

VILLAGE OF LAKE ZURICH
Board of Trustees
70 East Main Street

Monday, April 7, 2014, 7:00 p.m.

AGENDA

1. **CALL TO ORDER**
2. **ROLL CALL:** Mayor Thomas Poynton, Trustee Jim Beaudoin, Trustee Jeff Halen, Trustee Mark Loewes, Trustee Steve O'Connor, Trustee Jonathan Sprawka, and Trustee Dan Stanovich.
3. **PLEDGE OF ALLEGIANCE**
4. **PUBLIC COMMENT**
(This is an opportunity for residents to comment briefly on matters included on the agenda and otherwise of interest to the Board of Trustees.)
5. **PRESIDENT'S REPORT**
(This is an opportunity for the Mayor to report on matters of interest to the Village.)
 - A. **Oath of Office for Police Chief Steve Husak**
 - B. **Proclamation: Distracted Driving Month** **April, 2014**
 - C. **Proclamation: Alcohol Awareness Month** **April, 2014**
 - D. **Proclamation: Telecommunicator Week** **April 13 - 19, 2014**
 - E. **Community Update**
6. **CONSENT AGENDA**
(These titles will be read by the Village Clerk and approved by a single Roll Call Vote. Any item may be pulled from the Consent Agenda for discussion by any member of the Board)
 - A. **Approval of Minutes of the Village Board Meeting, March 17, 2014**
 - B. **Fireworks Contract with Five Alarm Fireworks Company in the Amount of \$26,000**

Summary: The RFP process for the annual 4th of July fireworks display over Lake Zurich received a response from Five Alarm Fireworks Company, who is proposing to launch their shells from a barge, as was done for the first time in 2013.
 - C. **Prospect Bank Corporate Authorization Resolution**

Summary: The attached resolution authorizes four signers within the Village to properly manage public funds held at Prospect Bank. While the bank has these four individuals listed on file, they require a formal resolution for their records.

Recommended Action: Motion to approve the Consent Agenda as presented. (Roll Call Vote)

7. OLD BUSINESS

(This agenda item includes matters for action by the Board of Trustees.)

A. Review of Block A Memorandum of Understanding (Trustee Loewes)

Summary: At the February 18th meeting, the Village Board heard a presentation from Harbour Contractors on their qualifications for a Block A development. A draft Memorandum of Understanding has been developed and is being proposed to the Village Board for review and discussion.

Recommended Action: A motion to approve the Block A Memorandum of Understanding with Harbour Contractors.

B. An Ordinance Amending the Local Liquor Control Ordinance to Provide for Video Gaming Pursuant to the Illinois Video Gaming Act (Assign. ORD # 2014-4-963) (Trustee Beaudoin)

Summary: At the March 3, 2014 meeting, the Village Board reached consensus to entertain the discussion of legalized video gaming in the Village of Lake Zurich. In 2012, the previous Village Board voted to ban video gaming. Since that previous action on this issue, Lake County and several municipalities have authorized video gaming, warranting a reconsideration of the current ban on video gaming that exists Lake Zurich.

Recommended Action: At this point, staff has no recommendation. This is purely a policy issue that the Village Board must determine.

8. NEW BUSINESS

(This agenda item includes matters coming to the Board of Trustees for discussion and possible action.)

A. Semi-Monthly Warrant Register Dated April 7, 2014 Totaling \$711,156.65 (Trustee Halen)

Recommended Action: A motion to approve the semi-monthly warrant register dated April 7, 2014 totaling \$711,156.65.

B. Development of a Pavement Management Plan (Trustee Stanovich)

Summary: Village engineers at Manhard Consulting have prepared a proposal to develop a Pavement Management Plan to provide staff with a tool to match maintenance and rehabilitation needs with the pavement condition of a road. The five-year Capital Improvement Plan and the proposed fiscal year 2015 budget includes \$85,000 for the development of a pavement management plan. The proposal from Manhard Consulting is a not-to-exceed amount of \$75,000.

Recommended Action: A motion to approve the proposal from Manhard Consulting to prepare a Pavement Management Plan in a not-to-exceed amount of \$75,000.

C. An Ordinance Approving a Site Plan and Exterior Appearance and Granting a Variation (Foglia YMCA) (Assign. ORD # 2014-4-964) (Trustee Loewes)

Summary: The Foglia YMCA has submitted a zoning application for approval of site plans, exterior appearance plans, and a zoning variance to allow the construction of an 8,940 square foot addition to the existing YMCA gymnasium located at 1025 Old McHenry Road.

Recommended Action: A motion to approve Ordinance #2014-4-964 approving a site plan and exterior appearance and granting a variation for Foglia YMCA.

D. An Ordinance Granting PUD, Site Plans and Exterior Appearance Approvals and Exception to the Land Development Code (Marathon Gas Station – 1125 S. Old Rand Road) (Assign. ORD # 2014-4-965) (Trustee Loewes)

Summary: The owner of the Marathon gas station at 1125 S. Old Rand Road has submitted a zoning application for approval of concept and final PUD, site plans, exterior appearance, and exception to the Land Development Code for a new 1,600 square foot convenience store building.

Recommended Action: A motion to approve Ordinance #2014-4-965 granting PUD, site plans, and exterior appearance approvals and an exception to the Land Development Code for 1125 S. Old Rand Road.

E. An Ordinance Approving a Special Use, Site Plans, and Exterior Appearance and Granting a Variation (PF Ventures and Flex Construction – 1375 Ensell Road) (Assign. ORD # 2014-4-966) (Trustee Loewes)

Summary: Flex Construction has submitted a zoning application for approval of a special use permit, site plan, exterior appearance plans, and a zoning variance for a new 34,768 square foot industrial building at 1375 Ensell Road.

Recommended Action: A motion to approve Ordinance #2014-4-966 approving a special use, site plans, and exterior appearance and granting a variation for 1375 Ensell Road.

9. TRUSTEE REPORTS

(This is an opportunity for Trustees to report on matters of interest to the Board of Trustees.)

10. VILLAGE MANAGER'S REPORT

(This is an opportunity for the Village Manager to report on matters of interest to the Board of Trustees.)

11. ATTORNEY'S REPORT

(This is an opportunity for the Village Attorney to report on legal matters of interest to the Board of Trustees.)

12. DEPARTMENT HEAD REPORTS

(This is an opportunity for department heads to report on matters of interest to the Board of Trustees.)

13. **EXECUTIVE SESSION called for the purpose of discussing 5 ILCS 120/2 (c)(2) collective bargaining.**
14. **ADJOURNMENT** **(Next Village Board meeting on Monday, April 21, 2014)**

The Village of Lake Zurich is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations so that they can observe and participate in this meeting, or who have questions regarding the accessibility of the meeting or the Village's facilities, should contact the Village's ADA Coordinator at 847.438.5141 (TDD 847.438.2349) promptly to allow the Village to make reasonable accommodations for those individuals.

Thomas M. Poynton
Village Mayor
70 E. Main Street
Lake Zurich, IL 60047



(847)438-5141
(847)540-1768
mayor@LakeZurich.org
www.LakeZurich.org

Office of the Mayor

PROCLAMATION
Distracted Driving Month – April, 2014

WHEREAS, April 2014 is the inaugural Distracted Driving Month as identified by the National Safety Council and FocusDriven; and

WHEREAS, businesses that permit employees to conduct business on their cellular telephones while operating a motor vehicle are putting their employees at a four times greater risk of being involved in a traffic crash; and

WHEREAS, the National Safety Council estimates that 28% of all traffic crashes (1.6 million) each year are caused due to distracted driving; and

WHEREAS, the National Highway Transportation and Safety Administration estimates that 20% of all injury traffic crashes in 2013 involved reports of distracted driving; and

WHEREAS, the age with the greatest proportion of distracted drivers was under 20 years of age and 16% of all drivers younger than 20 years of age involved in fatal traffic crashes were reported to have been distracted while driving; and

WHEREAS, the issue of distracted driving has affected the Village of Lake Zurich directly by the tragic deaths of a two motorists – one subject a resident and one a motorist traversing the Village.

NOW, THEREFORE, BE IT PROCLAIMED by the President of the Village of Lake Zurich that Distracted Driving Month April 2014 be observed in the Village of Lake Zurich; and

BE IT FURTHER PROCLAIMED that the Village of Lake Zurich encourages all citizens to take steps to reduce the likelihood of driving while distracted by focusing on driving tasks and removing all distractions, such as; speaking, text messaging, and e-mailing using cellular telephones ; and

BE IT FURTHER PROCLAIMED that the Village of Lake Zurich encourages all community members to assume responsibility and pledge to reduce the possibility of distracted driving.

Dated this 7th day of April, 2014.

In witness whereof, I have hereunto set my hand and caused the official Seal of this Village to be affixed.

Tom Poynton, Mayor of Lake Zurich

Thomas M. Poynton
Village Mayor
70 E. Main Street
Lake Zurich, IL 60047



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Office of the Mayor

PROCLAMATION
Alcohol Awareness Month – April, 2014

WHEREAS, each April since 1987, the National Council on Alcoholism and Drug Dependence (NCADD) has designated April as “Alcohol Awareness Month;” and

WHEREAS, alcohol use by young people is extremely dangerous, not only to themselves, but to society as a whole; and

WHEREAS, young people who begin drinking before age 15 are four times more likely to develop alcohol dependence than those who begin drinking at age 21; and

WHEREAS, alcohol abuse is linked to as many as two-thirds of all sexual assaults and date rapes of teens and college students and is a major factor in unprotected sex among youth, increasing their risk of contracting HIV or other transmitted diseases; and

WHEREAS, alcohol is a factor in the leading cause of death among persons ages 10-24; motor vehicle crashes, unintentional injuries, homicide and suicide; and

WHEREAS, Alcohol Awareness Month was established as a nationwide effort to provide the American public with information about the disease of alcoholism and the serious problem of alcohol abuse.

NOW, THEREFORE, BE IT PROCLAIMED by the President of the Village of Lake Zurich that Alcohol Awareness Month April 2014 be observed in the Village of Lake Zurich; and

BE IT FURTHER PROCLAIMED that the Village of Lake Zurich encourages all citizens to participate in alcohol abuse prevention efforts and activities, making a visible statement and commitment to healthy, drug-free communities in which to raise a generation of alcohol and drug-free youth; and

BE IT FURTHER PROCLAIMED that the Village of Lake Zurich encourages all community members to pledge to take a stand to prevent underage drinking and alcohol and drug abuse.

Dated this 7th day of April, 2014.

In witness whereof, I have hereunto set my hand and caused the official Seal of this Village to be affixed.

Tom Poynton, Mayor of Lake Zurich

Thomas M. Poynton
Village Mayor
70 E. Main Street
Lake Zurich, IL 60047



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Office of the Mayor

**PROCLAMATION
2014 TELECOMMUNICATOR WEEK**

WHEREAS, over one-half million dedicated men and women are engaged in the operation of emergency response systems for Federal, State and Local Government entities throughout the United States; and

WHEREAS, these individuals are entrusted with the responsibility for responding to telephone calls from the general public for Police, Fire and Emergency Medical Assistance, and for dispatching such assistance to help save the lives and property of our citizens; and

WHEREAS, in the Village of Lake Zurich, such calls for assistance include not only police, fire and emergency medical service calls, but also encompass governmental communications related to highway safety and maintenance activities, parks and recreation festivities, and other Village services in the community – all of which serve as a source of Village pride and identity; and

WHEREAS, the Lake Zurich Telecommunicators, as part of America's Public Safety Telecommunicators, daily serve the public in countless ways without the recognition by the beneficiaries of their services;

NOW, THEREFORE, BE IT PROCLAIMED by the President and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois in recognition of all Telecommunicators, and especially in appreciation of those serving the Village of Lake Zurich, proclaim the week of April 13-19, 2014 as "Telecommunicator Week" and encourage everyone to be aware of the dedication, professionalism and property and life-saving efforts put forth by our Telecommunicators.

BE IT FURTHER PROCLAIMED that a copy of this proclamation shall be posted at the Police and Fire Departments to serve as a token of appreciation for the commitment and devotion to duty shown by those Department members.

Dated this 7th day of April, 2014.

In witness whereof, I have hereunto set my hand and caused the official Seal of this Village to be affixed.

Tom Poynton, Mayor of Lake Zurich

UNAPPROVED
VILLAGE OF LAKE ZURICH
Board of Trustees
70 East Main Street
Monday, March 17, 2014, 7:00 p.m.

- 1. **CALL TO ORDER** by Mayor Thomas M. Poynton at 7:00pm.
- 2. **ROLL CALL:** Mayor Thomas Poynton, Trustee Jim Beaudoin, Trustee Jeff Halen, Trustee Mark Loewes, Trustee Steve O'Connor, Trustee Jonathan Sprawka, and Trustee Dan Stanovich. Also present: Village Manager Jason Slowinski, Asst. Village Manager Roy Witherow, Atty. Scott Uhler, Community Services Dir. Mike Earl, I/T Dir. Michael Duebner, Fire Chief Dave Wheelock, Police Chief Kevin Finlon, Park Rec. Manager Dave Peterson, Building/Zoning Manager Dan Peterson, and Management Analyst Kyle Kordell.

