WALLS.
GT-1		GROUT	ARDEX GROUTS	19	SILVER SHIMMER	10LB BAG
C-1.1		CEILING TILE	USG	#R2310	WHITE FISSURED	2'X4' LAY-IN CEILING X 5'8"
C-1.2		VINYL CEILING TILE	USG	#3410	WHITE	2'X4' LAY-IN CEILING X 5'8"

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GRAPHICS

OPENING DECOR PACKAGE

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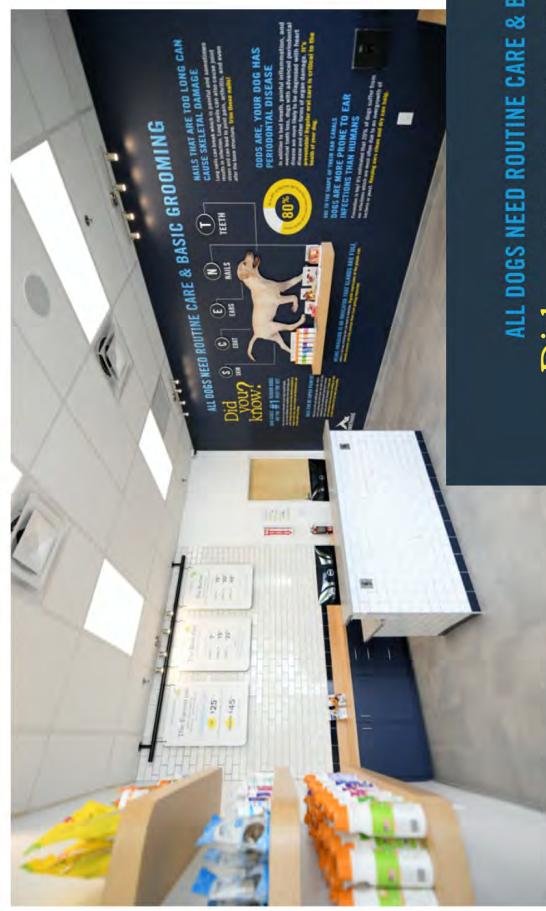
ITEM	REMARKS	INSTALLED BY
1	KNOWLEDGE WALL; FULL WALL DECAL	INCLUDES SHELVING, WASTE BAGS, AND MAGAZINE RACK. SEE PG 24 FOR DETAILS
2	COVID-19 POLICIES AND PROCEDURES	
3	COVID-19 GUIDELINES	
4	OPENING NOTICE; WINDOW CLING	DESIGN DISPLAYED IN DARK, BUT PRINTED IN WHITE VINYL. SEE PG 27 FOR DETAILS
5	LOGO AND HOURS; WINDOW CLING	
6	MISSION STATEMENT	
7	HOUSE RULES	
8	BODY CONDITION	
9	OUTDOOR SIGN	CONTAINS THREE SEPARATE PIECES SUSPENDED ON A METAL FRAME
10	MENU	
11		
12		
13		
14		
15		
16		
17		
18		

GRAPHICS

GRAPHIC WALL

Interior Wall Graphics + Dimensional Features

- Approx. 100 sq. ft. of cut vinyl graphics applied to painted interior wall as per customer artwork (wall paint must be primed & fully cured - min. 4 days prior to installation)
 - Blue Vinyl = Avery Pantone 292C (UC 900-657-0)
 - Yellow Vinyl = Avery Primrose (HP 700-210-0)
 - White Vinyl
 - Plexiglass: Laser-cut 3/16" white acrylic "Scenthound Logo"
 - The small "Scenthound Logo" = 1.77" Acrylite #7328
 - 13 mm PVC: Custom cut dog shape (Black Sintra); 32" x 58" overall, with digital print applied to front; drilled/tapped with stud mount on back + spacer blocks
 - 13 mm PVC: 15(1.7") diameter circles with masked/painted copy: drilled/tapped with stud mount on back + spacer blocks
 - 13 mm Azek, primed + painted with Matthews Urethane on face + returns.
 - Labor: Installation of dimensional elements via blind stud mounting @ placements to correspond with vinyl graphics - as per layout provided



ALL DOGS NEED ROUTINE CARE & BASIC GROOMING

Did you know?

SKIN ISSUES #1 REASON DOGS ARE THE VET

Take care of your dog's skin and coat, and you'll take care of the rest of your dog's health. There are many different skin conditions that can affect dogs, and many of them are treatable. Skin issues can be caused by a variety of factors, including allergies, infections, and parasites. Proper grooming and nutrition can help prevent and treat these conditions.

NAILS CAN BE SUPER PAINFUL!

It's important to keep your dog's nails trimmed and filed to prevent them from becoming too long and causing discomfort or even injury. Overgrown nails can lead to painful infections and even lameness. Regular nail trims and filing can help prevent these issues.

THEIR DROOLING IS AN INDICATOR OF HOW GLANDS ARE FULL

It's normal for dogs to drool, but excessive drooling can be a sign of a medical condition.

DOGS ARE MORE PRONE TO EAR INFECTIONS THAN HUMANS

Problems like 'ear' are the most common type of ear infection in dogs.

join the Clean Club

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GRAPHICS

CONTINUED



The Knowledge Wall is as much a graphic installation as it is an interactive retail and convenience experience.

It allows space for:

- Retail Shelving
- Waste Bags
- Magazine Racks

Magazine rack bottom should be 29.5" from ground; right edge of magazine rack should be 9" from edge of wall.

Bottom of waste bag holder should be 27.5" from ground; right edge should be 21" from edge of wall, which makes it 3" from left edge of magazine rack.

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GRAPHICS**CONTINUED****"CLEAN & HEALTHY" HAS ALWAYS BEEN OUR MANTRA****COVID-19 Policies and Procedures****HANDWASHING**

Employees are required to wash their hands based on the following:

- Upon entering and exiting store premises
- After using restroom
- Between each dog serviced
- Every 30 minutes (at a minimum)
- Using antibacterial soap and lathering for at least 30 seconds

**SURFACE/WORKSPACE DISINFECTION**

- Each employee is to disinfect their assigned station and tools at the beginning and end of each work shift and between dogs
- Common areas and door handles should be disinfected every 30 minutes (at a minimum)
- Phones should be used by designated employees only and disinfected after use
- Bathroom should be cleaned/disinfected three times a day

**GENERAL POLICIES FOR COVID-19**

- Only one customer in lobby at a time
- Face masks are to be worn every time an employee is communicating with a customer and whenever more than one person is in a room
- Use only Scenthound leads while dogs are in our care — pet parents should be asked to remove all personal items from their dog prior leaving the premises
- Practice social distancing of at least six feet at all times
- Employees are not to share drinks or food
- Employees are to use their personal tools only
- If an employee is feeling ill, has a fever, or is experiencing other COVID-19 symptoms, they are to stay home and contact their manager



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**"CLEAN & HEALTHY" HAS ALWAYS BEEN OUR MANTRA****For the safety of our customers and staff:**

1 One customer in lobby at a time — please queue up outside maintaining a safe distance.



2 Please wear a face covering inside.



3 Once inside, please remove personal belongings from your dog — we will use our own leads.



4 We are accepting credit cards only and emailing receipts.

Thank you!**GROOMING ROOM****Wall Graphic**

COVID-19 Procedural Graphics
Adhesive Backing

Size: 24" x 36"

FRONT DOOR**Door Decal**

COVID-19 Procedural Graphics
Static Cling

Application: Between logo and hours of operation.

Size: 22" x 22"



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GRAPHICS**CONTINUED**

ROUTINE CARE & GROOMING
FAST • EASY • AFFORDABLE

FRONT
WINDOWS

Now Open Signage

NOW OPEN!
(561) 409-8576

We keep dogs
clean & healthy!



scenthound.com

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HOUSE RULES

For the safety of all in our facility
please take note of our

- #1** Do not leave dogs unattended



- #2** Dogs must be on leash in lobby



- #3** Avoid nose-to-nose



- #4** No dog parents beyond lobby

**WAITING AREA****Wall Graphic**

House Rules Poster
Adhesive Backing

Application (see photo):
Bottom of poster should be 52" from
ground
Right edge should be 2.5" from door
trim edge

Size: 11" x 19"



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GRAPHICS CONTINUED

FRONT DOOR

White Vinyl
Logo, Phone Number, Hours – as per artwork provided

Application (see photos):
Logo/Phone top portion of door
Hours lower portion of door



Scenthound Hours Window Cling

- This window cling is displayed on the front door of the establishment to inform potential and repeat customers of the store's hours.
- The artwork is displayed in dark colors for visibility, but will be printed in white.



HOURS
Monday-Saturday 8 to 5
Sunday 9 to 4

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GRAPHICS**CONTINUED****GROOMING ROOM****Wall Graphic**
DNA Poster
Adhesive Backing

Application (see photo):
Should be centered across wall
Bottom of poster should be at 38.5" from ground

Size: 36" x 50"

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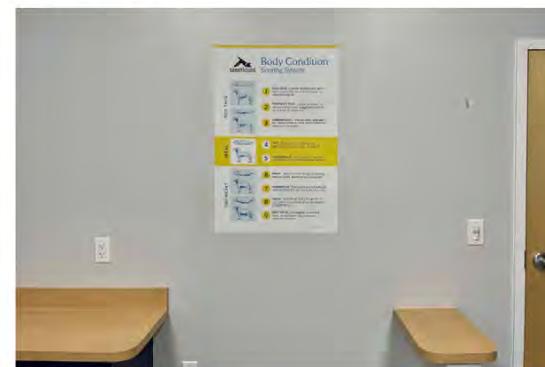
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GRAPHICS**CONTINUED****GROOMING ROOM****Wall Graphic**
Body Condition Scoring System

Application (see photo):
 Should be centered in space for scale
 Bottom of poster should be at 45" from ground

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GRAPHICS CONTINUED

EXTERIOR SIGN
Pylon Graphic
Logo



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INTERIOR SIGNAGE

MENU



BASE PACKAGE

The E-scent-ials™
 Bath, Ear Cleaning,
 Nail Clip, Teeth Brushing
Blow-Dry Not Included

1X \$25^{per month}

One Essentials package each month

UNLMTD \$45^{per month}

Unlimited Essentials

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BLOW-DRYING

The Blow-Out

Blow-Dry, Brush-Out

MEMBER PRICES

	LEVEL 1	LEVEL 2	LEVEL 3*	MEMBER PRICES
	\$7 ⁵⁰	\$15 ⁰⁰	\$22 ⁵⁰	LEVEL 1 \$15⁰⁰
				LEVEL 2 \$30⁰⁰
				LEVEL 3* \$45⁰⁰



HAIRCUTS

The Barber

Blow-Dry, Brush-Out,
 Pad Trim, Sanitary Trim, Haircut

MEMBER PRICES

Non-member pricing also available

*Specialty pricing will apply for extra large dogs or
 dogs with an extra long or heavy coat.

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INTERIOR SIGNAGE **MENU**

HANGING MENU

Menu Frame

- Custom Fabricated Aluminum Menu Frame: 2" dia x 90" horizontal tube, with [2] 1.25" vertical support tubes (length determined by ceiling height) with mounting plates; includes [3] 36'h x 24'w x 1/2" menu panels affixed by oversized s-hook + printed graphic applied to 1 side
- The panels are 12mm Alumacorr.
- The graphics are digitally printed on low-tack vinyl, with low luster lamination.
- Labor: All labor/materials related to installment of [1] menu frame suspended from ceiling

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EQUIPMENT SCHEDULE

Tag	Qty.	Description	Model	Manufacturer	Electrical Specs		Electricity requirements		Plumbing requirements
					Voltage	Amps	HP		
EQ-1	10	3-BANK KENNEL CAGE UNIT (MEDIUM)	DDCAGE MEDIUM	DURA DOG					
EQ-2	5	3-BANK KENNEL CAGE UNIT (LARGE)	DDCAGE LARGE	DURA DOG					
EQ-3	2	FULL FRAME W/ WHEELS FOR KENNEL CAGES	DDFRAME	DURA DOG					
EQ-4	1	HALF FRAME W/ WHEELS FOR KENNEL CAGES	DDFRAME	DURA DOG					
EQ-5	3	K-9 III DRYER	ECK93 YELLOW	K-9	110/120	19			WATTS: 2098; WEIGHT: 30 LBS
EQ-6	1	GRIZZLY DEN DRYING ATTACHMENT KIT	GRDK1	B-AIR					
EQ-7	1	GRIZZLY CAGE DRYER ETL CERTIFIED	GRGPIETL	B-AIR					1/2 HP MOTOR DELIVERS UP TO 3,550 CFM; INCLUDES A 25' CORD
EQ-8	1	GRIZZLY REPLACEMENT FILTER KIT 2 FILTERS W/FRAME	GRGPIFF	B-AIR					
EQ-9	2	HYDRAULIC GROOMING TABLE	GT544	DURA DOG					
EQ-10	2	48" STATIONARY BATHING TUB	GT050S	DURA DOG					LEFT DRAIN; DRAIN HOLE IS 35" IN DIAMETER, SLIGHTLY OFF-CENTER AT 12.5" FROM THE FRONT, 12.25" FROM THE BACK, AND 14.25" FROM THE SIDE OF THE TUB O.C. THE THREE FAUCET HOLES ARE 4" ON CENTER AND ARE 1-1/16" IN DIAMETER AND UP 22" FROM THE BOTTOM OF THE TUB.
EQ-11	1	62" STATIONARY BATHING TUB	GTU60S	DURA DOG					LEFT DRAIN
EQ-12	3	COMPLETE FAUCET PACKAGE	PL2575	PETLIFT					

EQUIPMENT GUIDE

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1. 3-BANK KENNEL CAGE UNIT (MEDIUM)



2. 3-BANK KENNEL CAGE UNIT (LARGE)



3. FULL FRAME W/ WHEELS FOR KENNEL CAGES



4. HALF FRAME W/ WHEELS FOR KENNEL CAGES



5. K-9 III DRYER (YELLOW)



6. GRIZZLY DEN DRYING ATTACHMENT KIT



7. GRIZZLY CAGE DRYER ETL CERTIFIED

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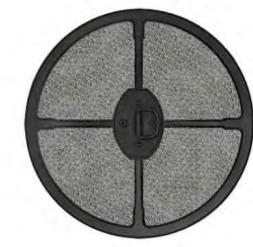
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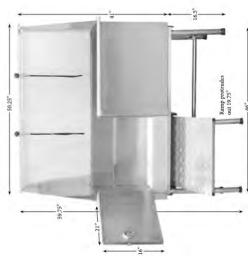
EQUIPMENT GUIDE | CONTINUED



8. GRIZZLY REPLACEMENT FILTER KIT
2 FILTERS W/FRAME



9. ELECTRIC HYDRAULIC
GROOMING TABLE



10. 48" PREMIER STATIONARY
TUB (LEFT DRAIN)



11. 62" PREMIER STATIONARY TUB
(LEFT DRAIN)



12. COMPLETE FAUCET PACKAGE

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MILLWORK SCHEDULE

ITEM	PROVIDED BY	INSTALLED BY	LOCATION	DESCRIPTION
FRONT SERVICE BAR	ROLLOUT CONNECTION	RC OR GENERAL CONTRACTOR	FRONT OF HOUSE (FOH)	LAMINATE CABINETRY CONSTRUCTION WITH WILSONART TAN ECHO EXTERIORS, WHITE MELAMINE INTERIORS, AND CORIAN MODERN WHITE SOLID SURFACE COUNTERTOPS.
BACK PREP LINE BAR	ROLLOUT CONNECTION	RC OR GENERAL CONTRACTOR	FRONT OF HOUSE (FOH)	LAMINATE CABINETRY CONSTRUCTION WITH WILSONART TAN ECHO EXTERIORS, WHITE MELAMINE INTERIORS, AND CORIAN MODERN WHITE SOLID SURFACE COUNTERTOPS.
SNEEZE GUARDS	ROLLOUT CONNECTION	RC OR GENERAL CONTRACTOR	FRONT OF HOUSE (FOH)	TEMPERED GLASS WITH METAL U-CHANNEL.
TRASH RECEPTACLE	ROLLOUT CONNECTION	RC OR GENERAL CONTRACTOR	FRONT OF HOUSE (FOH)	LAMINATE CABINETRY CONSTRUCTION WITH WILSONART TAN ECHO EXTERIORS, WHITE MELAMINE INTERIORS.
ACCENT BOXES	ROLLOUT CONNECTION	RC OR GENERAL CONTRACTOR	FRONT OF HOUSE (FOH)	SLATTED, WALL HUNG ACCENTS WITH WILSONART TAN ECHO LAMINATE CONSTRUCTION.

MILLWORK PROVIDERS	CONTACT	EMAIL	PHONE
ROLLOUT CONNECTION	KIRK TRAMMEL	kirk@rolloutconnection.com	(920) 850-9767

DOOR #	LOCATION	DOOR	HINGES	DOORSTOP	LOCKS / LATCHES
2 PROVIDE NEW AS SPECIFIED IF EXISTING IS UNSUITABLE	DINING TO BOH	3'-0" X 7'-0" X 1 3/4" SOLID CORE FLUSH PANEL WITH WOOD VENEER, PAINT READY, PAINT TO MATCH CASING DOOR AND FRAME TO BE PT-3	3 HINGES - HAGER	FLOOR STOP - BALDWIN 4010	1 LEVER TYPE PASSAGE SET US26D FINISH (ACCESSIBLE COMPLIANT) HAGER 3500 SERIES OR EQUAL LEVER HANDLE AUGUST STYLE FUNCTION NUMBER F75

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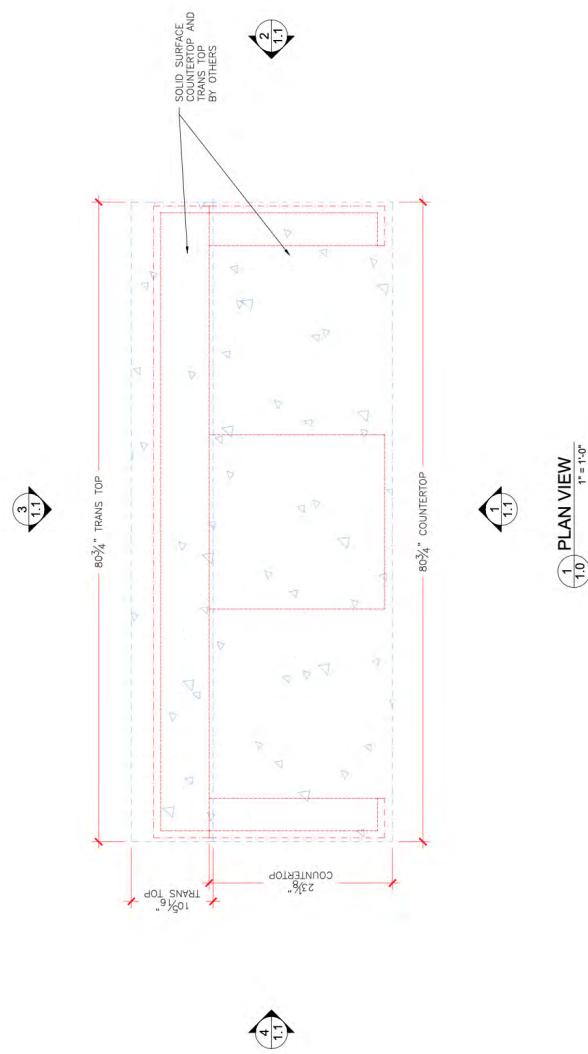
SOLID CORE BIRCH DOOR

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MILLWORK ELEVATIONS

RECEPTION AREA



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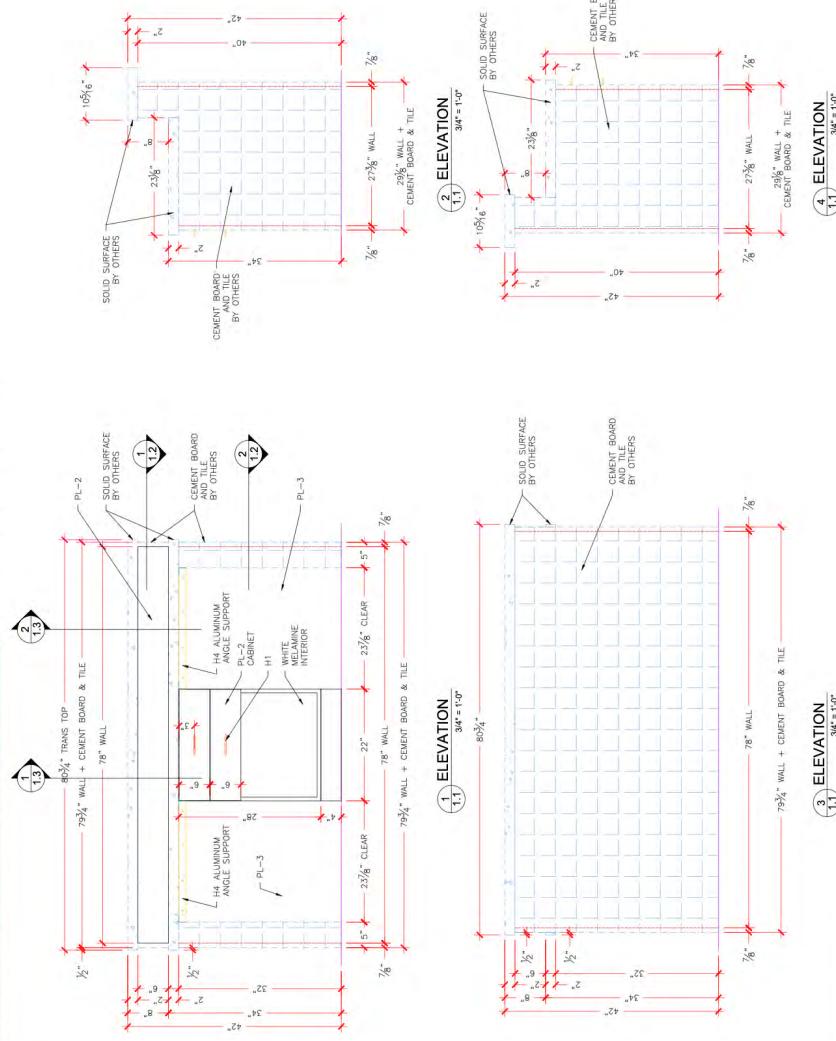
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MILLWORK ELEVATIONS

RECEPTION AREA



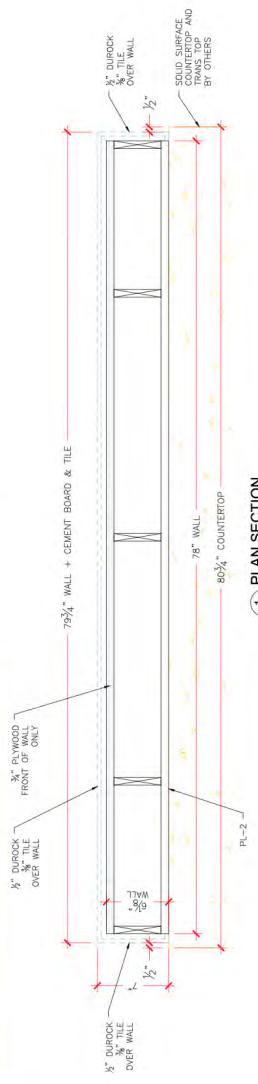
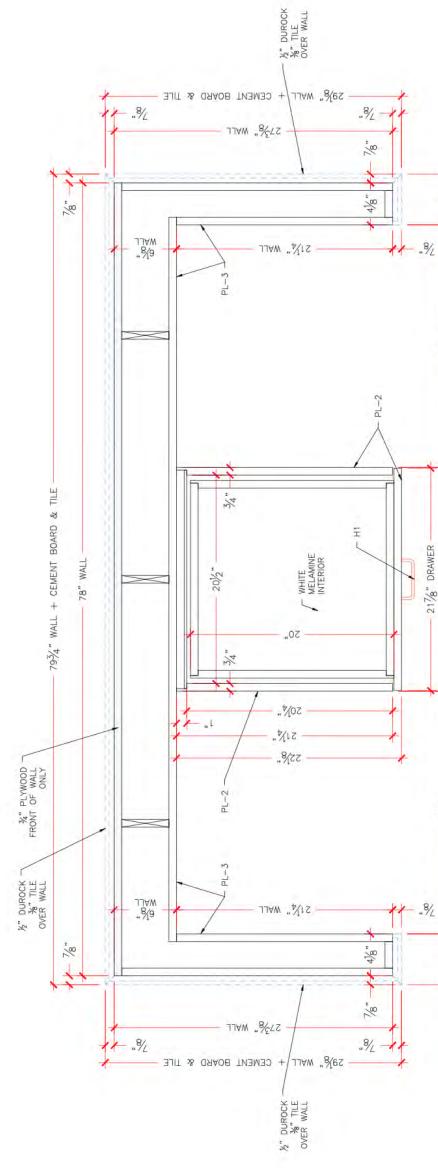
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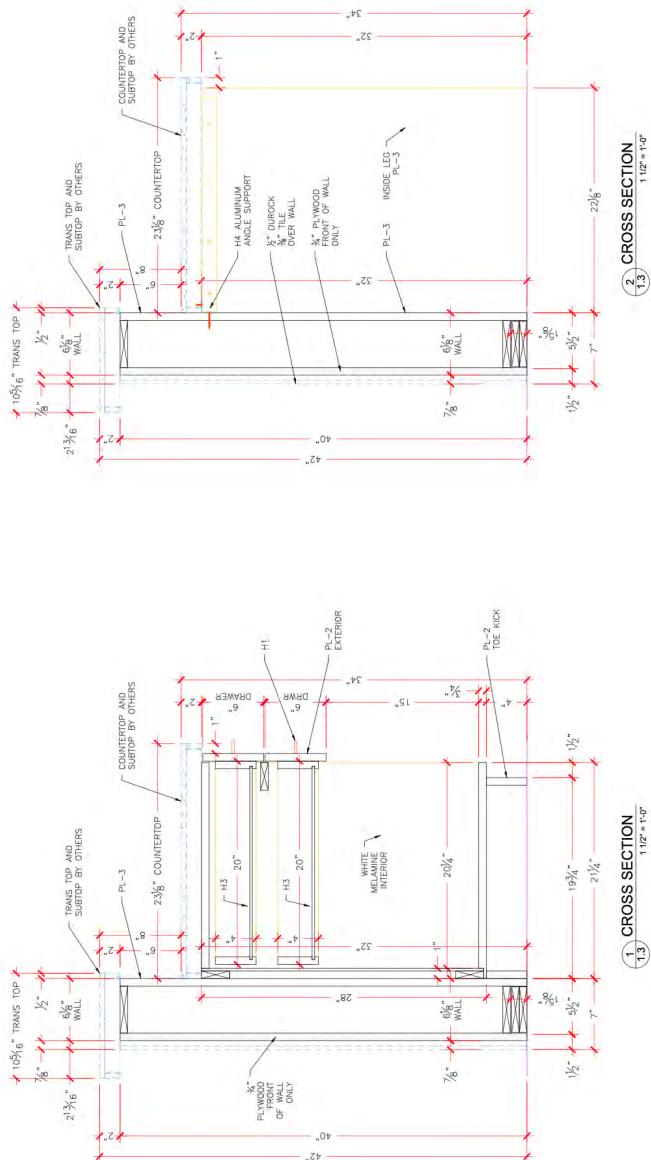
MILLWORK ELEVATIONS**RECEPTION AREA****PLAN SECTION**
1/2" = 1'-0"**PLAN SECTION**
1/2" = 1'-0"

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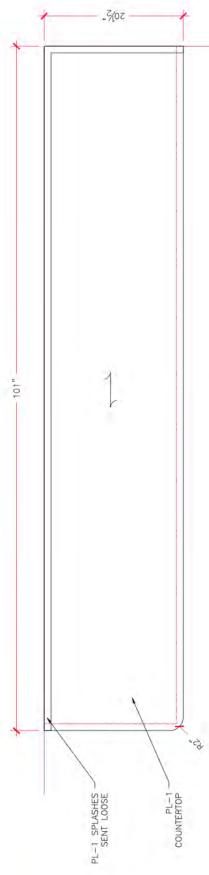
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RECEPTION AREA MILLWORK ELEVATIONS

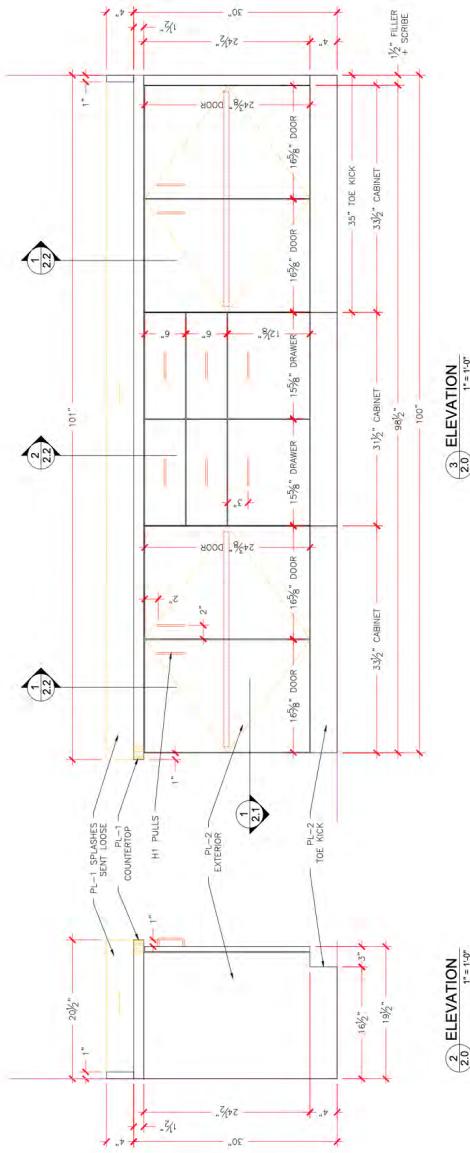


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MILLWORK ELEVATIONS**RECEPTION AREA****① PLAN VIEW**

T = 1'-0"

**② ELEVATION**

T = 1'-0"

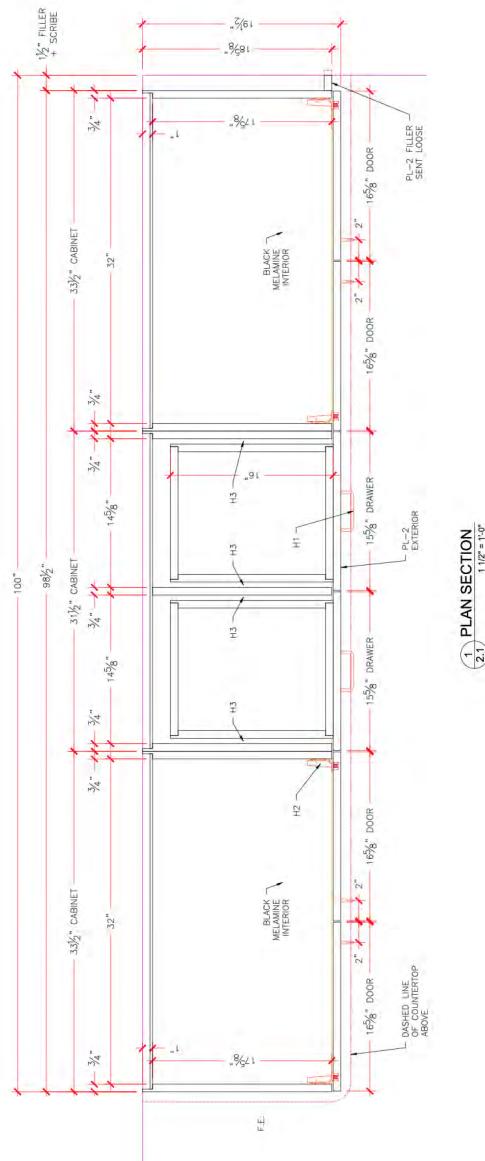
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MILLWORK ELEVATIONS

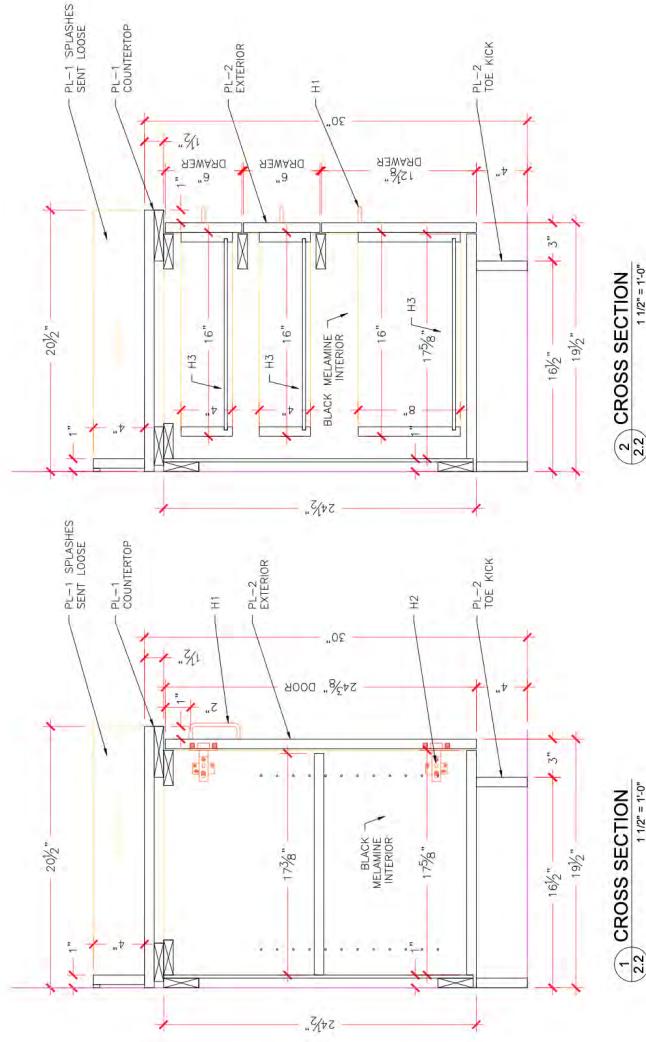
RECEPTION AREA



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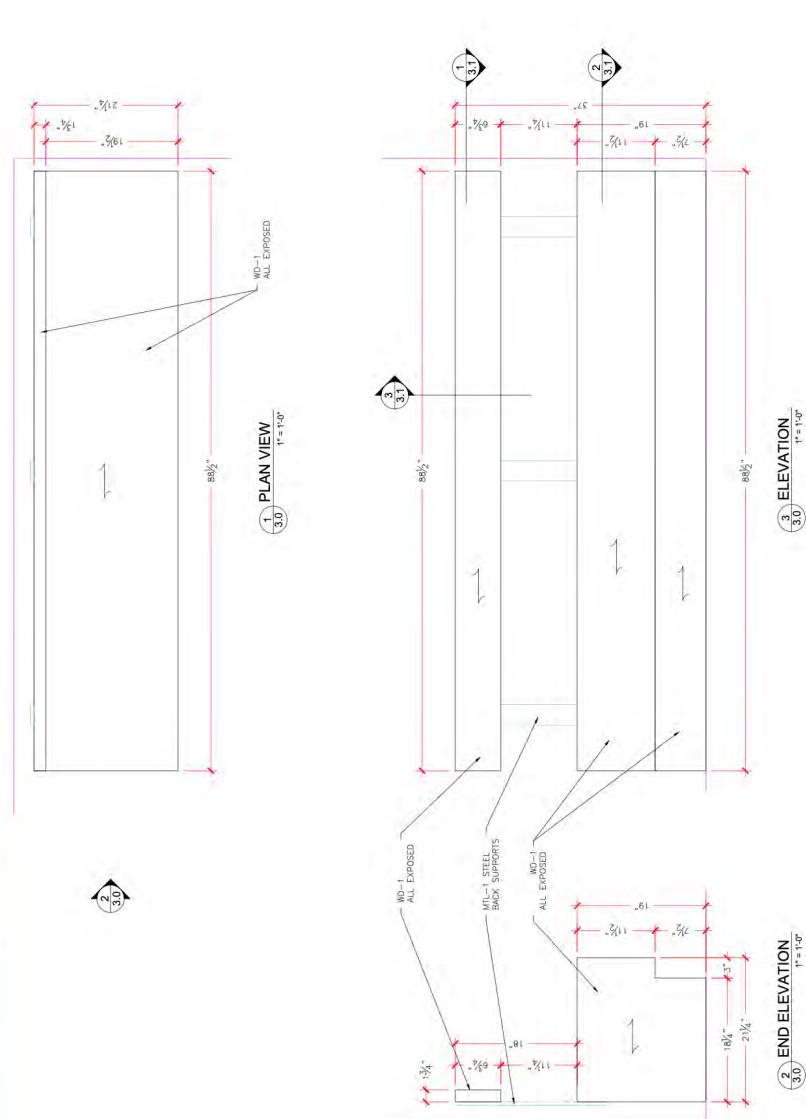
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MILLWORK ELEVATIONS**RECEPTION AREA**

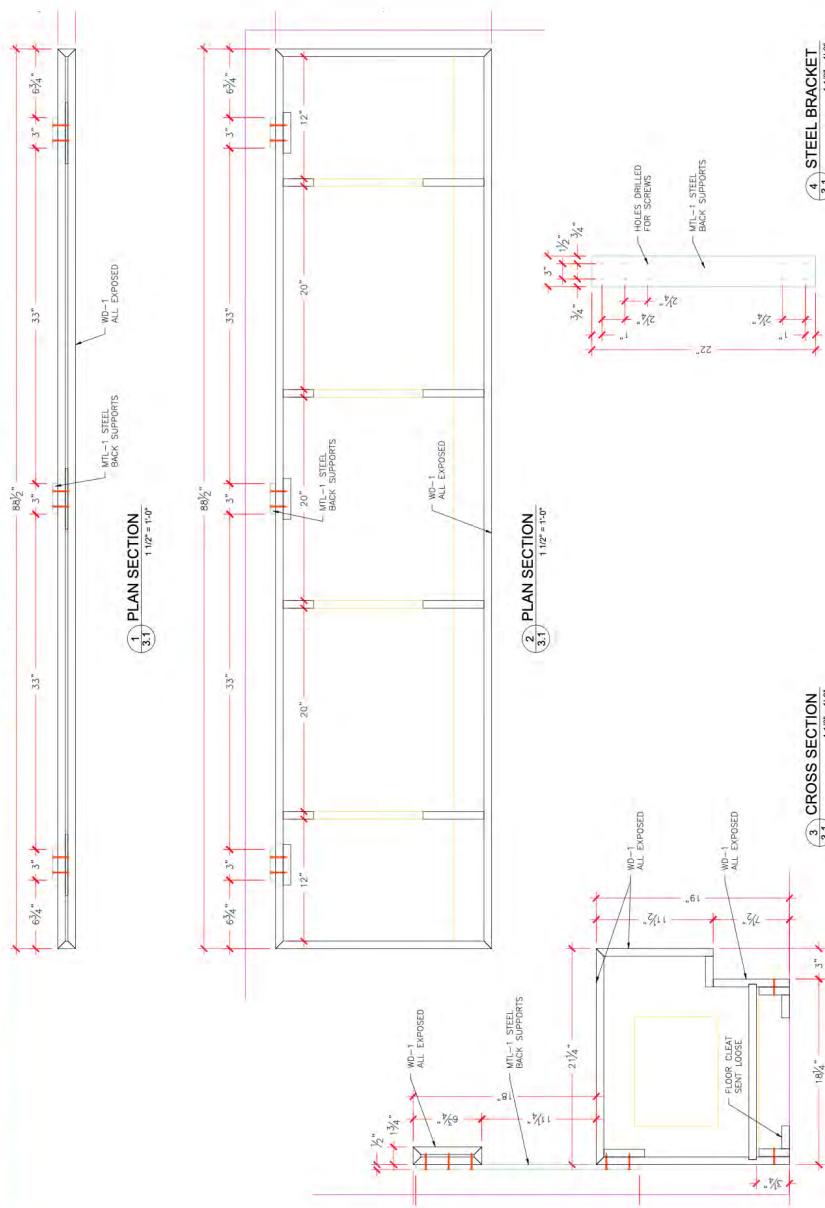
MILLWORK ELEVATIONS

RECEPTION BENCH

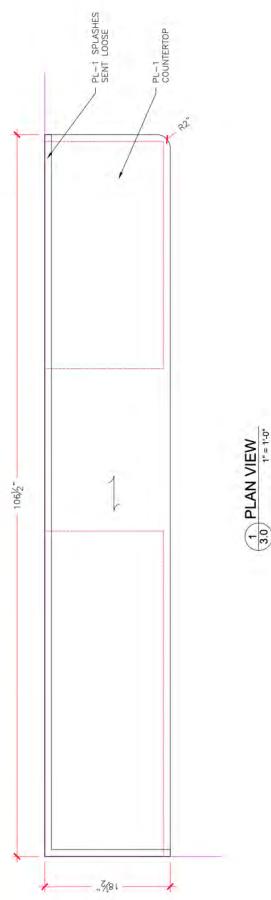


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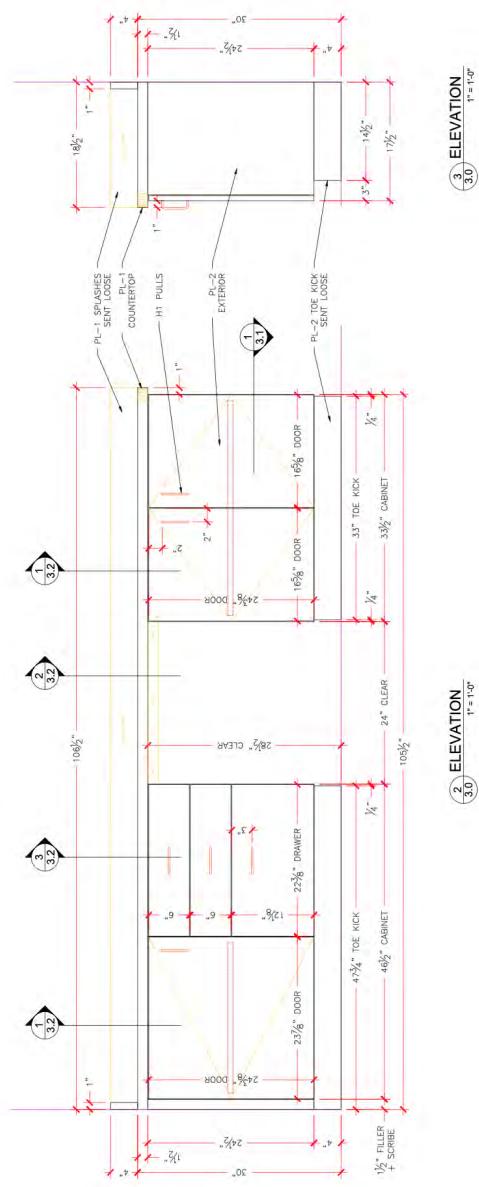
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MILLWORK ELEVATIONS**RECEPTION BENCH**