3. **PLEDGE OF ALLEGIANCE**

4. **PUBLIC COMMENT**

Mary Kozub, 280 Pebble Creek, addressed the Board on her concern of selling Kuechmann Park. Mrs. Kozub shared that she has started a petition to show the interest of those who would like to preserve Kuechmann Park.

Tom O'Connell, recently retired Lake Zurich police officer, thanked the Board for the opportunity to serve the community.

Tom Griffith, 616 N. Old Rand Road, addressed the Board and shared his concern about potentially selling Kuechmann Park.

Lieutenant Jeff Grant and Captain Dave Borst of the Lake Zurich Fire/Rescue Department promoted the upcoming blood drive on April 12, to be hosted at Fire Station #1 on S. Buesching Road.

5. **PRESIDENT'S REPORT**

A. **Oath of Office for Firefighter / Paramedics Ryan**

Bene and Jason Kraus: Fire Chief Wheelock introduced Mr. Bene and Mr. Kraus, who were then officially sworn in by Fire and Police Commissioners Ken Groom and Jack Reck.

B. **Appointment of Police Chief:** Mayor Poynton introduced Steve Husak, his recommended appointment for the Police Chief position. The Village Board unanimously provided their advice and consent to officially swear in Mr. Husak as the Police Chief at the April 7, 2014 Village Board meeting.

Recommended Action: Motion was made by Mayor Poynton, seconded by Trustee Halen, to approve Steve Husak as the Police Chief.

AYES: 6 Trustees Beaudoin, Halen, Loewes, O'Connor, Sprawka, Stanovich.

NAYS: 0

ABSENT: 0

MOTION CARRIED.

C. **Community Update :** First annual Purple Polar Plunge on 3/15/14 was a success, with over \$11,000 raised for the American Cancer Society Relay for Life.

Mayoral proclamation declaring March 29 the Knights of Columbus Founders Day.

Mayor Poynton requested the public's help in picking up litter and keeping Lake Zurich clean as the snow melts.

6. CONSENT AGENDA

- A. **Approval of Minutes of the Village Board Meeting, March 3, 2014**
- B. **An Ordinance Authorizing Disposal of Personal property Owned by the Village of Lake Zurich Ord. #2014-3-962**

Summary: Village Departments have identified various pieces of equipment and vehicles that are not in working order, would require repairs in excess of present market value, or are obsolete. This equipment is therefore no longer useful and should be disposed of in accordance with State Statutes.

- C. **Approval of 2014 Special Event Requests**

Summary: The following events have been approved by the Park Advisory Board and are now being presented to the Village Board for final approval: YMCA Fun Run, LZ Triathlon, Take a Stand drug awareness, Taste of the Towns, AHCF fundraising walk, Alpine Runners race.

Recommended Action: Motion was made by Trustee Lowes, seconded by Trustee Sprawka, to approve the Consent Agenda as presented.

AYES: 6 Trustees Beaudoin, Halen, Loewes, O'Connor, Sprawka, Stanovich.

NAYS: 0

ABSENT: 0

MOTION CARRIED.

7. OLD BUSINESS

None at this time.

8. NEW BUSINESS

- A. **Courtesy Review for Somerset Townhomes**

Summary: Icon Building Group is proposing the construction of the remaining 19 townhomes in the Somerset development located in downtown Lake Zurich. As they have proposed minor changes to the building elevations, which may include minor changes to the building footprints, they have asked for a courtesy review of their concept.

A PowerPoint presentation was provided by Vice President of Icon Building Group Jeremy Blackstock and architect Paul Sanka to share their concepts, which are similar to the original intentions of the Somerset development. The one noticeable change is a different styled roof design.

Recommended Action: Voice vote from Village Board to move review to the Plan Commission.

AYES: 6

NAYS: 0

ABSENT: 0

- B. **Technology Upgrade for Finance and Community Application Software**

Summary: The Village uses application software supplied by SunGard Public Sector to support core financial, water billing and permitting operations. The current software has not been upgraded since its original installation in 2008. This upgrade is offered by SunGard as part of a cloud-based solution to its customers that want to stay with the Plus Series software at a lower one-time cost than a larger investment that would require new server hardware, migration, and licensing. The new software will allow the Village to take advantage of several time-saving features and productivity enhancements.

Technology Director Michael Duebner gave an overview of the reasons why this upgrade was required and answered the Board's questions. Mr. Duebner explained how moving to a cloud-based server will be more cost-effective to the Village in the long-run.

Recommended Action: Motion was made by Trustee Halen, seconded by Trustee Beaudoin, to approve the purchase of an upgrade to the current SunGard Plus Series software for a one-time fee not to exceed \$29,000.

AYES: 6 Trustees Beaudoin, Halen, Loewes, O'Connor, Sprawka, Stanovich.

NAYS: 0

ABSENT: 0

MOTION CARRIED.

C. Semi-Monthly Warrant Register Dated March 17, 2014 Totaling \$290,679.01

Recommended Action: Motion made by Trustee Halen, seconded by Trustee Sprawka, to approve the semi-monthly warrant register dated March 17, 2014 totaling \$290,679.01.

AYES: 6 Trustees Beaudoin, Halen, Loewes, O'Connor, Sprawka, Stanovich.

NAYS: 0

ABSENT: 0

MOTION CARRIED.

9. TRUSTEE REPORTS

Trustee Sprawka asked Village Manager Slowinski to provide an update on the Memorandum of Understanding for the potential Block A development.

Trustee Beaudoin recognized the Lake Zurich High School and Middle School wrestlers for their achievements in state tournaments.

10. VILLAGE MANAGER'S REPORT

Village Manager Slowinski explained that a draft Memorandum of Understanding has been provided to Harbour Contractors, Inc. for a development proposal, allowing for a more streamlined approach towards achieving development on the site. The Village is awaiting a response from Harbour Contractors, Inc. on this draft.

Village Manager Slowinski also provided the Board with the results of the 2013 Building & Zoning survey, which polled everybody who received a building permit in calendar year 2013. The survey was intended to solicit feedback on key customer service benchmarks and necessary areas of improvement.

11. ATTORNEY'S REPORT None.

12. DEPARTMENT HEAD REPORTS

Building and Zoning Manager Dan Peterson explained that the official Village Zoning Map has been updated and is available online.

Community Services Director Mike Earl explained that a property maintenance brochure and letter are being sent to downtown property owners, as part of the Downtown Action Plan, and that the Village desires to achieve compliance and not issue enforcement citations.

13. EXECUTIVE SESSION called for the purpose of discussing 5 ILCS 120/2 (c)(12) establishing litigation reserves or settling claims.

Motion was made by Mayor Tom Poynton, seconded by Trustee Sprawka, to adjourn to Executive Session.

AYES: 6 Trustees Beaudoin, Halen, Loewes, O'Connor, Sprawka, Stanovich.

NAYS: 0

ABSENT: 0

MOTION CARRIED.

Meeting adjourned to executive session at 8.14pm.

Meeting reconvened at 8:48 pm and called to order by Mayor Tom Poynton.

ROLL CALL: Mayor Thomas Poynton, Trustee Jim Beaudoin, Trustee Jeff Halen, Trustee Mark Loewes, Trustee Steve O'Connor, Trustee Jonathan Sprawka, and Trustee Dan Stanovich.

14. ADJOURNMENT

Motion to adjourn was made by Trustee Loewes, seconded by Trustee Sprawka.

AYES: 6 Trustees Beaudoin, Halen, Loewes, O'Connor, Sprawka, Stanovich.

NAYS: 0

ABSENT: 0

MOTION CARRIED.

Meeting adjourned at 8.49pm.

Respectfully submitted: Kyle D. Kordell, Deputy Village Clerk.

Approved by:

Thomas M. Poynton, Village Mayor

Date.

70 E. Main Street
Lake Zurich, IL 60047



AGENDA ITEM

6B

Phone: (847) 438-5141
Fax: (847) 540-1768
Web: www.LakeZurich.org

MEMORANDUM

Date: April 1, 2014
To: Jason Slowinski, Village Manager
From: Dave Peterson, Recreation Manager
Subject: 2014 Fireworks-4th of July Celebration

Issue: The fireworks show was launched from a barge in the lake for the first time in 2013. Although there are additional incurred costs with a barge rental, staff evaluated this and recommends that the firework display be launched from a barge on Lake Zurich again.

The decision to launch from a barge is two-fold:

- ◆ State Fire Marshall proposing to increase the safety zone required for larger sized shells. This enables the Village to permit larger, more spectacular five-inch (5") and six-inch (6") shells. Previous year launchings from land allowed four inch (4") maximum sized shells.
- ◆ Shooting fireworks from the barge increases viewing space for the public at Paulus Park, the Promenade, private properties around the lake, and boaters on the lake.

Analysis: Thirteen (13) vendors were sent the Request for Proposal on February 7. Only one was received by the Village with most of the vendors not interested or equipped with displaying fireworks from a barge. Several did suggest an earlier RFP process would allow them to participate as they only provide a limited number of firework displays from a barge. Staff will make sure to start the process even earlier next year. The RFP requested the number of shells for a \$15,000 fireworks display and a \$20,000 display with duration of 30 minutes. The RFP results are attached for your review. Included in the results are shell count comparisons of 2013 actual, 2014 proposed and 2014 revised.

Due to unforeseen costs associated with the use of a barge, Five Alarm Fireworks Co. had to adjust its proposal from the 2013 shell count. Staff requested a revised shell count and cost that ensured the quality and quantity to be similar to the 2013 firework display. The results are highlighted in red on the attachment.

The rain dates for the Thursday, July 4th Fireworks is Saturday, July 5 or Saturday, August 30, if necessary.

Recommendation: Staff recommends awarding Five Alarm Fireworks Company a \$26,000 show from a barge in the lake to be held on Friday, July 4th. It is proposed in the FY2015 budget that the Fireworks be charged to the Hotel Tax fund.

w/Attachments: 2014 Bid Results

2014 Fireworks Vendor Bid

Five Alarm Fireworks Company

| Year Comparison | Bid | Show Length | Total Shells | Opening | Body | Finale |
|--|-----------|--------------|--------------|---------|------|--------|
| 2013 Actual shell count size | \$ 20,000 | ~ 30 minutes | 2576 | 272 | 1664 | 640 |
| 3" = 600; 4" = 288; 5" = 200; 6" = 150; multi-shell barrage = 1338 | | | | | | |
| 2014 Proposed shell count size | \$ 20,000 | ~ 30 minutes | 2918 | 280 | 1508 | 1130 |
| 3" = 360; 4" = 216; 5" = 120; 6" = 80; multi-shell barrage = 2142 | | | | | | |
| 2014 Revised shell count size | \$ 26,000 | ~ 30 minutes | 3102 | 280 | 1882 | 940 |
| 3" = 360; 4" = 216; 5" = 192; 6" = 144; multi-shell barrage = 2190 | | | | | | |

Note: 13 vendors were sent an RFP

70 E. Main Street
Lake Zurich, IL 60047



Phone: 847-438-5141
Fax: 847-540-1768
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MEMORANDUM

Date: March 26, 2014
To: Jason T. Slowinski, Village Manager
From: Jodie K. Hartman, Director of Finance *JKH*
Subject: Prospect Bank Corporate Authorization Resolution

Issue:

The village owns a Certificate of Deposit with Prospect Bank. The bank is asking for a formal update of all authorized signers for the account.

Analysis:

The attached resolution authorizes four signers within the village to properly manage the funds held at Prospect Bank. These signers include the Mayor, the Village Manager, the Director of Finance and the Assistant Village Manager. While the bank has these four individuals listed on file, they require a formal resolution for their records.

Recommendation:

Staff hereby recommends that the Village Board approve the Corporate Authorization Resolution for authorizing the individuals listed as authorized signers for the village account with Prospect Bank.

w/Attachment: Corporate Authorization Resolution Form

CORPORATE AUTHORIZATION RESOLUTION

PROSPECT BANK - A DIV OF ECBT
1601 S PROSPECT AVE
CHAMPAIGN, IL 61821

By: VILLAGE OF LAKE ZURICH IL

70 E MAIN ST
LAKE ZURICH, IL 60047-3226

Referred to in this document as "Financial Institution"

Referred to in this document as "Corporation"

I, KATHLEEN JOHNSON, certify that I am Secretary (clerk) of the above named corporation organized under the laws of Illinois, Federal Employer I.D. Number 36-6005961, engaged in business under the trade name of VILLAGE OF LAKE ZURICH IL, and that the resolutions on this document are a correct copy of the resolutions adopted at a meeting of the Board of Directors of the Corporation duly and properly called and held on MAY 20, 2013 (date). These resolutions appear in the minutes of this meeting and have not been rescinded or modified.

AGENTS Any Agent listed below, subject to any written limitations, is authorized to exercise the powers granted as indicated below:

| Name and Title or Position | Signature | Facsimile Signature (if used) |
|----------------------------|-----------|----------------------------------|
| A. <u>THOMAS POYNTON</u> | <u>X</u> | X _____ |
| B. <u>JASON SLOWINSKI</u> | <u>X</u> | X _____ |
| C. <u>JODIE HARTMAN</u> | <u>X</u> | X _____ |
| D. <u>ROY WITHEROW</u> | <u>X</u> | X _____ |
| E. _____ | X _____ | X _____ |
| F. _____ | X _____ | X _____ |

POWERS GRANTED (Attach one or more Agents to each power by placing the letter corresponding to their name in the area before each power. Following each power indicate the number of Agent signatures required to exercise the power.)

| Indicate A, B, C, D, E, and/or F | Description of Power | Indicate number of signatures required |
|----------------------------------|--|--|
| <u>A, B, C, D</u> | (1) Exercise all of the powers listed in this resolution. | <u>2</u> |
| _____ | (2) Open any deposit or share account(s) in the name of the Corporation. | _____ |
| _____ | (3) Endorse checks and orders for the payment of money or otherwise withdraw or transfer funds on deposit with this Financial Institution. | _____ |
| _____ | (4) Borrow money on behalf and in the name of the Corporation, sign, execute and deliver promissory notes or other evidences of indebtedness. | _____ |
| _____ | (5) Endorse, assign, transfer, mortgage or pledge bills receivable, warehouse receipts, bills of lading, stocks, bonds, real estate or other property now owned or hereafter owned or acquired by the Corporation as security for sums borrowed, and to discount the same, unconditionally guarantee payment of all bills received, negotiated or discounted and to waive demand, presentment, protest, notice of protest and notice of non-payment. | _____ |
| _____ | (6) Enter into a written lease for the purpose of renting, maintaining, accessing and terminating a Safe Deposit Box in this Financial Institution. | _____ |
| _____ | (7) Other _____ | _____ |

LIMITATIONS ON POWERS The following are the Corporation's express limitations on the powers granted under this resolution.

EFFECT ON PREVIOUS RESOLUTIONS This resolution supersedes resolution dated _____. If not completed, all resolutions remain in effect.

CERTIFICATION OF AUTHORITY

I further certify that the Board of Directors of the Corporation has, and at the time of adoption of this resolution had, full power and lawful authority to adopt the resolutions on page 2 and to confer the powers granted above to the persons named who have full power and lawful authority to exercise the same. (Apply seal below where appropriate.)

If checked, the Corporation is a non-profit corporation. In Witness Whereof, I have subscribed my name to this document and affixed the seal of the Corporation on _____ (date).

Attest by One Other Officer _____

Secretary _____

Community Services Dept.

- Building & Zoning
- Public Works

505 Telsler Road
Lake Zurich, IL 60047



AGENDA ITEM

7A

Phone: (847) 438-5141
Fax: (847) 540-1768
Web: www.LakeZurich.org

MEMORANDUM

Date: April 2, 2014

To: Jason T. Slowinski, Village Administrator

From: Sam Hubbard, Village Planner

Cc: Michael J. Earl, Director of Community Services
Daniel A. Peterson, Manager of Building and Zoning

Subject: Memorandum of Understanding to Authorize Harbour Contractors to Submit a Development Proposal for Block A in Downtown Lake Zurich.

A handwritten signature in black ink, appearing to be "S. Hubbard", is written over the "From:" line of the memorandum.

Issue: At its February 18th meeting, the Village Board heard from Harbour Contractors, Inc., who had responded to the Village's RFQ and was presenting their qualifications to the Village Board. The Board directed staff to negotiate a Memorandum of Understanding (MOU) which would allow Harbour Contractors to propose a development for the Village-owned site on "Block A" located across from the promenade in downtown Lake Zurich. The draft MOU is presented for Village Board review and approval.

Analysis: Following the February 18th Village Board meeting, staff along with the Village Attorney Scott Uhler drafted a MOU and presented it for review by Harbour Contractors. Harbour Contractors has examined the MOU and asked for the revision of certain sections within the agreement. Based on a discussion with Harbour, the agreement was re-drafted and the revised MOU is presented for your consideration. Some of the key elements included within the MOU are:

- **Deadline for Submittal:** Harbour Contractors will be required to submit a proposal by July 1, 2014.
- **Financial Status:** Harbour Contractors must certify and provide evidence that it has sufficient financial and economic resources to complete the development.
- **Village Contribution:** Given that the Village has already invested significant resources in the property, Harbour Contractors will be required to clearly outline any requested Village contribution or assistance needed to make the project viable.
- **Compliance with Codes:** The project must comply with all applicable Codes; to the extent the project needs specific relief, such relief will be indicated in the proposal.

Should the Village Board determine that the MOU is acceptable, Harbour Contractors, Inc. will be designated as the exclusive entity allowed to submit a development proposal for the “Block A” property during the term of the MOU. Upon submittal of the proposal in July, Staff will review and present the proposal to the Village Board on July 21, or at a meeting in August.

Recommendation: Staff recommends that Village Board review the draft MOU and provide additional direction if needed. The agreement will be placed on the agenda for discussion and approval, if appropriate.

w/ Attachments:

- a. Memorandum of Understanding

MEMORANDUM OF UNDERSTANDING

THIS AGREEMENT granting the right to tender a **PROJECT** proposal as described below on "Block A" (the "Property") in the Village of Lake Zurich is made as of the Effective Date (as that term is defined herein) between the **VILLAGE OF LAKE ZURICH, AN ILLINOIS MUNICIPAL CORPORATION** (the "VILLAGE") and Pentagon Partners, LLC , as the proposed developer ("DEVELOPER") of the **PROPERTY** (the "Agreement").

SECTION I

PRELIMINARY STATEMENTS

The VILLAGE and DEVELOPER hereby agree to the following:

1. **PROPERTY.** The VILLAGE is the owner of **PROPERTY** bounded on the north by Mionske Drive, on the south by Lake Street, and to the west by West Main Street, all comprised of ten tax parcels, which in the aggregate comprise approximately 1.8 acres in size, in the Village of Lake Zurich, County of Lake, State of Illinois, as more specifically configured and depicted on **EXHIBIT "A"** attached hereto and made a part hereof (the "**PROPERTY**").

2. **PURPOSE.** The VILLAGE desires to receive, on or before July 1, 2014 , a detailed and comprehensive development proposal from the DEVELOPER and the DEVELOPER desires to acquire from the VILLAGE, subject to the terms and conditions set forth in this AGREEMENT, the VILLAGE's right, title and interest in the **PROPERTY**, and the right to develop the **PROPERTY** pursuant to requirements and subsequent agreements to be entered into with the VILLAGE. The VILLAGE staff/consultants would then review the proposal with the intention that the proposal be brought before the Board of Trustees at its regular meeting of July 21, 2014.

3. **DEVELOPMENT SCHEME.** The DEVELOPER proposes to improve and develop the **PROPERTY** by constructing a multi-family facility or facilities which would include residential units, and could include mixed-use commercial or retail, as determined to be feasible by Developer (the "**PROJECT**"). The Village grants the Developer the current exclusive right to present its development proposal to the VILLAGE, for the limited term of this AGREEMENT. This AGREEMENT is solely for the purposes of granting DEVELOPER an exclusive right to make his development proposal and does not constitute any commitment by the VILLAGE, nor preliminary or final approval, or grant of any right to use the **PROPERTY**, nor does it constitute the approval of any concept plan, development right, building code approvals or zoning relief that the DEVELOPER needs to construct any facilities or begin any **PROJECT** work on the **PROPERTY**.

4. **LIMITATION ON RIGHT GRANTED.** The Corporate Authorities of the VILLAGE have determined that granting a limited, exclusive right to make a development proposal to the DEVELOPER pursuant to this AGREEMENT will assist with the most expeditious potential development of the **PROPERTY**. The Corporate Authorities are of the opinion that the **PROPERTY**, which is currently owned by the VILLAGE and unused, should be put to productive use and should be deeded or conveyed, subject to the mutual agreement of the VILLAGE and DEVELOPER regarding the terms of such conveyance, to a private DEVELOPER because it is no longer necessary, appropriate, or required for use by the VILLAGE, and because the development of the **PROPERTY** is in the best interests of the

VILLAGE and will serve the needs of the VILLAGE, increase employment opportunities, create additional employment positions, and will stimulate residential and commercial growth and stabilize the sales and PROPERTY tax base consistent with the duly adopted Tax Increment Financing Redevelopment Plan for this area of the Village.

SECTION II

TRANSFER OF PROPERTY

1. **CONDITION OF THE PROPERTY.** In the event the VILLAGE, in its sole discretion, determines to accept the development proposal for the PROPERTY made by the DEVELOPER pursuant to this AGREEMENT, any contemplated transfer and sale of the PROPERTY by the VILLAGE to the DEVELOPER would be the PROPERTY in **EXHIBIT "A"**, and would be subject to the DEVELOPER's agreement that all right, title and interest in the PROPERTY is being conveyed in an **"AS IS, WHERE IS,"** condition, including any environmental conditions existing in, on or beneath the PROPERTY. Except as provided for under this AGREEMENT, the VILLAGE makes no representations or warranties regarding the physical, environmental or structural condition of the PROPERTY or of any buildings thereon, including but not limited to layout, square footage, zoning, use and occupancy restrictions, susceptibility to flooding or with respect to the existence or absence of toxic or hazardous materials, substances or wastes in, on or affecting the PROPERTY, its soil or groundwater, the scope and extent of any remediation performed on the PROPERTY or the presence or lack of radon, asbestos, underground storage tanks, or other environmental contamination on, in or under the PROPERTY. As part of this AGREEMENT, the VILLAGE assigns to DEVELOPER any and all rights to any claims it may have against prior owners of the PROPERTY pertaining to the environmental condition of the PROPERTY, except for those rights necessary for the VILLAGE to retain to protect itself from such liability. DEVELOPER reserves the right to determine, based upon its assessment and evaluation of the PROPERTY, whether to agree to the transfer and sale of the PROPERTY in **"AS IS, WHERE IS"** condition. In this regard, the VILLAGE agrees to provide any documentation in its possession relating to the soil conditions, including any soil boring reports, geotechnical engineering reports, Phase 1 or Phase 2 Environmental Site Assessments (ESA), No Further Remediation letters or any other soils or information on the PROPERTY. DEVELOPER has the continuing right hereunder to conduct assessments of the PROPERTY based on any of this information.

The DEVELOPER expressly acknowledges that it has not relied upon any representation or warranty made by either the VILLAGE or any officer, employee, agent or representative of the VILLAGE in connection with the PROPERTY, including specifically, without limitation, any warranty or representation as to the condition of the personal PROPERTY, if any, the PROPERTY, planning status, topography, grading, climate, air, flood, water rights, water, utilities, present and future zoning, governmental entitlements and restrictions, soil, subsoil, paint or contamination of soil or water, access to public roads, habitability or fitness for any particular purpose, or the presence or absence of any hazardous material.

3. **FINANCIAL STATUS.** DEVELOPER agrees to certify to the VILLAGE as an element of his development proposal, that neither he nor any other legal entity making the development proposal as owner, partner or participant, or any other such entity that DEVELOPER is currently involved with on any other PROJECT or development, is solvent, financially sound, current in all of its financial obligations, and that it currently owes no overdue

fees, debts, judgments, penalties, sales taxes, PROPERTY taxes or other money delinquent and due and owing, including to any other governmental agency or body.

4. **FINANCING.** DEVELOPER is required to provide satisfactory proof to the VILLAGE of adequate, available funding to complete the PROJECT. DEVELOPER represents that it has sufficient financial and economic resources to implement and complete DEVELOPER'S obligations contained in this AGREEMENT and PROJECT proposal, and will submit evidence of the same.

5. **INVESTIGATION OF THE PROPERTY.** The VILLAGE expressly acknowledges that DEVELOPER has the right, during the term of this AGREEMENT, to make independent investigations of the PROPERTY and review all matters regarding the condition of the PROPERTY, which it deems necessary. DEVELOPER has not relied upon any representation or warranty made by either the VILLAGE or any officer, employee, agent or representative of the VILLAGE in connection with the PROPERTY, including specifically, without limitation, any warranty or representation as to the condition of the personal PROPERTY, if any, the PROPERTY, planning status, topography, grading, climate, air, flood, water rights, water, utilities, present and future zoning, governmental entitlements and restrictions, soil, subsoil, paint or contamination of soil or water, access to public roads or the presence or absence of any hazardous material.

The VILLAGE acquired the PROPERTY from prior owners in 2004. The VILLAGE conducted no environmental tests on the PROPERTY either prior to acquiring the PROPERTY or since acquiring it. To the best of the VILLAGE's actual knowledge, there are no significant environmental conditions on the PROPERTY which would prohibit it from being used for the proposed uses stated herein. Note: Lender will require Phase I Environmental Report be completed on the property prior to financing. Lender reserves the right to conduct such a Phase I report, consistent with the rights granted hereinbelow, and the VILLAGE agrees to provide any documentation in the possession of the VILLAGE regarding the prior investigation or assessment of the PROPERTY conditions (as part of the Phase I) to the DEVELOPER.