MILLWORK ELEVATIONS



PLAN VIEW



ELEVATION
 $\frac{3.0}{3.0}$ $1'' = 1'-0''$

ELEVATION
2
3.0

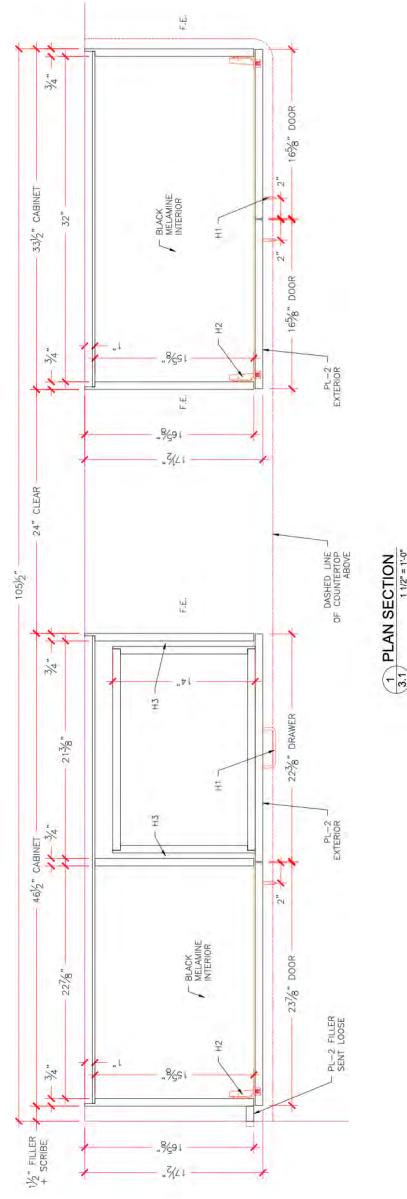
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MILLWORK ELEVATIONS GROOMING AREA



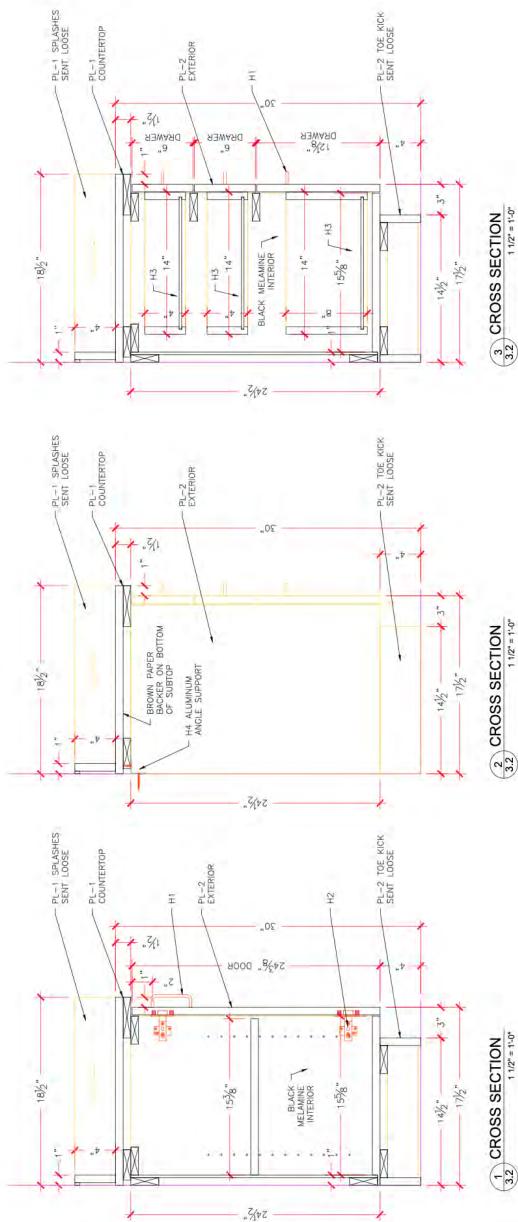
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MILLWORK ELEVATIONS

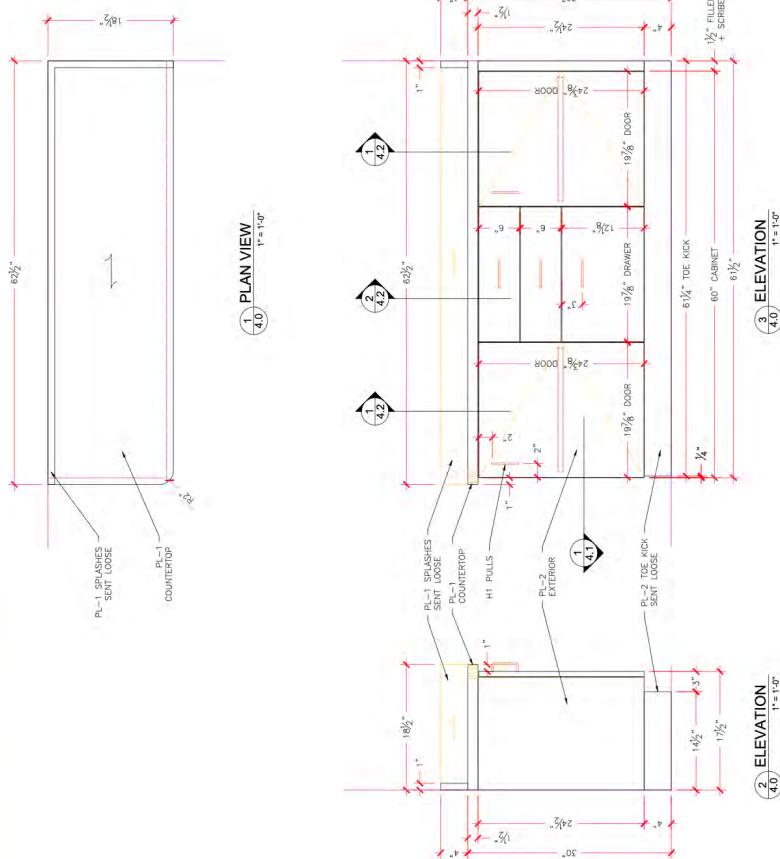
GROOMING AREA



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MILLWORK ELEVATIONS

GROOMING AREA

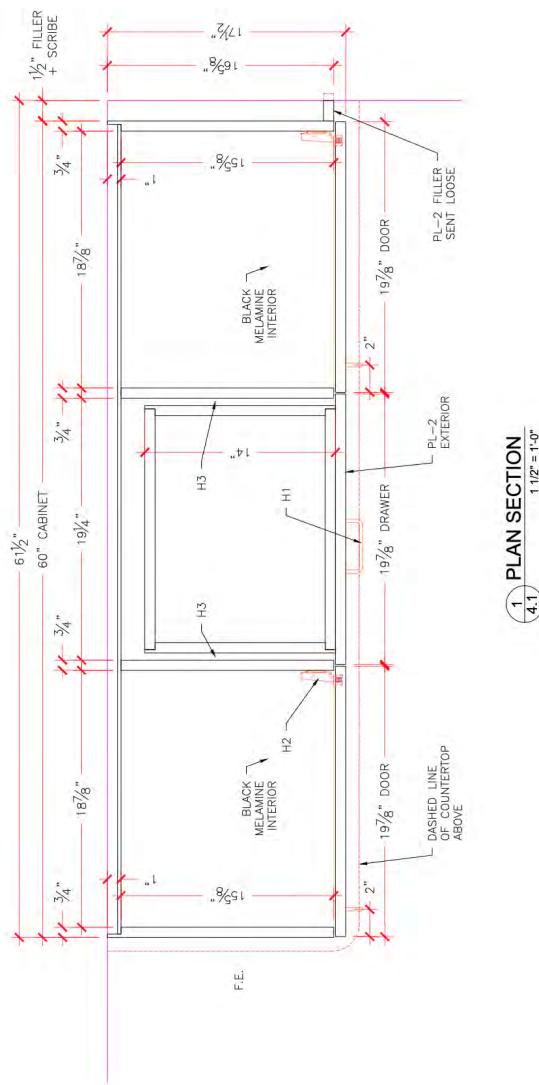


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MILLWORK ELEVATIONS

GROOMING AREA



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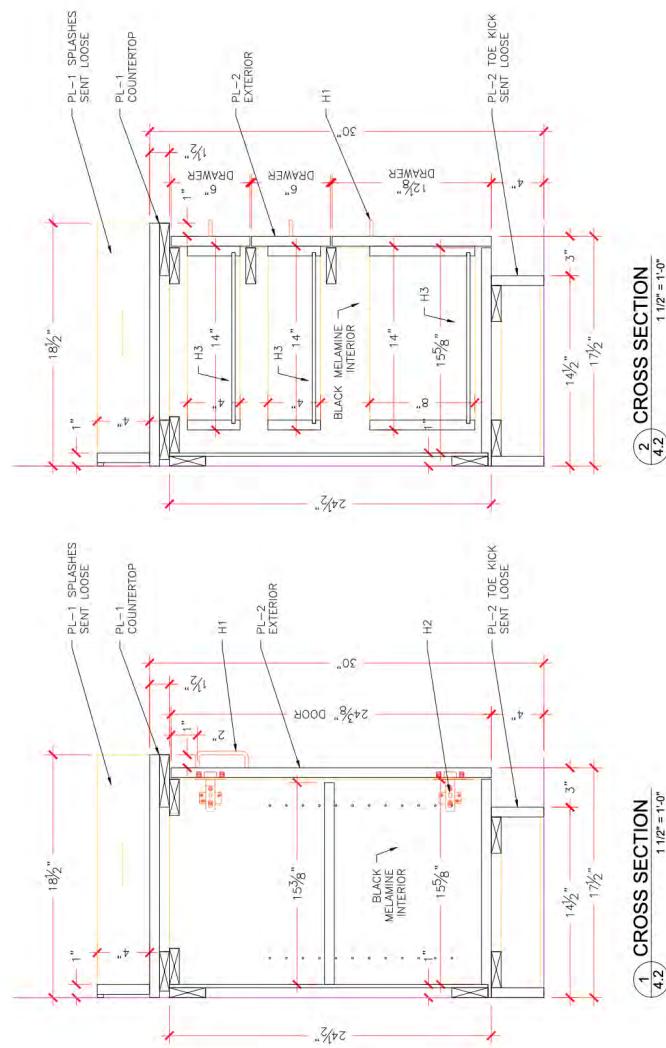
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MILLWORK ELEVATIONS

GROOMING AREA



1 CROSS SECTION
42 CROSS SECTION
1 1/2" = 1'-0"

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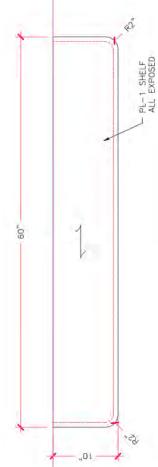
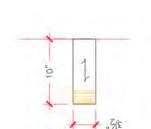
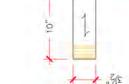
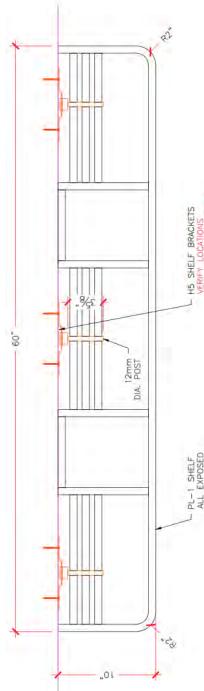
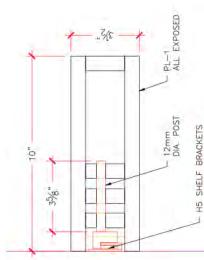
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MILLWORK ELEVATIONS

QTY: (4)

(1) PLAN VIEW
1" = 1'-0"(2) ELEVATION
1" = 1'-0"
(5.0)(3) ELEVATION
1" = 1'-0"
(5.0)(4) ELEVATION
1" = 1'-0"
(5.0)(5) PLAN SECTION
1" = 1'-0"
(5.0)(6) CROSS SECTION
1" = 1'-0"
(5.0)

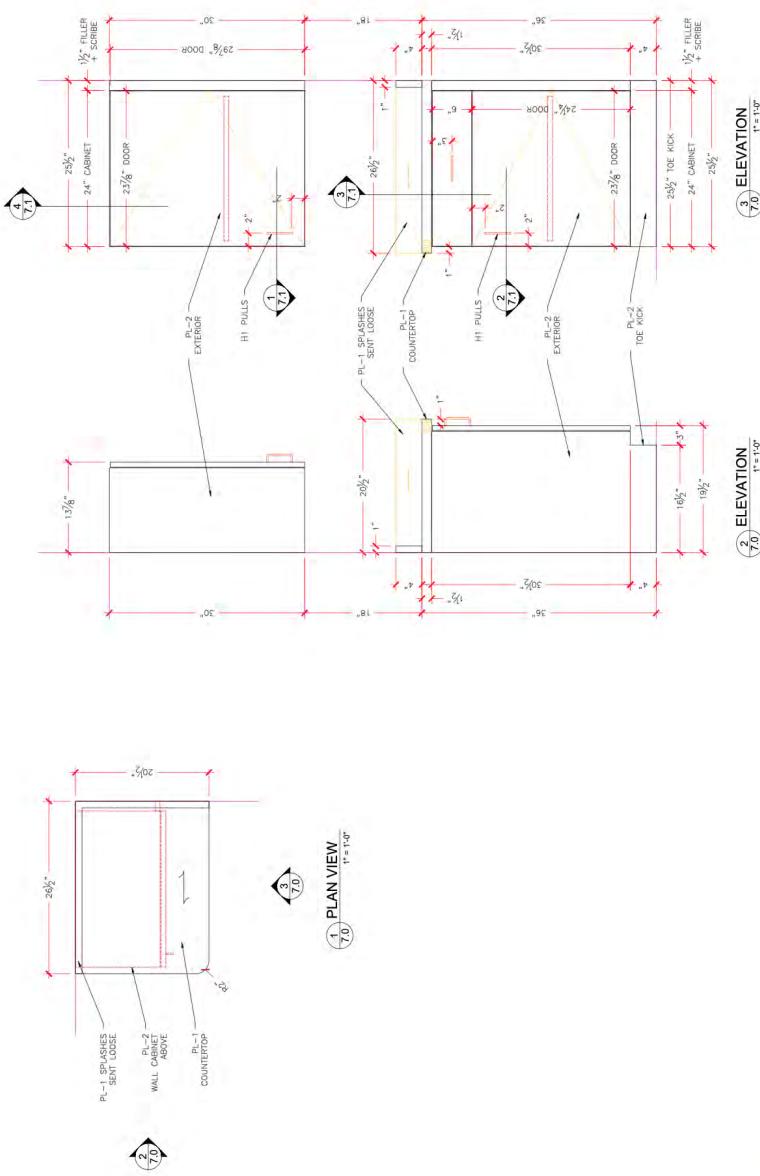
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MILLWORK ELEVATIONS

LAUNDRY



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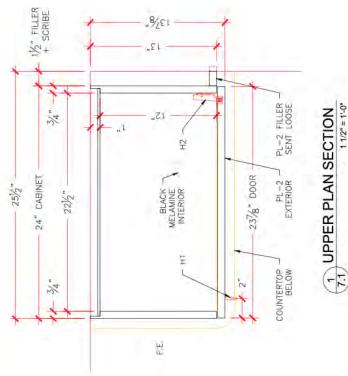
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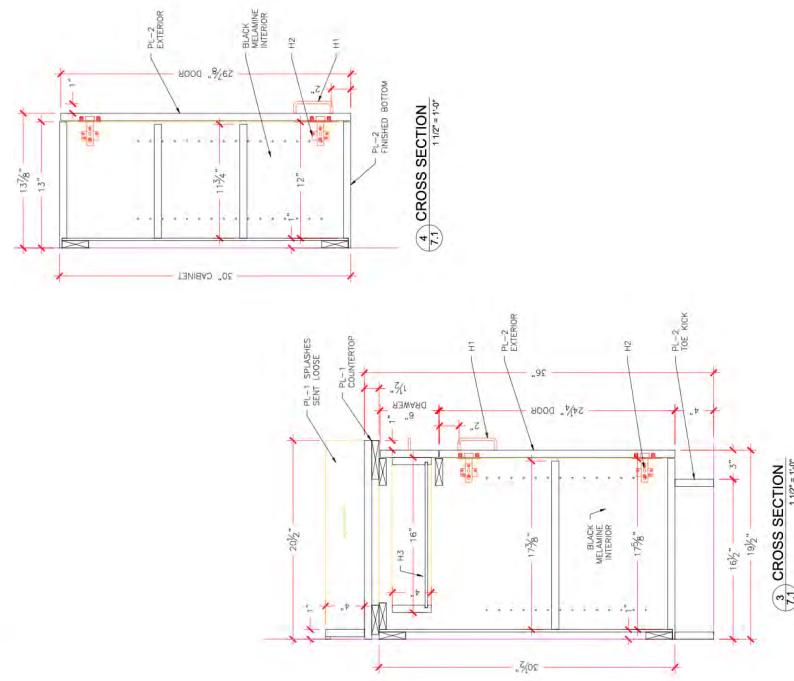
MILLWORK ELEVATIONS

LAUNDRY



(1) UPPER PLAN SECTION

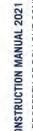
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(4) CROSS SECTION



(2) LOWER PLAN SECTION



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RESTROOM & PLUMBING ACCESSORY SPECS

ITEM	QTY	DESCRIPTION	MANUFACTURER	MOUNTING HEIGHT	REMARKS
		54" GRAB BAR	BOBRICK	34" AFF TO TOP OF GRIPPING HEIGHT	STAINLESS STEEL FINISH
		36" GRAB BAR	BOBRICK	34" AFF TO TOP OF GRIPPING HEIGHT	STAINLESS STEEL FINISH
		18" VERTICAL GRAB BAR	BOBRICK (OR EQUAL)	40" AFF TO BOTTOM OF BAR	STAINLESS STEEL FINISH
B-2892		TOILET PAPER DISPENSER	BOBRICK	15" MIN AFF/48" MAX AFF	SURFACE MOUNT
RRE 130 150		RESTROOM SIGNAGE	COMPLIANCE SIGNS	54" AFF TO CENTER OF SIGN	INSTALLED BY GENERAL CONTRACTOR, WHITE ON BLACK
B-165 1836		18" X 36" RECTANGULAR MIRROR	BOBRICK	40" AFF TO BOTTOM OF BAR	CHROME EDGE/CENTER OVER LAVATORY
B-2111		SOAP DISPENSER	BOBRICK	44" AFF TO BOTTOM OF DISPENSER	
		TOWEL DISPENSER / WASTE RECEPTACLE			IF NEEDED

Required vendor is RDL Supply - contact Tanner Sanders: 855-447-8600 Ext. 4515, email: tsanders@cookandboardman.com



TOILET PAPER DISPENSER



RESTROOM MIRROR



SOAP DISPENSER



RESTROOM SIGNAGE



54" GRAB BAR



36" GRAB BAR

18" GRAB BAR
(MOUNTED VERTICAL)

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RESTROOM & PLUMBING

Fixture Specs

ITEM	DESCRIPTION	MANUFACTURER	PRODUCT #	FINISH	REMARKS
WATER CLOSET	ELONGATED ONE PIECE TOILET, ECOVANTAGE SERIES	ZURN	25615-BWL	WHITE	
LAVATORY	WALL MOUNTED, LUCERNE	AMERICAN STANDARD	0356.028-020	WHITE	ADA COMPLIANT
FAUCET	COLONY PRO SINGLE-HANDLE CENTERSET	AMERICAN STANDARD	7075.050.002	POLISHED CHROME	ADA COMPLIANT
WATER CLOSET FLUSHOMETER	SENSOR OPERATED WATER CLOSET FLUSH VALVE	ZURN	ZTR6200-ONE	CHROME PLATED	

NOTE: ALL PLUMBING FIXTURES PROVIDED BY GENERAL CONTRACTOR.



FAUCET

LAVATORY



WATER CLOSET

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LIGHTING SCHEDULE

TAG	QTY.	MANUFACTURER	CATALOG NO.	WATT/VOLTAGE	LIGHT	MOUNTING	LOCATION	REMARKS
F-1	2	BARN LIGHT ELECTRIC COMPANY	AVALON PENDANT LIGHT BLE-C-WHA12	200 VOLTS/100 WATTS	INCANDESCENT OR GU24	CORDED PENDANT	LOBBY	12" SHADE; 500-BUTTERY YELLOW
F-2	5	ADDINGTON PARK	MUHOLI	120 VOLTS, 50 WATTS	INCANDESCENT OR GU10	MAINTAINED	LOBBY	2 FT. 4-LIGHT BRUSHED NICKEL; SPEC IS MERELY A RECOMMENDATION. GC ALTERNATIVE CAN BE SELECTED FOR COST EFFICIENCY



F-1



F-2

ADDITIONAL LIGHTS

NOTES: ANY ADDITIONAL FIXTURES NECESSARY OR SPEC'D FOR SPACES IS TO BE SELECTED BY THE GC FOR MAXIMUM COST EFFICIENCY.

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TECHNOLOGY GUIDELINES

HARDWARE REQUIREMENTS

The ISP (Internet service provider) will likely provide a cable modem, router, or Business Gateway (both cable modem and router). Your location will likely need: firewall, WiFi hardware, and probably a switch depending on if the wired network has more end points than the router can handle by itself. Check with your IT vendor.

NETWORK REQUIREMENTS

1. BACK OF HOUSE NETWORK can run on the same hardware as everything else, but it needs to be configured correctly to be securely segregated from the rest of the network. The secure network's WiFi should be configured to be a hidden network.
2. An active Ethernet port is required for each register. Each port must be located under the bar counter, feed through a counter grommet and connect to each POS Register unit. Maximum distance from the Ethernet port to the port on the POS Register unit should be no more than 3 ft.

INTERNET (WIFI) RECOMMENDATIONS* (OPTIONAL)

1. Cable or Fiber (No DSL/Dial-up)
2. Static IP address (for POS)
3. DOWNLOAD Speed: 300Mbps or higher (higher will be faster for your guests)
4. Quick Calculation: (60% of the number of seats in your cafe) x 10Mbps = approx. download speed needed. Adjust up or down as needed.
5. UPLOAD Speed: 100Mbps or higher
6. Public WiFi – recommend being password protected

*For some locations certain speeds may not be available, may not have the recommended down/up ratio or may only be available at a very high price. Work with your tech representative to find a speed that is available/affordable for your location. Try to go with the highest speed tier available that is affordable.

CHANGE LOG

FORM BCA 2.10
ARTICLES OF INCORPORATION
Business Corporation Act

Filing Fee: \$ 150

File #: 73596815

Approved By: MJE

FILED

JAN 18 2022

Jesse White
Secretary of State

1. Corporate Name: ARK FRANCHISE HOLDINGS CORPORATION

2. Initial Registered Agent: MOHAMMED DASTAGIR

First Name	Middle Initial	Last Name
<u>21859 N WOLTER LN</u>		
Number	Street	Suite No.
<u>KILDEER</u>	<u>IL</u>	<u>60047-8333</u>
City	ZIP Code	County

3. Purposes for which the Corporation is Organized:
The transaction of any or all lawful businesses for which corporations may be incorporated under the Illinois Business Corporation Act.

4. Authorized Shares, Issued Shares and Consideration Received:

Class	Number of Shares Authorized	Number of Shares Proposed to be Issued	Consideration to be Received Therefor
<u>COMMON</u>	<u>50000</u>	<u>50000</u>	<u>\$ 10</u>

NAME & ADDRESS OF INCORPORATOR

5. The undersigned incorporator hereby declares, under penalties of perjury, that the statements made in the foregoing Articles of Incorporation are true.

Dated JANUARY 18, 2022 21859 N WOLTER LANE
Month & Day Year Street
MOHAMMED DASTAGIR LAKE ZURICH IL 60047
Name City/Town State ZIP Code

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About Scenthound

Scenthound is the first membership-based dog grooming franchise in the U.S. **focused on pet wellness**. We are disrupting the pet care industry by reinventing the typical dog grooming business.

Our business model is built on a customer retention framework that provides an opportunity for long-term profitability. Our routine dog care and maintenance programs cultivate loyalty with pet owners and help to ensure recurring revenue by offering membership options that work for the schedule and budget of every dog parent.

Our Monthly Clean Club includes the E-scent-ials package — a bath, ear cleaning, nail clip and teeth brushing — for just \$25. We also offer blow-drying, haircuts, and additional services such as shedding, plaque reduction and fleatstick treatments.

In business for over 15 years, Scenthound has six company-owned locations in South Florida. Since launching franchising in late 2019, we have sold 42 franchises in seven states, bringing our total number of units to 48. Scenthound weathered the storm of 2020 with tremendous growth. Over **35 new franchise locations are slated to open in 2021 with projections of an additional 100 units sold by the end of the year.**



Scenthound is the **#nextbigthing**



"FRANCHISES OF THE FUTURE"
The 347 trend-topping franchises of 2020

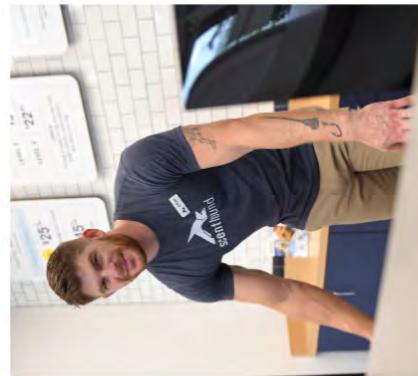
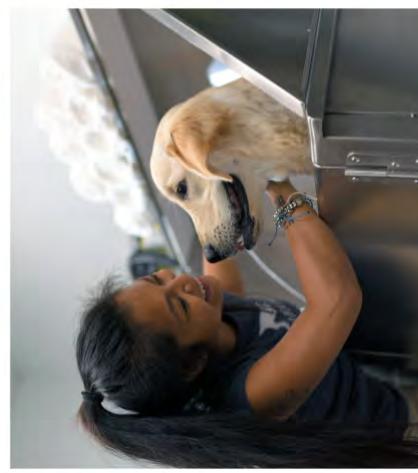


"THE HOTTEST INDUSTRIES TODAY"
Entrepreneur's list of the franchises best positioned for growth, even in uncertain times.

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scenthound.

Our “Scenters”



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The Booming Pet Market

Over the past 30 years, the percentage of pet owners has increased by double digits. In the past year alone, 85 million pet-owning U.S. households spent nearly \$100 billion on their pets, and **growth is projected to register a CAGR of 5.3%** over the next 4 years.

U.S. Pet Spending
\$99 BILLION
(2020 est.)

CAGR 5.3%
2021
2025

**“Recession-Proof
“Amazon-Proof”**

Unlike other markets, which tend to fluctuate with a changing economy, the pet industry has maintained unwavering growth since the 1980s due to the steady increase in pet ownership. Studies show that 95% of pet parents prioritize the well-being of their four-legged kids in the same way they would any member of the family. As a recession-proof and Amazon-proof business, Scenthound has continued to thrive even amidst the COVID-19 environment – and now there are more dogs in American homes than ever before!

53%
of U.S. households
own dogs
→
90 MILLION
dogs in the USA

A PROVEN MODEL REVOLUTIONIZING THE GROOMING INDUSTRY

For decades, the pet grooming industry remained the same, and the market is ready for a change. Scenthound is transforming an outdated industry with a **simple, replicable business model** that's designed with an entirely new approach that caters to all dog parents.

Scenthound.

Scenthound Adds Value

Scenthound's Scenters are located in errand-intensive mixed-use retail areas close to busy big box stores and restaurants. Our customers value the convenience of being able to combine errands and check to-dos off their list while their dogs are in our care. Our average service time is under 30 minutes which keeps customers shopping in the center while they wait for their dog.

SHOPPING CENTER BENEFITS

- ✓ The draw of pet parents (new customers) to your retail center.
- ✓ A captive audience: our customers run errands in surrounding businesses while their pup receives care at Scenthound.
- ✓ Our Scenters complement other popular everyday retailers like exercise studios, hair salons and grocery stores.
- ✓ Our services round out the shopping experience to include pets – providing greater convenience and value to your customer base.

SAMPLE CO-TENANTS



® pure barre®

SportClips®
HAIRCUTS

The UPS Store™

Kroger®
FRESH FOR EVERYONE™

publix®
scenthound

orangetheory®
FITNESS

WHOLE FOODS MARKET
ME Massage Envy

©2021 Scenthound Franchising, LLC

scenthound.

Common Concerns

We understand you might have some concerns about a pet business in your shopping center.
Let us put your mind at ease.



PET WASTE

Rest assured, we **carefully maintain any green space** near our Scenters. If desired, we can install a dog waste station and monitor it regularly.

NOISE

Everyone loves dogs, but not everyone loves barking, so we don't mess around when it comes to soundproofing. We install sound-reducing drywall, **QuietRock**, shown to deliver sound dampening qualities equal to eight layers of standard drywall!



ACTIVITY & RELIABILITY

All locations are **open 8am – 5pm, Monday through Saturday**; and most locations are open Sunday 9am – 4pm.

Each store employs 5–7 team members so we can keep things humming along. Our stores service up to 100 dogs in a single day!

FINANCIAL SECURITY

All of our franchise partners:

- Are qualified with **background-checks, credit-checks and financial-verification**.
- Have a minimum of \$75,000 liquid capital and a minimum net worth of \$300,000.



©2021 Scenthound Franchising, LLC

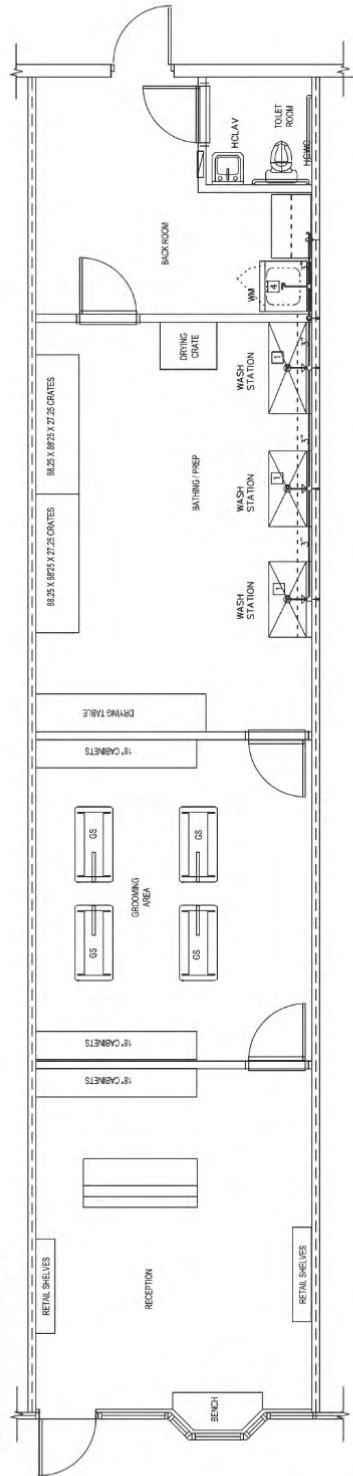
Scenthound.

Our Needs Are Simple



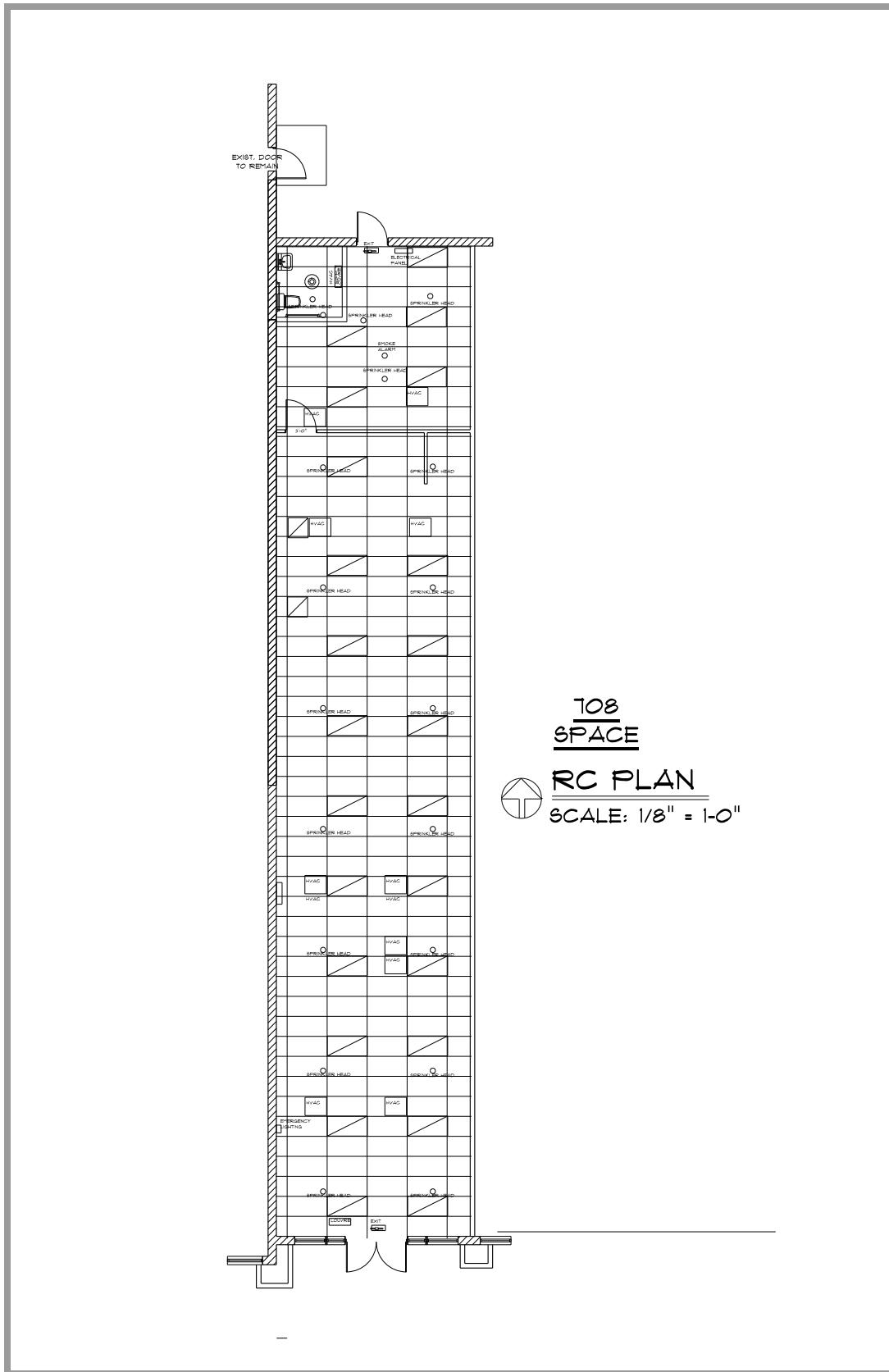
- ✓ 1,000 – 1,200 sq. ft.
- ✓ Air conditioning unit in excellent condition
- ✓ ADA compliant restroom
- ✓ At least two parking spaces
- ✓ Green space nearby

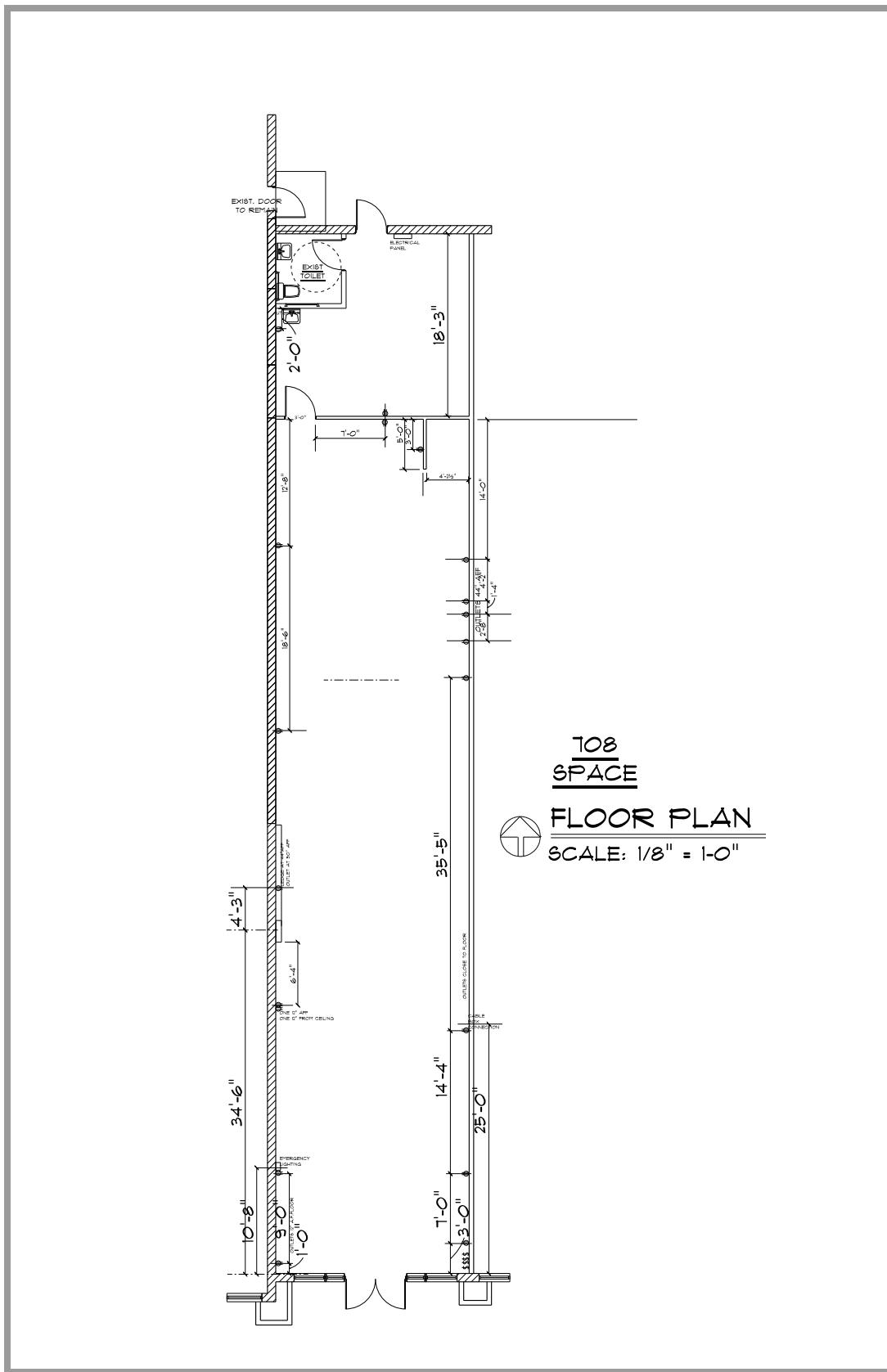
SAMPLE FLOOR PLAN



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scenthound.







At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

Phone (847) 540-1696
Fax (847) 726-2182
LakeZurich.org

MEMORANDUM

Date: June 20, 2022

To: Ray Keller, Village Manager

From: Sarosh Saher, Community Development Director

CC: Tim Verbeke, Planner
Mary Meyer, Building Services Supervisor

**Re: Zoning Application for a Special Use Permit – 353 Enterprise Parkway
Tactic Sports Performance**

Issue

Casey Tiesman of **Tactic Sports Performance**, (the “Applicant”), has filed a zoning application for the property at 353 Enterprise Parkway (the “Subject Property”). Specifically, the applicant is seeking:

- Special Use Permit approval to operate a private youth athletic training facility as a special use under the special use category for a Physical Fitness Facility (SIC #7991) at the Subject Property at 353 Enterprise Parkway

Village Strategic Plan. This agenda item is consistent with the following objectives under Goal #2 Development:

- Expand the Village’s role as a major regional economic hub in Lake County.

Analysis

The Subject Property is located within the Village’s I-Industrial Zoning District. The Applicant desires to establish a physical fitness facility within an approximately 9,100 square-foot portion of the existing 47,864 square-foot industrial building. The facility will offer private training to students to help them achieve their health and wellness goals, success in athletic competition, and work towards collegiate scholarships. The remaining tenants, Advanced Plastics, Inc and Chelsea Framing Products, Inc. are under the parent ownership of Midlothian Partnership, LLC, the owners of the building. The building also houses Lake County Stars Baseball in a separate tenant space. Neither tenants have objected to the proposed land use.

Special Use Permit – Tactic Sports Performance
June 20, 2022

Tactic Sports Performance will not conflict with the standard hours of operation or traffic flow of the industrial park, as tentative operating times are after work/school. The hours of operation are Monday-Friday 3:30 p.m. to 9:00 p.m., and Saturday-Sunday 8:00 a.m. to 1:00 p.m. The anticipated traffic count per hour of operation is 10 vehicles with 2-4 employees working at one time, and the business seeing between 100-150 customers a week.

The Planning and Zoning Commission (PZC) held a public hearing on June 15, 2022 to consider the application and voted 4-0, in favor of recommending approval of the Special Use Permit to allow for the youth baseball training facility. No additional conditions were added other than those recommended by staff. The video stream from the PZC meeting can be accessed via the link:
<https://play.champds.com/lakezurich/event/58>

A detailed evaluation and summary of the project can be found in the Staff Report that was provided to the Planning and Zoning Commission, which is made a part of the attached Ordinance.

Recommendation

At their meeting on June 15, 2022, the Planning and Zoning Commission recommended approval of the Special Use Permit incorporating the conditions for approval provided by staff in its report.

Staff therefore recommends approval of the attached ordinance, with its specific attachments based on the following conditions for approval that are contained within said ordinance:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application, Cover Letter, and background information dated April 15, 2022, and prepared by Mr. Casey Tiesman.
 - b. Exhibit A: Legal Description of the Subject Property
 - c. Site and Floor Plans dated submitted April 15, 2022, and prepared by Mr. Casey Tiesman.
2. The special use constituting this physical fitness business with a focus on private youth athletic training shall be located within the industrial tenant space addressed at 353 Enterprise Parkway as depicted on the Site and Floor Plans submitted by Mr. Casey Tiesman, dated April 15, 2022, and shall expire if this physical fitness business ceases operating at the subject property.
3. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

- Approval Ordinance including the following exhibits

- Page 2

Special Use Permit – Tactic Sports Performance
June 20, 2022

- Exhibit A – Legal description of the Subject Property
- Exhibit B – June 15, 2022 staff report and planning and zoning commission recommendation/conditions

● Page 3

ORDINANCE NO. 2022-06-467

AN ORDINANCE APPROVING A SPECIAL USE PERMIT
Tactic Sports Performance – 353 Enterprise Parkway

WHEREAS, Mr. Casey Tiesman of *Tactic Sports Performance* is the applicant (the "Applicant") for a special use permit for the industrial tenant space for use for private youth athletic training, as depicted on the site and floor plans set forth hereinafter, ("Tenant Space") said space located within that property at 353 Enterprise Parkway (the "Subject Property"), legally described in Exhibit A hereto; and

WHEREAS, the Applicant has filed zoning application PZC 2022-06, dated April 15, 2022 (the "Application") seeking the approval of the following:

- Special Use Permit approval to operate a private youth athletic training facility as a special use under the special use category for a Physical Fitness Facility (SIC #7991) at the Subject Property at 353 Enterprise Parkway

WHEREAS, the current zoning of the Subject Property is the Village's I Industrial Zoning District; and

WHEREAS, the Tenant Space that the Applicant proposes to occupy is an approximately 9,100 square-foot portion of the existing 47,864 square-foot industrial building on the Subject Property to accommodate said training facility on the Subject Property, as depicted on the site and floor plans set forth hereinafter; and

WHEREAS, in compliance with the law, and the requirements of the Village of Lake Zurich Zoning Code, notice was published on May 28, 2022, in The Daily Herald, and the Village of Lake Zurich posted a public hearing sign on the Subject Property on May 23, 2022, both the newspaper and sign notices informing the public of a public hearing to be held before the Lake Zurich Planning and Zoning Commission (the "PZC") on June 15, 2022, to consider the Application for this requested zoning authority and approval; and

WHEREAS, the PZC received and considered the findings, conditions and recommendations as set forth the staff report dated June 15, 2022, (the "STAFF REPORT") which was provided to the PZC for the meeting, addressing the request for approval of said Special Use Permit; and considered all information presented by the Applicant, and the applicable factors required under of the Zoning Code; and, after the conclusion of the public hearing, the PZC recommended that the Board of Trustees of the

Village of Lake Zurich grant the special use approval requested in this Application, subject to those conditions of approval recommended by Village staff in said STAFF REPORT; and

WHEREAS, the Mayor and Board of Trustees of the Village of Lake Zurich met on June 20, 2022, and considered the findings and recommendations of the PZC, including the STAFF REPORT dated June 15, 2022, all consisting of 8 pages, said required zoning standards, findings and recommendations attached hereto as Exhibit B and having considered all of the facts and circumstances regarding the Application and these recommended approvals, the Mayor and Board of Trustees have determined that the applicable standards for this special use approval have been met.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: ADOPTION AND INCORPORATION OF RECITALS. The foregoing recitals, findings, recommendations, exhibits and plans are incorporated herein as findings and requirements of the Mayor and Board of Trustees, and Exhibits referenced herein are made a part of and incorporated into this Ordinance and related approval, except as otherwise provided below.