The DEVELOPER is granted the right to enter upon the PROPERTY, to inspect and investigate the condition of the PROPERTY, subject to prior notice to the VILLAGE and evidence of adequate insurance coverage. VILLAGE grants to DEVELOPER and its officers, directors, employees, shareholders, members, partners, consultants, contractors and agents ("DEVELOPER Parties) a license to enter the PROPERTY, after the date by which both parties have executed this AGREEMENT, until the termination of this AGREEMENT, for the limited purpose of conducting an environmental inspection, conducting any Survey activities and/or inspecting the PROPERTY in accordance with the provisions of this section. Any entry, inspection and related activities by DEVELOPER and DEVELOPER Parties are at their own respective risk. Before any such entry, DEVELOPER will provide the VILLAGE with a certificate of commercial general liability insurance with a minimum \$1 million single combined limit covering such entry and naming VILLAGE as an additional insured. As an alternative to providing a certificate of insurance, DEVELOPER may provide a personal financial statement and certification on the VILLAGE's form, which must be approved by the VILLAGE (in VILLAGE's sole discretion using VILLAGE's underwriting standards) prior to entry onto the Property. DEVELOPER will give VILLAGE reasonable advance notice before entry to the PROPERTY, and VILLAGE may have its representative present during any entry. DEVELOPER will restore any damage to the PROPERTY caused by entry, activities and inspections by DEVELOPER or the DEVELOPER Parties. Further, DEVELOPER will indemnify, defend (using counsel selected by VILLAGE and reasonably acceptable to DEVELOPER) and hold VILLAGE and its successors and assigns harmless against and from all liabilities, demands, claims, actions

or causes of action, assessments, losses, fines, penalties, costs, damages and expenses, including reasonable attorneys' and expert witness fees, sustained or incurred by VILLAGE or its successors or assigns as a result of or arising out of or by virtue of: any entry, investigations, examinations, inspections and tests on or to the PROPERTY, and any mechanics' liens arising out of those entry, investigations, examinations, inspections and tests.

A. **Confidentiality.** DEVELOPER acknowledges that the records and information generated from the PROPERTY inspection contained therein are proprietary and confidential in nature and have been and will be delivered to DEVELOPER solely to assist DEVELOPER in determining whether to undertake the development of the PROPERTY. DEVELOPER agrees to not disclose any records, the reports, or their contents, or any information disclosed, discovered or determined in connection with any environmental or PROPERTY inspection hereunder contemplated by this AGREEMENT (collectively, the "**Confidential Information**") to any party except the following to the extent they agree to abide by the terms of this section:

1. DEVELOPER's officials and employees;
2. DEVELOPER's attorneys, accountants, or other business consultants assisting DEVELOPER in the transaction contemplated by this AGREEMENT;
3. Third parties as required under applicable laws; and
4. DEVELOPER's potential tenants, assignees, investors and lenders.

DEVELOPER will take all necessary actions to ensure that any parties to whom such Confidential Information is furnished not make it available or disclose the contents thereof to any person. If DEVELOPER does not proceed with the development of the PROPERTY for any reason, all copies of the Confidential Information will be delivered promptly to VILLAGE, without retaining copies thereof. DEVELOPER's obligations under this section survive termination of this AGREEMENT.

B. **Governmental Approvals.** This Agreement neither grants, implies or waives the responsibility of the DEVELOPER to seek and receive approval for, or to specifically identify, such permits, licenses, zoning, variances, entitlements and development rights desired by DEVELOPER for DEVELOPER's intended use of the PROPERTY (collectively, the "Governmental Approvals") which may be needed for this proposal. VILLAGE will reasonably cooperate with DEVELOPER in connection with the Governmental Approvals, including executing such documents and sharing such information as are reasonably necessary to permit DEVELOPER to submit application materials in its name in connection with the Governmental Approvals and is proposal. Notwithstanding the foregoing:

1. The Governmental Approvals will not result in or create any liens or encumbrances against any portion of the PROPERTY;
2. The Governmental Approvals will not result in any liability whatsoever to VILLAGE; and

6. **DEVELOPMENT PROPOSAL.** The proposal should be based upon and be in compliance with either all VILLAGE building codes and development requirements, or the

form-based Code, or the underlying zoning district standards for the VILLAGE downtown. If DEVELOPER will require any material change, variation or relief from any Code provision or requirement relative to the development proposal being made hereunder, the proposal shall so indicate. It is hereby acknowledged and understood that both the DEVELOPER and VILLAGE prefer that the residential units be condominium units rather than rental apartments. However, it is understood and agreed that at this time there may not be an adequate market for condominiums, nor an adequate market for construction financing for condominium buildings. DEVELOPER (or DEVELOPER's legal successor) shall be required to retain the right to convert the residential apartment units into condominium units at any time.

This DEVELOPER proposal for the PROJECT under this AGREEMENT should address the following:

- A. **Statement of Approach:** Include general descriptions of proposed development, land uses, densities, phasing, projected occupancies, and target markets.
- B. **Overview of Development Team:** Include description and contact information for each firm. Describe if it is an existing corporation or one established (LLC) only for this PROJECT and the connections and obligations between the entities.
- C. **PROJECT Personnel:** Include brief biography of each PROJECT team member, their role and responsibilities in the redevelopment PROJECT, and a statement of commitment preventing substitution of PROJECT personnel without mutual consent of the VILLAGE and DEVELOPER.
- D. **Financial Capacity:** Include evidence demonstrating the development team's financial strength and ability to obtain financing for a project of this magnitude (all submitted information will remain confidential).
- E. **Appraised Value:** DEVELOPER's appraised value or assessment of PROPERTY value.
- F. **Requested Village Participation:** The VILLAGE has already invested significantly in the land acquisition. Other roles for the VILLAGE will be considered. The requests for VILLAGE involvement (financial or otherwise) shall clearly outline how that involvement will factor into the total development package. Sufficient supporting documentation shall be supplied by DEVELOPER so that it can be determined that requested VILLAGE participation is necessary for the proposed development to be accomplished at competitive fair market costs and adequate returns to the DEVELOPER.

To assist in the DEVELOPER's submittal, the VILLAGE has developed and includes the Guidelines attached hereto as **EXHIBIT B**, to assist the DEVELOPER in the proper preparation of the information sought by the VILLAGE and to best allow the Village to properly review, understand and evaluate the value, benefits and soundness of the PROJECT proposal.

The PROJECT and related proposal and submittals shall be prepared and developed at the cost and expense of the DEVELOPER, with the VILLAGE providing assistance of certain staff and available information to the extent the VILLAGE shall determine. It is expressly understood that the parties are not engaged in a joint venture, partnership or other form of business relationship, and that the VILLAGE does not assume responsibility for any conduct, warranties, guarantees, acts, errors, omissions, debts, obligations or undertakings of the

DEVELOPER in the development of the PROJECT plan. The VILLAGE is not responsible for any preparation and submission costs. Submissions presented for consideration shall become the property of the VILLAGE.

SECTION III

REPRESENTATIONS AND WARRANTIES OF THE PARTIES

1. **VILLAGE AUTHORITY.** The VILLAGE hereby represents and warrants to DEVELOPER that the VILLAGE has the requisite power and authority to enter into and fully carry out this AGREEMENT and the sale of the PROPERTY.

2. **DESIGNATION OF DEVELOPER.** The VILLAGE hereby agrees to designate the DEVELOPER as the exclusive entity make proposals and plans for consideration by the VILLAGE for the PROPERTY during the term of this AGREEMENT. Such rights shall continue for ninety (90) days from the effective date of this Agreement.

3. **DEVELOPER AUTHORITY.** DEVELOPER hereby represents and warrants to the VILLAGE that DEVELOPER has the requisite power and authority to enter into and fully carry out this AGREEMENT and the acquisition and redevelopment of the PROPERTY.

4. **UNDERTAKINGS AND REPRESENTATIONS BY DEVELOPER.** In relation to the PROJECT and the conveyance, construction, lease, maintenance, and/or operation of the building(s) and PROPERTY in anticipation of and after the completion of the PROJECT, DEVELOPER certifies and agrees as follows relative to the PROJECT proposal:

A. It is not barred from contracting with any unit of State or local government as a result of violating Section 33E-3 or 33E-4 of the Illinois Criminal Code (720 ILCS 5/33E-3 and 33E-4).

B. Any Construction Contracts entered into by DEVELOPER relating to the portions of the PROJECT that may be subject to VILLAGE funding or support shall require the Contractor and its subcontractors to comply with the Illinois Fair Employment Practices Act and the Illinois Prevailing Wage Act, as applicable, and any related regulations.

C. It shall comply with all applicable federal laws, state laws and regulations. DEVELOPER agrees to maintain full compliance with changing government requirements that govern or apply to the construction of the PROJECT and operation of the PROJECT after construction.

SECTION IV

DEFAULTS

1. Insolvency or bankruptcy shall constitute a default by DEVELOPER under this AGREEMENT, allowing the VILLAGE to declare an immediate default under this AGREEMENT, terminating the AGREEMENT in all respects and any DEVELOPER'S right as the designated entity to make a proposal for the PROJECT on the PROPERTY.

SECTION V

MISCELLANEOUS PROVISIONS

1. This AGREEMENT incorporates all agreements and understandings of the Parties hereto, as of the date of its execution, concerning the PROJECT. Each party acknowledges that no representations or warranties have been made which have not been set forth herein.

A. Time is of the essence in the performance of this AGREEMENT.

B. DEVELOPER recognizes and agrees that the VILLAGE has sole discretion with regard to the approval or selection of DEVELOPER as the entity to handle or be awarded this PROJECT with no obligation hereunder to award all or any part of the PROJECT to DEVELOPER. Any decision(s) on the part of the VILLAGE to grant or award any PROJECT work shall not be deemed as the cause of a default by VILLAGE under this AGREEMENT or give rise to any claim against or liability to the VILLAGE pursuant to this AGREEMENT or otherwise.

C. In conjunction in working with the VILLAGE, DEVELOPER agrees to utilize all reasonable efforts to explore both the viability and feasibility of the PROJECT. However, if DEVELOPER determines that the overall viability and feasibility of the PROJECT does not work for reasons relating to economics or uncontrollable circumstances, DEVELOPER reserves the right to forego further involvement in the PROJECT, at no further cost, expense or obligation to DEVELOPER. Further, DEVELOPER reserves the right to forego further involvement in the PROJECT, at no further cost, expense or obligation to DEVELOPER, if conventional financing cannot be secured by DEVELOPER.

D. All notices and requests if any, required pursuant to this AGREEMENT shall be sent by certified mail return receipt requested, or by personal service, addressed as follows:

If to DEVELOPER: Patrick C. Harbour
Pentagon Partners, LLC
23830 West Main Street
Plainfield, IL 60544

With copy to: Philip Luetkehans
Schrott, Luetkehans & Garner
105 E. Irving Park Road
Itasca, IL 60143

If to the VILLAGE: Jason Slowinski
Village Manager
VILLAGE of Lake Zurich
70 E. Main Street
Lake Zurich, Illinois 60047

with copies to:

Scott Uhler
VILLAGE Attorney
Klein, Thorpe and Jenkins, Ltd.
20 North Wacker Drive, Suite 1660
Chicago, Illinois 60606

D. This AGREEMENT shall be construed and enforced in accordance with the laws of the State of Illinois. The venue for any action or proceeding arising out of, or related to, this AGREEMENT shall be in Lake County, Illinois.

E. Notwithstanding any other statement in this AGREEMENT, the Parties agree that any representations in this AGREEMENT are made on behalf of the municipal corporation of the VILLAGE, and that the Mayor and Board of Trustees are not making such representations personally, are not parties to this AGREEMENT, and shall incur no personal liability in conjunction with this AGREEMENT.

F. This AGREEMENT may be executed in counterparts, each of which shall constitute an original, but all together shall constitute one and the same AGREEMENT.

G. This AGREEMENT cannot be transferred or assigned.

H. This AGREEMENT shall become effective as of the date that the Village President and Village Clerk sign the AGREEMENT below (the "Effective Date"). The obligations of DEVELOPER hereunder, to submit an appropriate proposal for the PROJECT as described herein, within ninety (90) days of the effective date of this Agreement, unless otherwise terminated by the VILLAGE as set forth herein.

Schedule of exhibits, riders and attachments. The following are attached hereto and made a part hereof.

Exhibit A Property Description

Exhibit B Guidelines - Developer Proposal Components and Representations

IN WITNESS WHEREOF, the parties hereto have executed this AGREEMENT on the date beside their respective signatures.