SECTION 2: GRANT OF SPECIAL USE PERMIT. The Mayor and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Chapter 6 (Section 9-6-3) and Chapter 19 (Sections 9-19-3 through 9-19-5) of Title 9 governing zoning in the Lake Zurich Municipal Code, hereby grant the following approval, as shown and provided in the STAFF REPORT dated June 15, 2022, and final findings and recommendations of the PZC, all consisting of 8 pages, attached hereto as Exhibit B:

Special Use Permit approval to operate a private youth athletic training facility as a special use under the special use category for a Physical Fitness Facility (SIC #7991) at the Subject Property at 353 Enterprise Parkway and subject to the following conditions for approval:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application, Cover Letter, and background information dated April 15, 2022, and prepared by Mr. Casey Tiesman.
 - b. Exhibit A: Legal Description of the Subject Property
 - c. Site and Floor Plans dated submitted April 15, 2022, and prepared by Mr. Casey Tiesman.
2. The special use constituting this physical fitness business with a focus on private youth athletic training shall be located within the industrial Tenant Space addressed at 353 Enterprise Parkway as depicted on the Site and Floor Plans submitted by Mr. Casey Tiesman, dated April 15, 2022, and shall

expire if this physical fitness business ceases operating at the Subject Property.

3. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

SECTION 3: FINDINGS IN SUPPORT OF APPROVAL OF GRANT OF SPECIAL USE PERMITS. The findings, conditions and recommendations as set forth in the STAFF REPORT dated June 15, 2022, and the PZC recommendations, all consisting of 8 pages, along with the filings provided to the PZC, regarding the applicable standards of Chapter 6 (Section 9-6-3) and Chapter 19 (Sections 9-19-3 through 9-19-5) of Title 9 governing zoning of the Lake Zurich Municipal Code, are hereby accepted as the Board's own, are incorporated herein by this reference and shall be made a part of the official record for the Application.

SECTION 4: SEVERABILITY. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 5: CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 6: EFFECTIVE DATE. This Ordinance shall be in full force and effect upon its passage and approval, as provided by law.

PASSED THIS _____ day of June, 2022.

Ayes:

Nays:

Absent:

Abstain:

APPROVED this _____ day of June, 2022.

Mayor Tom Poynton

ATTEST:

Village Clerk
Kathleen Johnson

EXHIBIT A

Legal description of Subject Property

LOT 1 IN THE API CONSOLIDATION PLAT OF LOT(S) 13, 14, & 15 IN MIDLOTHIAN COURT SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF CONSOLIDATION RECORDED DECEMBER 20, 2005 AS DOCUMENT NUMBER 5917934, IN LAKE COUNTY, ILLINOIS.

Parcels Involved: 14-16-104-021

EXHIBIT B

**June 15, 2022 staff report and
PZC recommendation and conditions**



At the Heart of Community

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road
Lake Zurich, Illinois 60047

(847) 540-1696
Fax (847) 726-2182
LakeZurich.org

APPLICATION PZC 2022-06
PZC Hearing Date: June 15, 2022

AGENDA ITEM 4.B

STAFF REPORT

To: Chairperson Stratman and Members of the Planning & Zoning Commission

From: Sarosh Saher, Community Development Director

CC: Tim Verbeke, Planner
Mary Meyer, Building Services Supervisor

Date: June 15, 2022

Re: PZC 2022-06 Zoning Application for 353 Enterprise Parkway – Tactical Sports Performance Special Use Permit for a Physical Fitness Facility

SUBJECT

Casey Tiesman (the “Applicant”) requests a Special Use Permit to allow a physical fitness facility (SIC #7991) to operate at the property commonly known as 353 Enterprise Parkway, a unit within a Lake Zurich Business Center industrial condominium complex, and legally described in Exhibit A attached hereto (the “Subject Property”).

GENERAL INFORMATION

Requested Action:	<u>Special Use Permit</u>
Current Zoning:	<u>I Industrial District</u>
Existing Use	<u>Vacant Unit in Existing Industrial Condo Complex</u>
Proposed Uses:	<u>Physical Fitness Facility (SIC #7991)</u>
Property Location:	<u>353 Enterprise Parkway</u>
Applicant:	<u>Casey Tiesman d/b/a Tactic Sports Performance</u>
Owner:	<u>Max Hahn, Midlothian Partnership, LLC</u>
Staff Coordinator:	<u>Tim Verbeke, Planner</u>

Staff Report
APPLICATION PZC 2022-06

Community Development Department
PZC Hearing Date: June 15, 2022

LIST OF EXHIBITS

- A. Legal Description
- B. Public Hearing Sign
- C. Site Photos
- D. Aerial Map
- E. Zoning Map
- F. Parcel Map
- G. Development Application and Attachments
- H. Development Review Comments

BACKGROUND

Tactic Sports Performance (the “Applicant”), with the consent of the owner, Mr. Max Hahn, of Midlothian Partnership, LLC is proposing a physical fitness facility with a focus privately training youth in athletics and legally described in Exhibit A attached hereto (the “Subject Property”). The Applicant filed an application with the Village of Lake Zurich received April 15, 2022 (the “Application”) seeking:

- Special Use Permit approval for a Physical Fitness Facility (SIC #7991)

The Applicant desires to establish a private gym within a condominium unit in the existing industrial building, with the main focus on private training and developing athletes and members so they can achieve their health and wellness goals, success in athletic competition, and work towards collegiate scholarships. Any type of physical fitness facilities requires a special use permit in the Lake Zurich I-Industrial zoning district.

Tactic Sports Performance, owned and operated by Mr. Casey Tiesman, is a training facility that will provide private training for athletes at all levels. The facility will be located within an approximately 9,100 square foot portion of the 46,728 square foot industrial tenant condominium. As part of the operation, the Applicant will meet and train clients in the large open spaces of the building, with newly installed artificial turf and rubberized flooring. The existing office space will be converted to a parent waiting area and a two offices.

Tactic Sports Performance will not conflict with the standard hours of operation or traffic flow of the industrial park, as tentative operating times are after work/school. The hours of operation are Monday-Friday 3:30 p.m. to 9:00 p.m., and Saturday-Sunday 8:00 a.m. to 1:00 p.m. The anticipated traffic count per hour of operation is 10 vehicles with 2-4 employees working at one time, and the business seeing between 100-150 customers a week.

Pursuant to public notice published on May 28, 2022, in the Daily Herald, a public hearing has been scheduled with the Lake Zurich Planning & Zoning Commission for June 15, 2022, to consider the Application. On May 23, 2022, the Village posted a public hearing sign on the Subject Property (Exhibit B).

Staff Report
APPLICATION PZC 2022-06

Community Development Department
PZC Hearing Date: June 15, 2022

Staff offers the following additional information:

- A. Courtesy Review.** Due to the low impact, courtesy review was not recommended.
- B. Zoning History.** The property is located within the Lake Zurich's Midlothian Court Subdivision, which was recorded on July 9, 1997 in Lake County and is zoned within the I-Industrial District. The existing warehouse building was constructed in the following years, and used by several companies, with the current tenant space being most recently occupied by ERI until 2021.
- Casey Tiesman's business is currently located in Glenview, IL and has been operating for over 5 years. He currently has partnerships with numerous sport organizations such as the Glenview Stars hockey program, the Glenview youth baseball organization, the Glenbrook South Hockey teams, as well as high level travel organizations in various sports.
- C. Surrounding Land Use and Zoning.** The subject property is located at the Northwest corner of the Industrial Park, near the intersection of Enterprise Pkwy and Midlothian Rd. Tenant space is 353 Enterprise is one of 3 industrial condominium units, collectively within the building addressed 333-353 Enterprise. All directly surrounding land is zoned I Industrial District and is improved with both multi-tenant and single user industrial buildings. The parcel across Midlothian Rd is zone R-6 Multiple Family Residential, and improved with an assisted living facility.
- D. Trend of Development.** The subject property is located within Lake Zurich's thriving Corporate Industrial Park. Currently, there are a number of other physical fitness or sports and training facilities that have established on properties zoned within the I Industrial zoning district. These facilities are Main Street Sports at 143 East Main Street, MVP Sports Academy at 130 Oakwood Road, US Gymnastics Training Center at 405 Enterprise Parkway, Max Fitness at 1148 Rose Road, Formula 1 Cheer at 65 Oakwood Road Unit 3 and most recently Lake County Stars Baseball within the adjacent tenant space at 363 Enterprise Parkway and Chicago Badminton Academy at 570A Telser Road. Tactic Sports Performance is in keeping with the trend of development of these facilities.
- E. Zoning District.** The I industrial district is intended to provide for a range of nuisance free manufacturing, warehousing, transportation, wholesaling, and industrial uses that are compatible with the suburban residential character of the village. The industrial district is also meant to accommodate certain professional offices and similar uses that may provide services to the industrial users and are compatible with the industrial character of the district. It is the goal of these regulations to provide and preserve an area within the village for industrial uses that create employment and economic benefits for the village and the industrial district.

Physical fitness facilities are classified as a special use requiring a careful review of their location, design, configuration, and special impact to determine, against fixed standards, the desirability of permitting their establishment on any given site. Special uses are uses

Staff Report
APPLICATION PZC 2022-06

Community Development Department
PZC Hearing Date: June 15, 2022

that may or may not be appropriate in a particular location depending on a weighing, in each case, of the public need and benefit against the local impact and effect

GENERAL FINDINGS

Staff of the Village's Development Review Team (DRT) has evaluated the development against the various standards and provisions of the Lake Zurich Municipal Code and offers findings on specific sections of the Code.

9-19-3: STANDARDS FOR SPECIAL USE PERMITS.

Staff has reviewed the application and found that the proposal will continue to remain in substantial conformance with the standards for Special Use Permits as outlined below.

A. General Standards: No special use permit shall be recommended or granted unless the applicant shall establish substantial conformance with the following:

1. **Zoning Code and Plan Purposes:** The proposed use and development will be in harmony with the general and specific purposes for which this zoning code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the official comprehensive plan.

Staff Response: Standard met. The development will continue to remain in substantial conformance with the purpose and intent of the I Industrial District, and the land use designation of the adopted Comprehensive Plan.

2. **No Undue Adverse Impact.** The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

Staff Response: Standard met. The proposed development is consistent with other industrial condominium office spaces within the Industrial District. Based on the fact that it is being operated with smaller class sizes of 10 to 15 customers, plus only evening and weekend hours, it will not have any substantial or undue adverse effect upon any adjacent properties.

3. **No Interference with Surrounding Development.** The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

Staff Response: Standard met. The entirety of the land use and its operation is proposed to be conducted within a portion of the existing tenant space in Midlothian Court Subdivision complex.

4. **Adequate Public Facilities.** The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities,

Staff Report
APPLICATION PZC 2022-06

Community Development Department
PZC Hearing Date: June 15, 2022

drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

Staff Response: Standard met. The proposed development is currently served by and will continue to be served adequately by essential public facilities and services such as streets, utilities and drainage and other municipal services. No changes to these are contemplated at this time.

5. **No Traffic Congestion.** The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through the surrounding streets.

Staff Response: Tactic Sports Performance is estimating 10 vehicles arriving at the facility per hour of operation, with a majority of the vehicles being drop-off/pick-up, resulting in minimal related automobile traffic arriving to and leaving this location. The traffic will not conflict with the standard hours of operation or traffic flow of the industrial park, as tentative operating times are after work/school.

Parking is in conformance with the requirements of the zoning code. The complex at 333-353 Enterprise was designed with adequate parking to accommodate the parking demand for the various types of uses that the complex could accommodate.

6. **No Destruction of Significant Features.** The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Staff Response: Standard met. The proposed use will not result in the destruction or removal of any natural features. The proposed use would be conducted entirely within an existing tenant space Midlothian Court Subdivision complex.

7. **Compliance with Standards.** The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

Staff Response: Standard met. The proposed development will comply with all other additional standards imposed through the building codes as they relate to physical fitness facilities. The applicant is proposing a buildout to upgrade the interior to their requirements per the building codes.

8. **Positive Effect.** The proposed special use creating a positive effect for the zoning district, its purpose, and adjacent properties shall be placed before the benefits of the petitioner.

Staff Report
APPLICATION PZC 2022-06

Community Development Department
PZC Hearing Date: June 15, 2022

Staff Response: Standard met. The proposed development will continue to uphold the established character of the industrial park, and will provide a healthy and convenient lifestyle option for the Village's residents and employees of the Industrial Park.

B. **Special Standards for Specified Special Uses.** When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district, a permit for such use in such district shall not be recommended or granted unless the applicant shall establish compliance with such special standards.

Staff Response: Standard met. There are no additional standards for the proposed special use. Staff will ensure that compliance is established before any additional permits are issued.

C. **Considerations.** In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Board of Trustees shall consider:

1. **Benefit.** Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Staff Response: Standard met. The proposed development will bring a unique healthy lifestyle option to the Village. Residents of the village will be provided with a convenient gym specializing in privately training Lake Zurich's youth in athletics.

2. **Alternative Locations.** Whether the purposes of the zoning code can be met by the location of the proposed use and development in some other area or zoning district that may be more appropriate than the proposed site.

Staff Response: Physical fitness facilities (SIC #7991) are a permitted use within the Village's Business districts and a special use within Industrial districts. Mr. Tiesman has not indicated an intention of looking for an alternative location in a business district due to the space requirements of his gym. Any alternative location in the industrial district would involve additional costs and would be subject to requirements that are no different from the current location.

3. **Mitigation of Adverse Impacts.** Whether all steps possible have been taken to minimize any substantial or undue adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Staff Response: Standard met. The physical fitness facility will be developed to prevent any undue adverse effect on itself or on surrounding property in

Staff Report
APPLICATION PZC 2022-06

Community Development Department
PZC Hearing Date: June 15, 2022

relation to its location, design and operation. All primary activities of the proposed use are located within the enclosed tenant space.

RECOMMENDATION

The recommendation of the Planning and Zoning Commission should be based on the standards included in the following Sections of the Lake Zurich Municipal Code:

- Section 9-19-3: Standards for Special Use Permits

Based on the review of staff, the standards for approval have been met and therefore staff recommends that the Planning and Zoning Commission make these standards a part of the official record of the Application.

Staff of the Community Development Department therefore recommends the approval of Application PZC 2022-06, subject to the following conditions:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application, Cover Letter, and background information dated April 15, 2022, and prepared by Mr. Casey Tiesman.
 - b. Exhibit A: Legal Description of the Subject Property
 - c. Site and Floor Plans dated submitted April 15, 2022, and prepared by Mr. Casey Tiesman.
2. The special use constituting this physical fitness business with a focus on private youth athletic training shall be located within the industrial tenant space addressed at 353 Enterprise Parkway as depicted on the Site and Floor Plans submitted by Mr. Casey Tiesman, dated April 15, 2022, and shall expire if this physical fitness business ceases operating at the subject property.
3. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

Respectfully Submitted,

Tim Verbeke
Planner

Staff Report
APPLICATION PZC 2022-06

Community Development Department
PZC Hearing Date: June 15, 2022

LAKE ZURICH PLANNING & ZONING COMMISSION
FINAL FINDINGS & RECOMMENDATIONS

FOR 353 ENTERPRISE PARKWAY
June 15, 2022

The Planning & Zoning Commission recommends approval of Application PZC 2022-06, and the Planning & Zoning Commission adopts the findings as contained within the Staff Report dated **June 15, 2022** for this Application and subject to any changes or approval conditions as listed below:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
 - a. Zoning Application, Cover Letter, and background information dated April 15, 2022, and prepared by Mr. Casey Tiesman.
 - b. Exhibit A: Legal Description of the Subject Property
 - c. Site and Floor Plans dated submitted April 15, 2022, and prepared by Mr. Casey Tiesman.
2. The special use constituting this physical fitness business with a focus on private youth athletic training shall be located within the industrial tenant space addressed at 353 Enterprise Parkway as depicted on the Site and Floor Plans submitted by Mr. Casey Tiesman, dated April 15, 2022, and shall expire if this physical fitness business ceases operating at the subject property.
3. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

Without any further additions, changes, modifications and/or approval conditions.
 With the following additions, changes, modifications and/or approval conditions:

Planning & Zoning Commission Chairman

Staff Report
APPLICATION PZC 2022-06

Community Development Department
PZC Hearing Date: June 15, 2022

EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY

LOT 1 IN THE API CONSOLIDATION PLAT OF LOT(S) 13, 14, & 15 IN MIDLOTHIAN COURT SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF CONSOLIDATION RECORDED DECEMBER 20, 2005 AS DOCUMENT NUMBER 5917934, IN LAKE COUNTY, ILLINOIS.

Parcels Involved: 14-16-104-021

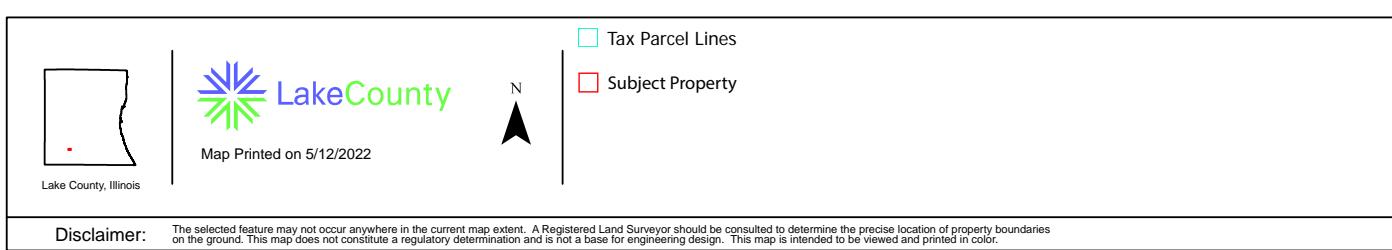
Staff Report
APPLICATION PZC 2022-06

Community Development Department
PZC Hearing Date: June 15, 2022

EXHIBIT B
PUBLIC HEARING SIGNS PRESENT AT SUBJECT PROPERTY



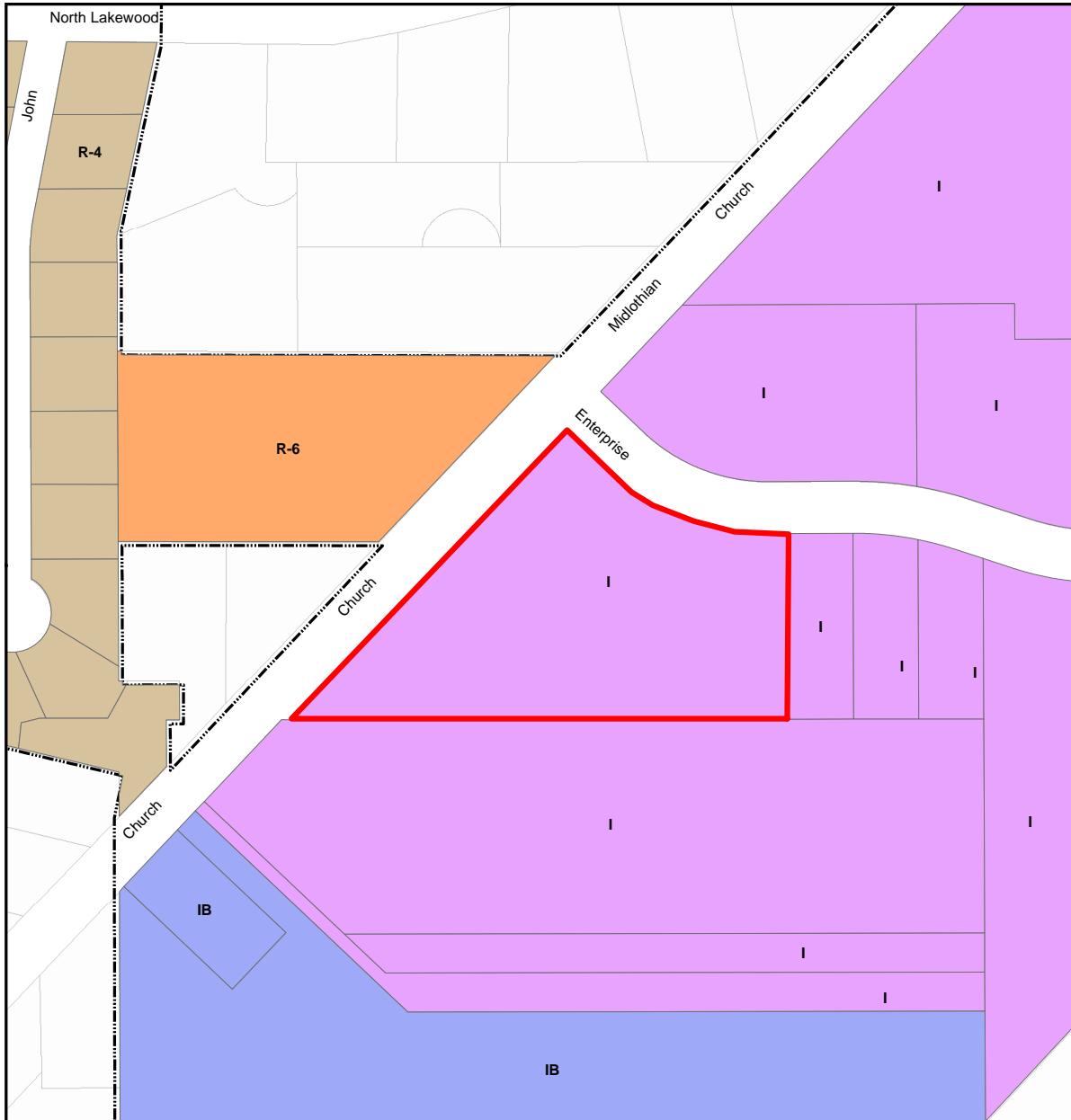
353 Enterprise





Tactic Sports Performance

353 Enterprise Parkway



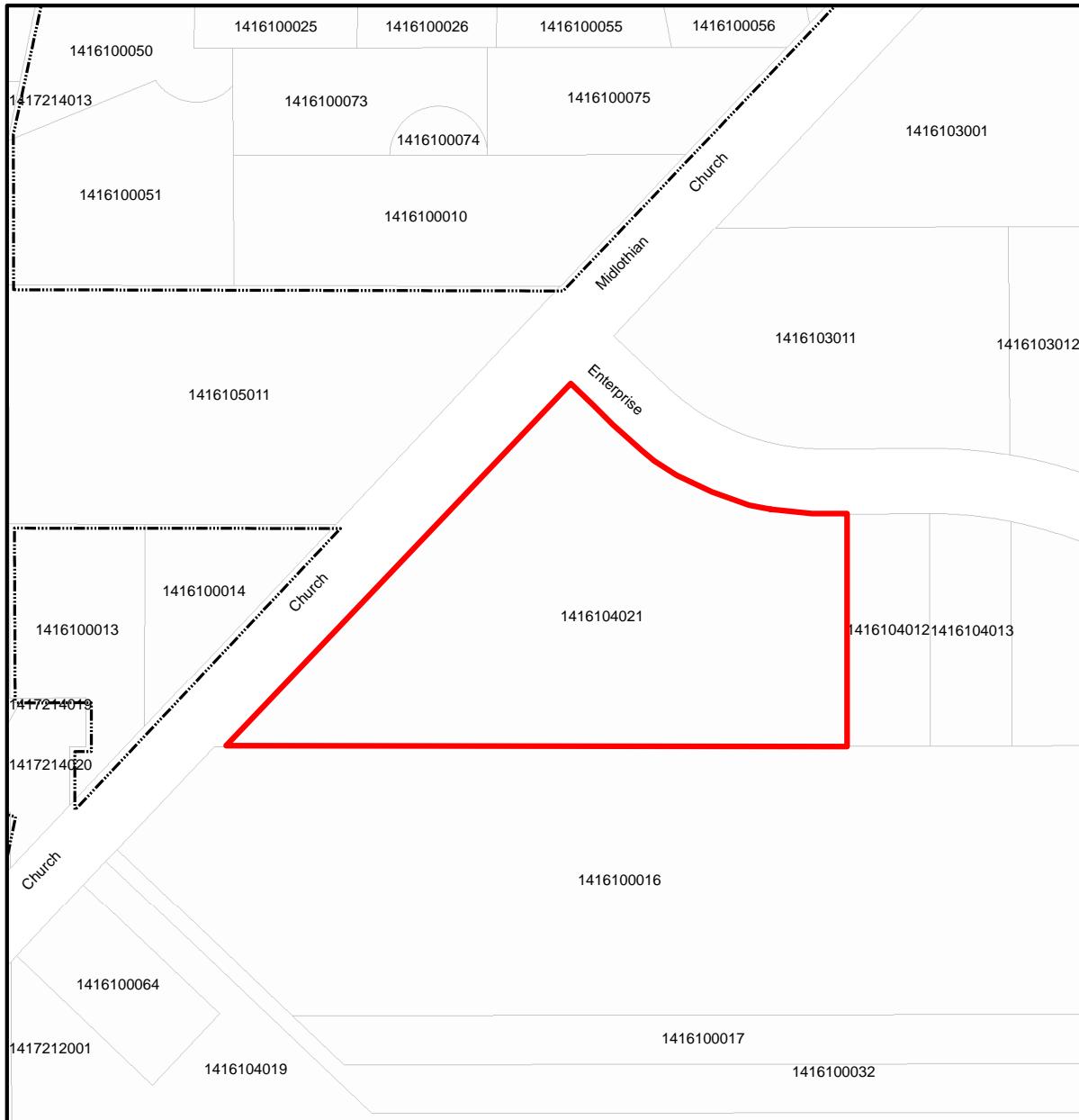
COMMUNITY SERVICES DEPARTMENT
Building and Zoning Division
505 Telser Road, Lake Zurich, Illinois 60047

(847) 540-1696
Fax: (847) 726-2182
LakeZurich.org



Tactic Sports Performance

353 Enterprise Parkway



COMMUNITY SERVICES DEPARTMENT
Building and Zoning Division
505 Telser Road, Lake Zurich, Illinois 60047

(847) 540-1696
Fax: (847) 726-2182
LakeZurich.org



(Please Type or Print)

ZONING APPLICATION

Community Development Department

505 Telser Rd.

Lake Zurich, IL 60047

Phone: (847) 540-1696

Fax: (847) 540-1769

1. Address of Subject Property: 353 Enterprise Parkway, Lake Zurich, IL 60047

2. Please attach complete legal description

3. Property Identification number(s): 14-16-104-0214. Owner of record is: Midlothian Partnership LLC Phone: 847-550-5556E-Mail Sam.K@apinow.com Address: 353 Enterprise Parkway, Lake Zurich, IL 600475. Applicant is (if different from owner): Casey Tiesman Phone: 312-320-8281E-Mail Casey@tacticsp.com Address: 147 Robertson Rd. Lake Zurich, IL 600476. Applicant's interest in the property (owner, agent, realtor, etc.): Lessee

7. All existing uses and improvements on the property are: _____

8. The proposed uses on the property are: Sports performance / physical fitness

9. List any covenants, conditions, or restrictions concerning the use, type of improvements, setbacks, area, or height requirements placed on the Subject Property and now of record and the date of expiration of said restrictions:

N/A

10. Describe any contract or agreement of any nature relevant to the sale or disposal of the Subject Property:

N/A

11. For applications requiring a public hearing, please attach a list which contains the PIN, owner, and owner's mailing address of all properties located within 250 feet (excluding all Public Right-of-Ways) of the Subject Property.

"OFFICIAL SEAL"

THE APPLICANT'S SIGNATURE BELOW INDICATES THE INFORMATION CONTAINED IN THIS APPLICATION AND ON ANY ACCOMPANYING DOCUMENTS IS TRUE AND CORRECT.
 THE APPLICANT ALSO ACKNOWLEDGES IF THE CONSULTANT EXPENSES EXCEED THE INITIAL ESCROW DEPOSIT, THE APPLICANT WILL REIMBURSE THE ACCOUNT IMMEDIATELY.

 Notary Public, State of Illinois
 My Commission Expires 10/24/2022
Casey Tiesman

(Name of applicant)

BT

(Signature of applicant)

Subscribed and sworn to before me this 14 day of April, 2022.Melissa Kegom

(Notary Public)

My Commission Expires 10/24/2022Mark Hahn

(Name of Owner, if different)

4/14/22

Subscribed and sworn to before me this _____ day of _____, 2022.

(Notary Public)

My Commission Expires _____

Please indicate what form of zoning relief your application requires. For assistance, please contact Staff:

Zoning Code Map Amendment to change zoning of Subject Property from _____ to _____
 Zoning Code Text Amendment to amend the following section(s) of the Zoning Code _____

(See Section 18-103 of the Lake Zurich Zoning Code for specific standards. If a specific parcel is the subject of this amendment, then provide the additional information listed in Section 18-103C.)

Special Use Permit/Amendment for Sport Performance / physical fitness

(See Section 19-103 of the Lake Zurich Zoning Code for specific standards.)

Planned Unit Development/Major Adjustment/Amendment

(Planned Unit Developments are a distinct category of special use and are intended to create a more desirable environment than through strict application of the zoning and subdivision regulations. See Section 22-105 of the Lake Zurich Zoning Code for specific standards. Please list all the 'modifications' requested in the cover letter.)

Variation for _____

(See Section 17-104 of the Lake Zurich Zoning Code for specific standards. Please indicate what your specific hardships are in the cover letter.)

Modification to the Land Development Code (includes retaining walls more than 2 feet in height)

(See Section 10-6-18 of the Land Development Code for specific standards.)

Preliminary Plat of Subdivision

Final Plat of Subdivision or Amendment to Plat of Subdivision

(See Sections 10-5-2 and 10-5-9 of the Land Development Code for specific standards.)

Site Plan Approval/Major Adjustment/Amendment

(See Section 20-103 of the Lake Zurich Zoning Code for specific standards.)

Exterior Appearance Approval or Amendment

(See Section 21-103 of the Lake Zurich Zoning Code for specific standards.)

APPLICATION TO ANNEX CERTAIN TERRITORY

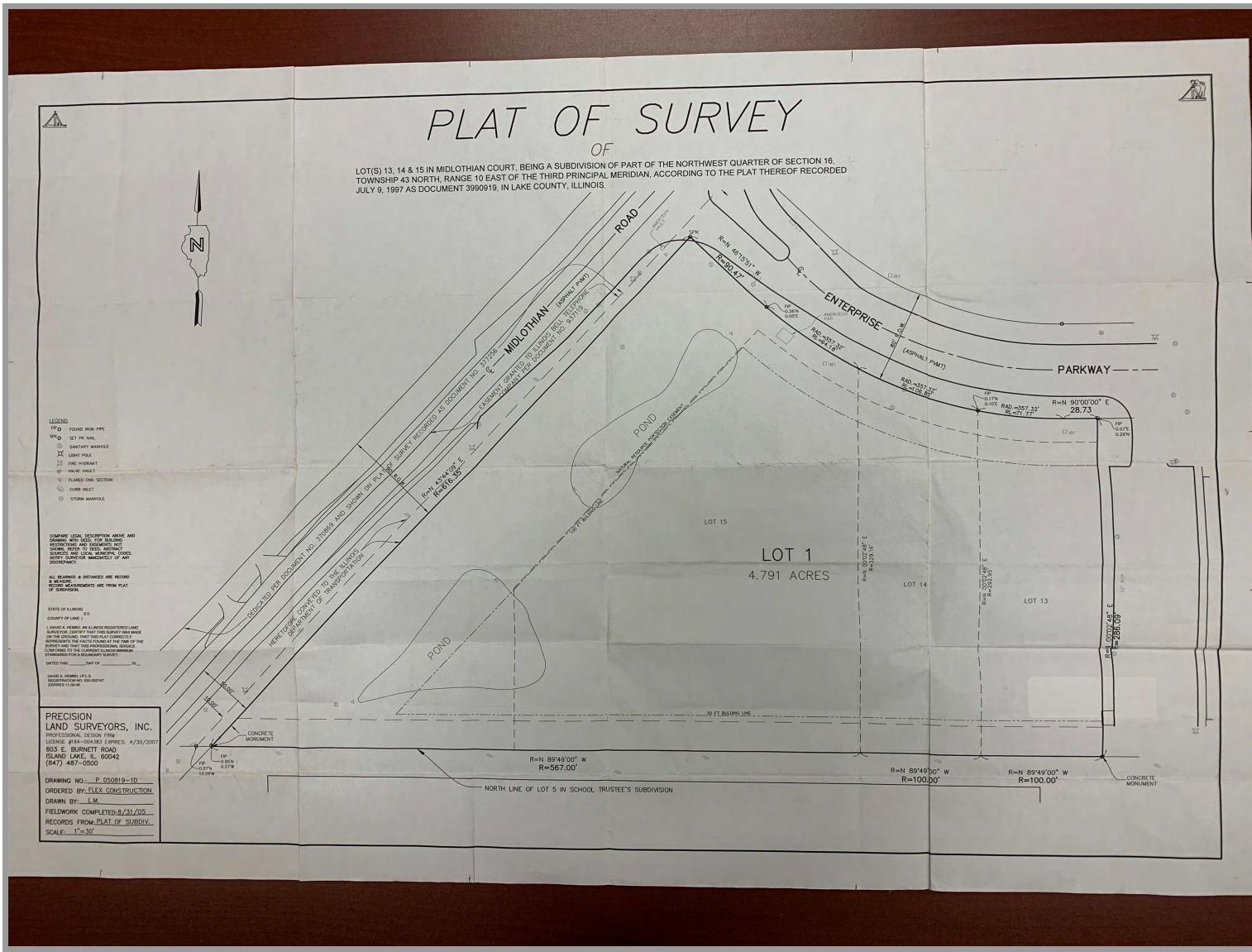
All land annexed to the Village is classified automatically after such annexation in the R-1\2 Single Family Residential District. The owner must file an application for a Zoning Map amendment if he or she desires a different zoning classification for the Subject Property.

Petition to Annex Certain Territory (Please complete attached petition)
 Application to Annex Certain Territory

COMPREHENSIVE PLAN APPLICATION

Comprehensive Plan **Map** Amendment for _____

Comprehensive Plan **Text** Amendment for _____



ATA / GMT Title Agency
175 E. Hawthorn Parkway, Suite 135
Vernon Hills, IL 60061
File# 13-0939

PREPARED BY, and
WHEN RECORDED RETURN
ORIGINAL TO:

Mark A. Costa
Kelly, Olson, Michod,
DeHaan & Richter, L.L.C.
225 W. Washington Street, Suite 1300
Chicago, IL 60606

PROPERTY ADDRESS:

333 Enterprise Parkway
Lake Zurich, Illinois 60047

PERMANENT TAX INDEX NUMBER:

14-16-104-021

Type: MTA
Recorded: 12/7/2020 12:11:37 PM
Fee Amt: \$60.00 Page 1 of 9
Receipt#: 202000088829
IL Rental Housing Fund: \$9.00
Lake County IL Recorder
Mary Ellen Vandeventer Recorder

File# 7724194

FOR RECORDER'S USE ONLY

**SECOND MODIFICATION OF MORTGAGE, SECURITY
AGREEMENT AND FINANCING STATEMENT**

THIS SECOND MODIFICATION OF MORTGAGE, SECURITY AGREEMENT AND FINANCING STATEMENT ("Modification") is dated as of November 12, 2020 and is made by Midlothian Partnership LLC, an Illinois limited liability company ("Mortgagor"), whose address is 333 Enterprise Parkway, Lake Zurich, Illinois 60047 and to and for the benefit of Village Bank and Trust NA (formerly known as Village Bank and Trust) (referred to as "Mortgagee"), whose address is 1545 Ellinwood Avenue, Des Plaines, IL 60016.

RECITALS

WHEREAS, Mortgagor executed and delivered that certain Term Note dated as of August 15, 2013 in the original principal amount of \$1,402,000.00 in favor of the Mortgagee ("Original Note");

WHEREAS, the Original Note is secured in part by that certain Mortgage, Security Agreement and Financing Statement dated as of August 15, 2013 executed by Mortgagor in favor of Mortgagee with respect to the real property legally described on Exhibit A attached hereto and commonly known as 333 Enterprise Parkway, Lake Zurich, Illinois 60047 together with all improvements, buildings, fixtures, personal property, equipment and other things thereon and therein (collectively referred to herein as the "Premises") and recorded with the Lake County, Illinois Recorder of Deeds on September 5, 2013 as Document Number 7033068, as amended by that certain First Modification of Mortgage, Security Agreement and Financing Statement dated as of December 22, 2014 executed by Mortgagor in favor of Mortgagee (as may be amended, modified, replaced, restated, substituted or supplemented from time to time, the "Mortgage");

WHEREAS, Mortgagee has agreed to increase the principal amount of the Original Note to Two Million One Hundred Forty Five Thousand and 00/100 Dollars (\$2,145,000.00) as evidenced by that certain Amended and Restated Term Note dated as of November 12, 2020 in favor of Mortgagee

Estimated Costs:

Flooring to include artificial turf and rubber - \$55,000

Gym equipment - \$70,000

Office Renovation (glass doors, window installation in drywall) - \$15,000



Mr. Orlando Stratman,

I hope this letter finds you in good health and happiness. Tactic Sports Performance is requesting a special zoning permit to bring a second location to serve the community, with an emphasis on the youth of Lake Zurich. Our company is a private training facility that focuses on developing athletes and member's so they can achieve their health and wellness goals, success in athletic competition, and work towards collegiate scholarships. Tactic prides itself on building a strong community that supports the athletes inside and out of the training facility as well as supporting the local schools and sport organizations.

Tactic is currently located in Glenview, IL and has been operating for over 5 years. We have partnerships with numerous sport organizations such as the Glenview Stars hockey program, the Glenview youth baseball organization, the Glenbrook South Hockey teams, as well as high level travel organizations in various sports. Additionally, our primary training programs have roughly 250 seasonal athlete members and serve 30+ personal training clients.

Owner: Casey Tiesman

Tactic Sports Performance

Proposed Location: 353 Enterprise Parkway, Lake Zurich, IL 60047

Tentative Opening: September 1st, 2022

Property and Business Details

- Midlothian Partnership, LLC
- Lessee: Casey Tiesman, Tactic Sports Performance
- Current Use: Industrial
- Intended Use: Sports Performance / Strength & Conditioning
- Approvals sought: Special Zoning Permit
- Vehicle Count: Athletes will arrive and be dropped off and picked up by parents; we estimate no more than 10 vehicles arriving per hour at the maximum. Staff vehicles should be no more than 2-4 during working hours
- Tentative Hours: 3:30pm – 9:00pm Monday – Friday, 8:00am – 1:00pm Saturday & Sunday
- Employees 2-4
- Estimated Customer Count: 100-150 total athlete visits per week
- Funding: Interior office renovation and gym equipment will be paid for by current business funds, gym flooring paid through current approved loan
- Build out: Glass interior doors to replace current solid doors for visuals, windows and glass doors added to back wall of office to enter and view training surface. Artificial turf and rubber flooring to be laid down, gym equipment to be added to the rubber surface area. Water fountain to be added to training area
- Current facility: 1813 Elmdale Ave., Glenview, IL 60026

www.tacticsp.com

The proposed location is a prime spot for our company. Our neighbors are the Lake County Stars as well as the US Gymnastics Training Center and we see this an opportunity to compliment and strengthen each other's organizations by the amazing proximity to each other and the complimentary services we will provide.

Company Description

Tactic Sports Performance is a sports performance training facility that's main demographic will be athletes from ages 8-18 years old. The facility will also run programs for non-athletes, adults and team training. The company is set to move into a 9100 sq. ft. location that is located at 353 Enterprise Parkway, Lake Zurich, IL 60047. The facility will be surfaced with 50% artificial turf and 50% rubber flooring. It includes two offices, two full restrooms, a kitchen, and large seating area in the entrance

As the owner, Casey Tiesman will be working exclusively out of this location as he lives approximately 5 minutes from the proposed location in Lake Zurich. Mr. Tiesman will be assisted by a local coach who will be bringing his clients into the new facility and immediately assisting in generating income and helping with marketing over the summer build out time. Tactic will pursue partnerships with local sport organizations to assist in developing amazing athletes and young adults while helping to strengthen their organizations by having a sports performance component within their training packages.

Services

Tactic Sports Performance will offer:

- Youth Group Training sessions at different age/experience levels
- Personal training
- Team / Organizational training
- Golf Fitness & Simulation (Titleist Performance Institute Certified)
- Team rentals

Background

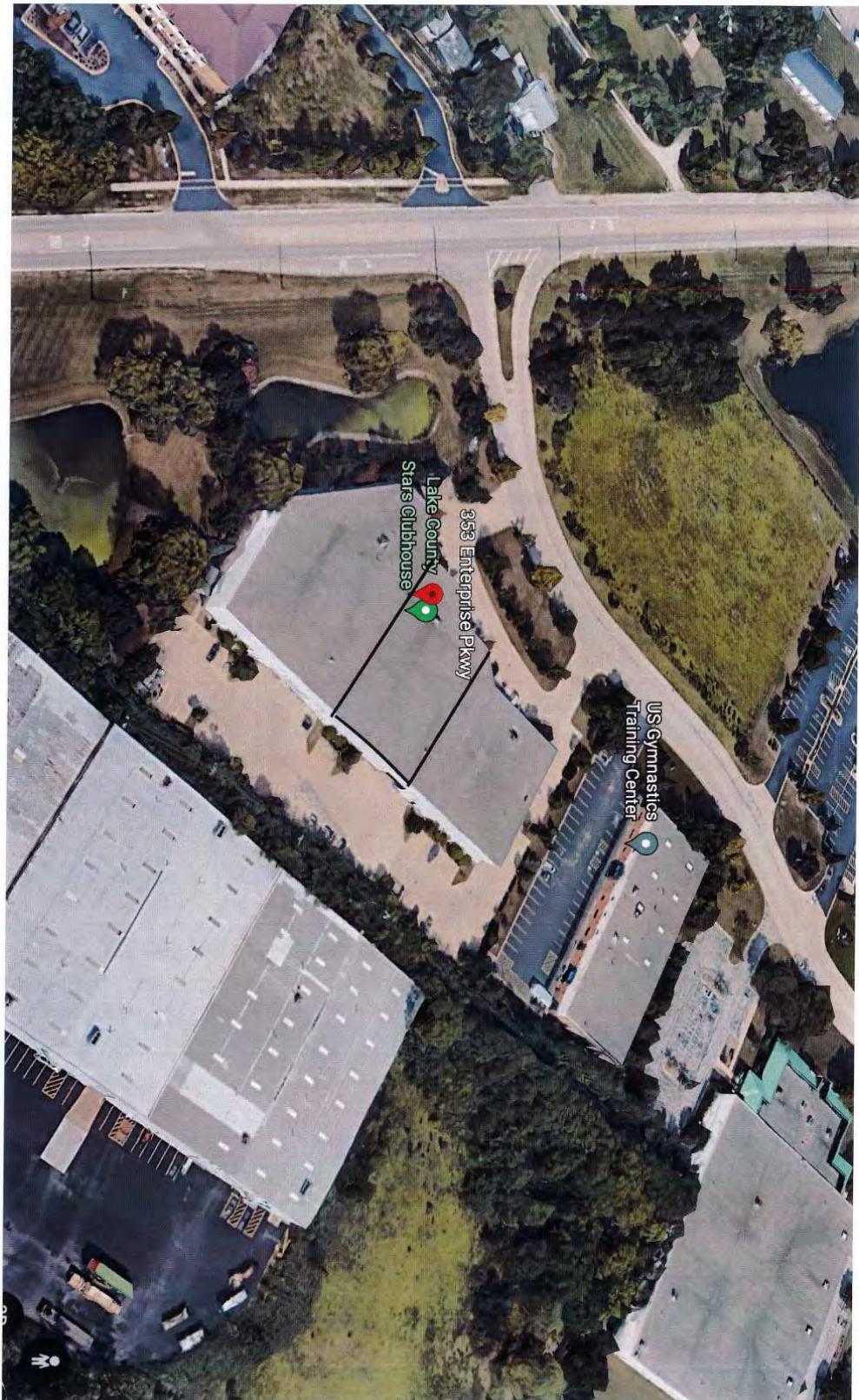
Owner Casey Tiesman has been training athletes at the youth and professional level for 13 years. Having held multiple manager and director positions before opening Tactic Sports Performance 5 years ago, he worked with companies such as EXOS, the Bulls/Sox Training Academy, and FitSpeed (owned by former Chicago Bear, Brandon Marshall). Casey has a bachelor's degree in Kinesiology from the University of Illinois at Chicago and a master's degree in Sport Psychology from the University of North Dakota. Having flourished and opened a new location during the pandemic, Casey is well versed and prepared to create something special for the Lake Zurich community.

Summary

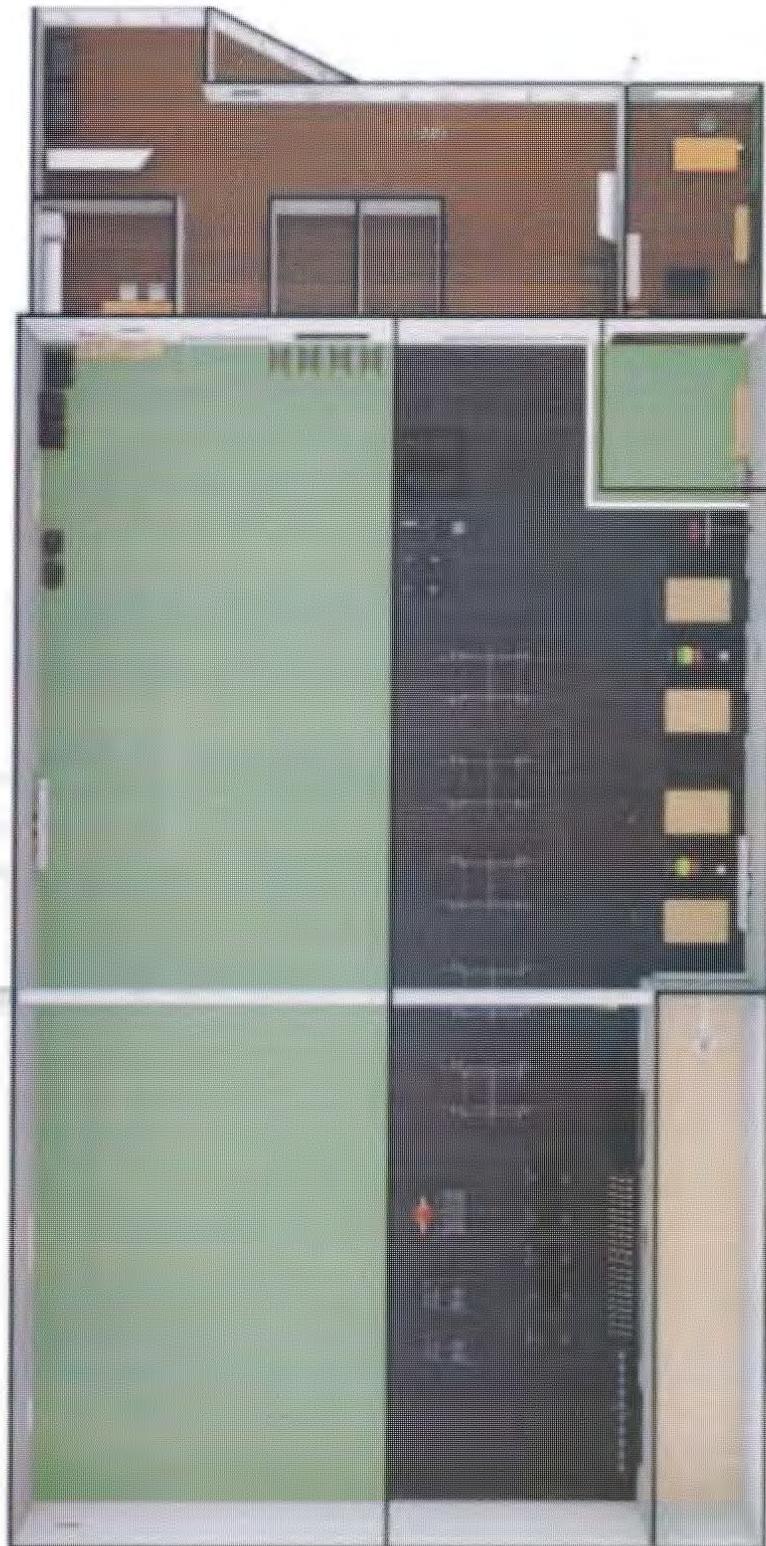
As a new resident of Lake Zurich as of 2019, Casey Tiesman now has two children and sees this location as another opportunity to establish roots within the community, meet and help families and athletes, and develop amazing relationships that will last a lifetime. The benefits that have been found from sports performance training go far beyond the field of competition, increased self-esteem, discipline, mental health, and many more are all additional benefits of the training and community that will be built. We are passionate about what we do and even more so about how we can help make a change in everyone's life.

Thank you for your time in reviewing our application and your consideration.

Casey Tiesman, MS, CSCS
Owner
Tactic Sports Performance
p: (224) 326-2367
e: casey@tacticsp.com













April 12, 2022

To The Lake Zurich Zoning Commission:

I am writing this letter on behalf of Casey Tiesman and Tactic Sports Performance (Tactic) to inform Lake Zurich of what a tremendous asset to the community Tactic would be. Casey focuses on developing youth as people first and athletes second. As a long-standing board member of the Glenview Stars, we have worked with Casey since 2018 to develop our dryland training program for players (boys and girls) from ages 7 to 18. He and his staff focus on age appropriate physical development while teaching the kids to work hard. Casey works with multiple youth and high school sports teams in the Glenview area as well as running group classes and personal training for those youth athletes that want to continue to develop outside of their team training. My oldest son began training at Tactic with the Stars and quickly became hooked on training due to the enthusiasm that Casey and his staff have working with youth athletes to help them achieve their goals. He now trains multiple days a week in Tactic's group classes (which my son views as a small community) in addition to his team training.

Casey also gives back to the community by sponsoring teams that train at Tactic. I believe the sense of community he creates, his extensive knowledge of athletic training and the fact that you can tell he deeply cares about the success of his athletes reflects in how his business has grown and is filled with teams and individuals training throughout the year.

Regards,

A handwritten signature in black ink that reads "Drew Weller".

Drew Weller
President Emeritus
Glenview Stars Hockey Association

Wendy Ban
937 Club Circle
Glenview, IL 60025
wendyban@gmail.com
847-828-9226 (cell)

April 12, 2022

To Whom It May Concern,

I am writing on behalf of Casey Tiesman with Tactic Sports Performance. I was a board member on both Glenview Stars Youth Hockey and Glenbrook South Hockey Club when we contracted with Casey and Tactic to provide dryland training for our clubs. Prior to that, my sons worked out at Tactic a few times a week for a couple years.

I remember many years ago when my older son asked to join a gym and we could not find anything until someone told me about Tactic. Both of my sons fell in love with the place and I cannot even begin to tell you how much it improved their lives. Casey is truly gifted. He is one of the most energetic, motivating people I have ever met. He gets the kids excited while working them and teaching them not only about fitness, but about teamwork, respect and how hard work pays off. Every single trainer he has hired fits the same mold and teaches the kids using the same guiding principles. My boys look forward to going to Tactic every single time. They even view it as a reward.

I have heard these same sentiments from countless parents in both the Stars Hockey and Glenbrook South Hockey programs and parents of kids who attend the hourly programming outside of a team.

Casey takes great pride in his program, his staff and the physical building. The space is in pristine condition and provides a safe, welcoming, fun environment for the children. His staff is all hand-picked by Casey and chosen because of their knowledge, enthusiasm and abilities.

Before my boys could drive, I would take them to work out at Tactic. I have seen first-hand how Casey and all of his team embrace all sorts of children - not just the athletes, but children who want to train, but may not be very athletic. All of the trainers pay just as much attention to the worst athlete as the best athlete. As I mentioned before, the atmosphere is so fun and the kids want to be there.

I understand Casey is expanding Tactic to Lake Zurich. I don't have words to tell you how much Lake Zurich will love having Tactic there. Casey welcomes everyone. They will be such a valuable asset to the Village of Lake Zurich. If you have any questions or if I can be of any help, please feel free to call or email at the contacts listed above.

Sincerely,

Wendy Ban



VILLAGE OF LAKE ZURICH

70 EAST MAIN STREET
LAKE ZURICH, IL 60047
847-438-5141
LAKEZURICH.ORG

Date: 04/15/2022
Receipt #: 203418
Cashier: Tim.Verbeke
Total: \$1,390.00

Received Of

TACTIC SPORTS PREFORMANCE
353 ENTERPRISE
LAKE ZURICH, IL 60047

Description/Notes: CR Payment

Transaction	Type	Record	Address	Amount
00043586	Name	TACTIC SPORTS PREFORM	353 ENTERPRISE PKWY	\$500.00

Invoice for bond 101-00000-21201 500.00

Description/Notes: CR Payment

Transaction	Type	Record	Address	Amount
00043587	PZE Process	PZC22-0006	353 ENTERPRISE PKWY	\$890.00

SPECIAL USE PERMITS NON-RESIDENTI 101-28001-43854 890.00

Reference Number:	Total
00032157	\$ 1,390.00
	Cash
CK No: 1272	Check \$ 1,390.00
	Credit
	Transferred
	Tendered \$ 1,390.00
	Change \$ 0.00
	To Overpayment \$ 0.00



VILLAGE MANAGER'S OFFICE

MONTHLY INFORMATION REPORT

MAY 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION MAKING

70 E. MAIN STREET
LAKE ZURICH, IL 60047

A Look Back at May 2022...

2022 Business Outreach Survey

One of the Village's strategic goals for 2022 is to implement a business retention program, part of which is a survey of needs of the Lake Zurich business community. In May, the Village launched Lake Zurich's first-ever Business Outreach Survey, with questions to gauge how businesses are faring, their outlook for the future of Lake Zurich commerce, and their overall experience as being part of the Lake Zurich community.

The goal of this is to listen, learn, and encourage existing businesses to grow and thrive in Lake Zurich. The survey will be kept open until the end of June and results will be presented to the Village Board afterwards.

Life Time Construction

As Lifetime has begun nearing the completion of its project at US 12 and Old Rand Road, Village Staff and personnel from Lifetime met on-site in early May to discuss the procedures and requirements for final inspections to be scheduled towards the end of July.

In addition to the various permit and inspection requirements for occupancy, tentative completion dates were proposed for various construction items and inspections. Lifetime plans to complete fitness equipment installation by the summer and turn over the building to their Club Operations to begin running the facility following that. At this time, Lifetime has not set a date for its grand opening.

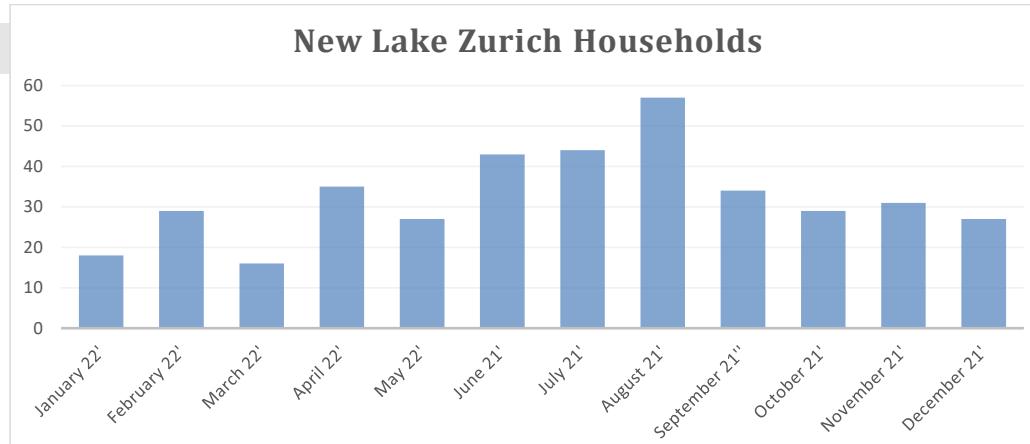
Vault 232 at 35 West Main Nearing Completion

Vault 232, the high-end dining establishment that will include a banquet space, bar area, and fresh seafood retail store, completed its final building department and Lake County Health Department inspections in May and is anticipated to be open in early Summer. Following completion and passing of all inspections, a Certificate of Occupancy will be issued to allow the restaurant to begin operations.

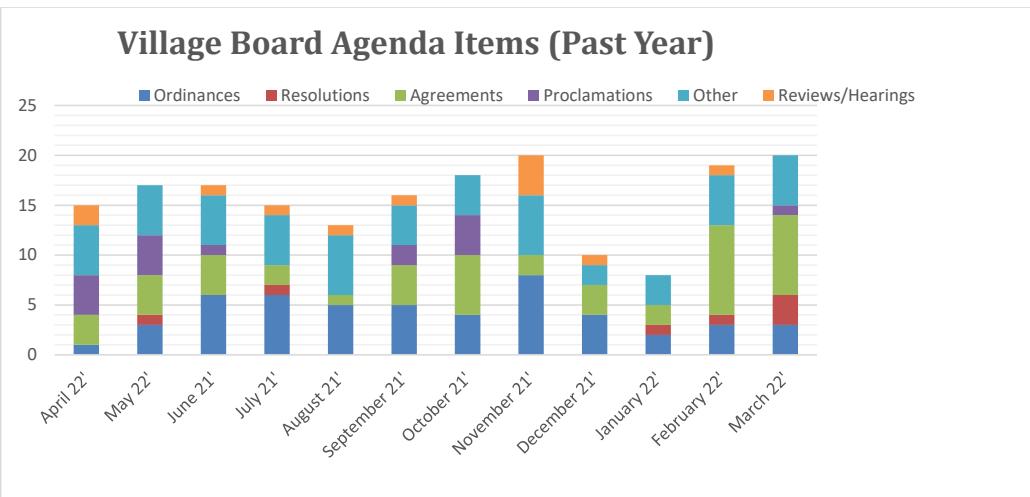
Right of Way Improvements on Miller Road

The Lake County DOT has requested approval of a letter of intent with the Village to construct roadway improvements at the intersections of Miller and Route 12, which include lane widening, left-hand turn lanes, pedestrian push-button crossings, and the installation of about 1,000 feet of sidewalk on the north side of Miller Road. The new sidewalk would provide a connection point between Walgreens and the subdivision to the east (Millers Grove) that does not exist today.

Lake County DOT has received approval for the use of funds in accordance with its Non-Motorized Policy (NMP) that would allow a cost-sharing opportunity between the two agencies. Lake County DOT will provide 80% of the costs associated with the design and construction of the proposed sidewalk improvements, leaving the Village with the obligation of 20% of its share towards the sidewalk improvements (which will be less than \$9,000).



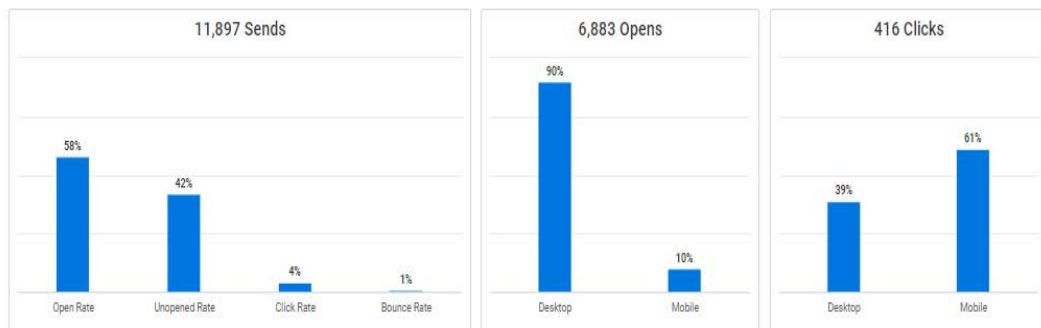
This metric shows the number of new residential homes occupied. Each month, staff sends new Lake Zurich residents a Village welcome packet that provides valuable information to those who are not familiar with the Lake Zurich area or the services offered by their local government. This metric does not include tenets in rental units, but only new single residential owners.



This metric shows the number of action items included on Village Board meeting agendas. As the local legislative governing body, the number of items acted upon by the Village Board has a direct input on Lake Zurich's strategic orientation. This data can be useful in decisions regarding meeting frequency, legislative workload, agenda preparation, activity levels, etc.

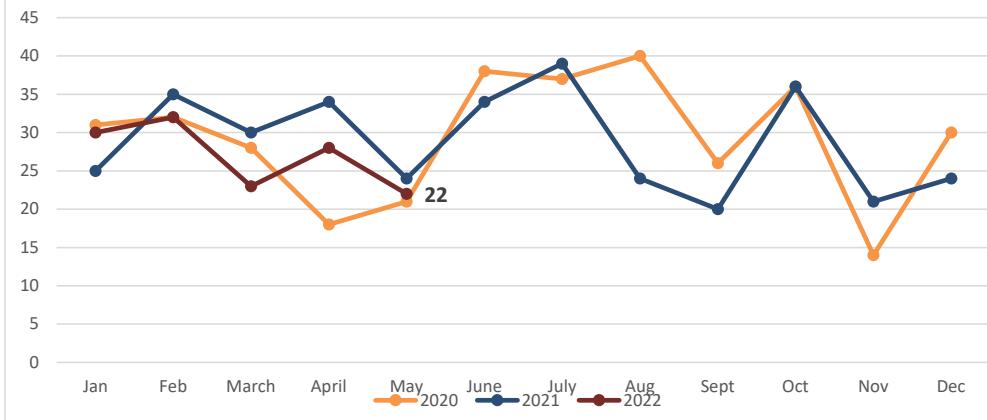
Average length of regular May Village Board meetings: 1 hour 43 minutes

Benchmarks Rates – Past Month

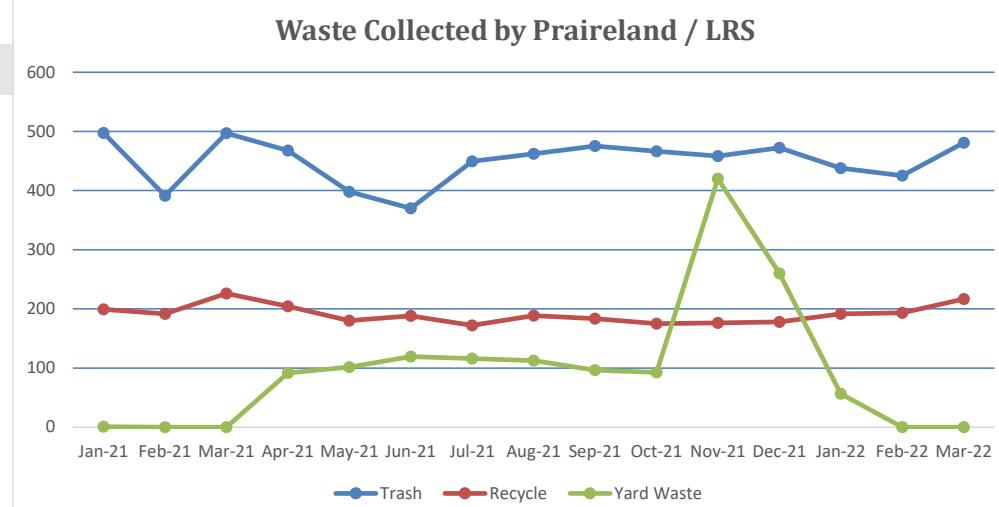


Benchmarks is the official Village e-newsletter that is a central communication device for the community. This graph shows *Benchmarks* rates over the past month. From an initial subscription rate of 756 in July 2013, *Benchmarks* now has nearly 6,000 subscribers.

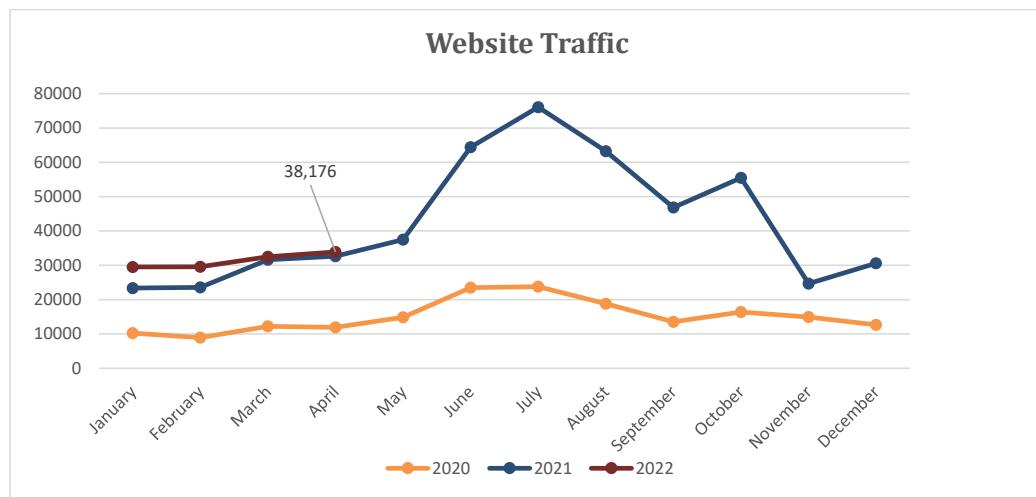
FOIA Requests Village Wide



Open and honest government is a cornerstone of American democracy. The Freedom of Information Act is intended to ensure that members of the public have access to information about their government and its decision-making processes. This graph includes all of the FOIA requests received Village-wide among all departments.

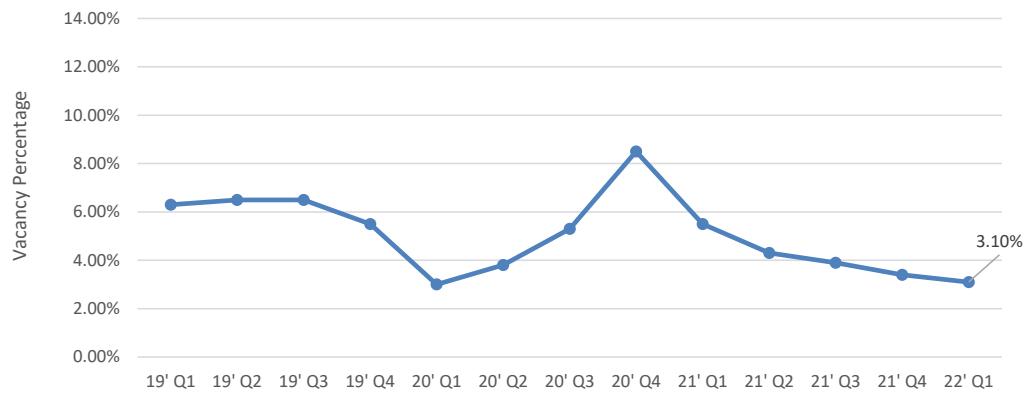


Prairieland Disposal began service to Lake Zurich in September 2020. Lakeshore Recycling Systems (LRS) took over service in October 2021. The above metric reports the volume of waste collected each month including trash, recycling, and yard waste. This metric is updated once per quarter. *Trash* and *Recycling* is reported in tons while *Yard Waste* is reported in cubic yards.



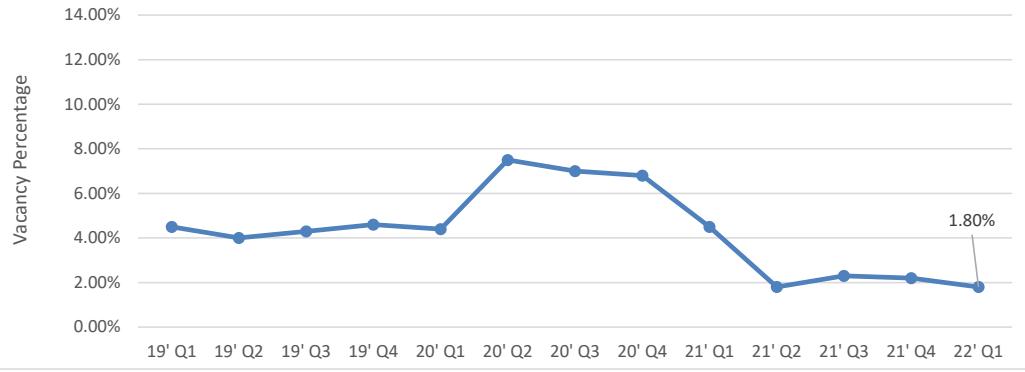
This data represents the number of website visits on LakeZurich.org. A digital presence for Lake Zurich is important for government transparency and providing resident-oriented service. E-government can also improve the overall democratic process by increasing collaboration with citizens and facilitating decision-making. This metric tracks the number of visits to LakeZurich.org. **Most Visited Page on LakeZurich.org for May: Beaches and Fees**

Retail Vacancy Q1 2022

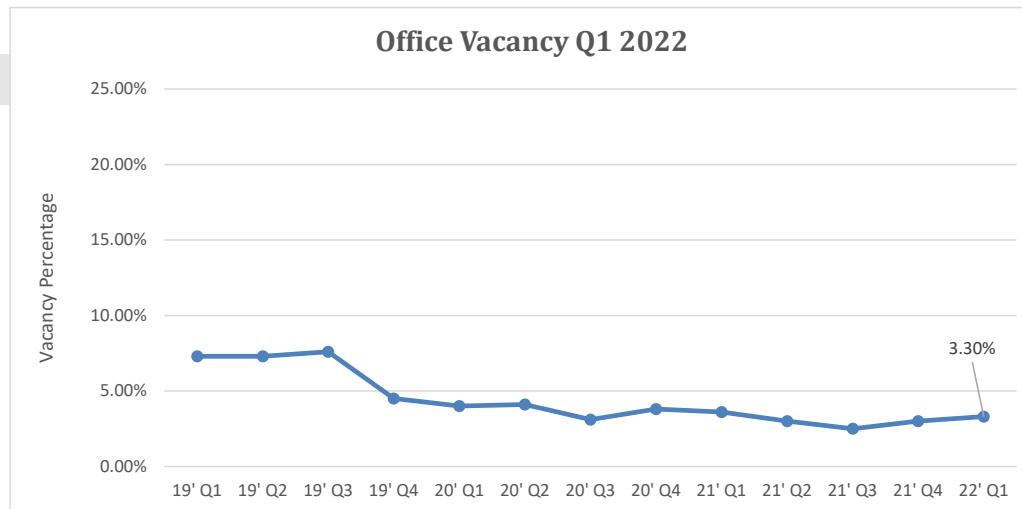


The Lake Zurich retail vacancy rate decreased in the first quarter of 2022 to 3.1% vacant from 3.4% in the fourth quarter of last year (*based on Lake County Partners data*). As of March 31, 2022, there was 82,341 square feet of retail space reported vacant in Lake Zurich, with average rates at \$14.77 per square foot (nnn).

Industrial Vacancy Q1 2022

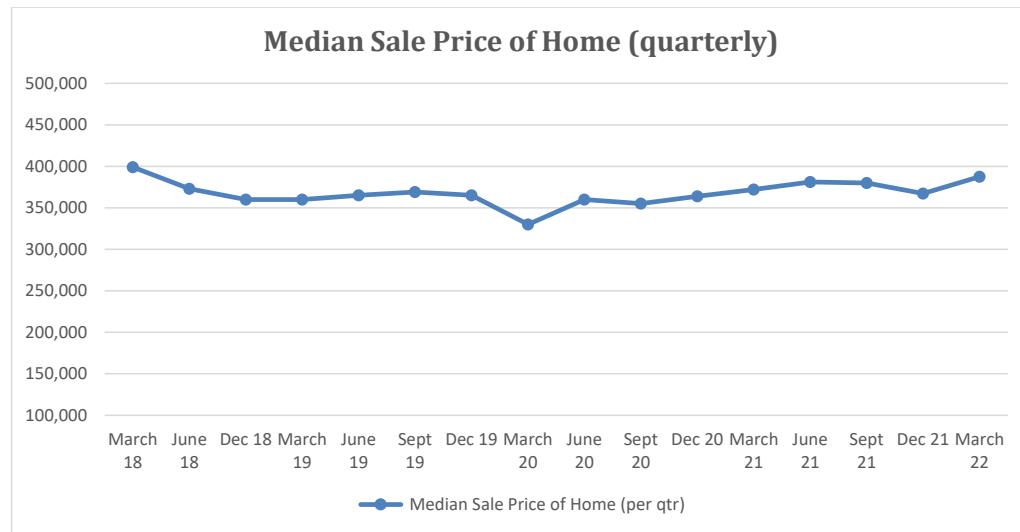


The Lake Zurich industrial vacancy rate decreased to 1.8% in Quarter 1 of 2022 compared to Quarter 4 of last year when 2.2% was reported vacant (*based on Lake County Partners data*). As of March 31, 2022, there was 102,474 square feet of industrial space reported vacant in Lake Zurich, with average rates at \$6.95 per square foot (nnn).



The Lake Zurich office vacancy rate increased from 3.0% in Quarter 4 of last year to 3.3% reported vacant in Quarter 1 of 2022 (*based on Lake County Partners data*). As of March 31, 2022, there was 13,363 square feet of office space reported vacant in Lake Zurich, with average rates at \$24.58 per square foot (full service).

Real Estate Housing Trends – Residential Inventory



The chart above reports the recent trend for median sale price of Lake Zurich houses. The prices are reported by quarter.

The monthly snapshot below reports more details about the residential real estate market for the most recent month.

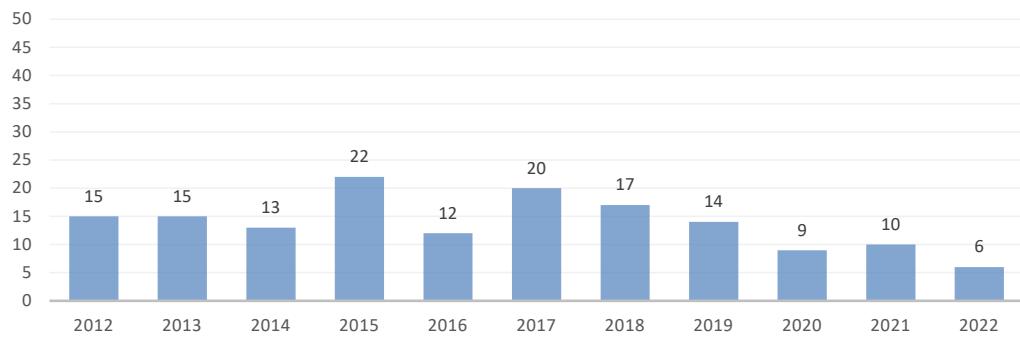
May Snapshot of Real Estate Trends

Homes Reported for Sale:	40
Median Sale Price:	\$410,000
Median Days on Market:	46
Number of Homes Sold:	17

In May 2022, Lake Zurich home prices were up 13.9% compared to last year, selling for a median price of \$410K. On average, homes in Lake Zurich sell after 46 days on the market compared to 8 days last year. There were 17 homes sold in May this year, down from 45 last year.

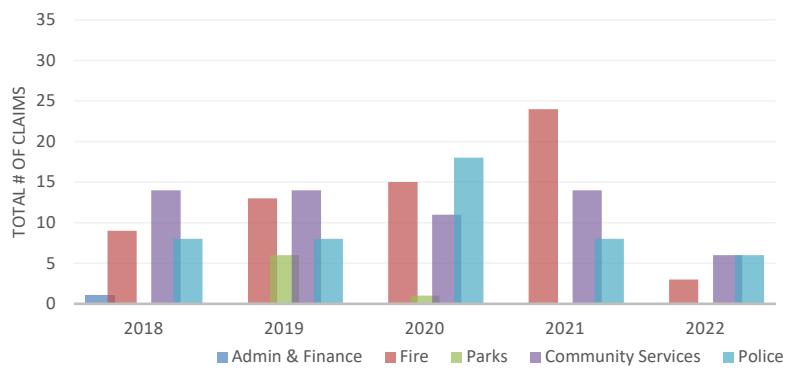
*Source: Redfin Corporation

General Liability Claims -Total Incidents (Year-to-Date)



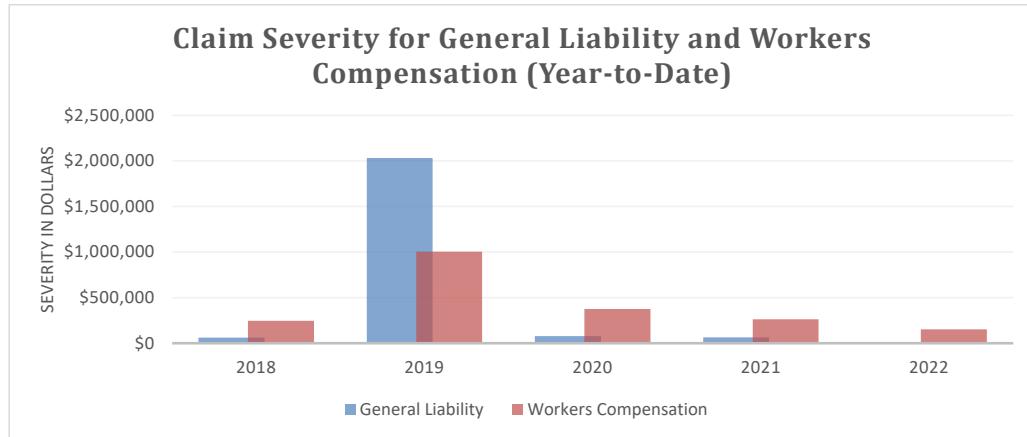
Risk management insurance coverage is provided by the Intergovernmental Risk Management Agency, a risk sharing pool of approximately 70 local municipalities and special service districts, which have joined together to manage and fund their property/casualty/workers' compensation claims. This metric reports total General Liability claims (both open and closed claims) in all departments since January 1st.

Claim Frequency By Department (Year-to-Date)



Loss prevention programs and a culture of safety that encourages safe work practices will decrease claim frequency rates. This data shows the total number of claims by department updated quarterly, which is an aggregate number of the following claim types: Auto Liability, Auto Physical Damage, General Liability, Property Damage, and Workers Compensation. It is important to realize that Community Services is responsible for routine maintenance, so its

general liability claims will naturally be high due to claims involving parkway trees, mailboxes, sidewalks, fire hydrants, the municipal fleet, etc.



This metric provides a snapshot of the Village's overall liability position, separated by General Liability Claims (such as property damage) and Workers Compensation Claims (such as medical bills and lost work-time). Fewer claims filed against the Village mean less money spent and improved financial stability. This data includes the total costs, including net property loss and any other associated expenses, such as attorney fees.



This metric shows the number of new hires over the past 12 months. Includes full-time, part-time, and seasonal employees. A large number of seasonal staff are hired each spring to accommodate parks and recreation programs and lifeguards for the beaches.



FINANCE DEPARTMENT

MONTHLY INFORMATION REPORT

APRIL 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION MAKING

70 E. MAIN STREET
LAKE ZURICH, IL 60047

Finance Monthly Report – April 2022

DEPARTMENT NARRATIVE

During April, auditors from Baker Tilly completed their three weeks of field work for the annual financial audit. The finance department will continue to provide information and review annual report drafts until issuance in late June.

GENERAL FUND OPERATING RESULTS SUMMARY

For the month of April, revenues totaled \$2.14 million and expenditures \$2.51 million, resulting in an operating deficit of \$376k. From a budget perspective, we had expected expenditures to exceed revenues by \$969k. Year-to-date figures below represent the fourth month of activity for the year.

General Fund Operating Results

	Current Month Budget	Current Month Actual	Year-to-Date Budget	Year-to-Date Actual
Revenues	\$ 1,739,987	\$ 2,138,372	\$ 7,596,001	\$ 8,576,241
Expenditures	2,708,840	2,513,883	8,613,112	8,217,300
Excess (Deficiency)	\$ (968,853)	\$ (375,511)	\$ (1,017,111)	\$ 358,941

REVENUES

Following is a summary of revenues by type through April 30, 2022. These figures represent four months of financial activity. A more detailed analysis can be found on page 9.

Finance Monthly Report – April 2022

	Current Month's Budget	Current Month's Actual	% Variance	Year-to-Date Budget	Year-to-Date Actual	% Variance	% of Annual Budget
Taxes	\$ 156,142	\$ 175,489	12.4%	\$ 734,309	\$ 814,248	10.89%	7.8%
Intergovernmental	1,346,688	1,548,971	15.0%	5,618,785	6,155,713	9.56%	36.2%
Licenses & Permits	60,146	100,542	67.2%	437,800	508,274	16.10%	59.2%
Fines and Forfeits	39,750	44,106	11.0%	127,270	129,726	1.93%	27.9%
Charges for Services	131,363	278,401	111.9%	622,291	1,010,817	62.43%	57.4%
Investment Income	1,100	(18,938)	-1821.6%	4,100	(105,171)	-2665.15%	-457.3%
Miscellaneous	4,798	9,801	104.3%	51,446	62,635	21.75%	44.5%
Operating Transfers	0	0	0.0%	0	0	0.0%	0.0%
Total Revenue	\$ 1,739,987	\$ 2,138,372	22.9%	\$ 7,596,001	\$ 8,576,241	12.90%	28.0%

Taxes:

Revenues from taxes came in at \$175k in April, exceeding budget expectations. While property taxes are received primarily June through September, the remaining revenues in this category contribute a significant amount of revenue each month all year round.

Telecommunications tax receipts were about 29% lower than expected for the month at \$27k. That is 27% less than the amount received in the same month of the prior year. More information regarding Telecommunications tax can be found on page 12.

Both utility taxes came in higher than expected for the month. The gas utility tax had \$66k in receipts compared to an expected \$38k. Electric utility tax came in at \$72k versus the expected \$68k. Combined, utility taxes were 30% higher than expected. The payments are based primarily on March activity. More detail on the Utility Taxes can be found on page 13.

Intergovernmental Revenue:

Revenue from other governments totaled \$1.55 million in April, which exceeded budget expectations for the category.

State sales tax receipts were above budget expectations for the month at \$553k. This represents sales from January and was 9% higher than receipts from the same month last year. More information regarding Sales Tax can be found on page 14.

Income Tax receipts came in 28% above expectations with the receipts for April totaling \$311k compared to an expected \$243k. Details on Income Tax are provided on page 15.

Finance Monthly Report – April 2022

Video gaming tax receipts came in 46% above budget expectations at \$29k. Video gaming tax is received two months in arrears. The video gaming tax receipts budgeted for April relate to tax for February activity.

Licenses and Permits:

Revenue from the issuance of licenses and permits came in at \$101k for April, 67% above budget expectations. Sidewalk fees (\$42k), building permits (\$25k), and contractor registration (\$8K) were the biggest contributors. Additional items included in license and permit revenue are electric permits (\$5k), plumbing permits (\$4k), and occupancy certificates (\$3k). Due to the variable nature of these types of revenues, fluctuations are expected throughout the year based on activity.

Fines and Forfeits:

Revenue from police fines came in above expectations during April, with receipts of \$44k. The revenues in this category include various fines generated from police citations, such as red light and local ordinance violations.

Charges for Services:

Revenue from service charges totaled \$278k in April. The main revenue sources in this category are ambulance, engineering fees and park program fees. As ambulance fees are based purely on activity and need, this revenue source can fluctuate considerably during the year. Ambulance receipts for the month were recorded at \$152k. Engineering review receipts for the month were recorded at \$23k. For park program fees, this is a combination of timing of receipts and fluctuating activity levels; receipts in April were in line with budget expectations at \$45k. Park fees are 28% higher than expectations year-to-date.

Investment Income:

The General Fund investment income in April was negative \$19k, due to the change in market value of investments. The change in market value is an unrealized gain/loss recorded each month based on changes in interest rates. If held to maturity, the Village will receive all of the interest plus the par value of the investments. Currently, the investments are concentrated in certificates of deposit, treasury

Finance Monthly Report – April 2022

obligations, and interest-bearing money market accounts. A detailed cash and investment report can be found on page 17.

Miscellaneous:

The General Fund miscellaneous revenue in April was \$10k. Receipts for this category were rental income (\$5k) and the sale of fixed assets (\$2k), as well as other small items.

EXPENDITURES

For the month of April, expenditures totaled \$2.51 million for the General Fund, which was 7% below projections of \$2.71 million. The table below presents a summary of General Fund expenditures by department as of April 30, 2022. Additional detail can be found on page 9.

Department Or Program	Current Month's Budget	Current Month's Actual	% Variance	YTD Budget	YTD Actual	% Variance	% of Annual Budget
Legislative	\$ 3,947	\$ 3,002	-23.9%	\$ 23,748	\$ 22,902	-3.6%	33.2%
Administration	\$ 145,670	\$ 148,428	1.9%	\$ 420,644	\$ 375,623	-10.7%	25.8%
Finance	\$ 60,247	\$ 54,089	-10.2%	\$ 195,713	\$ 168,117	-14.1%	29.5%
Technology	\$ 28,340	\$ 42,581	50.3%	\$ 135,278	\$ 122,355	-9.6%	34.5%
Police	\$ 665,295	\$ 657,288	-1.2%	\$ 2,117,353	\$ 2,084,559	-1.5%	24.8%
Fire	\$ 1,122,037	\$ 1,023,233	-8.8%	\$ 3,417,585	\$ 3,295,278	-3.6%	26.7%
Community Develop.	\$ 106,095	\$ 78,363	-26.1%	\$ 295,081	\$ 263,727	-10.6%	25.9%
Public Works	\$ 365,409	\$ 310,568	-15.0%	\$ 1,180,384	\$ 1,106,115	-6.3%	30.4%
Park & Recreation	\$ 79,554	\$ 68,251	-14.2%	\$ 298,342	\$ 266,307	-10.7%	21.9%
Operating Transfers	\$ 132,246	\$ 128,079	-3.2%	\$ 528,984	\$ 512,317	-3.2%	32.3%
Total	\$ 2,708,840	\$ 2,513,883	-7.2%	\$ 8,613,112	\$ 8,217,300	-4.6%	26.8%

OPERATING RESULTS OF OTHER FUNDS

Following are some observations regarding the revenues and expenditures of other funds. A financial summary of funds other than General is provided on pages 10-11.

Finance Monthly Report – April 2022

Special Revenue Funds:

Motor fuel tax revenue came in at \$67k in April, which was 18% above the budget of \$57k. Conservative estimates for revenues highly sensitive to the economy, such as this one, allow for fluctuations later in the year. Expenditures from the Motor Fuel Tax Fund were \$14k for streetlight electric.

April revenues for the Hotel Tax Fund totaled \$7k. The revenue in this fund is a combination of hotel tax receipts and interest income. Per Village Ordinance #2003-10-252, hotel tax receipts are due quarterly. Therefore, the village does not receive receipts each month. Expenditures of \$8k were recorded for the month, of which \$7k is a transfer to the Special Events Fund for the funding of special events, and \$1k is for staff expenses.

The Special Events Fund allocates resources for special events and their corresponding expenditures. Revenues for April totaled \$20k, which primarily relates to funding transfers in from other funds. Expenditures for the month totaled \$17k, consisting of normal staff expenses (\$16k), and small amounts relating to farmers market and the egg hunt activities.

Debt Service Funds:

The debt service funds record annual debt service payments for several of the village issuances. Revenues for the debt service fund are from interest and changes in market value of investments at this point in the year. Transfers from other funding sources will occur later in the year. Interest rates continue to be low for the options available for village investment per law. The expenditures recorded for April were \$242k for interest on the Series 2014A and 2015A General Obligation Refunding Bonds.