VILLAGE:

DEVELOPER:

VILLAGE OF LAKE ZURICH,

an Illinois Municipal corporation

By: _____

Name: _____

Title: Village President

By: _____

Name: _____

Title: _____

ATTEST:

By: _____

Name: _____

Title: Village Clerk

ATTEST:

By: _____

Name: _____

Title: _____

DATE EXECUTED BY THE VILLAGE:

DATE EXECUTED BY DEVELOPER:

EXHIBIT A

(Description of PROPERTY)

EXHIBIT B

Guidelines for Submittal

1. Site Planning/Design/Preliminary Engineering
 - A. Detailed site plans for the PROJECT showing all proposed improvements, including but not limited to the location of the buildings, building elevations, including roof lines, site utilities, parking facilities, landscaping, exterior lighting, outside areas, and signage on the PROPERTY . The site planning should reflect all necessary and appropriate infrastructure, including, without limitation, accessible sidewalks, driveways, curb cuts, parking areas, decorative exterior lighting fixtures, on-site and perimeter landscaping and certain on-site and off-site public infrastructure improvements. The architectural style of the buildings, including exterior materials, building elevations and roof lines, should recognize the overall downtown redevelopment needs and address and maximize the Lake vistas of this PROPERTY.
 - B. Preliminary engineering for on-site and off-site PROJECT structures, accessory facilities, utilities and uses, including specific plans for handling storm water drainage and detention issues related to the PROJECT.
2. PROJECT Budget/Funding
 - A. The proposed source of equity and proposed pay-in periods.
 - B. The proposed lender and/or equity sources.
 - C. The proposed financial structure – which may include the amount, terms and form of commitment.
 - D. Construction cost estimates by building, parking and on-site/off-site improvements, based upon general contractor/architect estimates/reviews.
 - E. Total PROJECT Budget.
2. DEVELOPER projection of revenues that will be generated by the PROJECT, indicating the nature of the revenue and the term for generating such monies, along with specifics regarding the formula used and the source of the information.
3. PROJECT timelines, including a specific phasing of the PROJECT and how the phasing was determined and will contribute to the success of the any residential, retail or commercial aspect of the PROJECT, along with specifics regarding the calculations used and the source of the information.
4. The general PROJECT specifications, including types of building material(s), structural characteristics, and other relevant information (e.g., gas heat/electric, air conditioning, etc.):

5. DEVELOPER requirements for monetary contributions, land, subsidies or funding from the VILLAGE, with the development rationale, market basis (with source of the analysis and data provided) and justification for any such funding.
6. Specific uses on the PROPERTY and as to any retail/commercial uses, will provide confidential information to the VILLAGE regarding the specific proposed commercial/retail users that have expressed an interest in such a PROJECT, with written evidence of such interest, including:
 - A. Information on PROJECT size, proposed unit sizes, and common area square footage, parking needs and PROJECT projections for parking spaces provided (with square footage), any unusual site treatments or characteristics for the PROJECT.
 - B. Architectural plan, and typical floor layout(s) for all space and units for the proposed PROJECT.
7. A current market analysis of the proposed uses and demand for the PROJECT elements, including the residential, with specific data regarding the qualifications of the consultants used, the sources of their data and the reliability of the information being provided, including a preliminary marketing plan.
8. Tentative schedule for all necessary zoning approvals, and schedule for completion of Development agreement.
9. DEVELOPER terms of land acquisition.

70 E. Main Street
Lake Zurich, IL 60047



AGENDA ITEM 7B

Phone: (847) 438-5141
Fax: (847) 540-1768
Web: www.LakeZurich.org

MEMORANDUM

Date: March 31, 2014
To: Jason T. Slowinski, Village Manager
From: Kyle D. Kordell, Management Analyst
Subject: Video Gaming Discussion

Issue: At the March 3, 2014 meeting, the Village Board reached consensus to entertain the discussion of legalized video gaming in the Village of Lake Zurich. In 2012, the previous Village Board voted to ban video gaming. Since that previous Village Board action on this issue, Lake County and several municipalities have authorized video gaming, warranting a reconsideration of the current ban on video gaming that exists in Lake Zurich.

Currently, the municipal code (Title 3, Chapter 2, Section 3-2-1, Sub-Section K) prohibits video gaming until the Illinois Gaming Board develops rules for the various related operations. The Illinois Gaming Board has now developed rules and has published the rules in the form of the Video Gaming Act, which was enacted on July 13, 2009.

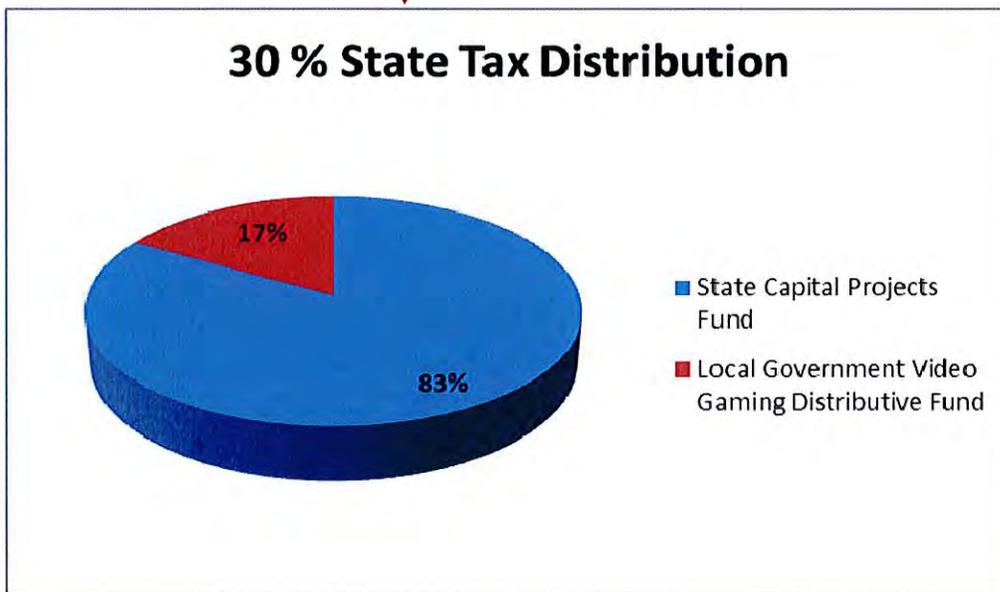
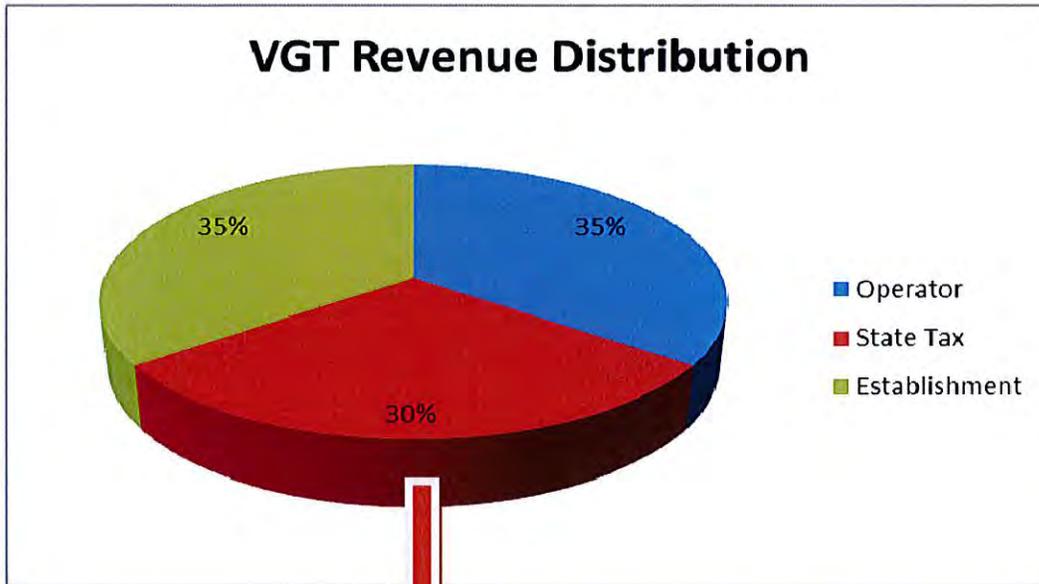
The Village has been approached by local businesses who are interested in installing and operating Video Gaming Terminals (VGT's) within Lake Zurich, with concern that Lake Zurich businesses will lose patrons who elect to visit another municipality that does allow video gaming.

Please note that video gaming is an all-or-nothing proposition. That is, certain organizations cannot be excluded from the ability to operate these terminals if allowed by the Village. It should also be noted that if approved, the Village Board does retain the power to reinstate a future ban on video gambling should conditions warrant.

Analysis: If Lake Zurich does permit video gaming, the control for video gaming licenses as well as any regulation of video gambling moves to the state's Gaming Board. Holders of a valid liquor license can apply to the Illinois Gaming Board for a license to have up to five VGT's.

The State imposes a tax of 30% on VGT revenues. Five-sixths (about 83%) of the VGT tax revenue (which amounts to 25% of the VGT revenues) shall be deposited into the state's Capital Projects Fund. The remaining one-sixth (about 17%) of the taxes (which amounts to 5% of the VGT revenues) shall be deposited with the Local Government Video Gaming Distributive Fund. In other words, Lake Zurich would receive 5% of the net revenue from the VGT's (not 5% of every dollar played).

The 70% of VGT revenues remaining after payment of the above-referenced taxes are divided evenly between the VGT operator and the licensed establishment.



The Video Gaming Act allows VGT's in bars, restaurants, and fraternal organizations where alcohol is served (see Exhibit A for Lake Zurich eligible establishments). A valid license issued by the Illinois Gaming Board is required to place a VGT in an establishment. Authorized video games include, but are not limited to, video poker, line-up, and blackjack. These are essentially the same state-of-the-art video poker, blackjack and slot machines found in Las Vegas, Atlantic City and Illinois riverboat casinos. VGT's cannot directly dispense coins, cash, or tokens but players may receive free games or receipt tickets that can be redeemed for cash. The maximum wager on any one hand shall not exceed two dollars, while the maximum payout on any one hand shall not exceed five hundred dollars.

VGT's are required to be located in an area restricted to persons 21 years or older where the entrance is within view of at least one employee who is at least 21 years old. For all establishments that restrict admittance to patrons 21 years or older, a separate restricted area is not required. For all locations that admit individuals under the age of 21, a physical barrier to the gaming area is required. Additionally, VGT hours of operation must coincide with the legal hours of operation for the consumption of alcoholic beverages on the premises. VGT's are prohibited in any establishment that is within 100 feet of any school or place of worship.

The Illinois Gaming Board reports that by the end of 2013, a total of 878 communities and counties have enacted ordinances that specifically allow video gaming and 195 additional communities have a gambling prohibition ordinance – either specifically passed in response to the Video Gaming Act or an ordinance that was in effect prior to the Act. New VGT's have been installed in 2013 at an average rate of nearly 1,000 per month. In 2013, the Board issued 5 disciplinary complaints fining video gaming licensees for a conduct in violation of the Video Gaming Act and Rules.

The following table shows the estimated revenue generated in calendar year 2013 for nearby municipalities that have authorized video gambling, as well as the number of VGT's within the community as of December 2013:

| Municipality | 2013 Estimated Revenue | VGT Count | Average Revenue/VGT |
|---------------------|-------------------------------|------------------|----------------------------|
| Carpentersville | \$23,000 | 32 | \$719 |
| Hoffman Estates | \$56,000 | 29 | \$1,931 |
| McHenry | \$98,000 | 62 | \$1,581 |
| Morton Grove | \$44,000 | 28 | \$1,571 |
| Round Lake | \$25,000 | 17 | \$1,471 |
| Wauconda | \$58,000 | 35 | \$1,657 |

Figure 1

For further consideration, the following table shows a more extensive list of some nearby municipalities which have approved video gambling, as well as the number of VGT's within the community as of December 2013:

Municipalities with Approved Video Gambling

| | | |
|-----------------------|------------------------|------------------------|
| Barrington Hills (0) | Bartlett (19) | Bensenville (8) |
| Berwyn (96) | Carol Stream (40) | Carpentersville (32) |
| Cary (0) | Cicero (25) | DeKalb (34) |
| East Dundee (30) | Elk Grove Village (19) | Elmwood Park (0) |
| Fox Lake (97) | Fox River Grove (14) | Galena (16) |
| Glenwood (13) | Hoffman Estates (29) | Lake in the Hills (8) |
| Lake Villa (18) | Lakemoor (10) | Lindenhurst (0) |
| McHenry (62) | Morton Grove (28) | Mundelein (35) |
| North Aurora (18) | North Chicago (17) | Oakbrook Terrace (25) |
| Prospect Heights (18) | River Grove (19) | Riverdale (4) |
| Round Lake (17) | Round Lake Beach (15) | Round Lake Heights (5) |
| Round Lake Park (12) | South Elgin (33) | Wauconda (35) |
| Waukegan (107) | West Dundee (7) | Westchester (0) |
| Westmont (18) | Wheeling (18) | Wood Dale (38) |
| Woodstock (58) | | |

Figure 2

Additionally, the following table shows a list of nearby municipalities which have prohibited video gambling:

Municipalities with Prohibited Video Gambling

| | | |
|-------------------|-----------------|-------------------------------------|
| Arlington Heights | Bannockburn | Barrington |
| Bloomington | Buffalo Grove | Crystal Lake |
| Deer Park | Deerfield | Des Plaines |
| Downers Grove | Elmhurst | Evanston |
| Forest Park | Glen Ellyn | Geneva |
| Grayslake | Gurnee | Hawthorn Woods |
| Highland Park | Highwood | Kildeer |
| Lake Barrington | Lake Bluff | Lake Forest |
| Lakewood | Libertyville | Lincolnshire |
| Long Grove | Mt. Prospect | Niles (currently revisiting) |
| North Barrington | Northbrook | Northfield |
| Palatine | Rolling Meadows | Schaumburg |
| South Barrington | St. Charles | Vernon Hills (currently revisiting) |
| Volo | Wheaton | Winnetka |
| Zion | | |

Figure 3

Recommendation: At this point, staff has no recommendation. This is purely a policy issue that the Village Board must determine.

w/ Attachments: Exhibit A - Potentially Eligible Lake Zurich Establishments
 Exhibit B - Video Gaming Poll Survey Results
 Exhibit C – Steps to Obtain a Video Gaming Terminal
 Proposed Ordinance Authorizing Video Gambling

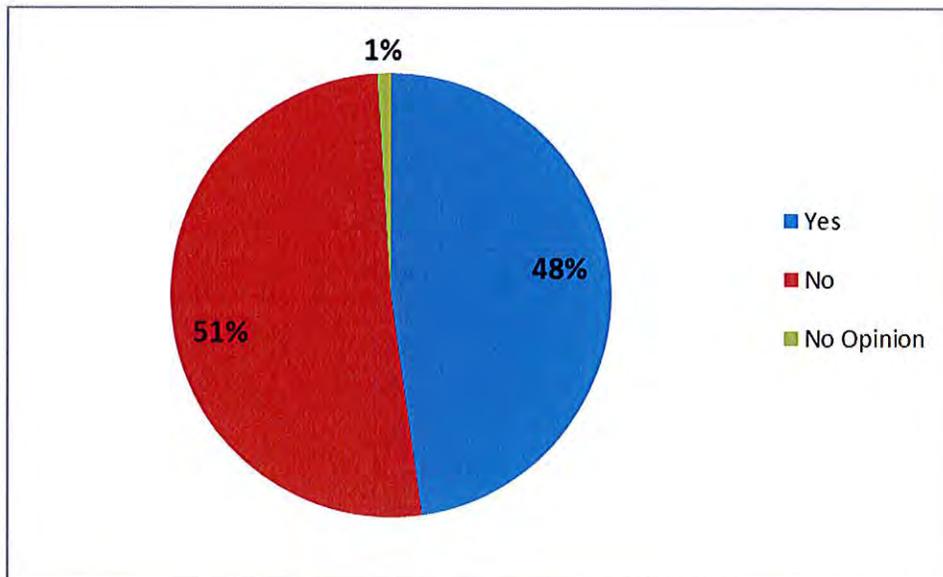
Exhibit A – Potentially Eligible Lake Zurich Establishments

| | |
|----------------------|------------------------|
| American Legion | Bacchus Nibbles |
| Beelow's Steakhouse | Chasers |
| D&J Bistro | Dipiero's |
| El Jardin | Giordano's |
| El Estero | Grill Station |
| Harney's | JJ Twigs |
| Harney's | Korean BBQ |
| Kobe East | Kobe of Japan |
| Lions Club | Rock N Ribs |
| Sake Sushi and Grill | Scoreboard Bar & Grill |
| Siri Thai | Tacos El Norte |
| TGI Friday's | White Alps Restaurant |

Exhibit B – Video Gaming Poll Survey Results

In order to gain public input and comment on this issue, Village staff administered a one-question poll that asked:

Should video gambling be authorized at certain establishments in Lake Zurich?



Response Breakdown

| | |
|-------|------------|
| 101 | No |
| 94 | Yes |
| 2 | No Opinion |
| <hr/> | |
| 197 | Total |

Public comments submitted via this poll have been compiled for consideration on the following pages. Comments have been separated into three categories: 1) Supportive 2) Opposed 3) Neutral.

Supportive Comments

1. It fun activity for adults. I enjoy playing video poker and would drive to near by towns to play instead of spending my money in Lake Zurich.
2. We are all adults...
3. I can not find any strong negatives against having a handful of machines at some establishments. I believe this gambling is no different than playing the lotto and should be allowed.
4. We need to allow our businesses to remain competitive with surrounding communities....
5. Sure, approve it. If some people are foolish enough to throw their money away, let them do it. I don't believe the "normal" residents will make use of the machines - they've got more cents!
6. Why do I have to go out of town. I would rather play a video game here.
7. I think it would help lake zurich and keep r people here we could use the money.
8. We need something that will attract more businesses.
9. Restaurants, Bars, and the American Legion are perfect locations for this. This will add some additional revenue for the Village, American Legion, and restaurants.
10. Sounds good to me. We need to draw more business to Lake Zurich.
11. I see no problems in having video gambling in certain LZ businesses. Anything that can improve the Villages financial state without new taxes and tax increases has value to residents.
12. Another revenue source other than raising taxes. As long as it is constantly monitored & the requirements of the places that have it are enforced.
13. It will also help the Lake Zurich American Legion do more in helping Veterans in the area and help in community projects. It will also help to bring people into the Village.
14. Will add another feature for locations that meet the criteria and will probably attract new customers.
15. Should be allowed only at certain establishments.
16. Please allow Lake Zurich businesses to stay competitive with neighboring towns.
17. Since currently the village allows Texas Hold' Em, Bingo, and the sale of Lottery Tickets, I can see no reason for disallowing video gaming.
18. It's not something I would use but the village needs the the share of income that would result.

19. Whether you agree with it or not, we sell lottery tickets and non-profits and churches hold poker nights. I respect the anti-gambling people, but do you want \$100,000 a year, or don't you?
20. anything to bring in money. needs to be classy though. require a min food purchase
21. If Lover's Lane hasn't hurt the LZ area, then a few video gaming machines could not hurt either.
22. We should try it in Non-Profit establishments first.

Opposed Comments

1. That will bring an unwanted element into our Village. Enough people have problems making ends meet these days and this will entice them to spend money that may be needed to live on.
2. The source of revenue from these machines is the people who put money in them, not the machine. We need to teach our youth to be responsible for themselves and care for the money they earn.
3. Gambling does not build communities up, it only destroys them.
4. Please keep our town clean. I'm thinking of it's a wonderful life, the one where the main character dies and what it would have been like in his town if he had of lived.
5. There's absolutely no need for video gambling. for the few businesses that could bring in the machines, its not worth it. Our downtown needs much more improvement than adding video gambling.
6. Video game gambling should not be allowed. Video Gambling will bring so many problems to the community based on my experience from Europe. Thanks.
7. Let the gambling crowd go elsewhere - not what we want in our village.
8. Absolutely not. Thank you for asking. This is a known social ill with well documented social and economic negatives. Please do not approve this.
9. This is an awful idea. Bad for our town's reputation and home values. Anyone on the Board who votes yes for this will not get my vote in the next election.
10. Surely we can do better than this.
11. The potential revenue to the village is small compared to the issues & drain on village services. There's enough local casinos for these individuals with sufficient regulation controls.
12. It's addictive! We do not need to make money off of other peoples addiction!

13. Sorry, I know you're all in favor of this because of the revenue involved, but I think it appears seedy. Let's elevate the image of the LZ, not take it down.
14. There's enough gambling throughout the state. It's an addictive habit and the consequences are far reaching.
15. I am not in favor of this idea.
16. We don't need that trash in LZ. Look at the list of towns that authorized/prohibited - which would we rather be like? Round Lake and Hoffman Estates, or Barington, Long Grove and Arlington Heights?
17. Gambling of any sort should not be allowed in Lake Zurich.
18. Totally against.
19. Individuals with addictions will gravitate to gaming locations...which will put them at risk for other addictions. We need to stop putting things in the faces of people who already have problems.
20. Although gambling is surely a money-maker to villages that approve it, it also brings a "seedy" reputation with it. And that's too high of a price to pay for the residents who live here.
21. I have personal experience and gambling tears up families. Most people that gamble are not in a financial position to gamble and end up in financial trouble. It is dirty money in my opinion.
22. It's just not necessary. Let those who want to video gamble go to nearby towns.
23. Just because other towns are doing this doesn't mean Lake Zurich should.
24. The quality towns around Lake Zurich do not permit video gambling. Most of the places permitting video gambling are second class towns. in my opinion. I do not want to live in junk town.
25. This is not what our community is about!
26. Doesn't fit our family, home town atmosphere. Please don't let it come to our town.
27. I think LZ should absolutely NOT allow video gambling.
28. no, no, no.
29. It's crazy to even consider this as an option.
30. I moved to LZ hoping that more retailers would open here, including in the downtown area. So much potential is wasted in LZ. Video gambling is not what I had in mind for development.
31. Gambling just does not contribute anything worthwhile to society. Crime, financial ramifications, attracting unsavory people, etc.

32. I think it is an unnecessary commodity in Lake Zurich. We have a great bedroom community and we do not need to prove a means for people to throw away their monies in our own community.
33. If people want to gamble, let them go to those other towns. Lake Zurich needs to uphold high standards for its establishments and residents.
34. We do not need video gambling in Lake Zurich.
35. bush league way to raise capital... a poor mans tax. we have the largest natural draw in a lake ... best lake near the 3rd largest metro in the USA.
36. Gambling is a drain on our population, especially those who have the least and who are, therefore, much more susceptible to the pull of winning a jackpot.
37. Seems like a low class thing to do and something that does not fit in with LZ's image. More fitting for somewhere like Waukegan.
38. I am already broke. I will be broke much deeper.
39. This strikes me as a predatory way for businesses and government to make money. There are better ways to make money where both the business and consumer benefit.
40. Allowing video gaming will destroy the safety and ambiance of the village. The social cost of video gaming outweigh any revenue gains by over 3 to 1.
41. Outlaw it like Deer Park and Barrington
42. No, we all know which businesses have been trying to profit from this type of gambling. They should be more concerned with the enhancement and the upkeep of their businesses .
43. I come from a family where my dad was a compulsive gambler. Gambling has profoundly negatively impacted my life and hope that other families will not have to go through the same issues.

Neutral Comments

1. I hope the Village would benefit directly and not just the establishments.
2. I would like much more information on the pros & cons (financial & otherwise). Then, I will have an opinion worth sharing.
3. I think that a tax of some kind needs to be place on it or some kind of a permit.
4. It would depend on the type of place it was in. A bar, yes. A family restaurant, no.

Exhibit C – Steps for Establishments to Obtain a Video Gaming Terminal

1. Obtain a Village of Lake Zurich liquor license from the Police Department allowing for the service of alcohol for consumption on-site.
2. Obtain a Village of Lake Zurich video gaming liquor license from the Police Department.
3. Complete the Illinois Gaming Board application online at www.igb.illinois.gov.
4. Create a video gaming terminal location site plan.
5. Create site requirements and preparation.
6. Comply with Illinois Gaming Board site inspection.
7. Obtain establishment license from Illinois Gaming Board.
8. Enter contract with licensed terminal operator for terminal installation.
9. Provide secure premises for the placement, operation, and play of video gambling terminals and permit no tampering or interference with the terminals of the central server.
10. Ensure the terminals are located in an approved area, exercise control over the area, and ensure its entrance is always within the view of an employee over 21.
11. Prevent access to or play of terminals by anyone under 21 or who is visibly intoxicated.
12. Revenue begins.

VILLAGE OF LAKE ZURICH
ORDINANCE NO. 2014-4-_____

An Ordinance Amending the Local Liquor Control Ordinance to Provide for Video Gaming Pursuant to the Illinois Video Gaming Act

WHEREAS, the Video Gaming Act (230 ILCS 40/1 *et seq.*) (the “Act”) was enacted on July 13, 2009, and allows certain licensed retail establishments to conduct video gaming; and

WHEREAS, the Act provides that a non-home rule unit of government may impose a fee for the operation of a video gaming terminal of up to \$25 per year; and

WHEREAS, due to present economic conditions, there is a need for additional revenues for the provision of Village services and amenities; and

WHEREAS, it is deemed to be in the interest of licensed retail establishments located within the Village not to prohibit what is permitted by the Act.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: Section 3-2-1-D of the Lake Zurich Municipal Code shall be amended to read as follows:

- D. Gambling Prohibited: No person shall gamble, bet or partake in games of cards or dice for any purpose in any building or hall used for amusement purposes. This restriction shall not apply to any bingo games, ~~or to~~ the sale of lottery tickets on a location licensed by the state, or to locations holding a video gaming license pursuant to 230 ILCS 40 / 1, et seq.

SECTION 2: Section 3-2-1-K of the Lake Zurich Municipal Code shall be amended to read as follows:

- K. Video Gaming: Video gaming, as defined in the Illinois video gaming act, 230 Illinois Compiled Statutes 40/5, is permitted to the extent allowed by statute and by the Lake Zurich Municipal Code. ~~prohibited unless approved by ordinance adopted by the board of trustees. No video gaming may be approved by the board of trustees until after the Illinois gaming board has completed implementation of the rulemaking process required by the Illinois video gaming act.~~

SECTION 3: Section 3-3A-2, Powers, Functions, and Duties of Commissioner, of the Lake Zurich Municipal Code shall be amended to add paragraph M, which shall read as follows:

- M. To the extent video gaming is permitted under this Chapter, all references to the authority and duties conferred by this Section for liquor control enforcement shall also apply to video gaming enforcement to the extent permitted by state law.

SECTION 4: Section 3-3B-20 shall be added to Article 3B of Chapter 3, Liquor Control, of Title 3 of the Lake Zurich Municipal Code and shall read as follows:

3-3B-20 VIDEO GAMING TERMINALS

A. The following definition is applicable to this Section:

Video gaming terminal: Any electronic video game machine that, upon insertion of cash, is available to play or simulate the play of a video game, including but not limited to video poker, line up and blackjack, authorized by the Illinois Gaming Board utilizing a video display and microprocessors in which the player may receive free games or credits that can be redeemed for cash. The term does not include a machine that directly dispenses coins, cash or tokens or is for amusement purposes only.

B. Unless otherwise provided for in this Section 3-3B-20:

1. It is unlawful to keep, place, maintain or operate any gambling device in and upon the premises used or occupied as a place where alcoholic liquor is sold or given away.
2. It shall be unlawful for any licensee, or his agent and/or employee, to give or award a cash prize or equivalent to any person playing any gambling device.

C. Notwithstanding Section 3-3B-20-B, video gaming terminals shall be permitted in and upon the premises used or occupied as a place where alcoholic liquor is sold or given away if each of the following conditions is first met:

1. The use and placement thereof is in compliance with the provisions of the Video Gaming Act (230 ILCS 40/1 *et seq.*), as amended; and
2. The use and placement thereof is in compliance with the provisions of all rules promulgated by the Illinois Gaming Board pursuant to the Illinois Administrative Procedures Act; and
3. The licensee or agent of the licensee:
 - (a) Obtains a Class V Liquor License pursuant to the provisions of Chapter 3 of Title 3 of the Lake Zurich Municipal Code. This license shall be required in conjunction with and in addition to the liquor license already required to be held by the establishment for the service, sale, production, or consumption of alcohol hereunder.
 - (b) Files with the Village Clerk a copy of the licensee's written use agreement with the terminal operator for placement of the video gaming terminals and a copy of the license issued by the Illinois Gaming Board; and
 - (b) Pays to the Village an annual fee of \$25 for each video gaming terminal upon the premises.

- D. No video gaming terminal that is permitted under the provisions of Section 3-3B-20 may be played except during the legal hours of operation allowed for the consumption of alcoholic beverages on the licensed premises.
- E. No licensee shall cause or permit any person under the age of 21 years to use or play a video gaming terminal that is permitted under the provisions of Section 3-3B-20.
- F. In those licensed video gaming locations where separation from minors under 21 is required, a physical barrier to the gaming area is required, which may consist of a short partition, gate or rope or other means of separation. No barrier shall visually obscure the entrance to the gaming area from an employee of the licensed video gaming location who is over the age of 21.
- G. The owner, manager or employee of the licensed video gaming location who is over 21 years of age shall be present during all hours of operation, and the video gaming terminals or the entrance to the video gaming terminal area must be within the view of at least one owner, manager or employee.
- H. It shall be unlawful for any licensee, or his agent and/or employee, to permit or allow anyone to play for money, or other valuable thing, at any game with cards, dice or chips, or with any other article, instrument or other thing whatsoever, which may be used for the purpose of playing or betting upon or winning or losing money, or any other thing or article of value, or to get on any game others may be playing, upon any premises licensed under this Section, unless otherwise properly licensed to do so by the State of Illinois.
- I. If a licensee violates any provision of the Video Gaming Act or any provision related to video gaming terminals contained in this ordinance, such violation shall be deemed a violation of the licensee's liquor license.

SECTION 5: Section 3-7-9-J, Gambling and Related Devices Prohibited, of the Lake Zurich Municipal Code shall be amended to read as follows:

- J. Gambling And Related Devices Prohibited: No adult entertainment establishment shall contain any video, pinball, slot, bagatelle, pigeonhole, pool, or any other games, machines, tables, or implements except if otherwise permitted pursuant to the Illinois Video Gaming Act (230 ILCS 40/1 et seq.) and any other provisions for video gaming in the Lake Zurich Municipal Code.

SECTION 3: Section 4-2-1-2-A of the Lake Zurich Municipal Code shall be amended to read as follows:

- A. Disorderly Houses, ~~Gambling Houses~~, Houses of Ill Fame: All disorderly houses, bawdy houses, houses of ill fame, ~~gambling houses~~ and buildings or structures kept or resorted to for the purpose of prostitution or; promiscuous sexual intercourse, ~~or gambling~~.

SECTION 4: Section 4-2-1-2 shall be amended to delete paragraph B and renumber paragraphs C and D as paragraphs B and C.

SECTION 5: If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 6: All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 7: This Ordinance shall be in full force and effect upon its passage, approval and publication in pamphlet form (which publication is hereby authorized) as provided by law.

ADOPTED this _____ day of April, 2014, pursuant to a roll call vote as follows:

AYES:
NAYS:
ABSENT:
ABSTAIN:

APPROVED this ____ day of April, 2014.

By: _____
Thomas Poynton, Village President

SEAL

ATTEST:

Kathleen Johnson, Village Clerk

Published: _____

VILLAGE OF LAKE ZURICH
Semi-Monthly Warrant Report
April 7, 2014
Warrant Total - \$711,156.65

Payment Request(s) Exceeding 5% of Total Warrant

- **Payment to:**
 - Vendor: United HealthCare Insurance
 - Fund: General Fund, Water Sewer, Medical Self Insurance & Payroll Clearing
 - Reference: Pages 1, 16, 21 & Last page
 - Amount: \$168,884.81
 - %Warrant: 23.75%

Health, Vision, Dental & Life Insurance

- **Payment to:**
 - Vendor: Playpower LT Farmington, Inc
 - Fund: General Fund & Park Improvement
 - Reference: Pages 10 & 14
 - Amount: \$164,696.43
 - %Warrant: 23.16%

Playground Equipment – Paulus Park

- **Payment to:**
 - Vendor: Currie Motors Frankfort Inc
 - Fund: General Fund
 - Reference: Pages 3 & 4
 - Amount: \$51,172.00
 - %Warrant: 7.20%

2014 Ford - Police

Scheduled Payments \$384,753.24 or 54.10% of Total Warrant Presented for Payment.

Village of Lake Zurich
Semi-Monthly Warrant Report
Combined Total by Fund
Warrant Dated April 7, 2014

| Fund | Fund Title | Total |
|------|------------------------|------------|
| 101 | GENERAL FUND | 301,886.86 |
| 202 | MOTOR FUEL TAX | 17,069.91 |
| 401 | CAPITAL PROJECT | 3,177.47 |
| 402 | PARK IMPROVEMENT | 123,863.46 |
| 405 | NHRST CAPITAL PROJECTS | 5,821.10 |
| 501 | WATER/SEWER | 24,339.69 |
| 601 | MEDICAL SELF INSURANCE | 191,481.79 |
| 603 | RISK MANAGEMENT INS | 6,992.68 |
| 710 | PERFORMANCE ESCROW | 19,755.85 |
| 720 | PAYROLL CLEARING | 16,767.84 |

Warrant Total - \$ 711,156.65

Village of Lake Zurich
Semi-Monthly Warrant Report
Total by Fund - Warrant Dated April 7, 2014

| Fund | Fund Title | Total |
|------|------------------------|------------|
| 101 | GENERAL FUND | 257,213.42 |
| 202 | MOTOR FUEL TAX | 17,069.91 |
| 401 | CAPITAL PROJECT | 3,177.47 |
| 402 | PARK IMPROVEMENT | 123,863.46 |
| 405 | NHRST CAPITAL PROJECTS | 5,821.10 |
| 501 | WATER/SEWER | 24,299.39 |
| 601 | MEDICAL SELF INSURANCE | 33,086.04 |
| 603 | RISK MANAGEMENT INS | 6,992.68 |
| 710 | PERFORMANCE ESCROW | 19,743.37 |
| 720 | PAYROLL CLEARING | 9,344.78 |

Warrant Total - \$500,611.62

Village of Lake Zurich
Semi-Monthly Warrant Report
Warrant Date: 4/7/2014

Report Run Date: 4/1/2014
Time: 09:47AM

Fund: 101 - GENERAL FUND

| Account Code | Account Title | Vendor Name | Payable Description | Payment Amount |
|---|---------------------------|-----------------------------------|---------------------------|-----------------|
| Program: 101 -GENERAL FUND | | | | |
| 2101 | OTHER ACCOUNTS PAYABLE | PICKETT, ALLAN P | IMPOUND REFUND | 5.00 |
| 2102 | AMBULANCE FEES PAYABLE | LZ RURAL FIRE PROTECTION DIST. | DEC2013 REIMBURSEMENT | 100.00 |
| 2037 | EMPLOYER-UNDIST LIFE | UNITED HEALTHCARE INSURANCE CO. | LIFE - ER | 1,299.30 |
| 2102 | AMBULANCE FEES PAYABLE | HEALTHCARE & FAMILY SERVICES | AMB-FUENTES FR13-2289 | 120.63 |
| <u>Program Total</u> | | | | <u>1,524.93</u> |
| Program: 10111006 -MAYOR & BOARD | | | | |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - FINANCE | CLERK'S LUNCHN | 22.00 |
| <u>Program Total</u> | | | | <u>22.00</u> |
| Program: 10111008 -BOARD & COMMISSIONS | | | | |
| 5218 | OTHER PROFESSIONAL SVCS | SUSAN R. PILAR CSR | PC, ZBA MEETINGS | 150.00 |
| 5219 | OTHER PROFESSIONAL SVCS | SUSAN R. PILAR CSR | PC, ZBA MEETINGS | 150.00 |
| <u>Program Total</u> | | | | <u>300.00</u> |
| Program: 10112001 -ADMIN | | | | |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - FINANCE | STRATIGIC PLANING MTG | 24.53 |
| 5219 | OTHER PROFESSIONAL SVCS | LAKE COUNTY RECORDER | CERT OF CORRECTION, ADDIF | 14.00 |
| 5152 | CONFERENCES & SEMINARS | LZ AREA CHAMBER OF COMMERCE | 2ND QTR MTG | 55.00 |
| 5211 | VILLAGE ATTORNEY RETAINER | KLEIN THORPE & JENKINS | LEGAL FEES - JAN | 4,600.00 |
| 5151 | LICENSING/CERTIFICATIONS | JLT TOWERS RE (NORTH AMERICA) INC | NOTARY BOND - KORDELL | 30.00 |
| <u>Program Total</u> | | | | <u>4,723.53</u> |
| Program: 10112012 -HUMAN RESOURCES | | | | |
| 5157 | MILEAGE REIMBURSEMENT | PETTY CASH - FINANCE | IRMA MTGS- WITHEROW | 53.44 |
| 5413 | EMPLOYEE EXAMS | MORRISON ASSOCIATES LTD | PRE EMPL - CHIEF | 2,000.00 |
| <u>Program Total</u> | | | | <u>2,053.44</u> |
| Program: 10113001 -FINANCIAL ADMIN | | | | |
| 5353 | OFFICE SUPPLIES | WAREHOUSE DIRECT, INC | COPY PAPER | 87.45 |
| 5351 | POSTAGE & SHIPPING | CMRS - POSTAGE BY PHONE | POSTAGE METER | 700.00 |
| 5274 | MAINT-EQUIPMENT | PITNEY BOWES - LEASE | METER LEASE | 59.00 |
| 5351 | POSTAGE & SHIPPING | CMRS - POSTAGE BY PHONE | POSTAGE METER | 300.00 |
| 5353 | OFFICE SURPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | BUDGET SUPPLIES | 14.19 |
| <u>Program Total</u> | | | | <u>1,160.64</u> |
| Program: 10113016 -ACCOUNTING SERVICES | | | | |
| 5351 | POSTAGE & SHIPPING | CMRS - POSTAGE BY PHONE | POSTAGE METER | 200.00 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | BUDGET SUPPLIES | 98.27 |
| <u>Program Total</u> | | | | <u>298.27</u> |
| Program: 10117017 -TECHNOLOGY | | | | |
| 5313 | TELEPHONE | COMCAST CABLE | PW - INTERNET | 149.35 |
| 5550 | MACHINERY & EQUIPMENT | INSIGHT PUBLIC SECTOR, INC | SPEAKERS/GRAPHICS CARD | 468.58 |