Capital Projects Funds:

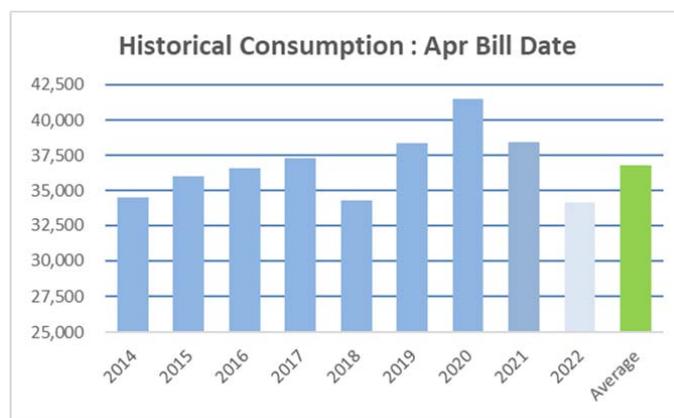
April revenue for the capital projects funds came in at \$244k. The majority of the revenue was from Non-Home Rule Sales Tax (NHRST), with receipts from April of \$175k. This was 13% higher than budget expectations and 13% higher than the same month last year. April receipts represent sales from January. More detail on the NHRST revenue can be found on page 16. Remaining revenues for capital project funds include funding transfers (\$68k), and the electric aggregation civic contribution (\$6k), as well as interest income and change in market value of investments.

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Expenditures for capital projects were recorded in April of \$105k, consisting of the Paulus Park OSLAD project (\$80k), fire station 1 door repair (\$10k), signs and beacons(\$9k), and the annual road program (\$4k), as well as other small items.

Water and Sewer Fund:

April revenue totaled \$557k, which was 5% below the budget estimate of \$586k. Consumption metered in April was 34M gallons, lower than the nine-year average of 37M gallons. The consumption billed in April primarily represents water metered in late March and early April. With about 41M gallons pumped, about 16% of pumped water was lost to main breaks, fire department use, or other small issues. A chart comparing April water consumption over the past eight years provided below.



Expenses in the Water Fund were \$527k for the month. Of this amount, \$162k is a non-cash transaction to record depreciation of the infrastructure assets of the fund and \$21k is for interest payments. The remaining expenses are personnel expenses, other operational items and other smaller operating items. Throughout the year, spending is monitored to ensure revenues are sufficient to cover operations and capital needs as necessary. Any annual surplus would be used for expenditures later in the year and provide cash flow for improvements to maintain the aging infrastructure.

Internal Service Funds:

Internal service funds are used to reserve resources for a specific purpose and to allocate the user charges accordingly. The village has three active internal service funds: Medical Self Insurance, Risk Management and Equipment Replacement. Revenues are a combination of user charges from other funds

Finance Monthly Report – April 2022

as appropriate. Expenditures fluctuate, depending on activity levels, particularly in the Risk Management Fund.

The Equipment Replacement fund in particular is subject to funding availability from the General Fund. April expenses include non-cash depreciation expenses (\$38k), and small equipment parts (\$1k).

Special Service Areas:

While the village does not budget for Special Service Area (SSA) revenues and expenses, as funds are being collected and spent for village SSA's, the following information can be of value to report. There were no expenses for special service areas in April.

SSA Activity Apr-22								
SSA #	Location	Beginning Balance	Year-To-Date		Ending Balance	Annual Expected Revenues	Annual Expected Expenses	YTD %
		1/1/2022	Revenues	Expenses	12/31/2022			
SSA #8	Heatherleigh	67,769	-	7,500	60,269	9,697	15,600	48.08%
SSA #9	Willow Ponds	142,814	-	-	142,814	11,851	17,306	0.00% ^b
SSA #10	Westberry	16,990	-	-	16,990	1,000	0.00%	- N/A
SSA #11	Lake Zurich Pines	26,238	-	-	26,238	2,999	0.00% ^a	1,575 0.00%
SSA #13	Conventry Creek	210,080	-	-	210,080	29,894	0.00% ^a	TBD N/A
SSA #16	Country Club	(2,042)	-	-	(2,042)	1,760	N/A	TBD N/A
		461,847	-	7,500	454,347	57,202	0.00%	34,482 0.00%

a) Flat amount levied per property.

b) At some point after enough funds have accrued, Willow Ponds will require dredging, estimated at \$120,000+

Police and Firefighters' Pension Funds:

A snapshot of activity related to the public safety pension funds of the village is provided as part of the monthly report. It is important to note that a significant revenue source for both pension funds is the annual property tax levy, of which receipts are typically recorded between June and September of each year, affecting the cash flows of each fund.

The Police Pension Fund had total revenue of negative \$1.97 million for the month. For April, the fund recorded an unrealized loss of \$2.01 million from investments. Total municipal and member contributions for the month totaled \$41k. Expenses for the month were \$215k of which \$199k was for pension and benefit payments, \$1k for professional services, and \$15k for investment expenses. For the month of April, the fund experienced a loss of \$2.18 million. As of April 30th, the fund had a net position of \$29.18 million. Additional information can be found on page 18.

Finance Monthly Report – April 2022

The Firefighters' Pension Fund had a similar month for investments, with an unrealized loss of \$3.22 million from investments. Total municipal and member contributions for the month totaled \$64k. Total revenues for the month were negative \$3.16 million. Expenses for the month were \$225k, of which \$195k was for pension and benefit payments, \$25k was for investment expenses, \$5k for professional services and other expenses. For the month of April, the fund experienced a loss of \$3.38 million. As of April 30th, the fund had a net position of \$47.33 million. Additional information can be found on page 18.

Conclusion:

For the one fiscal period covered by this report, no major concerns were identified. Major revenue sources are performing well and expenditures have been kept to a minimum. We will continue to monitor revenues and expenditures closely throughout the coming months.

Respectfully Submitted,

Amy Sparkowski

Amy Sparkowski
Director of Finance

VILLAGE OF LAKE ZURICH OPERATING REPORT SUMMARY GENERAL FUND April 30, 2022								
	Current Month			Year-to-Date			Amended Annual Budget	% of Annual Budget Achieved
	Budget	Actual	% Variance	Budget	Actual	% Variance		
REVENUES								
Taxes								
Property Taxes	-	-	0.0%	-	-	0.0%	8,367,317	0.0%
Utility Tax - Electric	68,296	71,590	4.8%	315,544	321,051	1.7%	970,000	33.1%
Utility Tax - Gas	37,857	66,127	74.7%	160,597	286,142	78.2%	305,000	93.8%
Cable Tv Franchise	11,500	10,305	(10.4%)	101,277	89,823	(11.3%)	322,955	27.8%
Telecom Tax	38,489	27,467	(28.6%)	156,891	117,232	(25.3%)	454,000	25.8%
Total Taxes	156,142	175,489	12.4%	734,309	814,248	10.9%	10,419,272	7.8%
Intergovernmental								
State Sales Tax	515,844	553,226	7.2%	2,289,426	2,560,482	11.8%	7,106,000	36.0%
State Income Tax	242,710	310,848	28.1%	823,074	1,061,266	28.9%	2,616,000	40.6%
State Use Tax	62,835	59,602	(5.1%)	363,257	280,733	(22.7%)	920,000	30.5%
Video Gaming Tax	19,583	28,563	45.9%	78,332	114,888	46.7%	235,000	48.9%
Fire/Rescue Srvc Contract	479,881	479,881	0.0%	1,919,524	1,919,524	0.0%	5,758,573	33.3%
Other Intergovernmental	25,835	116,851	352.3%	145,172	218,819	50.7%	364,624	60.0%
Total Intergovernmental	1,346,688	1,548,971	15.0%	5,618,785	6,155,713	9.6%	17,000,197	36.2%
Licenses & Permits								
Liquor Licenses	12,000	1,065	(91.1%)	164,000	156,955	(4.3%)	170,000	92.3%
Business Licenses	2,574	790	(69.3%)	101,496	93,255	(8.1%)	101,000	92.3%
Building Permits	17,000	25,419	49.5%	56,480	86,323	52.8%	220,000	39.2%
Permit Plan Review	7,500	7,375	(1.7%)	22,750	30,740	35.1%	100,000	30.7%
Other Permits	21,072	65,893	212.7%	93,074	141,001	51.5%	267,950	52.6%
Total Licenses & Permits	60,146	100,542	67.2%	437,800	508,274	16.1%	858,950	59.2%
Fines and Forfeits	39,750	44,106	11.0%	127,270	129,726	1.9%	464,500	27.9%
Charges for Services								
Fire/Rescue Ambulance Fee	47,146	152,447	223.4%	297,823	573,826	92.7%	675,000	85.0%
Park Program Fees	45,800	44,817	(2.1%)	181,200	232,462	28.3%	618,110	37.6%
Other Charges for Services	38,417	81,136	111.2%	143,268	204,529	42.8%	466,670	43.8%
Total Charges for Services	131,363	278,401	111.9%	622,291	1,010,817	62.4%	1,759,780	57.4%
Investment Income	1,100	(18,938)	(1,821.6%)	4,100	(105,171)	(2,665.2%)	23,000	-457.3%
Miscellaneous	4,798	9,801	104.3%	51,446	62,635	21.7%	140,670	44.5%
Total General Fund Revenues	1,739,987	2,138,372	22.9%	7,596,001	8,576,241	12.9%	30,666,369	28.0%
Operating Transfers In	-	-	0.0%	-	-	0.0%	-	0.0%
EXPENDITURES								
General Government								
Legislative	3,947	3,002	(23.9%)	23,748	22,902	(3.6%)	69,085	33.2%
Administration	145,670	148,428	1.9%	420,644	375,623	(10.7%)	1,458,269	25.8%
Finance	60,247	54,089	(10.2%)	195,713	168,117	(14.1%)	569,543	29.5%
Technology	28,340	42,581	50.3%	135,278	122,355	(9.6%)	355,119	34.5%
Total Gen. Govt.	238,204	248,101	4.2%	775,383	688,997	(11.1%)	2,452,016	28.1%
Public Safety								
Police	665,295	657,288	(1.2%)	2,117,353	2,084,559	(1.5%)	8,394,457	24.8%
Fire	1,122,037	1,023,233	(8.8%)	3,417,585	3,295,278	(3.6%)	12,347,334	26.7%
Community Development	106,095	78,363	(26.1%)	295,081	263,727	(10.6%)	1,019,346	25.9%
Total Public Safety	1,893,427	1,758,884	(7.1%)	5,830,019	5,643,565	(3.2%)	21,761,137	25.9%
Streets - Public Works	365,409	310,568	(15.0%)	1,180,384	1,106,115	(6.3%)	3,640,370	30.4%
Culture - Park and Recreation	79,554	68,251	(14.2%)	298,342	266,307	(10.7%)	1,215,085	21.9%
Total General Fund Expend.	2,576,594	2,385,804	(7.4%)	8,084,128	7,704,984	(4.7%)	29,068,608	26.5%
Operating Transfers Out	132,246	128,079	(3.2%)	528,984	512,317	(3.2%)	1,586,950	32.3%
NET INCOME (LOSS) FOR GENERAL	(968,853)	(375,511)		(1,017,111)	358,941		10,811	

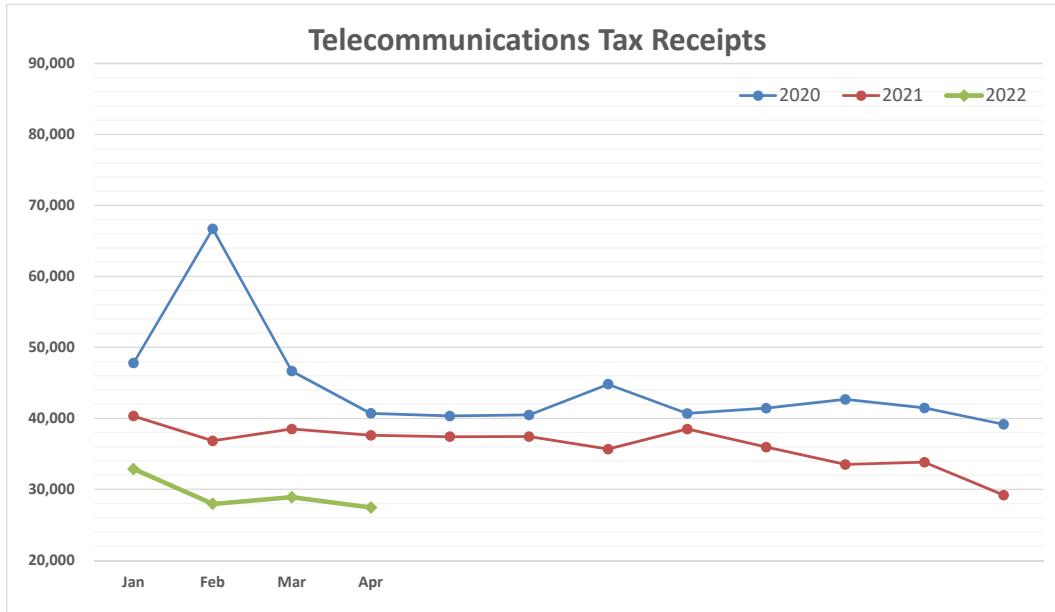
VILLAGE OF LAKE ZURICH
OPERATING REPORT SUMMARY

April 30, 2022

	Current Month			Year-to-Date			Amended Annual Budget	% of Annual Budget Achieved		
	Budget	Actual	% Variance	Budget	Actual	% Variance				
SPECIAL REVENUE FUNDS										
MOTOR FUEL TAX FUND										
Revenues	57,288	67,496	17.8%	453,902	476,123	4.9%	1,210,753	39.3%		
Expenditures	25,117	14,277	(43.2%)	134,118	91,008	(32.1%)	447,531	20.3%		
Net Activity Gain (Loss)	32,171	53,219		319,784	385,115		763,222			
HOTEL TAX FUND										
Revenues	5,829	7,421	27.3%	15,931	38,017	138.6%	86,130	44.1%		
Expenditures	7,767	7,648	(1.5%)	30,393	42,782	40.8%	103,953	41.2%		
Net Activity Gain (Loss)	(1,938)	(227)		(14,462)	(4,765)		(17,823)			
SPECIAL EVENTS FUND										
Admin & Miscellaneous										
Revenues	14,704	13,115	(10.8%)	54,016	53,578	(0.8%)	161,850	33.1%		
Expenditures	16,906	16,730	(1.0%)	56,643	57,117	0.8%	160,161	35.7%		
Net Activity Gain (Loss)	(2,202)	(3,616)		(2,627)	(3,538)		1,689			
Rock the Block										
Revenues	-	-	0.0%	-	650	0.0%	60,000	1.1%		
Expenditures	-	-	0.0%	-	7,848	0.0%	54,361	14.4%		
Net Activity Gain (Loss)	-	-		-	(7,198)		5,639			
Craft Beer Fest										
Revenues	-	-	0.0%	-	-	0.0%	-	0.0%		
Expenditures	-	-	0.0%	-	-	0.0%	-	0.0%		
Net Activity Gain (Loss)	-	-		-	-		-			
Farmers Market										
Revenues	1,000	1,040	4.0%	3,650	4,170	14.2%	8,500	49.1%		
Expenditures	-	325	0.0%	-	365	0.0%	8,342	4.4%		
Net Activity Gain (Loss)	1,000	715		3,650	3,805		158			
Fourth of July										
Revenues	4,592	4,592	(0.0%)	18,368	18,617	1.4%	69,100	26.9%		
Expenditures	-	-	0.0%	-	16,611	0.0%	68,904	24.1%		
Net Activity Gain (Loss)	4,592	4,592		18,368	2,006		196			
Winter Festival										
Revenues	1,146	1,146	(0.0%)	4,584	4,583	(0.0%)	16,550	27.7%		
Expenditures	-	-	0.0%	50	4,027	7,953.3%	16,402	24.5%		
Net Activity Gain (Loss)	1,146	1,146		4,534	557		148			
Special Events Fund Total	4,536	2,837		23,925	(4,369)		7,830			
TIF #1 TAX FUND										
Revenues	17	59	244.8%	68	133	96.0%	1,394,900	0.0%		
Expenditures	-	-	0.0%	-	-	0.0%	1,387,000	0.0%		
Net Activity Gain (Loss)	17	59		68	133		7,900			
TIF #2 - DOWNTOWN										
Revenues	2,471	2,559	3.6%	9,884	12,649	28.0%	328,650	3.8%		
Expenditures	50,750	49,363	(2.7%)	59,001	73,853	25.2%	1,716,400	4.3%		
Net Activity Gain (Loss)	(48,279)	(46,804)		(49,117)	(61,204)		(1,387,750)			
TIF #3 - RAND ROAD										
Revenues	-	2	0.0%	-	9	0.0%	56,080	0.0%		
Expenditures	-	-	0.0%	-	-	0.0%	800	0.0%		
Net Activity Gain (Loss)	-	2		-	9		55,280			
DISPATCH CENTER FUND										
Revenues	77,025	93,132	20.9%	373,850	493,498	32.0%	1,513,590	32.6%		
Expenditures	174,211	172,663	(0.9%)	537,390	537,326	(0.0%)	1,618,461	33.2%		
Net Activity Gain (Loss)	(97,186)	(79,531)		(163,540)	(43,827)		(104,871)			

VILLAGE OF LAKE ZURICH OPERATING REPORT SUMMARY April 30, 2022									
DEBT SERVICE FUNDS	Current Month			Year-to-Date			Amended Annual Budget	% of Annual Budget Achieved	
	Budget	Actual	% Variance	Budget	Actual	% Variance			
VILLAGE DEBT SERVICE									
Revenues	58	336	478.5%	232	746	221.4%	1,215,700	0.1%	
Expenditures	-	-	0.0%	-	-	0.0%	1,206,810	0.0%	
Net Activity Gain (Loss)	58	336		232	746		8,890		
TIF #1 DEBT SERVICE									
Revenues	67	(801)	(1,294.9%)	268	(3,328)	(1,341.9%)	2,023,800	(0.2%)	
Expenditures	242,243	242,243	(0.0%)	975,803	975,005	(0.1%)	2,045,241	47.7%	
Net Activity Gain (Loss)	(242,176)	(243,043)		(975,535)	(978,333)		(21,441)		
CAPITAL PROJECT FUNDS									
CAPITAL IMPROVEMENTS									
Revenues	74,958	67,758	(9.6%)	299,832	468,626	56.3%	2,450,577	19.1%	
Expenditures	25,166	90,400	259.2%	34,667	98,621	184.5%	1,817,524	5.4%	
Net Activity Gain (Loss)	49,792	(22,642)		265,165	370,006		633,053		
PARK IMPROVEMENTS									
Revenues	-	-	0.0%	-	-	0.0%	-	0.0%	
Expenditures	-	-	0.0%	-	-	0.0%	-	0.0%	
Net Activity Gain (Loss)	-	-		-	-		-		
NON-HOME RULE SALES TAX									
Revenues	155,366	176,625	13.7%	711,973	851,332	19.6%	2,279,500	37.3%	
Expenditures	5,958	14,794	148.3%	21,168	37,717	78.2%	2,272,000	1.7%	
Net Activity Gain (Loss)	149,408	161,831		690,805	813,616		7,500		
ENTERPRISE FUND									
WATER AND SEWER									
Revenues	585,933	557,343	(4.9%)	2,303,818	2,399,739	4.2%	7,391,625	32.5%	
Expenses									
Administration	67,114	67,327	0.3%	239,750	232,428	(3.1%)	702,115	33.1%	
Debt	-	21,300	0.0%	42,430	64,390	51.8%	147,432	43.7%	
Depreciation	161,516	161,516	(0.0%)	646,064	646,063	(0.0%)	1,938,190	33.3%	
Billing	26,601	31,774	19.4%	83,727	88,262	5.4%	238,763	37.0%	
Water	141,488	133,671	(5.5%)	492,391	428,466	(13.0%)	3,434,565	12.5%	
Sewer	106,542	111,737	4.9%	328,227	304,962	(7.1%)	3,942,217	7.7%	
	503,261	527,326		1,832,589	1,764,571		10,403,282		
Net Activity Gain (Loss)	82,672	30,018		471,229	635,169		(3,011,657)		
INTERNAL SERVICE FUNDS									
MEDICAL INSURANCE									
Revenues	261,084	258,748	(0.9%)	1,051,464	1,028,980	(2.1%)	3,147,258	32.7%	
Expenses	257,384	247,641	(3.8%)	1,026,536	1,257,341	22.5%	3,090,608	40.7%	
Net Activity Gain (Loss)	3,700	11,108		24,928	(228,361)		56,650		
RISK MANAGEMENT									
Revenues	121,105	129,469	6.9%	484,421	501,122	3.4%	1,453,271	34.5%	
Expenses	37,422	36,186	(3.3%)	1,152,331	1,102,738	(4.3%)	1,612,872	68.4%	
Net Activity Gain (Loss)	83,683	93,284		(667,910)	(601,616)		(159,601)		
EQUIPMENT REPLACEMENT									
Revenues	69,919	66,954	(4.2%)	279,676	265,337	(5.1%)	1,039,025	25.5%	
Expenses	73,116	39,024	(46.6%)	295,864	407,117	37.6%	1,241,525	32.8%	
Net Activity Gain (Loss)	(3,197)	27,930		(16,188)	(141,780)		(202,500)		
TOTAL ALL VILLAGE FUNDS	(955,592)	(387,135)		(1,107,727)	499,478		(3,354,507)		

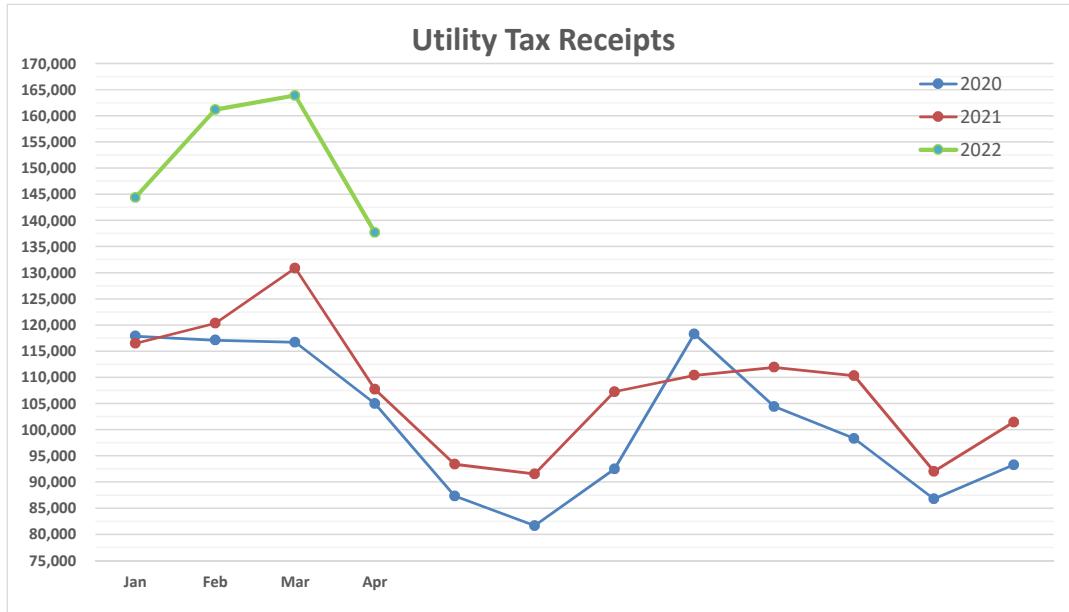
DEPARTMENT OF FINANCE
MONTHLY REPORT
APRIL 2022



Collection History

Received	Earned	Historical			Current Year Actual		Current Year Budget		
		FY 2020	FY 2021	% Change	FY 2022	% Change	Budget	Variance \$	Variance %
January	October	47,823	40,329	-15.67%	32,888	-18.45%	41,197	(8,309)	-20.17%
February	November	66,708	36,855	-44.75%	27,974	-24.10%	37,723	(9,749)	-25.84%
March	December	46,694	38,514	-17.52%	28,903	-24.95%	39,482	(10,579)	-26.79%
April	January	40,718	37,621	-7.61%	27,467	-26.99%	38,489	(11,022)	-28.64%
May	February	40,356	37,428	-7.25%	-100.00%		38,396	(38,396)	-100.00%
June	March	40,486	37,438	-7.53%	-100.00%		38,306	(38,306)	-100.00%
July	April	44,824	35,678	-20.40%	-100.00%		35,646	(35,646)	-100.00%
August	May	40,706	38,518	-5.38%	-100.00%		39,386	(39,386)	-100.00%
September	June	41,448	35,963	-13.23%	-100.00%		35,910	(35,910)	-100.00%
October	July	42,693	33,528	-21.47%	-100.00%		34,396	(34,396)	-100.00%
November	August	41,476	33,847	-18.39%	-100.00%		39,026	(39,026)	-100.00%
December	September	39,177	29,210	-25.44%	-100.00%		36,043	(36,043)	-100.00%
		533,107	434,929	-18.42%	117,232		454,000	(336,768)	
Y-T-D		201,942	153,319	-24.08%	117,232	-23.54%	156,891	(39,659)	-25.28%

DEPARTMENT OF FINANCE
MONTHLY REPORT
APRIL 2022

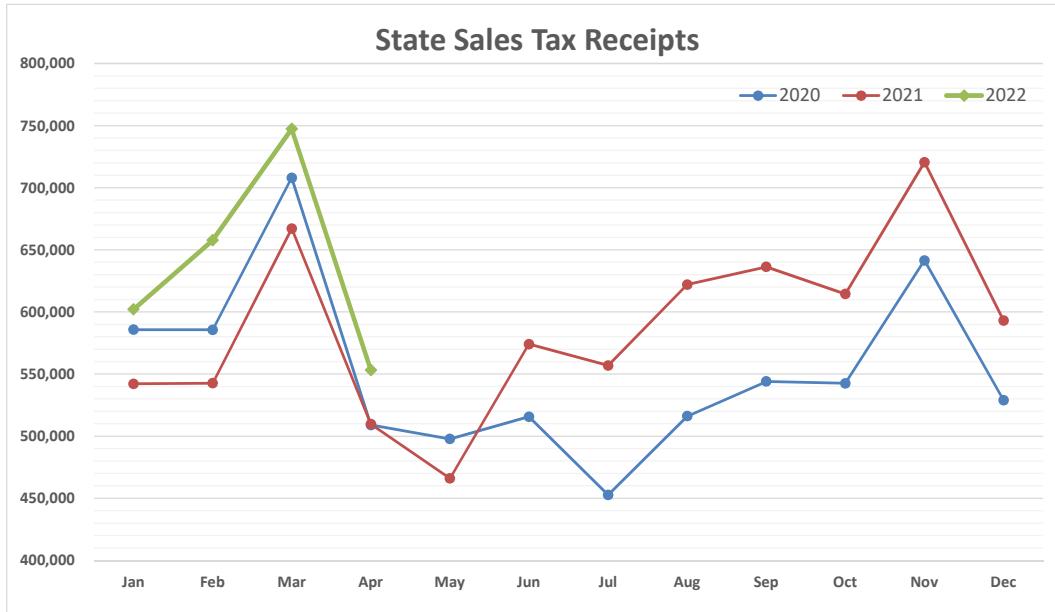


Collection History

COMBINED - ELECTRICITY & GAS

Receipt Month	Liability Month	Historical			Current Year Actual		Current Year Budget		
		2020	2021	% Change	2022	% Change	FY 2022	Variance \$	%
Jan	Dec	117,886	116,503	-1.2%	144,392	23.9%	116,788	27,604	23.6%
Feb	Jan	117,123	120,335	2.7%	161,197	34.0%	129,219	31,978	24.7%
Mar	Feb	116,704	130,883	12.2%	163,887	25.2%	123,981	39,906	32.2%
Apr	Mar	104,962	107,700	2.6%	137,718	27.9%	106,153	31,565	29.7%
May	Apr	87,312	93,403	7.0%	-	-100.0%	97,256	(97,256)	-100.0%
June	May	81,656	91,526	12.1%	-	-100.0%	91,944	(91,944)	-100.0%
July	June	92,490	107,244	16.0%	-	-100.0%	103,118	(103,118)	-100.0%
Aug	July	118,303	110,403	-6.7%	-	-100.0%	110,585	(110,585)	-100.0%
Sept	Aug	104,416	111,936	7.2%	-	-100.0%	108,327	(108,327)	-100.0%
Oct	Sept	98,328	110,319	12.2%	-	-100.0%	102,025	(102,025)	-100.0%
Nov	Oct	86,781	92,037	6.1%	-	-100.0%	88,006	(88,006)	-100.0%
Dec	Nov	93,274	101,437	8.8%	-	-100.0%	97,598	(97,598)	-100.0%
		1,219,235	1,293,726	6.11%	607,194	-53.1%	1,275,000	(667,807)	
Y-T-D		456,675	475,422	4.11%	607,194	27.7%	476,141	131,053	27.5%

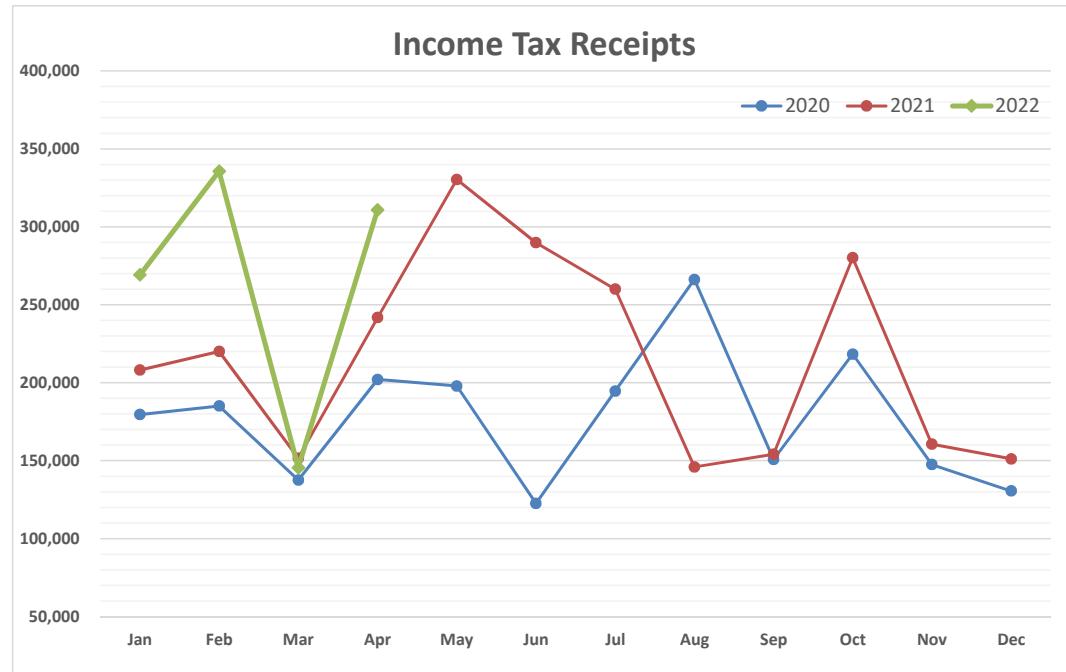
DEPARTMENT OF FINANCE
MONTHLY REPORT
APRIL 2022



Collection History

Received	Earned	Historical			Current Year Actual			Current Year Budget		
		2020	2021	% Change	2022	% Change	Budget	Variance \$	Variance %	
January	October	585,729	542,215	-7.43%	602,130	11.05%	548,849	53,281	9.71%	
February	November	585,612	542,675	-7.33%	657,819	21.22%	549,115	108,704	19.80%	
March	December	708,009	667,111	-5.78%	747,307	12.02%	675,618	71,689	10.61%	
April	January	508,950	509,698	0.15%	553,226	8.54%	515,844	37,382	7.25%	
May	February	497,768	466,021	-6.38%	-	-100.00%	471,512	(471,512)	-100.00%	
June	March	515,679	574,063	11.32%	-	-100.00%	581,173	(581,173)	-100.00%	
July	April	452,741	556,926	23.01%	-	-100.00%	563,580	(563,580)	-100.00%	
August	May	516,160	622,012	20.51%	-	-100.00%	629,842	(629,842)	-100.00%	
September	June	544,099	636,306	16.95%	-	-100.00%	644,351	(644,351)	-100.00%	
October	July	542,519	614,470	13.26%	-	-100.00%	622,157	(622,157)	-100.00%	
November	August	641,526	720,532	12.32%	-	-100.00%	714,740	(714,740)	-100.00%	
December	September	529,081	593,038	12.09%	-	-100.00%	589,219	(589,219)	-100.00%	
Y-T-D		6,627,872	7,045,068	6.29%	2,560,482		7,106,000	(4,545,518)		

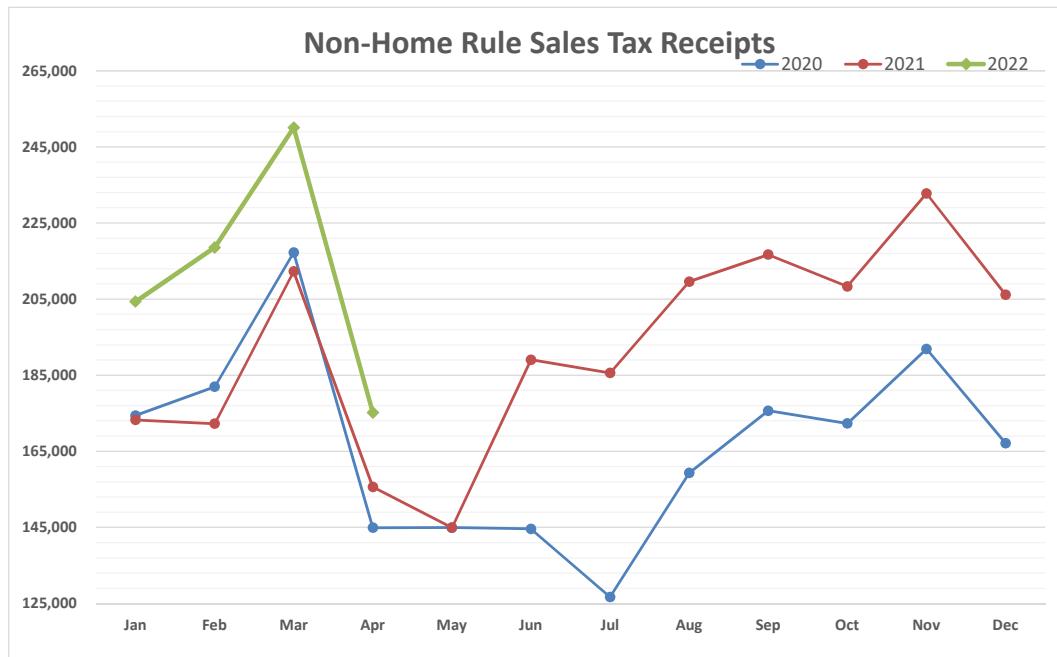
DEPARTMENT OF FINANCE
MONTHLY REPORT
APRIL 2022



Revenue History

Vouchered	Historical			Current Year Actual		Current Year Budget		
	2020	2021	% Change	2022	% Change	FY 2022	Variance \$	Variance %
January	179,651	208,145	15.86%	269,221	29.34%	208,535	60,686	29.10%
February	185,089	220,056	18.89%	335,693	52.55%	220,625	115,068	52.16%
March	137,632	151,661	10.19%	145,504	-4.06%	151,204	(5,700)	-3.77%
April	202,147	241,823	19.63%	310,848	28.54%	242,710	68,138	28.07%
May	197,921	330,332	66.90%		-100.00%	332,555	(332,555)	-100.00%
June	122,594	289,833	136.42%		-100.00%	291,448	(291,448)	-100.00%
July	194,674	260,006	33.56%		-100.00%	261,174	(261,174)	-100.00%
August	266,162	145,998	-45.15%		-100.00%	145,456	(145,456)	-100.00%
September	150,811	154,181	2.24%		-100.00%	153,762	(153,762)	-100.00%
October	218,387	280,184	28.30%		-100.00%	281,655	(281,655)	-100.00%
November	147,566	160,617	8.84%		-100.00%	168,141	(168,141)	-100.00%
December	130,645	151,210	15.74%		-100.00%	158,735	(158,735)	-100.00%
	2,133,279	2,594,046	21.60%	1,061,266	-59.09%	2,616,000	(1,554,734)	-59.43%
Y-T-D	704,519	821,684	16.63%	1,061,266	29.16%	823,074	238,192	28.94%

DEPARTMENT OF FINANCE
MONTHLY REPORT
APRIL 2022



Collection History

Received	Earned	Historical			Current Year Actual			Current Year Budget		
		2020	2021	% Change	2022	% Change	Budget	Variance \$	Variance %	
January	October	174,393	173,241	-0.66%	204,354	17.96%	172,685	31,669	18.34%	
February	November	181,973	172,248	-5.34%	218,598	26.91%	171,697	46,901	27.32%	
March	December	217,245	212,281	-2.29%	250,074	17.80%	211,601	38,473	18.18%	
April	January	144,913	155,657	7.41%	175,158	12.53%	155,158	20,000	12.89%	
May	February	144,946	144,939	0.00%	-100.00%	-100.00%	144,475	(144,475)	-100.00%	
June	March	144,621	189,084	30.74%	-100.00%	-100.00%	188,478	(188,478)	-100.00%	
July	April	126,701	185,597	46.48%	-100.00%	-100.00%	185,003	(185,003)	-100.00%	
August	May	159,315	209,622	31.58%	-100.00%	-100.00%	208,950	(208,950)	-100.00%	
September	June	175,641	216,705	23.38%	-100.00%	-100.00%	216,011	(216,011)	-100.00%	
October	July	172,331	208,328	20.89%	-100.00%	-100.00%	207,661	(207,661)	-100.00%	
November	August	191,900	232,762	21.29%	-100.00%	-100.00%	232,016	(232,016)	-100.00%	
December	September	167,141	206,167	23.35%	-100.00%	-100.00%	183,265	(183,265)	-100.00%	
		2,001,120	2,306,629	15.27%	848,184		2,277,000	(1,428,816)		
Y-T-D		718,524	713,426	-0.71%	848,184	18.89%	711,141	137,043	19.27%	

Village of Lake Zurich
Investment Report
April 30, 2022

Description	Purchase Date	Maturity Date	Coupon Rate	CUSIP / Account	Par Value	Purchase Price	(Premium) / Discount	Market Value	Unrealized Gain (Loss)
MONEY MARKET & CASH									
Eagle Bank	N/A	N/A	0.000%	214754-1	-	-	-	0.00	N/A
IPRIME	NA	NA	0.000%		1,182,302.90	1,182,302.90	-	1,182,302.90	N/A
CERTIFICATE OF DEPOSIT									
Customers Bank	01/28/21	07/27/22	0.150%		249,959.40	249,400.00	559.40	249,400.00	-
Bank USA/Private Bank	01/28/21	07/27/22	0.150%		249,971.52	249,400.00	571.52	249,400.00	-
Servisfirst Bank	01/28/21	01/30/23	0.160%		249,197.83	248,400.00	797.83	248,400.00	-
Pacific Western Bank	01/28/21	01/30/23	0.210%		249,948.24	248,900.00	1,048.24	248,900.00	-
First Internet Bank of IN	02/10/21	08/11/22	0.080%		249,999.63	249,700.00	299.63	249,700.00	-
GBC International Bank	02/10/21	08/11/22	0.090%		249,946.01	249,600.00	346.01	249,600.00	-
Midland States Bank	02/19/21	02/22/23	0.110%		249,955.94	249,400.00	555.94	249,400.00	-
Allegiance Bank Texas	02/19/21	02/22/23	0.110%		249,953.44	249,400.00	553.44	249,400.00	-
BMW Bank North America	02/19/21	02/22/23	0.150%		249,000.00	249,000.00	-	246,248.80	(2,751.20)
INSBank, TN	03/26/21	03/27/23	0.130%		249,961.56	249,300.00	661.56	249,300.00	-
First National Bank, ME	03/26/21	03/27/23	0.070%		249,950.10	249,600.00	350.10	249,600.00	-
CIBM Bank, WI	03/26/21	03/27/23	0.070%		249,949.92	249,600.00	349.92	249,600.00	-
Commonwealth Bus Bk	03/31/21	03/31/23	0.100%		249,000.00	249,248.74	(248.74)	245,609.37	(3,639.37)
Royal Business Bank	04/14/21	07/15/22	0.070%		249,923.54	249,700.00	223.54	249,700.00	-
Third Coast Bank	04/19/21	07/27/22	0.100%		249,929.99	249,600.00	329.99	249,600.00	-
US Treasury N/B	04/15/21	01/15/24	0.250%	91282CB0	250,000.00	249,140.63	859.37	239,697.25	(9,443.38)
US Treasury N/B	04/15/21	01/31/25	0.480%	91282BZ52	964,000.00	996,422.03	(32,422.03)	926,268.08	(70,153.95)
US Treasury N/B	04/15/21	07/31/25	0.620%	91282CAB7	406,000.00	399,640.39	6,359.61	372,663.75	(26,976.64)
Alameda Cnty-a-txbl	04/16/21	08/01/23	0.200%	010878AP1	250,000.00	271,707.50	(21,707.50)	254,957.50	(16,750.00)
US Treasury N/B	05/19/21	07/31/25	0.570%	91282CAB7	350,000.00	345,351.56	4,648.44	321,261.85	(24,089.71)
US Treasury N/B	07/28/21	07/31/25	0.500%	91282CAB7	252,000.00	249,499.69	2,500.31	231,308.53	(18,191.16)
US Treasury N/B	01/28/22	01/31/26	1.460%	91282CBH3	1,000,000.00	957,890.63	42,109.37	909,609.00	(48,281.63)
US Treasury N/B	03/30/22	07/31/23	1.870%	91282B592	754,000.00	747,844.30	6,155.70	743,779.53	(4,064.77)
TOTAL					9,154,950.02	9,140,048.37	14,901.65	8,915,706.56	(224,341.81)
Per Statement				PMA Invests	9,154,950.02	9,140,048.37		8,915,706.56	(224,341.81)
				Total	9,154,950.02	9,140,048.37		8,915,706.56	

Village of Lake Zurich
 Police and Firefighters' Pension Funds
 Statement of Net Position
 April 30, 2022

POLICE PENSION FUND		FIREFIGHTERS' PENSION FUND			
	April-22	Year-to-Date	April-22	Year-to-Date	
Revenues:			Revenues:		
Municipal Contributions	3,522	55,201	Municipal Contributions	4,370	68,546
Member Contributions	37,575	113,989	Member Contributions	59,389	177,660
Total Contributions	<u>41,096</u>	<u>169,190</u>	Total Contributions	<u>63,758</u>	<u>246,205</u>
Investment Income	(2,006,273)	(4,211,563)	Investment Income	(3,221,757)	(6,801,469)
Total Revenues	(1,965,176)	(4,042,373)	Total Revenues	(3,157,998)	(6,555,263)
 Expenses:			 Expenses:		
Pension and Benefits	198,808	795,231	Pension and Benefits	194,876	787,043
Insurance	-	4,989	Insurance	-	-
Professional Services	700	5,080	Professional Services	4,400	11,109
Investment Expenses	15,723	32,866	Investment Expenses	25,280	25,424
Other Expenses	-	-	Other Expenses	190	850
Total Expenses	215,231	838,166	Total Expenses	224,745	824,426
 Operating Income (Loss)	 (2,180,407)	 (4,880,539)	 Operating Income (Loss)	 (3,382,744)	 (7,379,689)
Beginning Net Position*	31,364,178	34,064,309	Beginning Net Position*	50,711,148	54,708,093
Ending Net Position	29,183,771	29,183,771	Ending Net Position	47,328,404	47,328,404
 Assets			 Assets		
Cash and Investments	29,123,523		Cash and Investments	47,190,129	
Other Assets	77,379		Other Assets	141,636	
Total Assets	<u>29,200,902</u>		Total Assets	<u>47,331,766</u>	
 Liabilities			 Liabilities		
17,131			3,362		
 Net Position 4/30			 Net Position 4/30		
29,183,771			47,328,404		



PUBLIC WORKS DEPARTMENT

MONTHLY INFORMATION REPORT

May 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION MAKING

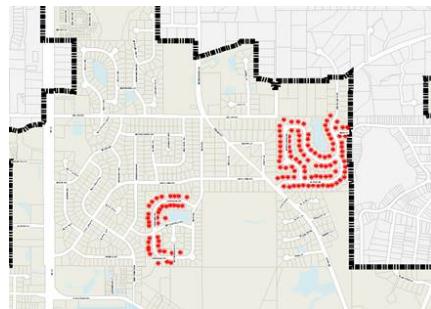
505 TELSER ROAD
LAKE ZURICH, IL 60047

DEPARTMENTAL NARRATIVE

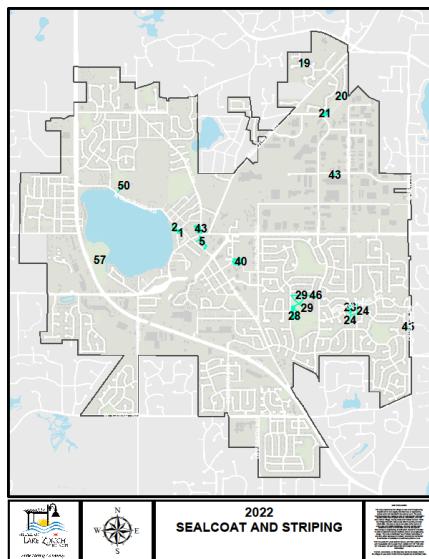
Park Maintenance: Crews have completed spring clean-ups at parks. Public restrooms, beaches, piers, and splash pad are all open for the season.

Special Events: No events in May

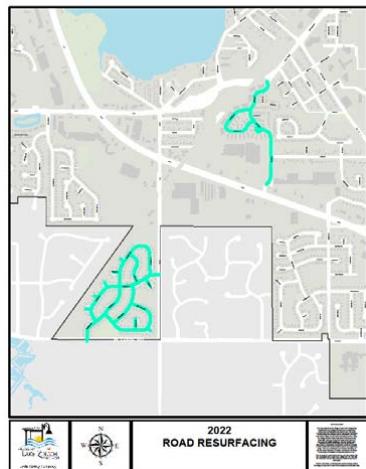
Infrastructure Projects: The 2022 Concrete Program has been awarded to Schroeder and Schroeder Inc. Removals and replacement were complete in April with minor punch-list items to be addressed in June.



The 2022 Sealcoat and Striping Contract has been awarded to Patriot Pavement Maintenance and will address various locations throughout the Village.



The 2022 Road Resurfacing Program has been awarded to Peter Baker of Lake Bluff. Concrete and storm water removals, replacements, and repairs began in May with milling and paving to follow.



Crews have completed fieldwork for the 2021 sign replacement program. The program locations mimics the annual Road Resurfacing Program.

May Water Main Break Locations:

825 S. Rand Rd.
1120 Brittany Rd.
65 Miller Rd.

Water Main Replacement:

The Rt. 12 emergency water main replacement (between L.A. Fitness and Starbucks) has been postponed due to higher than expected cost estimates. Due to field and operational adjustments, this segment will temporarily remain out of service while a reasonable plan & scope can be developed, budgeted for and competitively bid for in 2022.

Employee Training:

All employees participated in Confined Space safety training.

Anniversaries:

John Cuellar of the General Services Division of Public Works, celebrated 20 years on May 20th.

New Employees:

Staff Kudos:

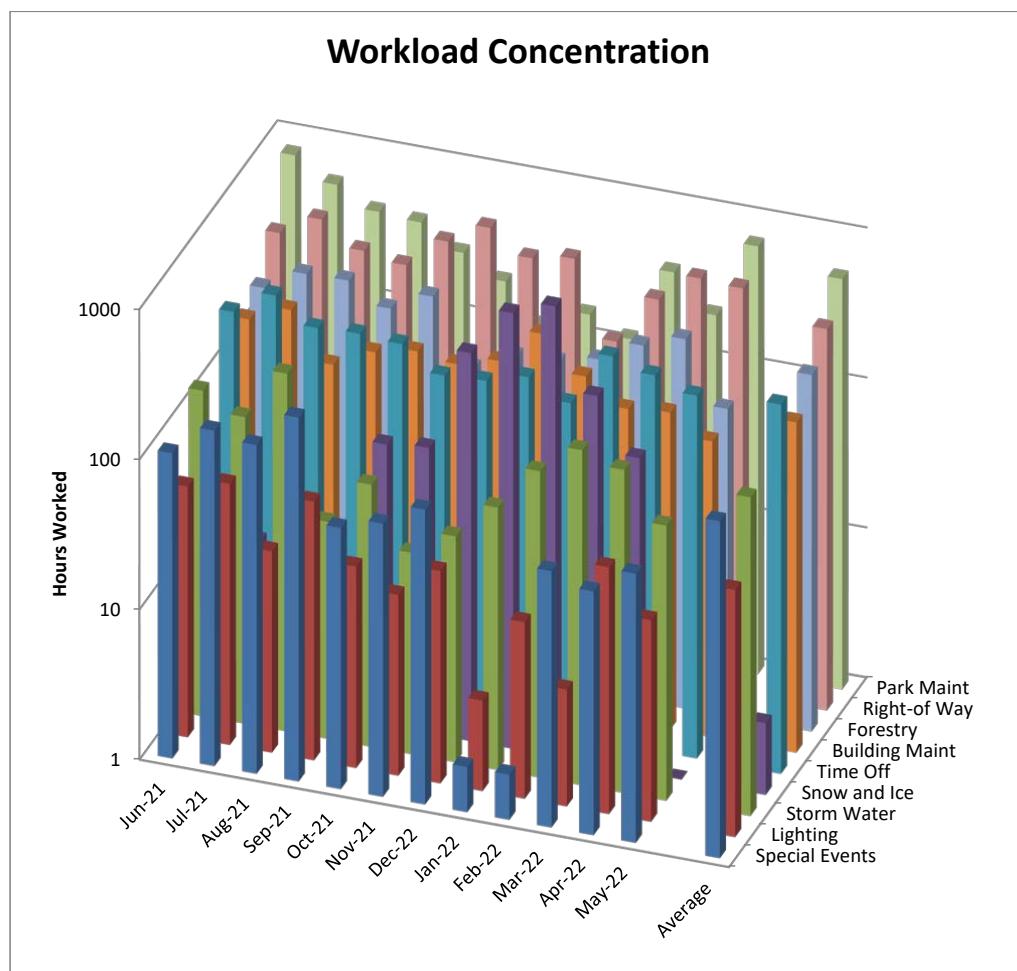
Email from Keli Amato, Public Works Assistant;

Jim (resident at 12 Century Court)

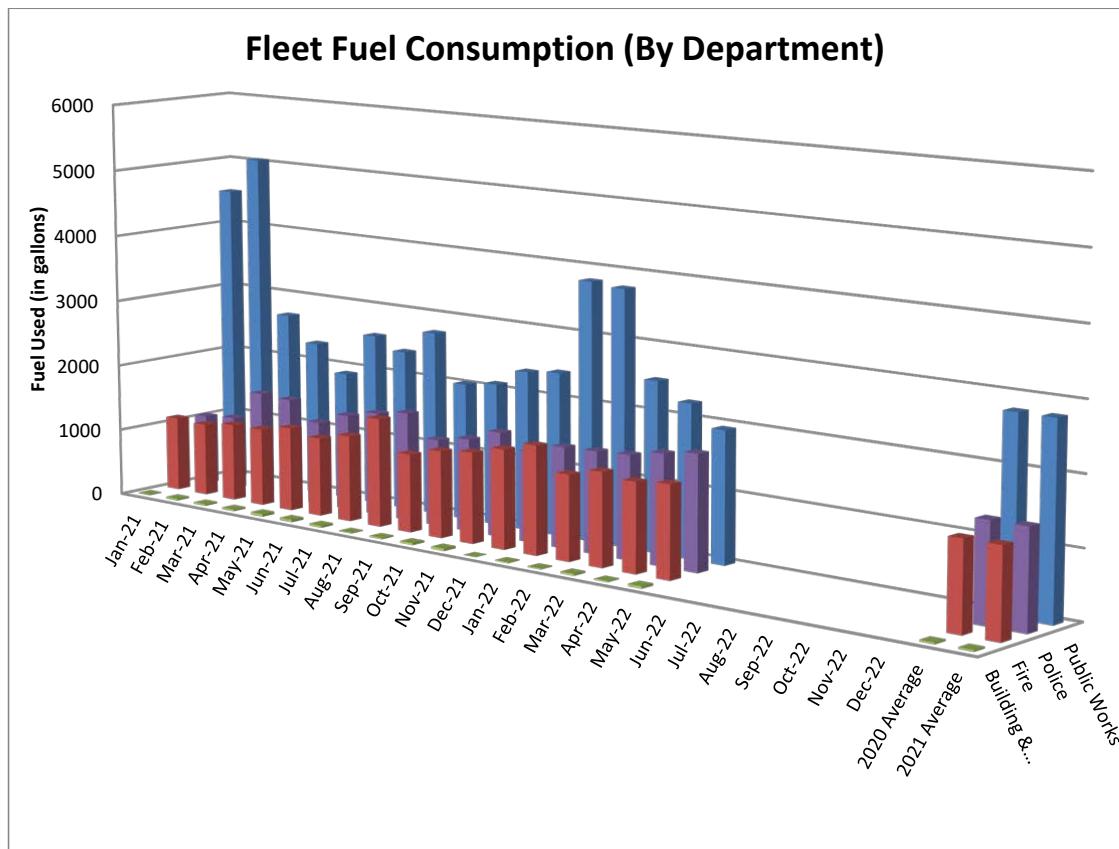
Left a VM and wanted to pass along his thanks for a job **WELL DONE!!**

"Matt the technician that **very polite and helpful**" in relocating water meter (radio).

He is certain that we get more complaints than Thank you and wanted to reach out and say **THANK YOU** to **Will** for setting it up and **Matt** for getting it done.



A core function of Public Works are related to the completion of work orders for several categories, including administrative, forestry, park maintenance, municipal property maintenance, right-of-way, snow and ice, street lighting, and storm water system maintenance. This chart shows the number of hours worked on major activities.

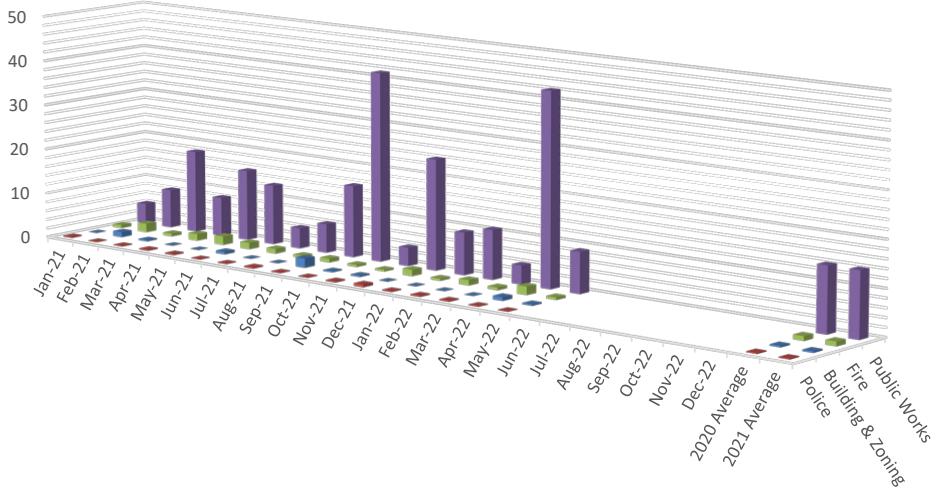


Tracking fuel consumption allows staff to make informed decisions relating to the municipal vehicle fleet, including the number of vehicles in each department, the types of vehicles purchased and the type of fuel source used.

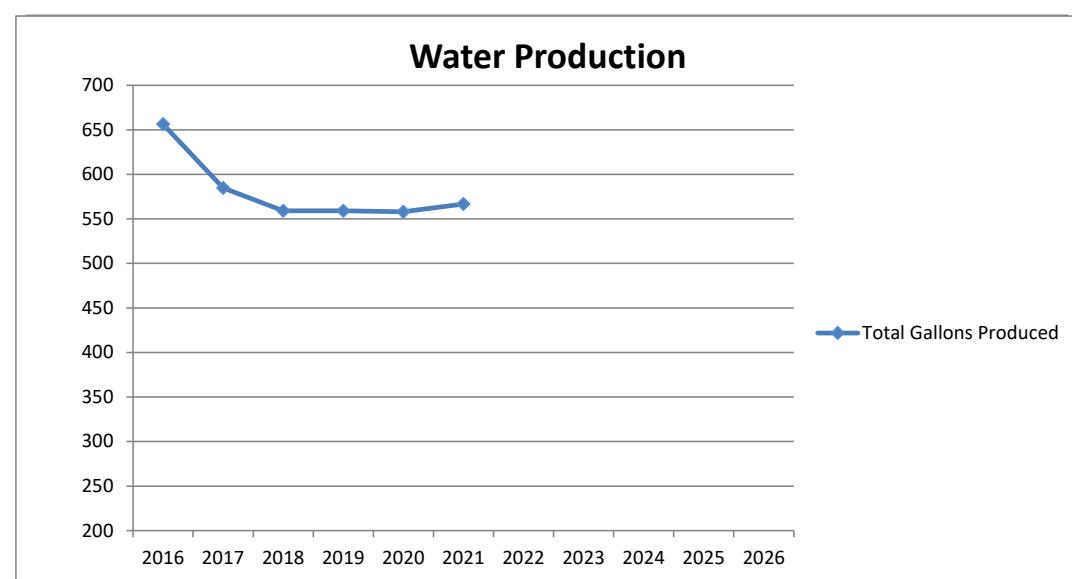
Dramatic fluctuations in fuel consumption can occur during events such as heavy snowstorms. (Output measure)

Average Cost per Mile for Village Fleet (By Department)

■ Police ■ Building & Zoning ■ Fire ■ Public Works



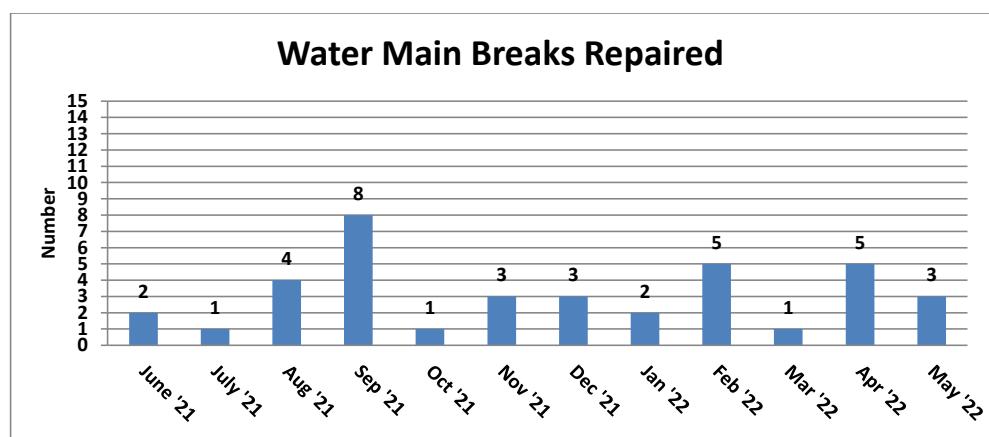
Vehicle cost per mile is an initial indicator of an efficient fleet operation. With basic cost per mile information in hand, all components that feed into that cost can be scrutinized and measured. These components include labor rates, fuel costs and parts costs. Looking further into the Village' vehicle cost per mile, staff can measure other components such as average vehicle age. When vehicles are replaced within their life cycle, the impact is usually positive.



From 2012 to 2015, there was a steady decline in the annual volume of water produced and used by our community. This trend was altered in 2016 due to dry weather leading to increased watering of lawns and landscaped areas.

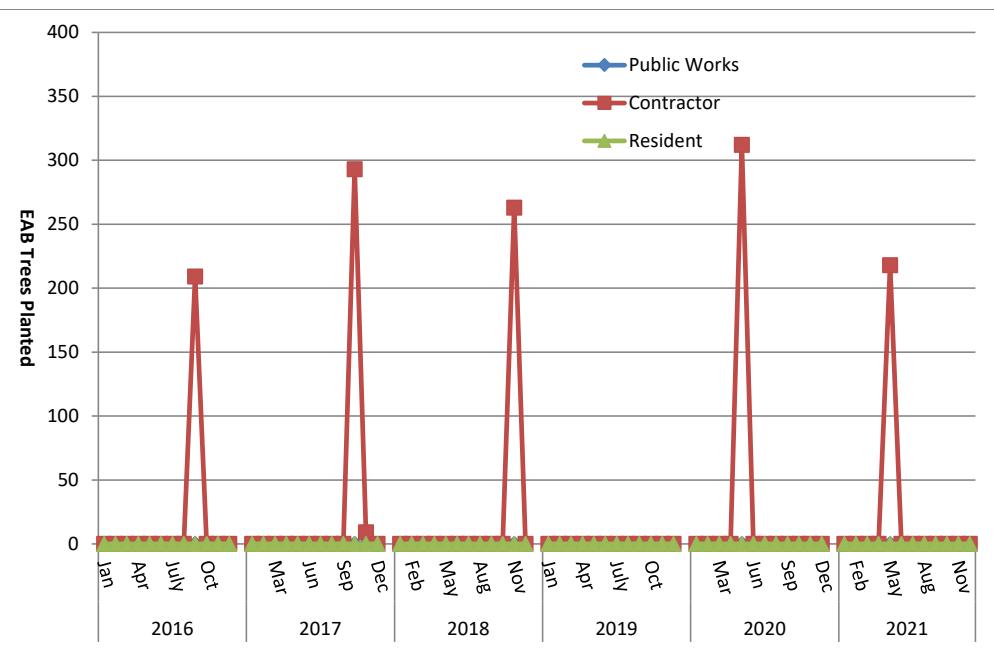
	2016	2017	2018	2019	2020	2021	2022	2023	2024
January	49.301	46.667	45.868	44.227	43.867	42.319	43.414		
February	45.801	40.952	41.098	41.452	41.645	40.367	39.261		
March	53.467	44.543	43.155	43.946	43.552	42.924	41.852		
April	55.963	49.974	45.098	43.570	40.662	45.129	43.301		
May	60.273	49.588	48.065	45.339	44.834	51.240	67.048		
June	63.819	56.169	46.114	45.489	51.130	56.763			
July	68.751	53.755	57.074	59.526	54.529	53.105			
August	66.229	54.746	54.067	61.419	58.959	54.083			
September	58.664	53.928	46.809	44.786	51.040	51.058			
October	45.838	47.169	44.369	43.476	44.443	44.019			
November	42.120	42.335	42.089	41.475	40.680	42.441			
December	46.088	44.961	45.305	44.379	42.684	43.222			
Total	656.314	584.787	559.111	559.084	558.025	566.670	234.876		
Avg	1.793	1.598	1.532	1.532	1.529	1.553	1.555		
% incr/decr	11.37%	-12.23%	-4.59%	0%	-0.02%	1.55%			

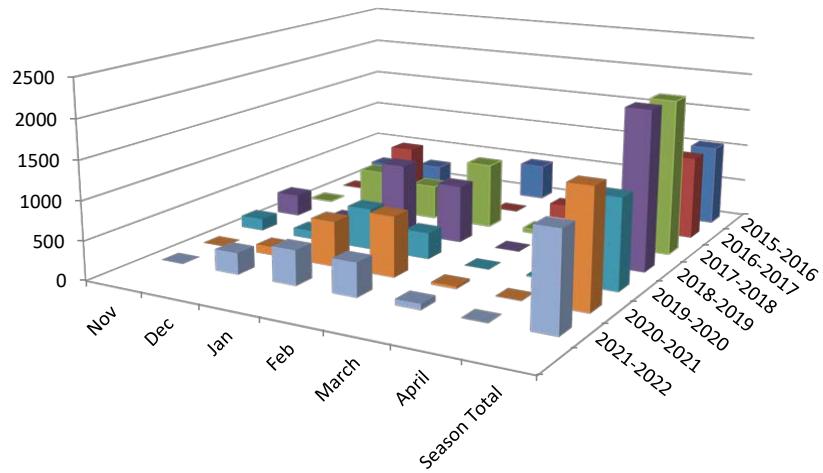
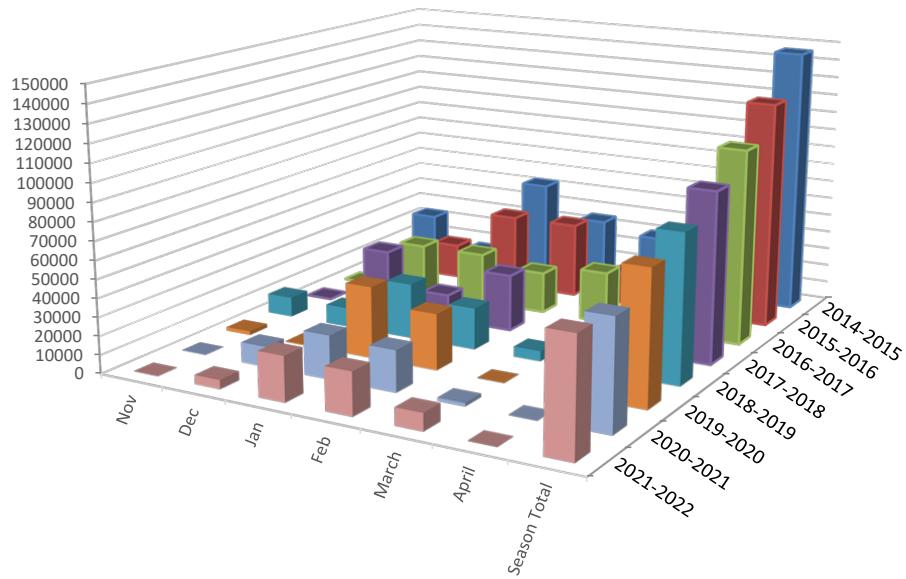
The highlighted months are the lowest for each of these months in the last 6 years. The highest monthly production in the last 6 years occurred in July of 2016. In 2021, our daily average was 1.55 million gallons per day.



A water main break can be a hole or crack in the water main. Common causes of breaks in the water main include: age, pipe material, shifting in the ground attributed to fluctuations in moisture and temperature (below and above the frost line), corrosive soil that causes a thinning of the water main pipe, improper backfill, severe changes in water pressure (hammer) which has several causes and physical contact (damage) by excavating contractors.

Emerald Ash Borer Tree Replacement Program



Tons of Road Salt**Gallons of Liquid Deicer**



COMMUNITY DEVELOPMENT DEPARTMENT

MONTHLY INFORMATION REPORT

May 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION MAKING

505 TELSER ROAD
LAKE ZURICH, IL 60047

DEPARTMENT NARRATIVE

During the month of May 2022, the Community Development Department was engaged in the following activities:

BUILDING & ZONING DIVISION:

- Commercial Permits Issued:
- 555 S Rand: Target buildout

Commercial Occupancies Issued:

- 485 S Rand: Dunkin Donut buildout
- 69 S Rand Rd: Kavkaz Grill and Bakery (expansion to additional unit)
- 247 N Rand: Serenity Wellness Studio
- 590 A Telser: HCH Bearing Americas – wholesale distributor

FOIA Requests: Total number of FOIA requests: 9

PLANNING AND DEVELOPMENT DIVISION:

Planning and Zoning Commission (PZC) Activity:

The May 18 meeting of the PZC was canceled due to unforeseen circumstances. The three applications scheduled for that meeting were rescheduled for the June 15, 2022 meeting. Notices for the hearing of these items were published in the papers.

New Zoning Applications received (for PZC consideration).

The following new applications were received for the PZC meeting in June .

1. *440 North Old Rand Road – Variation for a Pier – Roger and Victoria Comins (Applicants and Owners).* The owners have requested approval to add a second removable pier along the frontage of their shared lake access with an adjacent property owner. The application is for a variation of the provision requiring no more than 1 pier per 75 feet of frontage on a zoning lot. As proposed, the two piers will be located at a distance of 35 feet from each other. The piers are intended to meet the remaining provisions of the code.

As of writing this report, the Applicants requested continuing the application to the July 20, 2022 meeting of the PZC to allow them time to assemble additional exhibits for the application.

2. *455 South Rand Road (former Giordano's property) – PUD Amendment for a new Bank Building – Chase Bank (Applicants).* Chase Bank is proposing to demolish the existing restaurant building at the property to construct a new a new single-story 6,282 sq.ft. freestanding retail banking center with an attached four-lane drive-through ATM canopy. The bank will be relocating from its existing location across the street at 444 S. Rand Rd. If approved demolition of the existing building and new construction will commence in Fall of 2022 and is anticipated to be completed by June/July 2023. The most recent proposal at this property was for a multi-tenant retail building approved in June of 2019.
3. *708 South Rand Road – Special Use Permit for Dog Wellness and Grooming – Scenthound (Applicants).* Scenthound was founded in 2015 and started franchising locations in 2019. With 180 locations sold,

open or under development across 12 states. It is a membership-based dog grooming company. No overnight boarding is proposed at this location. The establishment will be located within a 2,036 sq.ft. tenant space within Deerpath Court Retail Center that is owned and managed by The Fidelity Group.

Additionally, because the May 18 meeting of the PZC was canceled the following applications will also be considered:

1. 353 Enterprise Parkway (Tactic Sports Performance) – Special Use Permit.
2. 910 N Rand Road (Walgreens Pharmacy) – Variations of bulk, space and yard requirements.
3. Text Amendment – Allow for larger Construction Activity Signs on fences.

New and Ongoing Development:

1. *School District Summer Construction Schedule:*

The school district notified the village that it was planning to commence and complete a number of construction projects once schools close for the Summer. Staff had previously reported on these project while they were still in their planning stages and has now issued zoning permits for the site work to begin. The projects are as follows:

- New Softball field at the location of the former old May Whitney school building location. Construction to begin on May 31, 2022 and complete by late Fall 2022.
- Parking lot at new May Whitney School. The work is ongoing with the construction of the new school building, and is planned to be completed by the first day of school in August.
- Middle School South STEAM program addition to the building. Construction will commence on May 31, 2022 and be completed by December 22, 2022.
- Middle School South west parking lot, Isaac Fox Elementary School playground / site improvements, High School entrance drive. Work to commence on May 31, 2022 and be completed on August 5, 2022.

2. *Sanctuary of Lake Zurich.* Staff was advised by the developer that the restaurant design was taking longer than expected, and that the Village would have a permit submittal in approximately one month.

3. *LZF Blooms 15 South Old Rand Road.* Building Supervisor Meyer participated in an in-depth conversation with Mr. Matt Lovejoy of LZ Blooms, regarding 15 South Old Rand redevelopment. Pending items for site work discussed were the required letter of credit, site plan engineering approval, and televising the storm sewer system. The Village's development agreement with LZ Blooms included a deadline of May 1, 2023 to complete construction. Later in the month, conditional site work approval was issued. A Letter of Credit was received and a pre-construction meeting was scheduled for the end of the month.

4. *Midlothian Manor Annexation - 22843 Lakewood Lane.* The Village learned during an alarm follow up that the Lake County Housing Authority had moved its offices into the vacant Midlothian Manor on North Lakewood. This was done without any occupancy inspections by either the Lake County Building Department or the Lake Zurich Fire Department. The Lake County Building Department had been contacted with a request that it look into the new occupant and update the Village with details in order to set up occupancy inspections.

5. *Life Time Construction.* As Lifetime began nearing the completion of its project, Village Staff and personnel from Lifetime met to discuss the procedures and requirements for final inspections to be scheduled towards the end of July. The meeting was attended by numerous staff and inspectors of the Village's Development Review Team (DRT), the Village's engineer for the project (Christopher Burke

Engineering), Lake County review and inspection staff, and Lake Zurich Fire Prevention staff. Lifetime was represented by various members of their onsite construction staff as well as their architectural and engineering, real estate and code compliance staff that had traveled in from Minnesota. In addition to the various permit and inspection requirements for occupancy, tentative completion dates were proposed for various construction items and inspections. Lifetime indicated that it planned to complete fitness equipment installation by the summer and turn over the building to their Club Operations to begin running the facility following that. Lifetime had not set a date for its grand opening at the time of the meeting.

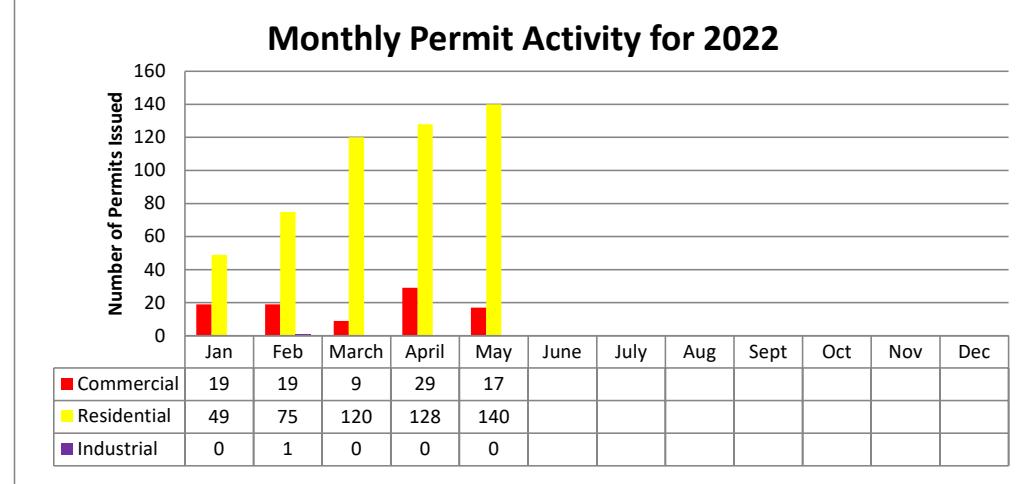
6. *Vault 232 at 35 W. Main Street.* Vault 232, the high-end dining establishment that would include a banquet space, bar area, and fresh seafood retail store, had scheduled its final building department and Lake County Health Department inspections. The business received health department approval for the fish market portion of the business only. Additional approval for the restaurant would still be required, with a projected opening date of June 1. The Village intended to issue a temporary occupancy for the entire building due to several outstanding items including receiving health department approval for the restaurant and completion of landscaping, signage, deck area, other minor site improvements.
7. *Target at 555 S Rand Road.* The property was issued permit for interior remodel – \$1.5 Million interior reconfiguration to better facilitate pick-up services that have been increasing since COVID and have remained in demand.
8. *Brierwoods Estates on Miller at Brierwoods.* Tree removal had begun. Silt fence was then installed to make way for site grading to begin.
9. *New French Pastry School Studio at 752 Telser Road.* An interior remodel permit was issued for a filming studio for the “French Pastry School” out of Chicago. The studio will provide content for the school’s new online education option for their students to join in from across the world. According to their website, “...founded in 1995 and located in downtown Chicago, the French Pastry School is the only major culinary school in North America dedicated to all things sweet and baked. The French Pastry School provides hands-on education taught entirely in state-of-the-art kitchens by world-renowned chefs. The school is run by Co-founders Jacquy Pfeiffer, James Beard Award-winning author, and Sébastien Canonne, M.O.F., both recipients of the French Legion of Honour Award and were featured in the “Kings of Pastry” documentary....” More information can be viewed on their website at <https://www.frenchpairstyschool.com/>
10. *Somerset by the Lake” Apartments to be Renamed.* Staff was informed by a new management representative of the Somerset Apartments at 40-60 W Main Street that the 48 apartments within two buildings will now be known as “The Eastbanks at Lake Zurich” Apartments. A new sign was proposed to replace the existing sign with that name.
11. *Right of Way Improvements on Miller Road* The Lake County DOT had requested approval of a letter of intent with the Village to construct roadway improvements at the intersections of Miller and Route 12, which include lane widening, left-hand turn lanes, pedestrian push-button crossings, and the installation of about 1,000 feet of sidewalk on the north side of Miller Road. The new sidewalk would provide a connection point between Walgreens and the subdivision to the east (Millers Grove) that does not exist today. Lake County DOT had received approval for the use of funds in accordance with its Non-Motorized Policy (NMP) that would allow a cost-sharing opportunity between the two agencies. Lake County DOT will provide 80% of the costs associated with the design and construction of the proposed sidewalk improvements, leaving the Village with the obligation of 20% of its share towards the sidewalk improvements (which will be less than \$9,000).

Economic Development Activity:

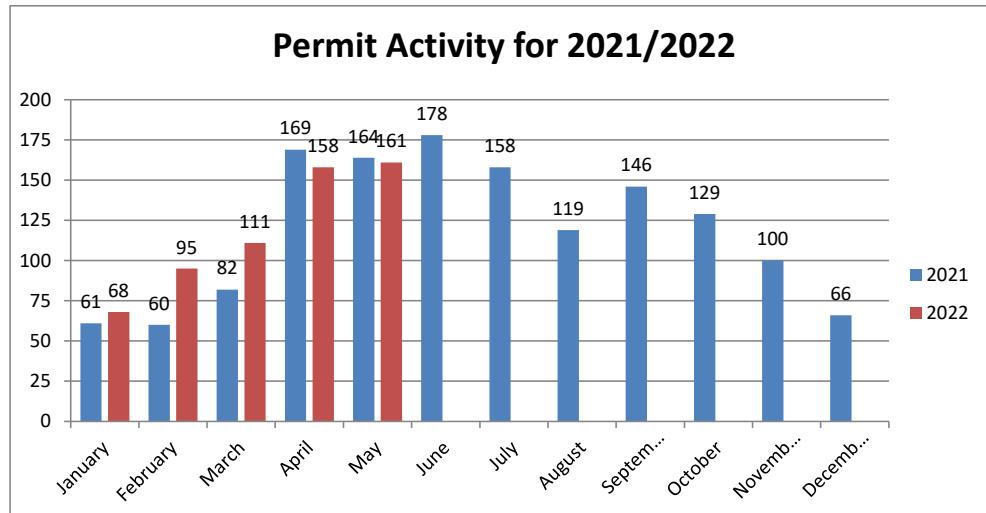
1. National Restaurant Trade Event Lake Zurich and several other municipalities hosted a reception with Select Chicago FDI, Jones Lang LaSalle Inc., and the Chilean Trade Commission on May 23 at the annual National Restaurant Trade Event at McCormick Place in Chicago. This was an opportunity to connect international trade representatives, corporations, and investors of the food and restaurant industry with local restaurateurs and food industry manufacturers and to discuss potential foreign investment in the local commercial and manufacturing economies of Illinois.

Ongoing Code Enforcement:

1. Bills Boats Pier Violations (216 W Main St). On May 6, Building Services Supervisor Mary Meyer and Village Attorney Carmen Forte appeared before Judge Kennedy for hearing on the Village's contempt petition and on status of Mr. Abbott's removal of the remaining posts from the lake bed. Mr. Abbott's attorney had sent two photos of the posts being removed. The file details on the photos showed that they were taken the morning of 4/27/22, which matched the time period when Mr. Abbott's attorney said the posts were removed. The judge was satisfied with the proof that the posts were removed but did not find Mr. Abbott in contempt for the delay in their removal. If the removed pier is reinstalled, the Village will address it accordingly.
2. Mazeika Violations (228 W. Main Street). At the same time of the Abbott hearing on May 6, Building Services Supervisor Meyer additionally Mr. Mazeika (228 W Main) with his citations since the police were not able to nor did he accept certified mail from the Village in the past. Mr. Mazeika later confirmed with the judge that he received the understanding the hearing scheduled for June 3. In conversation with Mr. Mazeika, Building Services Supervisor Meyer suggested meeting at the property to discuss the violations and citations as to which he agreed.
3. 455 S Rand Road (former Giordano's property). Soil testing was conducted at 455 South Rand (former Giordano's). Soils borings that were drilled were filled to eliminate any potential hazard. While the Village did not yet have a demolition application or a formal proposal related to new development, this activity was indicative that applications were to follow shortly.

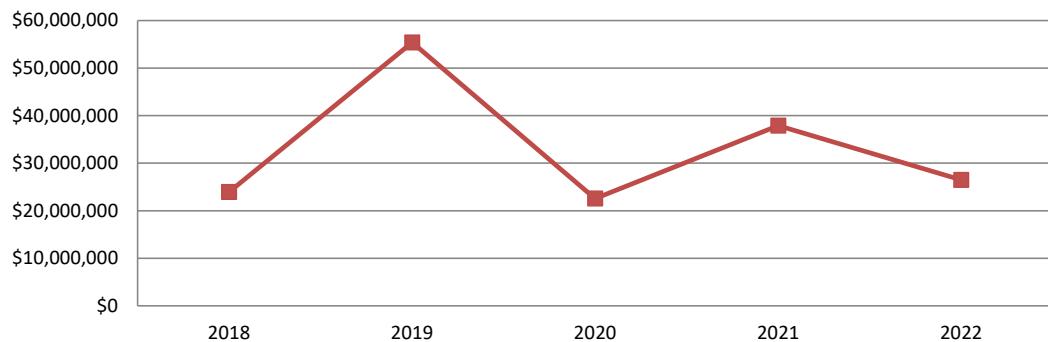


The chart above represents the total of permit activity on a monthly basis for 2022.



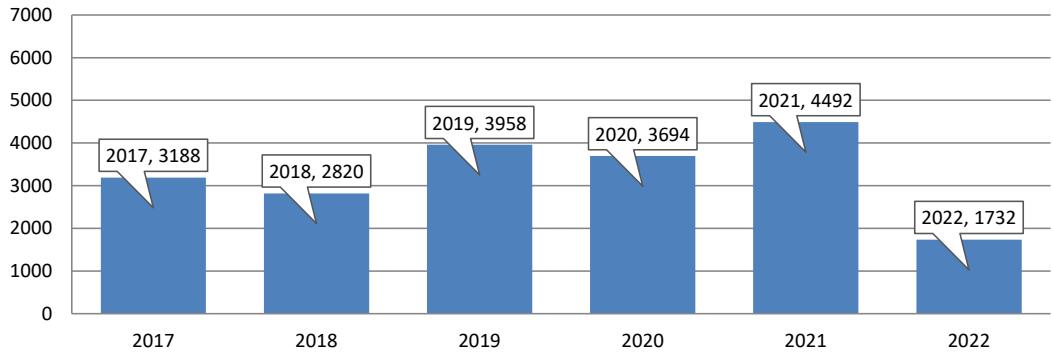
The chart above compares monthly permit activity for 2022 to the previous year 2021.

Construction Value of New Permits:
January-December
2018-2022

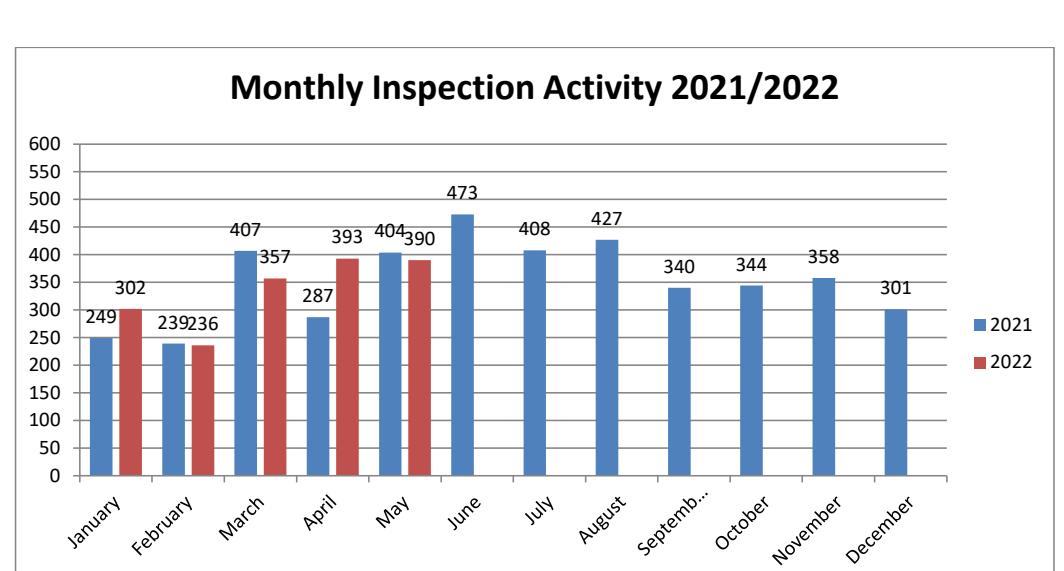


This chart tracks construction value of permit activity by year for 5 years.

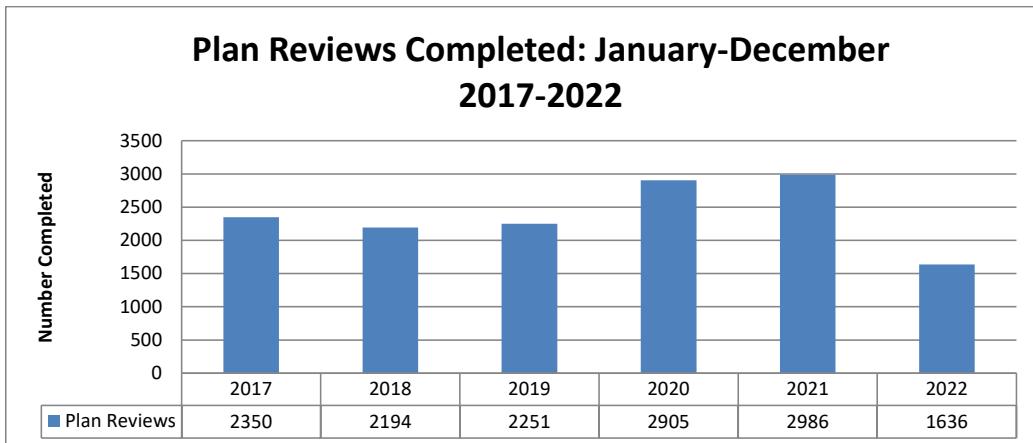
Inspection Activity: January-December
2017-2022



This graph illustrates the number of inspections performed by year.

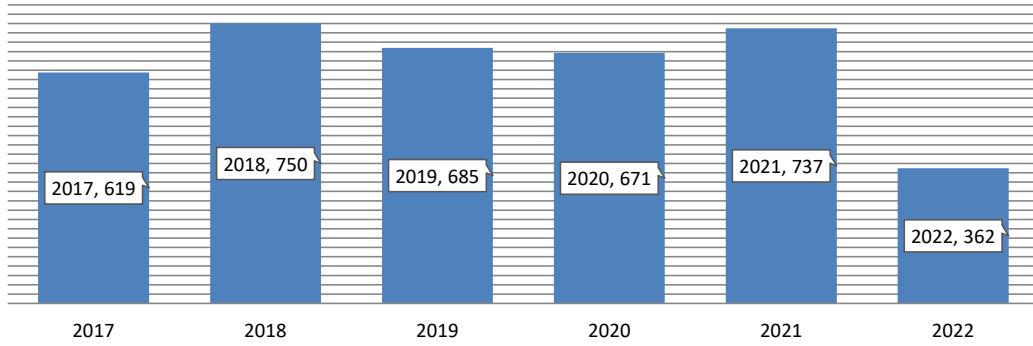


This chart indicates inspection activity on a monthly basis for 2022 compared to the previous year 2021.



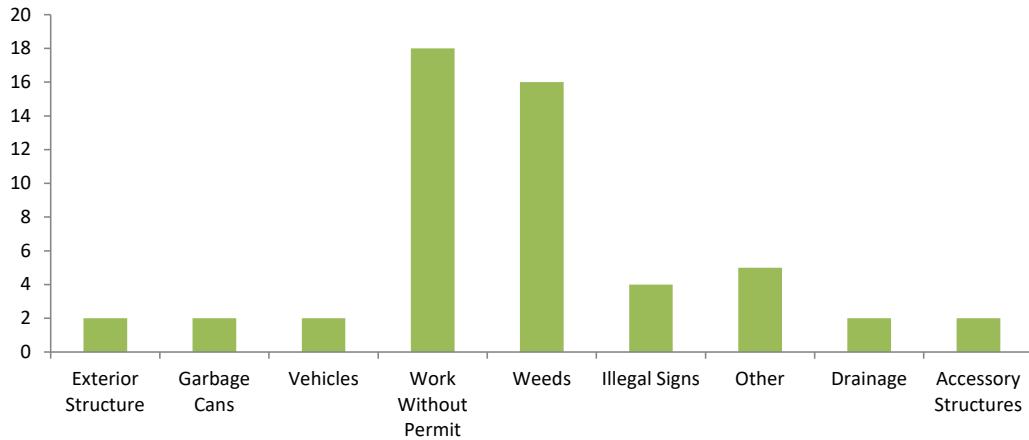
This graph illustrates the number of plan reviews performed by year.

Contractor Registrations January-December (applied for) 2017-2022



The graph represents the number of contractor registrations for the year as compared to prior years. Contractors are required to register on an annual basis to remain current with the village.

Common Code Violations - Details



This graph illustrates the number of code violations reported for the month. The data varies from month to month and is season dependent.



POLICE DEPARTMENT

MONTHLY INFORMATION REPORT

MAY 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION MAKING

70 E. MAIN STREET
LAKE ZURICH, IL 60047

Departmental Narrative

General

- The Police Department processed 12 Freedom of Information requests this month.
- Lake Zurich PD observed National Police Week from May 11-17. Residents were invited to come to the police station to receive a free blue light bulb that they can use to replace one of their outdoor lights during that week to show support for law enforcement.
- 10 truck permits were issued in May, totaling \$925.00 in permit fees.
- Our agency participated in the IDOT Memorial Day grant campaign from May 13th through May 31st. 42 grant hours were worked as part of the campaign. The grant hours yielded the following results: 30 seat belt citations, 9 speeding citations, 5 distracted driving citations, 1 arrest, and 6 other citations.
- On May 23rd, Officer Heer spoke to a group of elementary school students at Issac Fox to promote bicycle safety for summer.
- On May 8th, Ela Township and the Ela Area Public Library co-hosted a community-wide shred and electronics recycling event. Over 120 cars full of items to be recycled were served taking in 2,375 pounds of recycled electronics. Lake Zurich Police Explorers directed traffic for the numerous vehicles that lined up along the entire length of Mohawk Trail and through the police department parking lot.

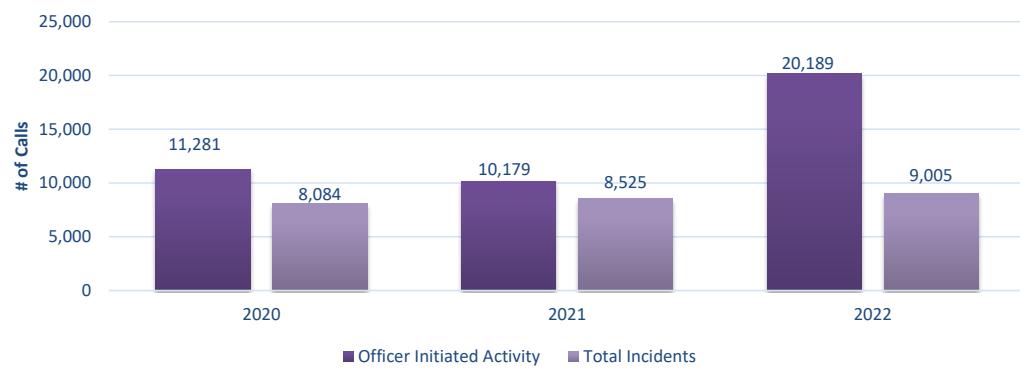
Patrol and Communications

- Year-to-date, officers conducted 1928 traffic stops and issued 942 traffic citations.
- During the month, Dispatch handled 1772 9-1-1 calls and 4709 administrative calls.
- One child safety seat inspection took place in May.
- On May 30th Officer Young assisted our agency on a Major Crash Assistance Team callout with a serious injury traffic crash. Young served as the scene supervisor.

Investigations

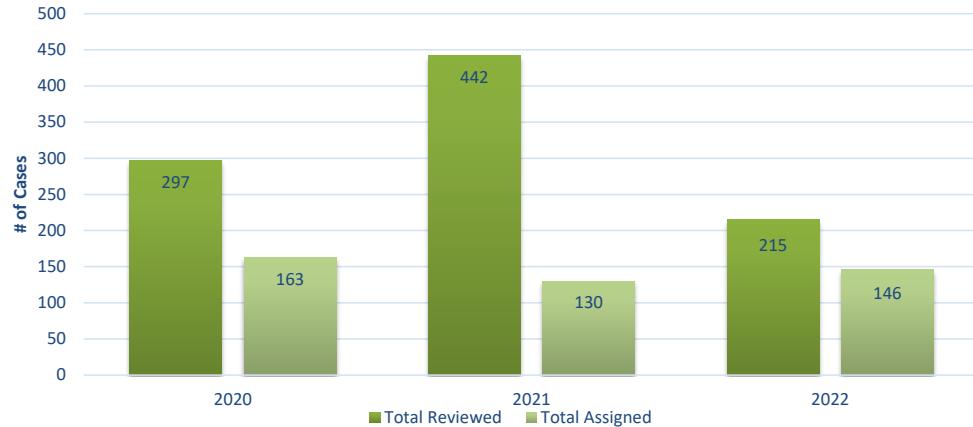
- The Criminal Investigations Division is currently investigating 123 cases, averaging 30.75 cases per detective. Of the 123 cases, 8 have been sent to the Lake County State's Attorney's Office (LCSAO) to obtain arrest warrants for identified suspects.
- Administrative Aide McCormack received 23 solicitation permit requests this month. 15 solicitation permits were issued. Two liquor licenses were requested and approved. Two rides to school in a police car were requested and completed.
- There was one Major Crime Task Force callout in North Chicago. Officer Lonski responded as an evidence technician.

Computer-Aided Dispatch (CAD) Incidents (Year-to-Date)

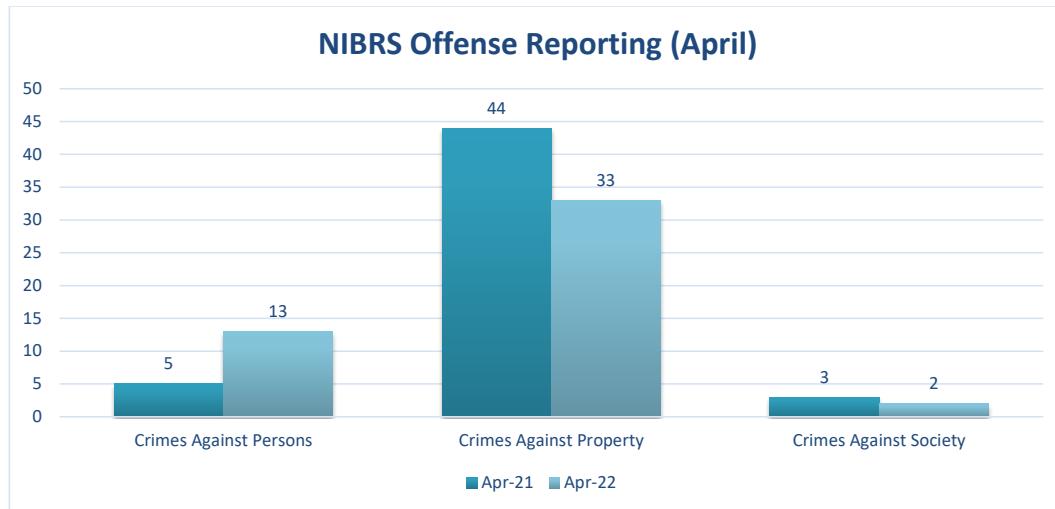


Officer initiated activity includes DUI Arrests, Vehicle Violation Citations, Non-Vehicle Violation Citations, Driving while License Suspended/Revoked, Crime Prevention Notices, Criminal Arrests, Traffic Citations, Traffic Stops, Extra Watches conducted, and Zero Tolerance enforcement. Total incidents are all CAD incidents. Frontline data, including vacation watches and directed patrols, are now listed under officer-initiated activity and are no longer CAD incidents.

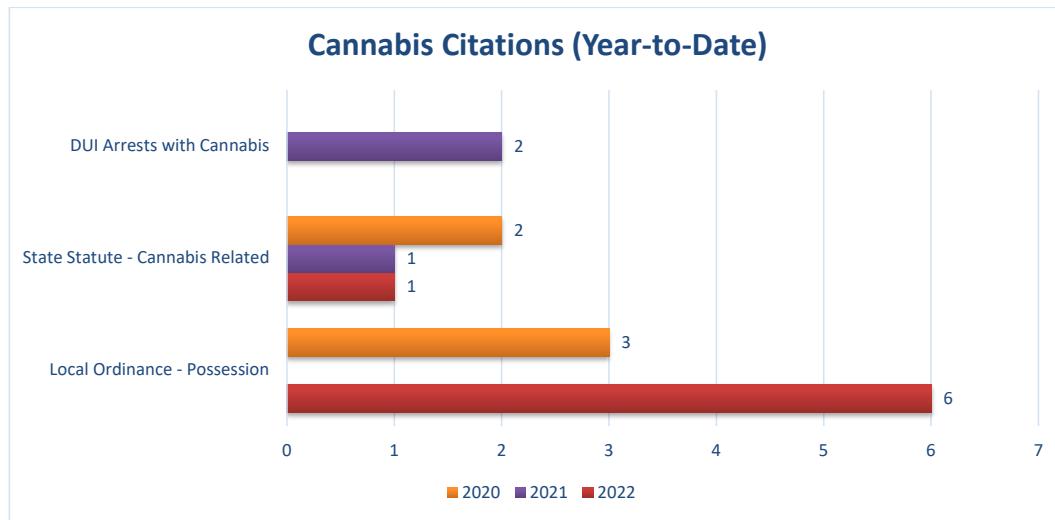
Investigative Caseload (Year-to-Date)



Original criminal reports, generally taken by Patrol section personnel, are reviewed by the Investigations Commander and assigned to Investigative personnel based on Solvability Factors.



The Lake Zurich Police Department has switched over to the FBI's National Incident-Based Reporting System (NIBRS). Data is broken down into the following three categories: Crimes Against Persons, which include crimes such as murder, assault, and sex offenses; Crimes Against Property, which include crimes such as robbery, burglary, theft, fraud, and stolen property; and Crimes Against Society, which includes crimes such as drug/narcotic violations, pornography, and weapon violations.

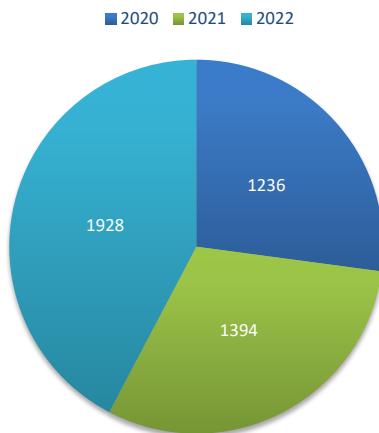


Illinois passed new cannabis rules and regulations that went into effect on January 1, 2020. These citations include local ordinance cannabis possession citations, state statute cannabis related citations (includes possession, delivery, paraphernalia, and DUI), and DUI arrests with cannabis as the primary or contributing factor.

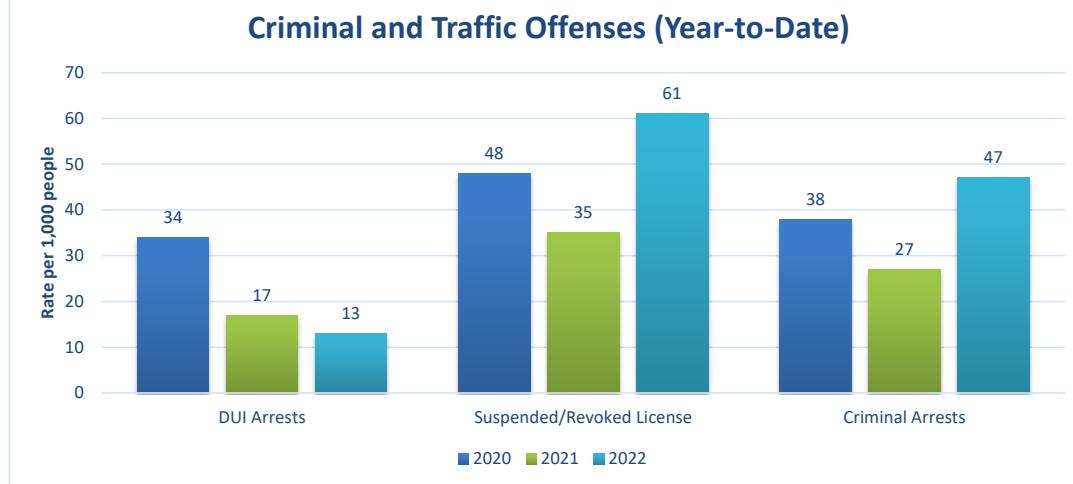


Law enforcement agencies in Illinois are now required to report to the state any incident where a law enforcement officer was dispatched to deal with a person experiencing a mental health crisis or incident. The report shall include the number of incidents, the level of law enforcement response and the outcome of each incident. For purposes of this section, a 'mental health crisis' is when a person's behavior puts them at risk of hurting themselves or others or prevents them from being able to care for themselves.

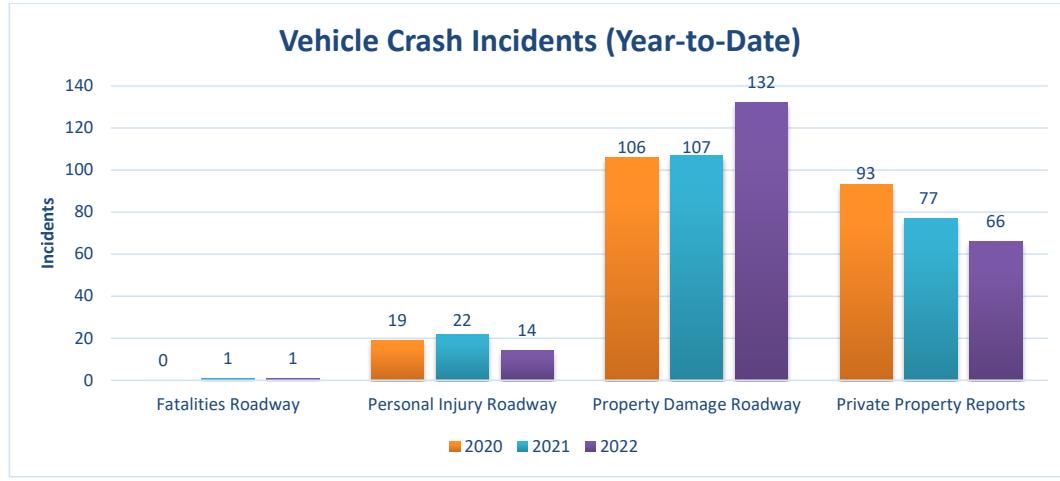
Traffic Stops (Year-to-Date)



Information depicted in this graph relates to traffic stops conducted by Department personnel.



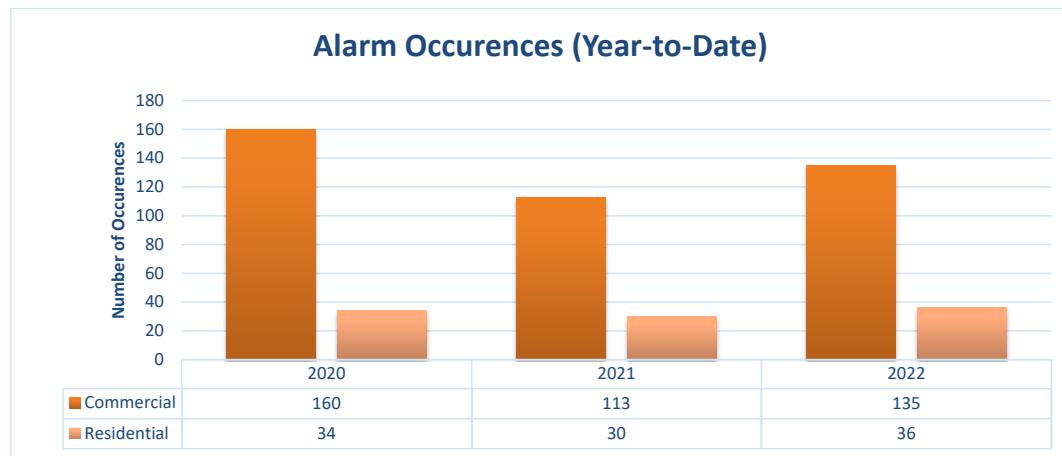
Information depicted in this graph relates to Driving Under the Influence of Alcohol/Drug arrests, Driving while Driver's License Suspended/Revoked arrests, and various criminal arrests (Domestic Battery, Retail Theft, Drug Offenses, etc.) conducted by Department personnel.



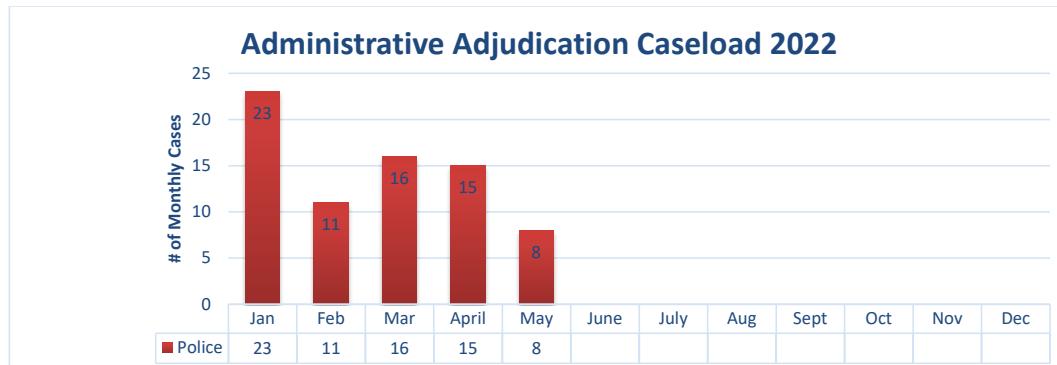
The Department conducts traffic crash investigations on both public roadways and private property (primarily parking lots). The traffic crashes are broken down into four categories: fatal, personal injury, property damage, and private property. Routine traffic crashes are taken by Patrol personnel. Traffic Safety personnel investigate fatal, serious personal injury, and commercial motor vehicles.



Training is an important element to maintain or improve skills/knowledge/ability. The main categories of training include field training, chief's training, civilian training, firearms training, outside agency training, in-house training, and renewal required training.



The records department monitors the number of alarms to which Patrol personnel respond – many of the alarms are false.



The Administrative Adjudication process was originally put in place to address automated traffic enforcement citations. This program has been expanded to review vehicle equipment compliance citations, administrative tows, and parking citations.

Red Light Camera Violations and Accidents (Year-to-Date)

2022	Red Light Violations		Adjudication for Red Light Violations			Accidents at Red Light Intersections			
	Citations	Net Received	Hearings	Liable	Not Liable	Non-Suit	12/ Miller Road	12/ Route 22	12/ June Terrace
January	213	\$11,760.00	1	1	0	0	1	4	1
February	75	\$14,300.00	3	2	1	0	2	1	2
March	226	\$6,570.00	6	5	0	1	0	4	0
April	241	\$8,120.00	2	1	0	1	0	2	0
May	229	\$8,280.00	0	0	0	0	1	3	1
June									
July									
August									
September									
October									
November									
December									
Total	984	\$49,030.00	12	9	1	2	4	14	4

Information depicted in this chart relates to red light camera violations, adjudication (court) for those contesting their violation, and accidents that have occurred at intersections with red light cameras.



FIRE DEPARTMENT

MONTHLY INFORMATION REPORT

May 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION-MAKING

70 E. MAIN STREET
LAKE ZURICH, IL 60047

OUR MISSION: To care for and protect our community.

OUR VISION: The Lake Zurich Fire Department is dedicated to meeting the ever-changing needs of our community, while ensuring a safe and secure environment for all, through professional development, unity, and teamwork.

OUR VALUES: Professionalism, Responsibility, Integrity, Dedication, Honor

Departmental Narrative - May 2022 Overview

In May, the Department responded to **415** calls for service, averaged **13** calls per day and required **685 individual vehicle responses** to provide the necessary personnel for each incident.

Forty-five (**45%**) percent of the service area responses occurred while another call was in progress. Twenty-five (**25%**) percent of the service area needs to the community required an apparatus from a Lake Zurich Fire Department non-primary engine or ambulance; or a mutual aid department due to multiple calls. This leads to a service area without a primary engine or ambulance and increased response times.

Our current staffing model increases response times when simultaneous calls occur as the Department is only structured to handle a single response per station. We staff two vehicles with only three personnel using what is called a "jump company. If the call is for the ambulance, the personnel respond with the ambulance, and if it is a fire call, the staff responds with the engine. One of the vehicles remains in the station unstaffed on every incident we respond to due to the limited personnel we have on shift. Once a station commits on a call, the next call for service requires another station or mutual aid to handle the incident.

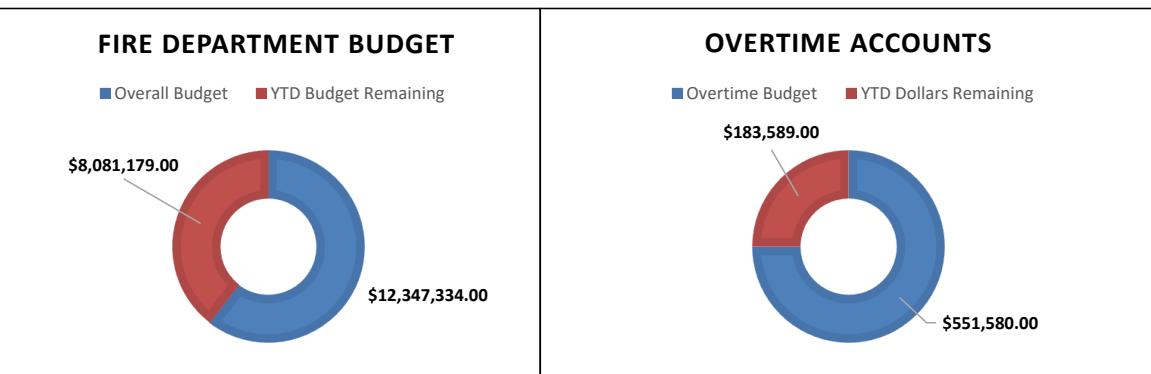


**Lake Zurich - Year To Date -
Fire Value/Save/Loss**



Administration Division

The department continues to work with the Board of Fire and Police Commission (BOFPC) on screening new hire candidates for the three (3) open positions in the department. The screening process requires many hours, including a background interview, follow-up phone calls, neighborhood canvas, and medical and psychological exams. The department anticipates exhausting our budgeted overtime costs but costs decrease once we can bring the new hires on board and have them assigned to shift.



Station 2, 3, and 4 – New Station Signs – Thank you Rural Fire Protection District Trustees!



3 | Page

Dear Chief Pilgard,

I'd like to extend my sincere gratitude for your fine team. Last Friday, while my mother was visiting, we returned home to the sound of a chirping smoke detector. It had already been an arduous day of errands and appointments, so I wasn't thrilled when I discovered I needed to head out once again in the nonstop rain for batteries. After returning and replacing the batteries, the chirping continued. I figured there must have been a bad battery in the bunch, so I replaced them again...more chirping. Next, I watched a couple of YouTube videos in an effort to discover what I was doing wrong. Nothing I watched seemed to identify the problem. So, I called the Deer Park Fire Department (nonemergency number) to ask for advice. The voice on the phone said they would be right over!

Moments later, Lieutenant Keith Hobs, FF/PM Phil Rotstein and FF/PM Kevin Glasder arrived at my door. After trying different batteries, they determined the smoke detector was at the end of its life. It was dated 2013 and I was told nine or ten years is typically how long this sort of equipment lasts. Further, since all units in my home were originally installed at the same time, they encouraged me to replace all of them. But I was delighted (and a bit shocked) when they offered to return once I had purchased the replacements the same day.

An hour later I called the Deer Park Fire Department back and they returned to install all of the new smoke detectors and combo smoke/carbon monoxide detectors more quickly and efficiently than I could ever have dreamed of accomplishing on my own. I'm not sure it's even possible to express how grateful I am. Had I done this myself, I would not have confidence it was done properly.

Lieutenant Keith Hobs, FF/PM Phil Rotstein and FF/PM Kevin Glasder were a Godsend! These fine gentlemen were so courteous and helpful. It was our pleasure to meet them. It is truly comforting to know that they are nearby should a more serious crisis ever arise. Please thank them again.

Most appreciatively,

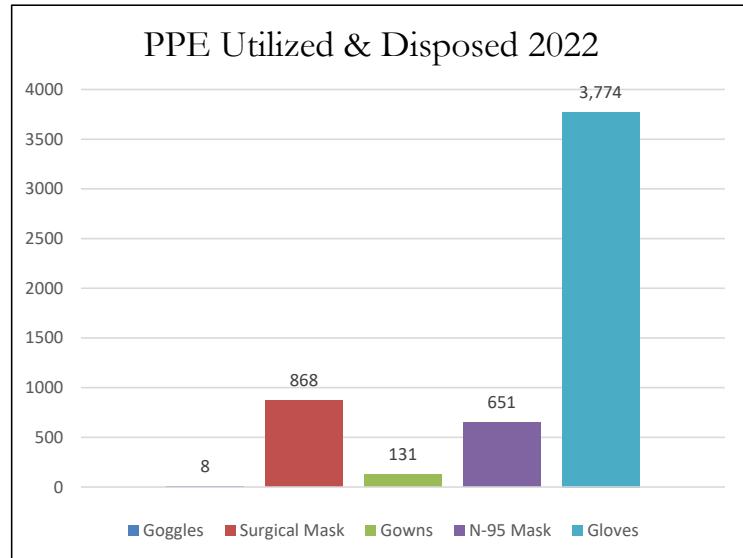
Monica Baber

COVID-19 Updates

We are tracking the Personal Protective Equipment (PPE) that members use and dispose of due to the COVID-19 pandemic.

In May, we issued **5 pairs of safety goggles** and used **170 surgical masks** on patients, **164 - N95 respirators** for our personnel, **18 gowns**, and approximately **976 surgical gloves**.

The graph pictured to the right shows the year-to-date (2022).



After two years of everyone feeling isolated – it is wonderful to have our community being able to come and revisit the fire stations and firefighters!



"The ladies of Brownie Troop 439 (2nd grade @ St. Francis) had an amazing time on their exciting tour on Friday. Your staff was so helpful in setting up and giving the tour. It was truly heartwarming to see them interact with the girls. They communicated and explained things perfectly at exactly the right age-level and kept them engaged and excited about learning about safety the whole time.

On a side note: As a parent, it makes me feel very reassured to know that, should there be an emergency, your staff can communicate and provide a feeling of security to the kids.

*Thank you again!
Sincerely,
Marie, Karen, Laura & the ladies of Troop 439
(Pictured left)*



Our Personnel



Congratulations to Captain Benny Yee & Lieutenant Shaun Stapleton on your promotions! (Pictured above)



Congratulations to the FF/PM Brian Stodola Family! They welcomed their beautiful daughter, Camila Cataleya Stodola, born May 17 at 8:50pm 7.6lbs, 20.5".

Community Focus/Risk Reduction/Public Education

Examples of community focus/risk reduction/public education include but are not limited to; school talks and station tours where a safety message such as stop, drop, and roll is covered. We also monitor fire and severe weather drills in schools and educate children about fire safety. Also, we teach exit drills in the home to middle school students and provide CPR/First-Aid training.

Pictured below is a Fire Truck Engine Ride to School.

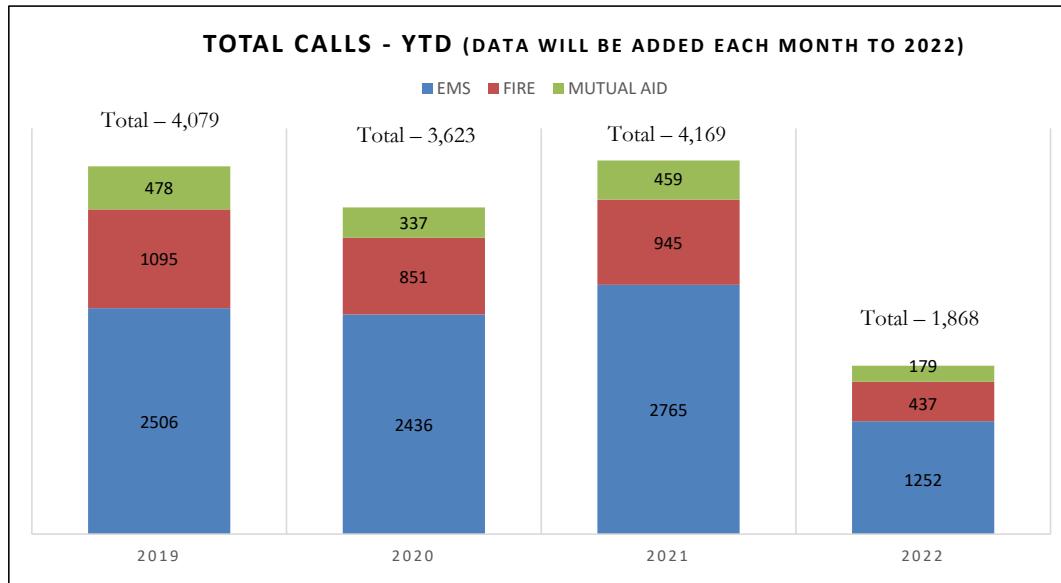


Operations Division

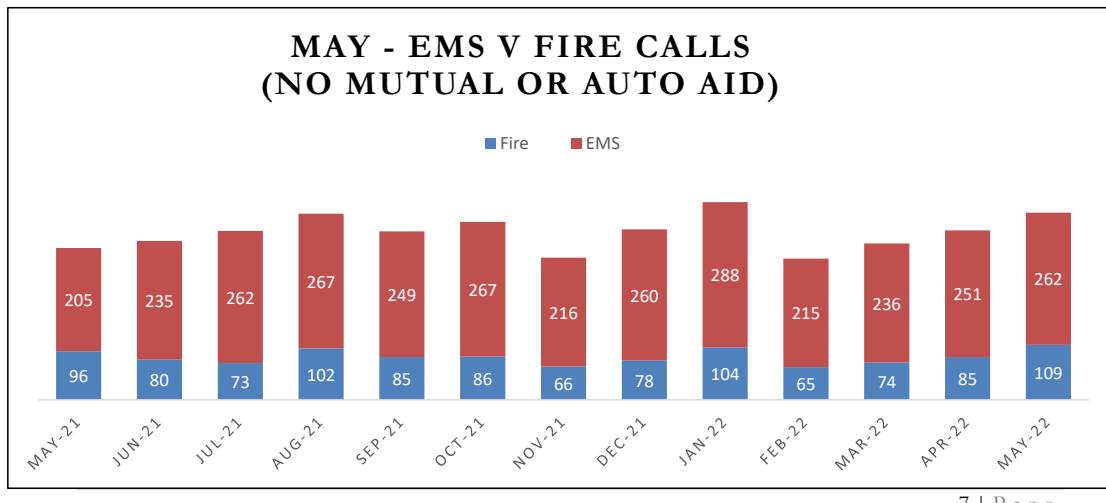
Vehicles Out of Service

- During May, the following vehicles were out of service due to maintenance, repairs, or breakdowns:
 - Ambulances – 70.93 hours
 - Engines – 20.50 hours
 - Year-To-Date Hours:

Ambulances: **159.18 hours** | Engines: **1,016.58 hours**

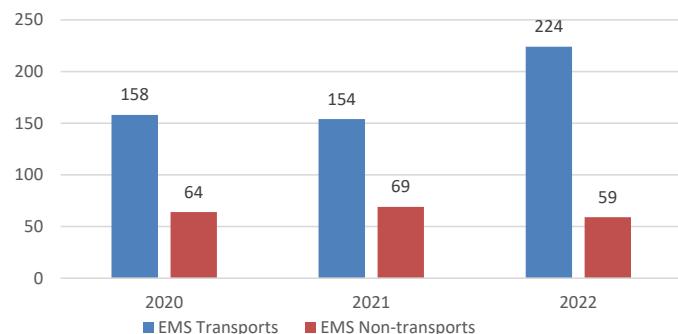


Below is the breakdown of Fire versus EMS incidents in Lake Zurich – minus aid given. Our fire calls include structure fires, car fires, grass fires, dumpster fires, wires down, and other types of service calls.



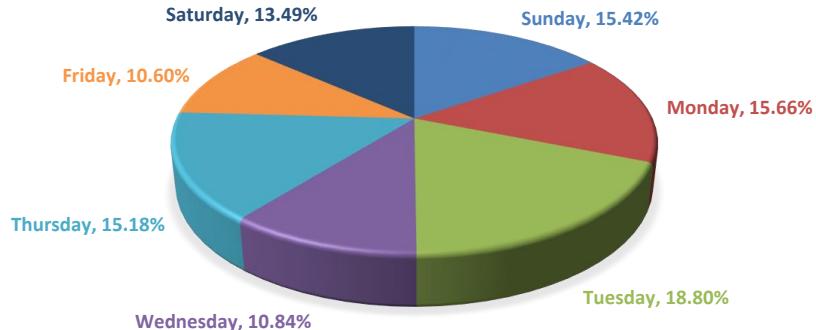
The following chart reflects activity related to emergency medical services, a core function of the fire department — not every EMS call results in transport. A prime example of this is an automobile accident where several victims refuse transport. EMS transports always outpace refusals. This chart compares the month of May across 3 years. The trend is consistent with the data period. These numbers represent the patients seen.

EMS Transports vs Non-Transports - (Patients)
Monthly 3 year - Comparison

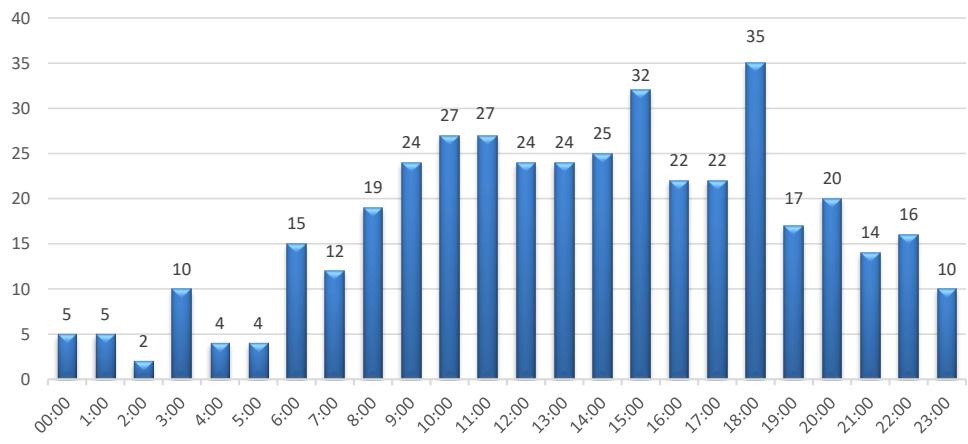


The following two charts break down calls by the day of the week and hour of the day.

RESPONSE BY DAY OF WEEK - MAY



RESPONSE BY HOUR OF DAY - MAY



STATIONS & STAFFING | OFFICER FIREFIGHTER/PARAMEDIC

STATION 1

321 S. Buesching Road
Lake Zurich, IL 60047

APPARATUS & STAFFING BATTALION 32



STATION 2

350 W. Highway 22
North Barrington, IL 60010

APPARATUS & STAFFING

ENGINE 322
AMBULANCE 322



STATION 3

1075 Old McHenry Road
Lake Zurich, IL 60047

APPARATUS & STAFFING

ENGINE 323
AMBULANCE 323



STATION 4

21970 Field Pkwy
Deer Park, IL 60010

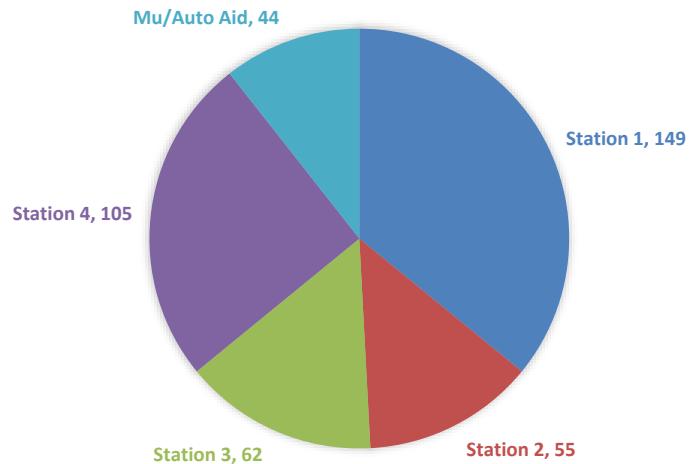
APPARATUS & STAFFING

ENGINE 324
AMBULANCE 324



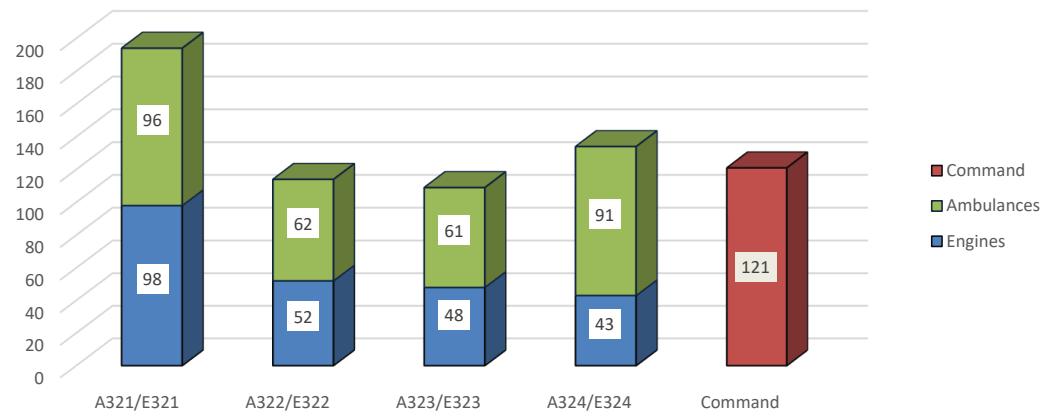
The graph below represents the percentage of calls by each station and mutual/auto aid for May 2022. The chart does **not** represent the station that responded as the primary resource to the area – it means where the call originated. Station 1 is historically the busiest district.

ORIGIN OF CALLS - MAY, 2022

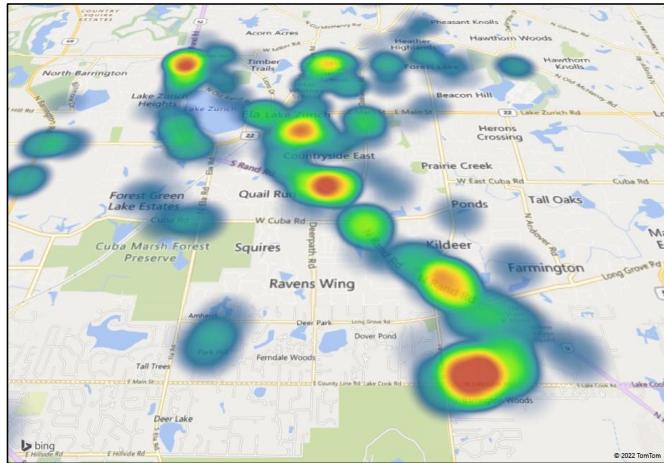


The graph below shows the responses by each unit – Ambulances, Engines, and Command Officer – in May

Total Unit Responses - Ambulances, Engines, & Command Officer



The following graphic is a visual representation of call distribution for May. As visually displayed, the assisted living/memory care facilities are a large portion of our department calls and are consistently within the top ten locations responded to each month. We frequently respond to doctor offices, health clinics, and automobile accidents near the Route 12 corridor.



Frequent Call Locations:

- 21840 Lake Cook Road – Deer Park Village Senior Living – 19 responses
- 795 N. Rand Road – Azpira Place of Lake Zurich – 14 responses
- 21481 Rand Road – Northwest Community Healthcare – 8 responses
- 900 S. Rand Road – Avantara Health Care Center of Lake Zurich – 8 responses
- 777 Church Street - Cedar Lake Assistant Living - 8 Responses

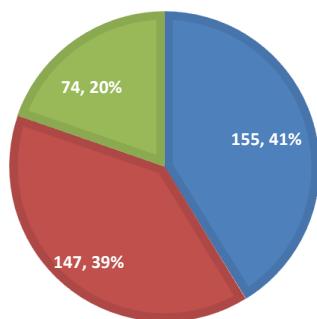
Mutual/Auto Aid Response

Year to Date –

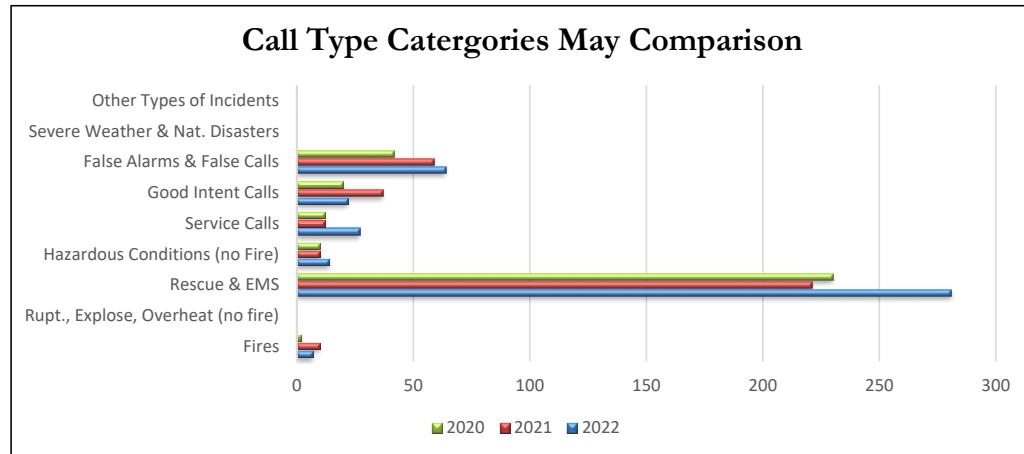
The mutual aid agreements are designed not to overburden any agency and are looked at carefully for necessary adjustments. Run cards for the Department have changed, and our partners respond to assist us more often. In May, we responded to **44 mutual aid calls and returned 16 times** before arrival. The chart to the right shows YTD Aid Given/Received and how many times LZ returned before their arrival. Many of our response incidents do not require intervention from the LZPD 911 center through automated dispatching and resource sharing. They are handled by the agency requesting our response — direct cost savings to our budget and an added benefit of the automated dispatch system.

AID GIVEN/RECEIVED - YEAR TO DATE TOTAL

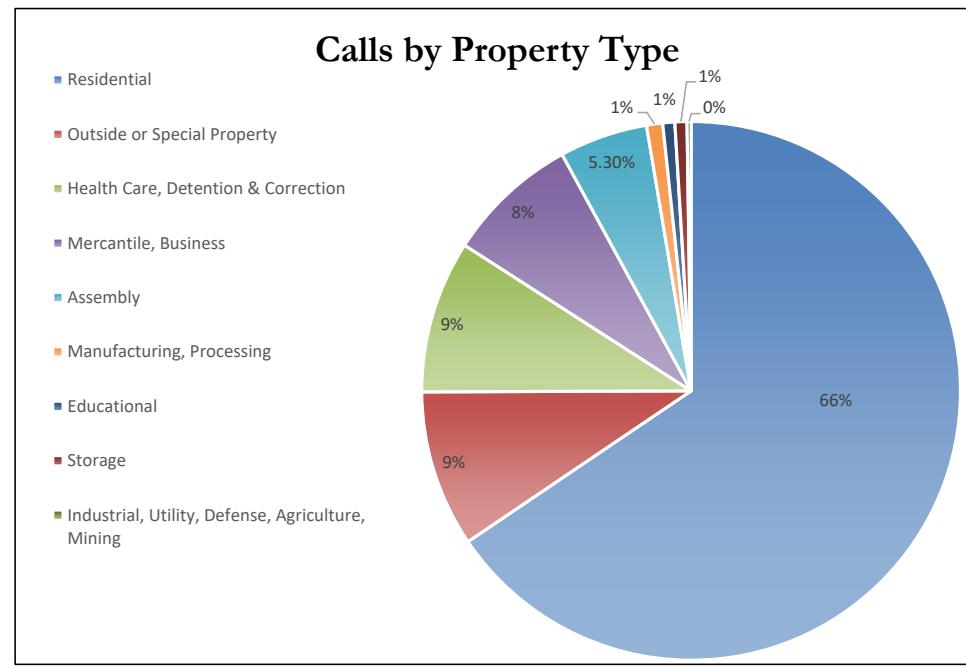
■ Aid given ■ Aid Received ■ LZ Returned



All calls we code as a department within the National Fire Incident Reporting System (NFIRS). The codes all relate to the text categories noted in the chart below. As indicated below, you will see that the trends remain mostly the same across the three years. As shown below, rescue and EMS incidents account for most calls we respond to and continue to increase.

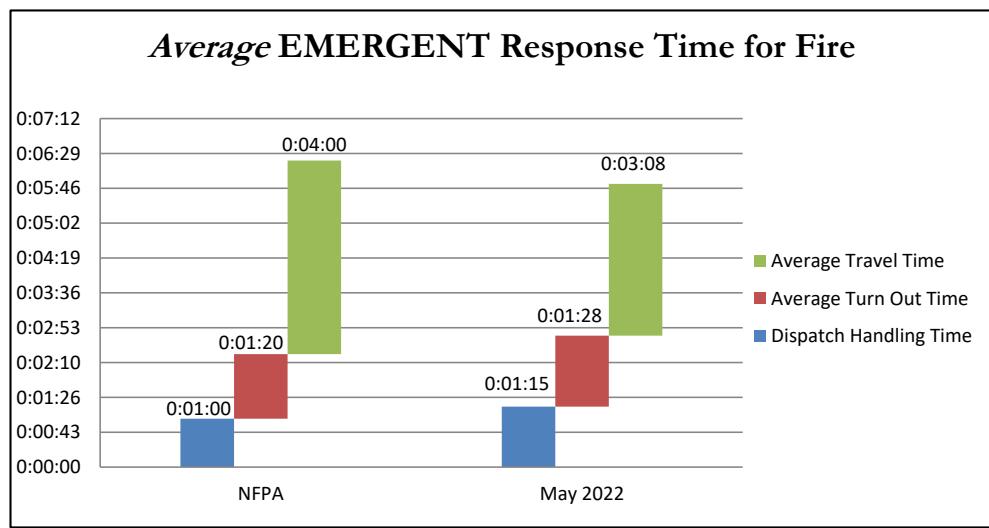
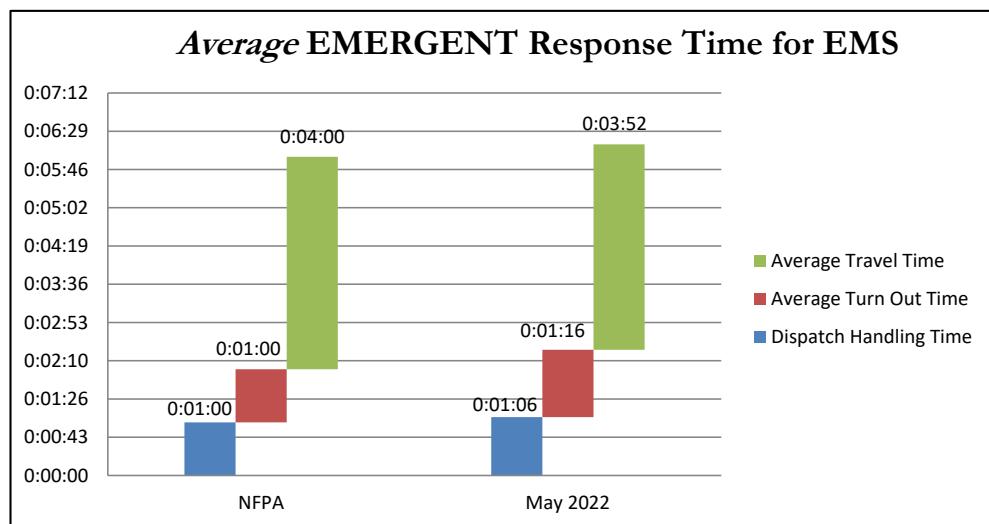


As previously mentioned, there is a national standard for coding the type of property use. How is this relevant? We see trends in various occupancies and use them to determine our service demand. For example, the healthcare category would increase if additional assisted living or nursing homes were open. As shown below, we continue to respond to Residential Properties more than any other (66%), and Outside/Special Property and Health Care were second with (9%) of all calls.



Response time includes three key factors: dispatch handling, turnout, and travel time. Dispatch handling time is when dispatch takes in information and then dispatch personnel. The turnout time is when the crews receive the call to the time they get into the vehicles and hit the enroute button. Travel time reflects the time from en route to when they arrive at the incident scene. Construction, speed limits, weather, and train traffic can impact response times. The overall goal for arrival at an emergency fire call is 6 minutes and 20 seconds from the time of notification until the first unit arrives on the scene. For a response to an EMS incident, this time is 6 minutes.

The following two graphs compare the average emergency response times for Fire and EMS calls within our first arriving unit's primary response area. These times will vary based on the first responding unit's location, multiple calls, weather, time of day, and traffic conditions. *Dispatch handle times have increased after switching to the new CAD system and delays caused by processing an alarm. The ETSB and Infor continue to work on the issue.



Training Division

During May, we completed the following shift training:

Officer Training – Members, completed officer training on handling routine emergencies.

SCBA – Members completed training on SCBA Rules of Air Management.

EMS Continued Education – Paramedics completed mandatory training on the new NCH EMS SOG's.

Pediatric Cardiac Care – Paramedics completed training on treating a pediatric patient with cardiac issues.

Dry Hydrant Testing – Crews flow tested dry hydrants and pre-planned them for setting up an effective water supply.

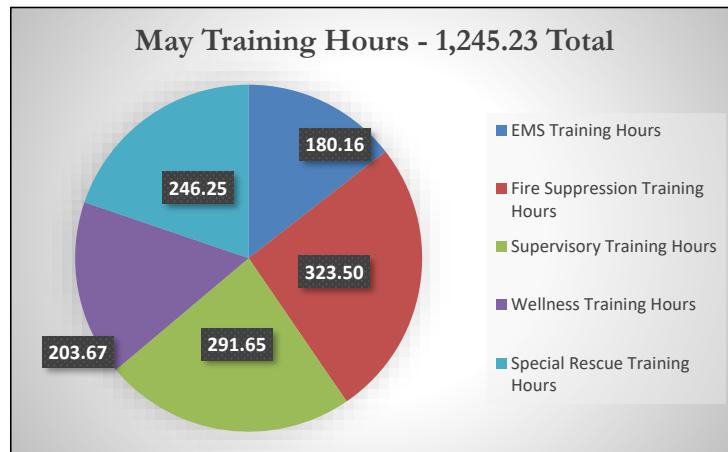
Stand Down for Mental Health – Members participated in the IRMA Mental Health webinars.

Pre-Plans – Members reviewed the pre-plans of several target hazards to familiarize themselves with the building and associated risks.

Company Needs – Company Officers evaluated their crew and based the training on their company's needs. This included department SOG review and Daily Training Bulletin completion.

Weekly Equipment Review – Crews review department equipment and ensure they can operate properly and effectively.

Probationary Program – Probationary members worked on completing Probationary Program.



The following members attended Outside Training:

FF/PM Hall completed the final 80 hours of the OSFM Fire Investigation class.

Lieutenant Wascow, FF/PM Campbell & FF/PM Penkava completed 16 hours of training during the Online Hazmat Conference.

Deputy Chief Christopherson completed the 8-hour EOP Development class.

FF/PM Boeckmann completed the 40-hour Leadership Development & Decision-Making class.

Deputy Chief Kelly & Deputy Chief Christopherson attended the 3-day Station Design Conference.

Fire Prevention Bureau Division

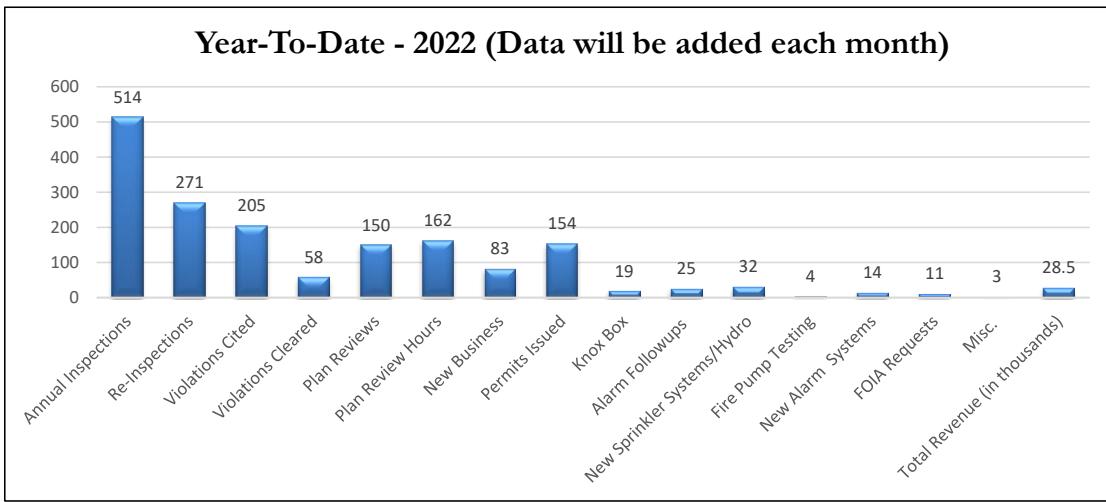
May saw the return of fire drills and school visits. Pictured to the right is an engine and Bureau visit to the Issac Fox Elementary School first-graders, where we discussed fire safety and showed equipment to over 90 first-grade students and teachers.

The below picture is from the Lake County Fire Expo. Fire Prevention Specialist Bob Kleinheinz was pleased to 'MC' the Fire Sprinkler Live Burn Demo to nearly 300 people. The Lake Zurich Fire Department also provided our public education Fire Pole, which was busy all day.



MAY 2022 ACTIVITIES

- Mutual Aid Fire Investigation to Mundelein Fire Department
- Dry Hydrant work for Chief Pilgard
- Monthly Fire Inspector meeting & training
- 4 School Fire Drills
- Construction Meetings
 - Deer Park Licia
 - The Reserve 6th floor build-out
 - Higher Ground School
 - 35 West Main
 - Lake Zurich School District projects
 - Lifetime





MABAS Divisions 4 & 5 SPECIALIZED RESPONSE TEAMS

Coordinating Fire Department Specialized
Response Services Across Northeastern
Illinois and Southeastern Wisconsin



ANNUAL REPORT
2021

The MABAS Divisions 4 & 5 Specialized Response Teams (SRT) is an intergovernmental cooperative organization responsible for the coordination of specialized response services for the fire departments and districts that belong to Divisions 4 and 5 of the Mutual Aid Box Alarm System (MABAS). SRT coordinates training, qualifications, equipment and resources for its teams, which include the following:

Hazardous Materials Team
Mechanics Team
Technical Rescue Team
Water Rescue & Recovery Team
(Dive, Sonar & Swiftwater)
Wildland Task Force

Organizational Leadership

JOINT ADMINISTRATIVE COUNCIL

The Joint Administrative Council (JAC) is the governing body responsible for the oversight and management of the MABAS Divisions 4 & 5 SRT. It is comprised of three chiefs from each of the member MABAS Divisions.

2021 JAC members were:

Rich Carani, Chairman
 (Libertyville Fire Department)

Steve Spraker, Vice-Chairman
 (McHenry Township Fire Protection District)

Greg Formica, Secretary/Treasurer
 (Greater Round Lake Fire Protection District)

Mike Hill
 (Woodstock Fire/Rescue District)

Bob Kreher
 (Fox River Grove Fire Protection District)

Jeff Steingart
 (Wauconda Fire Protection District)

ADMINISTRATIVE COORDINATOR

Christina Loomis

OPERATIONS CHIEFS

Kevin Cronin, Division 4
 (Lake Forest Fire Department)

Chris Williams, Division 5
 (Crystal Lake Fire Rescue Department)

A Message from Administrative Coordinator Christina Loomis

After the challenging year we faced in 2020, 2021 gave SRT an opportunity to refocus on the goals and objectives outlined in our Strategic Plan. First and foremost, at the beginning of the year, we restructured our Joint Administrative Council meetings to incorporate our team leaders/coordinators into every meeting. We also created an internal Training Committee to discuss ways to improve training for all our special teams – including looking for possibilities for cross-discipline training. SRT also continued our succession planning efforts, adding seven new team leaders/coordinators across four of our special teams.

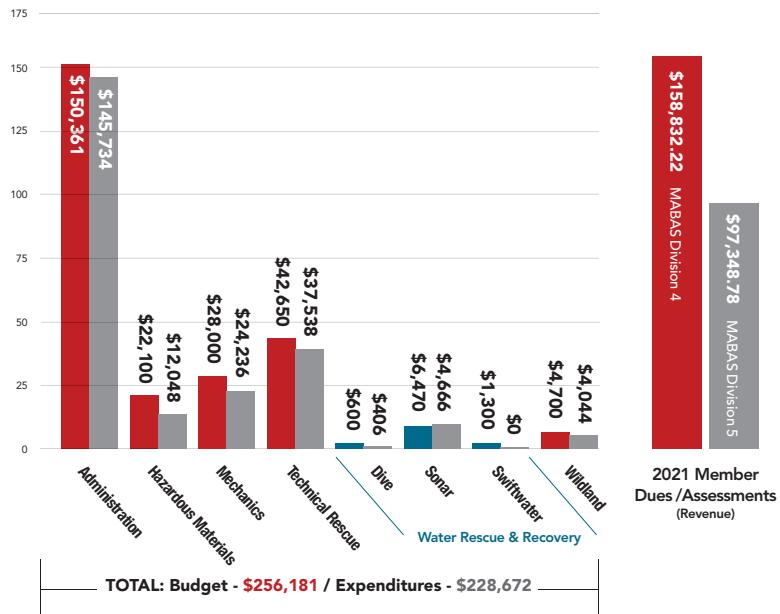
One of SRT's most significant accomplishments in 2021 was the creation and production of two videos to promote SRT – one to market the organization and one to recruit new team members. The need for these videos was outlined in our Strategic Plan as the ideal way to educate the public, elected officials and individuals within our member fire departments about the purpose and cooperative structure of SRT. We are confident it will be a great tool for all our member agencies to use in the future.



Another important accomplishment was the creation of SRT's first, comprehensive 5-Year Capital Improvement Plan (CIP). Using the information from the team inventories completed in 2020, SRT drafted a CIP document covering all its special teams and the administration and presented it to both member MABAS divisions. The plan was approved unanimously by both MABAS Division 4 and MABAS Division 5. Moving forward, this document will be updated on an annual basis and incorporated into SRT's annual budget development process.

As a result of the ongoing COVID-19 pandemic, providing special team training did continue to be a challenge in 2021. When COVID-19 case numbers rose throughout the year, SRT leveraged Zoom to provide targeted on-line/classroom training or team updates for many of our special teams. As part of our annual review of SRT's Standard Operating Guidelines (SOGs), we also incorporated greater flexibility into the annual training requirements to ensure our team members can stay current on all their essential knowledge and skills. We remain hopeful that 2022 will be another productive year – and that we will continue to improve as an organization as we take on new goals and objectives from our Strategic Plan.

2021 Operating Budget and Expenditures



Scan QR Code
to Watch the
SRT Story Video



Team Responses

There were 18 SRT incidents in 2021 and a total of 30 team responses (some incidents required a response by multiple teams). Out of those 18 incidents, teams were cancelled enroute for five of them.

Hazardous Materials	3
Mechanics	6
Technical Rescue	0
Water Rescue & Recovery	
Dive	6
Sonar	10
Swiftwater	0
Wildland	5
TOTAL 30	

Team Membership 12/31/21

Hazardous Materials	78
Mechanics	20
Technical Rescue	75
Water Rescue & Recovery	
Dive	102
Sonar	37
Swiftwater	45
Wildland	22
TOTAL 379	

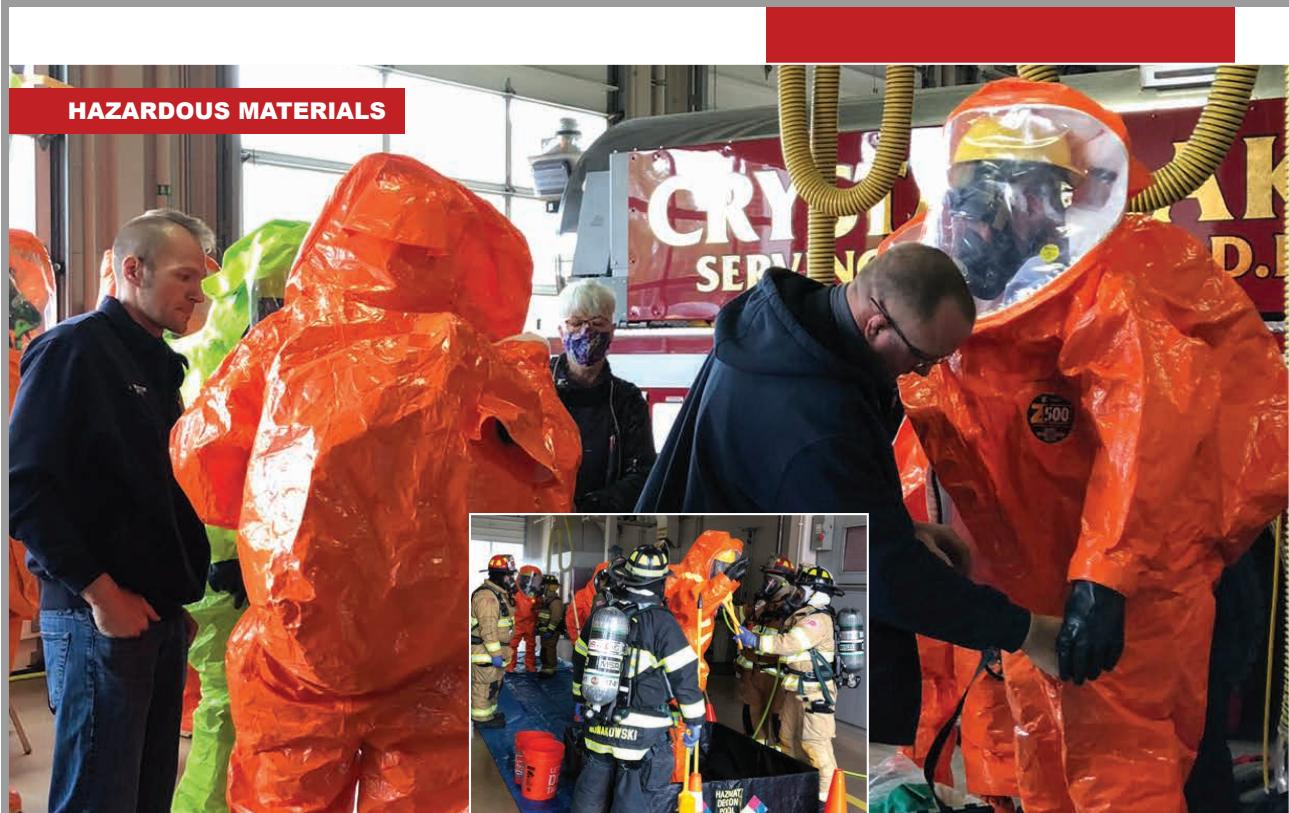
SRT Coordinated Trainings

Hazardous Materials	47
Mechanics	22
Technical Rescue	78
Water Rescue & Recovery	
Dive	36
Sonar	16
Swiftwater	22
Wildland	16
TOTAL 237	

Team Member Training Hours (SRT)**

Hazardous Materials	2,119
Mechanics	270
Technical Rescue	1,764
Water Rescue & Recovery	
Dive	831
Sonar	436
Swiftwater	258
Wildland	363
TOTAL 6,041	

** Please note that these figures only include SRT coordinated training. Team members also complete elective/department training throughout the year within their specialty, which is not reflected here.



Hazardous Materials Team

Responsible for controlling and mitigating hazardous materials incidents, including identification, assessment, containment/confinement and decontamination.

2021 Statistics

Team Members	78
SRT Coordinated Trainings	47
SRT Training Hours.....	2,119

2021 Highlights

Appointed four team members to leadership positions across both MABAS divisions.

Created new, easier to use inventory sheets for HazMat 4 and HazMat 5.

Inventoried and streamlined Decon 4 to make it easier to deploy for training and incidents.



HAZARDOUS MATERIALS



TECHNICAL RESCUE

Mechanics Team

Responsible for supporting all other teams during both training and incidents, by ensuring all assets (vehicles and equipment) are operating properly and reliably on a day to day basis.

2021 Statistics

Team Members	20
SRT Coordinated Trainings	22
SRT Training Hours.....	270

2021 Highlights

Modified the exterior of HazMat 4 with new lettering/striping/logos to match the rest of SRT's assets.

Repainted and modified the Division 5 TRT container.



Completed the set-up, take down and cleaning of the Division 4 deployment tent for use at a COVID-19 vaccination clinic in Gurnee.



Technical Rescue Team

Responsible for managing special rescue situations in the areas of rope rescue, confined space, structural collapse and trench rescue.

2021 Statistics

Team Members	75
SRT Coordinated Trainings	78
SRT Training Hours.....	1,764

2021 Highlights

Replaced the team's rope rescue equipment in both MABAS divisions.

Replaced most of the team's trench shoring equipment to improve safety (single manufacturer).

Appointed a new Trench Discipline Support Leader.



Water Rescue and Recovery Team

Responsible for all incidents involving bodies of water and includes three disciplines: dive, sonar and swiftwater.

Dive

Responsible for the rescue and/or recovery of drowning victims (often also assists with evidence recovery).

2021 Statistics

Team Members	102
SRT Coordinated Trainings	36
SRT Training Hours.....	831

2021 Highlights

Appointed a new Dive Coordinator for MABAS Division 5.

Participated in a large-scale terrorism exercise in Chicago with teams from other MABAS divisions.

Sonar

Responsible for searching bodies of water for victims and/or evidence using both side and sector scan equipment.

2021 Statistics

Team Members	37
SRT Coordinated Trainings	16
SRT Training Hours.....	436

2021 Highlights

Appointed a new Assistant Sonar Coordinator for MABAS Division 5.

Trained 14 new team members in the spring.

Purchased a new computer and two new monitors for the sonar boat.



DIVE



SONAR

Responsible for incidents involving swift moving or flood water.

2021 Statistics

Team Members	45
SRT Coordinated Trainings	22
SRT Training Hours.....	258

2021 Highlights

Utilized on-line Zoom training to present a review of swiftwater basic skills.

Participated in a large-scale terrorism exercise in Chicago with teams from other MABAS divisions.

WILDLAND**Wildland Task Force**

Responsible for mitigating fires in the wildland urban interface, especially forest preserves, heavily wooded areas and/or open spaces.

2021 Statistics

Team Members	22
SRT Coordinated Trainings	16
SRT Training Hours.....	363

2021 Highlights

Responded to the Rockton chemical plant fire to assist in mitigating brush fires.

Placed new equipment into service including two portable pumps and forestry hose packs.

**SWIFTWATER**

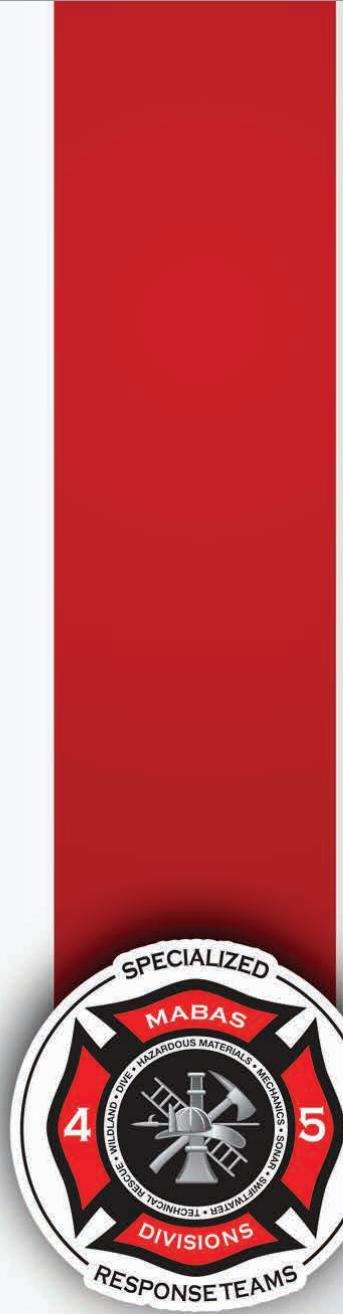
MEMBER AGENCIES

MABAS Division 4

- Abbott Fire Department
- AbbVie Industrial Fire Department
- Antioch Fire Department
- Barrington Fire Department
- Barrington Countryside Fire Protection District
- Beach Park Fire Protection District
- Buffalo Grove Fire Department
- Countryside Fire Protection District
- Deerfield-Bannockburn Fire Protection District
- Fox Lake Fire Protection District
- Grayslake Fire Protection District
- Great Lakes Naval Fire Department
- Greater Round Lake Fire Protection District
- Gurnee Fire Department
- Lake Bluff Fire Department
- Lake Forest Fire Department
- Lake Villa Fire Protection District
- Lake Zurich Fire/Rescue Department
- Libertyville Fire Department
- Lincolnshire-Riverwoods Fire Protection District
- Long Grove Fire Protection District
- Mundelein Fire Department
- Newport Township Fire Protection District
- North Chicago Fire Department
- Pleasant Prairie Fire & Rescue Department (WI)
- Wauconda Fire Protection District
- Waukegan Fire Department
- Wheeling Fire Department
- Winthrop Harbor Fire Department
- Zion Fire & Rescue Department

MABAS Division 5

- Algonquin-Lake in the Hills Fire Protection District
- Cary Fire Protection District
- Crystal Lake Fire Rescue Department
- Fox River Grove Fire Protection District
- Harvard Fire Protection District
- Hebron-Alden-Greenwood Fire Protection District
- Huntley Fire Protection District
- Marengo Fire Protection District
- McHenry Township Fire Protection District
- Nunda Rural Fire Protection District
- Richmond Township Fire Protection District
- Spring Grove Fire Protection District
- Union Fire Protection District
- Wonder Lake Fire Protection District
- Woodstock Fire/Rescue District



MABAS Divisions 4 & 5 SRT

20 W. North Street
 Hainesville, IL 60030
 (847) 587-8012
 cloomis@srtillinois.org
 srtillinois.org



PARKS & RECREATION DEPARTMENT

MONTHLY INFORMATION REPORT

May 2022

HIGHLIGHTING DATA METRICS
TO IDENTIFY OPERATIONAL TRENDS
AND
FACILITATE INFORMED DECISION MAKING

70 E. MAIN STREET
LAKE ZURICH, IL 60047

Departmental Narrative

The department is preparing for event season. The Lake Zurich Farmers Market will open on Friday, June 3rd and remain open until September 9th (with an abbreviated smaller market to be held on the Fridays of September 16th and 23rd) at Paulus Park featuring over 30 vendors, weekly artisans, live music, a variety of hot food vendors, recycling at the welcome booth and pet rescues. Other highlights at the market this season will be the Oscar Meyer Weinermobile's return on Friday, June 24th and the annual Kids Yard Sale at the market on August 5th. Thank you to our sponsors for the market: Gold Sponsor- Lake Zurich Tire & Auto Inc, Silver Sponsors- DipStick Oil Change, LRS and Stephanie Seplowin, Coldwell Banker and Bronze Sponsors- McDonalds/Mendez-Lawrence-Herrera and Medical Murray.

The department is also preparing and promoting the Movies in the Park series which begins on Friday, June 17th at Paulus Park at 8:30pm featuring Sing 2 (Sponsors for the event are Silver Sponsor, Lake Zurich Tire and Auto Inc. and Bronze Sponsors Martin Enterprises Heating and Air Conditioning) and the Dick Schick's 30th Annual FREE Community Fishing Derby held on Sunday, June 19th at Paulus Park from 9am-12pm (no registration necessary; free IDNR fishing weekend so no license is required). Block A Food Truck Socials began a week off schedule due to bad weather on the opening date of May 25th. They will continue to run at the Block A property thru September from 4-7pm. A new feature monthly, the last Wednesday of June, July and August, will be the feature of Groove Grove set to have live entertainment and a handful of artisans showcasing the products and talents to the community along the Promenade. Thank you to Lake Zurich Tire & Auto Inc. for being our Silver Event Sponsor. In addition to our free events, we are also preparing for over 8,000 to come out and enjoy the annual July Celebration at Paulus Park to be held on Monday, July 4th. The free park entry and paid beach entry are open to the public at 10am. Day long activities include food truck/vendors, \$5 open carry wristbands (proof of age required), a DJ and two live local bands, Out of Storage (4pm) and The Rave (7:15pm) followed by a firework display from Lake Zurich at approximately 9:15pm. Thank you to our event Silver Sponsors- Alpine Runners, Lake Zurich Tire and Auto Inc., and LRS.

The department has finalized all hiring and orientation for seasonal aquatics and camp staff. As a reminder, all aquatics staff is American Red Cross Lifeguard certified (we retain a Lifeguard Instructor on staff) and our camp staff undergoes approximately 30-40 hours of camp training each year prior to the start of the program (includes behavior management, disability awareness, sensitivity training, child abuse prevention, CPR, AED, First Aid and more). The department is still accepting registration for variety camps, post camp (week of 8/5-8/9) and Kamp Kiddie (preschool) as all other camps were filled as of mid-March. Staff are still continuing to monitor wait listed individuals and have been able to accommodate them as space becomes available. The first official week of camp is Monday, June 6th. Thank you to our Program Sponsor, Martin Enterprises Heating and Air Conditioning for providing all the camper t-shirts for the season.

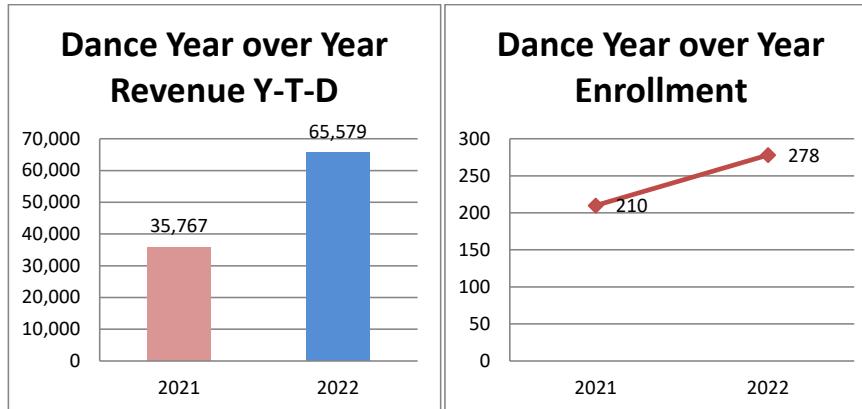
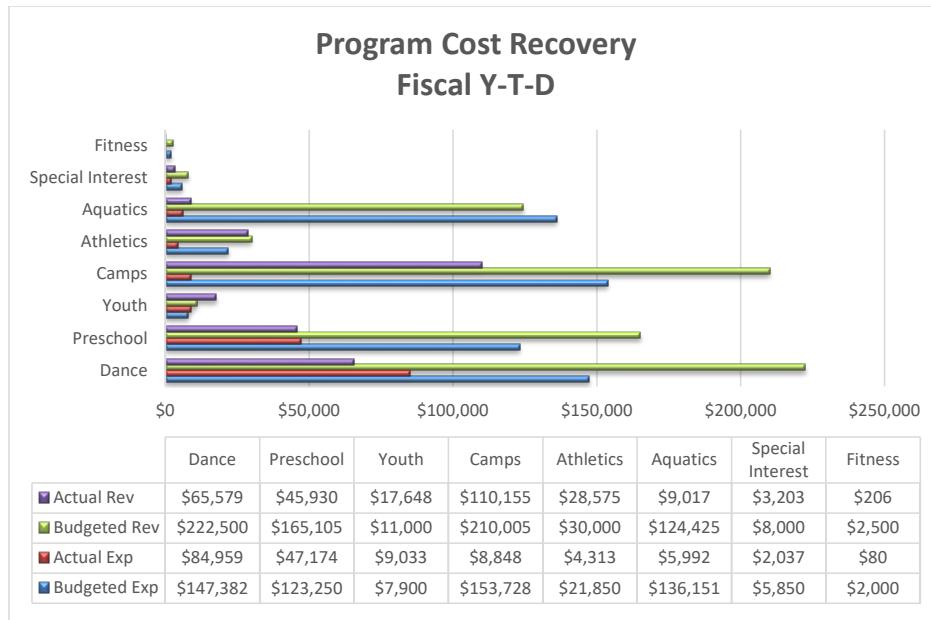
Paulus Park Beach opened for preseason hours as of May 28th and Breezewald Beach opened for preseason hours on May 31st. The department did confirm that lake levels are conducive to utilizing the Wibit inflatables this season, however, we are waiting to determine if we will have enough staff to safety facilitate their use (structures require 5 additional staff per day while in

operation during regular season). The department is running 3 lifeguarding courses at the beginning of June thru mid-June for the new lifeguard hires. We hope to not lose any new hires to other local job opportunities or to not passing their American Red Cross Lifeguard (LG) course. To open the structures, we need 14 lifeguard shifts to be covered per day and will not have that unless we receive more applicants and all current new hires fully commit and pass their LG tests. The department plans to announce the status of Wibits at Paulus Park Beach the week of June 20th with the units to possibly open the week of July 5th.

The Park and Recreation Advisory Board is continuing their work on the development and implementation of a donation policy and the Give Where You Live program. The donation policy is to establish guidelines, standards and procedures for the installation and care of donations for Village Parks, either as a result of a cash or physical property donation from private and/or public entities. The Give Where You Live program's purpose is to expand and further create awareness of giving opportunities to Village of Lake Zurich parks, natural areas, recreation programs and program participants in need within our community. Establishing a program that encourages further investments into our parks, programs and people benefits the community as a whole. In addition, Cathy Malloy, Park and Recreation Advisory Board member, is working with the department on the Picture on a Playground community engagement piece for the Summer. From May 30th-August 6th, the Village will release a weekly photo of one of our park playgrounds encouraging residents to get up, get out and get active at our parks. Residents are to share a photo of themselves checking in at that exact park location to win a free youth daily beach pass to Paulus Park as well as entry into an end of season raffle basket. Submissions will be posted on the Village's FB (or sent directly to Bonnie Caput in the case that residents ask for the photos to remain private).

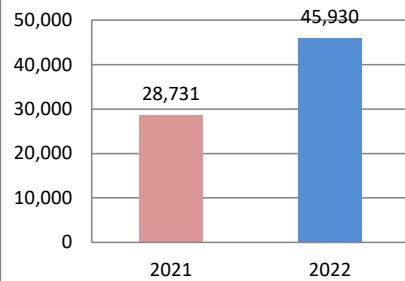
The department is continuing to work with the Public Works team to complete a variety of projects including prepping program and beach areas for the Summer season, park visit work orders, OSLAD approved projects (variations and signage), the Chalet deck replacement, parking lot renovation at Buffalo Creek, basketball court renovation at Oak Ridge Park and Barn renovation outstanding punch list items (ie. elevator and upper level windows).

The department has received Village Board approval for the following special event to operate their special events on Village property the remainder of 2022 Stephen Siller Tunnel to Towers 5K (6/12), Block A Food Truck Socials (Wed. 5/25-9/28), LZ Tri (7/10), Unplugged Fest (8/7), Taste of the Towns (8/14), Boys Scout Overnight (8/20-8/21), Alpine Races (8/21), Brazilian Festival (8/27-8/28) and All Community Event's Jack O Lantern World (Thurs-Sun entire month of Oct). The only other external partner the Village is still anticipating an application from is Phase 3's Bushel of Apples Fest. The department will continue their collaboration with Fishing Derby (TBD; awaiting free weekend fishing dates from the IDNR), and the Ancient Oaks Foundation quarterly community events. Further details on both Village sponsored, external and internal events can be found in our seasonal program brochure, online or by contacting the department.

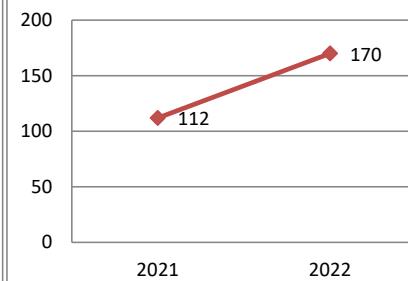


Dance programs include Ballet/Tap, Pointe, Jazz, Company, Lyrical, Hip Hop, Mom & Me classes, etc. The Academy of Performing Arts also offers summer camp/class options. Registrations above are only reflective for registrations taken to join the dance program for 2nd semester and recital ticket sales.

Preschool Year over Year Revenue Y-T-D

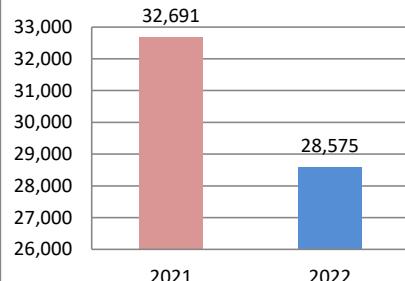


Preschool Year over Year Enrollment

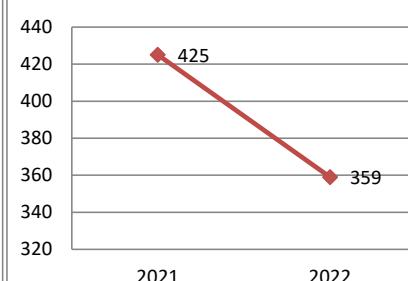


Preschool includes Terrific Twos, Just for Me Almost 3, Lunch Bunch and enrichment programs, Preschool (3yrs-4yrs). Classes in Winter/Spring 2020 operated daily in three locations: The Barn, St. Peter's Church and Buffalo Creek. Classes for Winter/Spring 2021 were condensed to operate daily at 1 location due to lower enrollment: Buffalo Creek. Due to increased need and enrollment, Fall 2021 includes operations at both the Paulus Park Barn and Buffalo Creek locations.

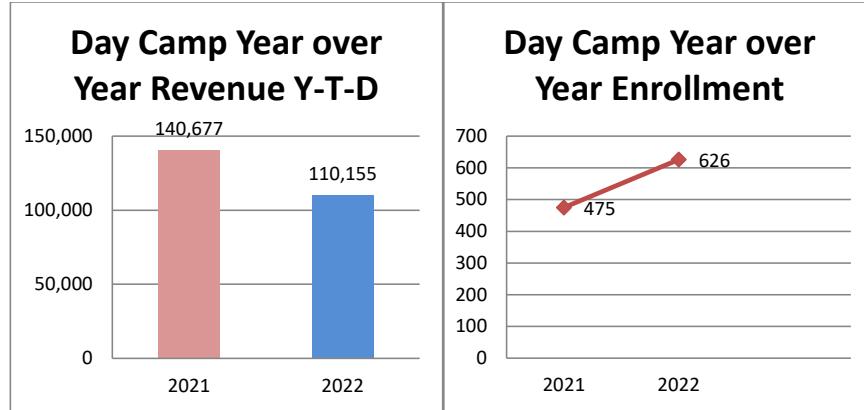
Athletics Year over Year Rev Y-T-D



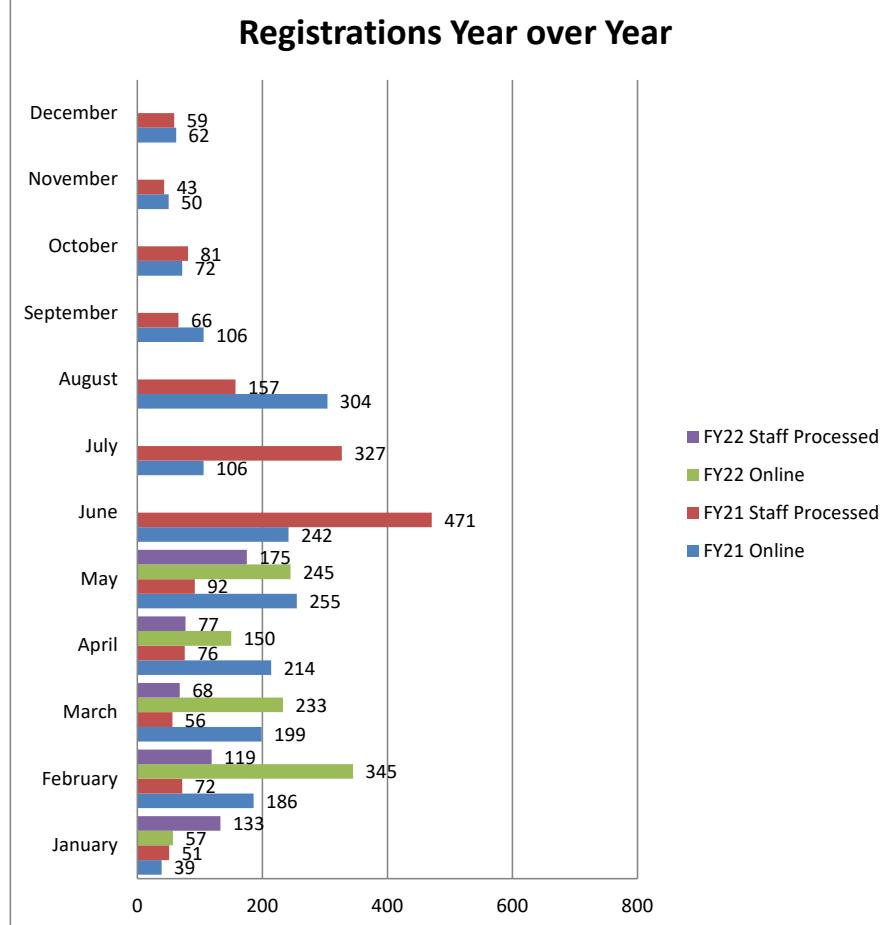
Athletics Year over Year Enrollment



Athletic programs include the following independent contractors: tennis, tae kwon do, golf, soccer, horseback riding, agility training, and youth/parent child sports. There has been a dip year over year due to contractor's instructor availability.



Day camp includes Kamp Kiddie (ages 3-5), Camp Alpine (grades 1st-5th) and Teen Camp (grades 6th-8th) as well as daily lunch punch cards and specialty weekly camps.



Online registration is available to all residents and non-residents enrolling in programs. Beach membership and facility rentals must be made in person at the Barn. Payments made at the beach are NOT included in these numbers. Numbers do not include processing for refunds, credits, POS and rentals.