Village of Lake Zurich
Semi-Monthly Warrant Report
Warrant Date: 4/7/2014

Report Run Date: 4/1/2014
Time: 09:47AM

Fund: 101 - GENERAL FUND

| Account Code | Account Title | Vendor Name | Payable Description | Payment Amount |
|----------------------|-------------------------|---------------------------------|---------------------|------------------|
| 5313 | TELEPHONE | AT & T | VH ELEVATOR | 74.31 |
| 5219 | OTHER PROFESSIONAL SVCS | EARTHCHANNEL COMMUNICATIONS, IN | WEB STREAMING | 6,995.00 |
| 5219 | OTHER PROFESSIONAL SVCS | LEADINGIT SOLUTIONS, INC | SUPPORT AGREEMENT | 2,863.00 |
| 5550 | MACHINERY & EQUIPMENT | CDW GOVERNMENT INC. | MONIORS | 579.00 |
| 5550 | MACHINERY & EQUIPMENT | CDW GOVERNMENT INC. | SEAGATE NAS HDD 4T | 739.08 |
| 5313 | TELEPHONE | CALL ONE | ANALOG - MAR | 1,842.69 |
| 5219 | OTHER PROFESSIONAL SVCS | EARTHCHANNEL COMMUNICATIONS, IN | GRANICUS MIGRATION | 749.00 |
| Program Total | | | | 14,460.01 |

Program: 10124001 -POLICE ADMIN

| | | | | |
|------|---------------------------|---------------------------------|---------------------------|----------|
| 5359 | OTHER SUPPLIES | CARROT TOP INDUSTRIES | SNAPHOOKS | 32.50 |
| 5359 | OTHER SUPPLIES | CARROT TOP INDUSTRIES | FREIGHT | 16.07 |
| 5156 | EMPLOYEE RECOGNITION | ENTENMANN-ROVIN COMPANY | RETIREMENT BADGE - O'CONN | 124.25 |
| 5156 | EMPLOYEE RECOGNITION | ENTENMANN-ROVIN COMPANY | FREIGHT | 16.00 |
| 5322 | CUSTODIAL SUPPLIES | BADE PAPER PRODUCTS | CAN LINERS - LARGE | 122.20 |
| 5322 | CUSTODIAL SUPPLIES | BADE PAPER PRODUCTS | ROLL TOWEL | 57.00 |
| 5322 | CUSTODIAL SUPPLIES | BADE PAPER PRODUCTS | TOILET TISSUE | 100.00 |
| 5322 | CUSTODIAL SUPPLIES | BADE PAPER PRODUCTS | MULTI FOLD TOWELS | 100.00 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | 4 GB USB | 35.16 |
| 5327 | EQUIP MAINT PART&SUPPLIES | CROWN TROPHY | CHIEF HUSAK NAMEPLATE FOR | 27.85 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - POLICE DEPARTMENT | HOST CLASS | 15.97 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | 32# PAPER | 15.12 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | FOLDERS | 17.07 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - POLICE DEPARTMENT | HOST SUPPLIES | 26.88 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - POLICE DEPARTMENT | HOST CLASS SUPPLIES | 13.83 |
| 5322 | CUSTODIAL SUPPLIES | PETTY CASH - POLICE DEPARTMENT | CLEANING SUPPLIES | 5.38 |
| 5327 | EQUIP MAINT PART&SUPPLIES | PETTY CASH - POLICE DEPARTMENT | COMM-CENTER HARDWARE-NUTS | 27.96 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | ENVELOPES | 9.89 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | INDEX CARDS | 0.99 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | LEGAL PADS | 7.29 |
| 5154 | BOOKS/REF PUBLICATIONS | NATIONAL PUBLIC SAFETY INFO | NATIONAL LAW ENFORCEMENT | 144.00 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - POLICE DEPARTMENT | HOST SUPPLIES | 25.92 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - POLICE DEPARTMENT | HOST SUPPLIES | 11.91 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - POLICE DEPARTMENT | HOST CLASS | 8.51 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | MANILLA JACKET FILES | 16.79 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | HANGING FOLDERS | 46.47 |
| 5271 | MAINT-BLDGS & GROUNDS | SHERMAN MECHANICAL INC | QUARTERLY MAINTENANCE | 1,294.50 |
| 5327 | EQUIP MAINT PART&SUPPLIES | PETTY CASH - POLICE DEPARTMENT | HARDWARE FOR MONITORS | 24.11 |
| 5156 | EMPLOYEE RECOGNITION | PETTY CASH - POLICE DEPARTMENT | RETIREMENT RECOGNITION | 34.80 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - POLICE DEPARTMENT | LCCPA | 40.00 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - POLICE DEPARTMENT | HOST SUPPLIES | 3.14 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - POLICE DEPARTMENT | HOST SUPPLIES | 38.39 |
| 5156 | EMPLOYEE RECOGNITION | GREAT LAKES FIRE & SAFETY | FREIGHT | 5.00 |
| 5156 | EMPLOYEE RECOGNITION | GREAT LAKES FIRE & SAFETY | 5 STAR COMMENDATION BARS | 36.20 |
| 5355 | UNIFORMS | GALL'S INC. | UNIFORM-HUSAK | 17.12 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | FREIGHT | 17.84 |
| 5355 | UNIFORMS | GALL'S INC. | UNIFORM-HUSAK | 597.87 |
| 5154 | BOOKS/REF PUBLICATIONS | KELLER, NANCY | SHIPPING | 12.95 |
| 5154 | BOOKS/REF PUBLICATIONS | KELLER, NANCY | LAW ENFORCEMENT DIRECTORY | 135.00 |
| 5153 | TRAINING & BUSINESS MTGS | NORTHWEST POLICE ACADEMY | MANAGEMENT RIGHTS FOR THE | 25.00 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | OT FORMS (3000) | 199.63 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | #10 WINDOW ENVELOES (1000 | 96.30 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | #10 REGULAR ENVELOPES (20 | 93.70 |

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|----------------------|---------------------------|---------------------------------|---------------------------|-----------------|
| 5156 | EMPLOYEE RECOGNITION | CROWN TROPHY | TOM O'CONNELL RETIREMENT | 80.00 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | INDEX CARD POUCH | 23.22 |
| 5271 | MAINT-BLDGS & GROUNDS | BEST QUALITY CLEANING INC. | PD - CLEANING SERVICE | 1,295.00 |
| 5314 | CELL PHONES & PAGERS | VERIZON WIRELESS LLC | CELL PHONES - | 530.49 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | FREIGHT | 24.83 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | FREIGHT | 28.09 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | FREIGHT | 12.52 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | VEHICLE SEIZURE AND IMPOU | 468.51 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | FEE RECEIPT AND TRANSFER | 224.72 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | SHEET PROTECTORS | 19.98 |
| 5322 | CUSTODIAL SUPPLIES | BADE PAPER PRODUCTS | FREIGHT | 5.00 |
| 5322 | CUSTODIAL SUPPLIES | BADE PAPER PRODUCTS | CUPS | 155.18 |
| 5359 | OTHER SUPPLIES | CARROT TOP INDUSTRIES | U.S. FLAGS | 222.00 |
| 5155 | MEMBERSHIPS & SUBSCRIP | PADDOCK PUBLICATIONS INC. | DAILY HERALD SUBSCRIPTION | 34.00 |
| 5359 | OTHER SUPPLIES | CARROT TOP INDUSTRIES | POW / MIA FLAGS | 272.00 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | 8 GB USB | 45.96 |
| 5359 | OTHER SUPPLIES | CARROT TOP INDUSTRIES | ILLINOIS STATE FLAGS | 156.00 |
| Program Total | | | | 7,293.86 |

Program: 10124020 -POLICE

| | | | | |
|----------------------|---------------------|------------------|-----------------------|---------------|
| 4525 | POLICE LOCKOUT FEES | ALAMAN, RICKEY L | OVR CHRGD -LOCKOUT FE | 150.00 |
| Program Total | | | | 150.00 |

Program: 10124021 -OPERATIONS

| | | | | |
|------|-----------------------|--------------------------------|-----------------------------|-----------|
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | DELIVERY | 125.00 |
| 5157 | MILEAGE REIMBURSEMENT | BEREZA, IRENEUSZ | PARKING REIMBURSEMENT - T | 73.00 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | OVER-RIDE SWITCH | 285.00 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | REVERSE SENSING | 257.00 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | POP PIN ASSEMBLY | 8.00 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | CABLE - INCLINE BENCH | 60.00 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | RUNNING BELT - TREADMILL | 288.40 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | DECK - TREADMILL | 256.30 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | DRIVE BELT - TREAD MILL | 45.00 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | REPLACE BATTERY - ELLIPTI | 50.00 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | KEYPAD OVERLAY - BIKE | 60.00 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | CONTROLLER - EXERCISE BIK | 120.00 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | POWDER WAX - STAR TRAC | 30.00 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | POP PIN ASSEMBLY - TUFF G | 60.00 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | SEAT PAD - LEG PRESS | 35.00 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | TRIP CHARGE | 75.00 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | LABOR | 180.00 |
| 5274 | MAINT-EQUIPMENT | DIRECT FITNESS SOLUTIONS | FREIGHT | 110.00 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | KEYED ALIKE 0576X | 44.00 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | GRILLE PRE-WIRING | 50.00 |
| 5560 | VEHICLES | TWINN TEK | FEDERAL SS2000SM-SD SMART | 1,448.00 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | KEYED ALIKE [REDACTED] | 44.00 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | GRILLE PRE-WIRING | 50.00 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | DRIVER'S SIDE SPOT LIGHT | 215.00 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | 2014 FORD UTILITY POLICE | 24,558.00 |
| 5560 | VEHICLES | SECRETARY OF STATE VEHICLE SVC | D PLATES TITLES NEW SQUAD C | 105.00 |
| 5560 | VEHICLES | SECRETARY OF STATE VEHICLE SVC | D PLATES TITLES NEW SQUAD C | 105.00 |
| 5157 | MILEAGE REIMBURSEMENT | PETTY CASH - POLICE DEPARTMENT | TRAIN FARE AND PRKG-ATTN | 15.00 |

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| 5355 | UNIFORMS | GALL'S INC. | TERONDE - UNIFORM | 22.86 |
| 5355 | UNIFORMS | GALL'S INC. | MARINE UNIT. ICE POLO SHI | 39.00 |
| 5355 | UNIFORMS | THE UPS STORE | TERONDE: RETURN | 8.77 |
| 5355 | UNIFORMS | GALL'S INC. | HUZSEK: ATAC SHIELD BOOTS | 137.50 |
| 5355 | UNIFORMS | HOOPS, BRADLEY | HOOPS: BLACK BACKPACK | 60.00 |
| 5359 | OTHER SUPPLIES | KIESLER POLICE SUPPLY, INC. | FREIGHT | 65.00 |
| 5355 | UNIFORMS | GALL'S INC. | MARRA: TWO LEATHER TROUSE | 83.20 |
| 5355 | UNIFORMS | GALL'S INC. | WITT: BLACK BACKPACK | 47.50 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | HEADLAMP SOLUTION-13P | 877.00 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | 3.7L V-6 FFV W/ AWD | 97.00 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | 2014 FORD POLICE INTERCEP | 22,988.00 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | FRONT HEADLAMP SOLUTION-6 | 877.00 |
| 5359 | OTHER SUPPLIES | KIESLER POLICE SUPPLY, INC. | SUPER SOCK - 500 EACH | 2,905.00 |
| 5355 | UNIFORMS | RAY O'HERRON COMPANY INC. | KEVLAR GLOVES | 75.98 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | CRIME PREVENTION BOOKS - | 496.65 |
| 5354 | SMALL TOOLS & EQUIP | RAY O'HERRON COMPANY INC. | HOLSTER FOR 9 MM SHIELD | 58.99 |
| 5354 | SMALL TOOLS & EQUIP | RAY O'HERRON COMPANY INC. | MAGAZINE FOR 9 MM SHIELD | 29.95 |
| 5354 | SMALL TOOLS & EQUIP | RAY O'HERRON COMPANY INC. | S & W 9 MM SHIELD | 301.00 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | FREIGHT | 21.32 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | DELIVERY | 125.00 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | FREIGHT | 21.83 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | DOME LAMP CARGO AREA | 43.00 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | VEHICLE TOW REPORTS (1000 | 186.99 |
| 5352 | PRINTING-STATIONERY/FORMS | PARKER SYSTEMS, INC | ALARM ACTIVATION REPORTS | 158.16 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | OVER-RIDE SWITCH | 285.00 |
| 5560 | VEHICLES | CURRIE MOTORS FRANKFORT INC. | REVERSE SENSING | 254.00 |
| 5560 | VEHICLES | TWINN TEK | WHELEN SW8BBRR SUPER LED | 2,595.00 |
| Program Total | | | | 61,568.40 |

Program: 10124022 -COMMUNICATIONS

| | | | | |
|----------------------|---------------------|---------------------------------|---------------------------|-----------------|
| 5313 | TELEPHONE | AT & T | ZLINE 708 Z480019 | 5,029.46 |
| 5355 | UNIFORMS | GALL'S INC. | SCHROEDER: THREE UNIFORM | 139.59 |
| 5355 | UNIFORMS | GALL'S INC. | SCHROEDER: THREE UNIFORM | 120.49 |
| 5313 | TELEPHONE | AT & T | ZLINE 708 Z480001 | 353.93 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | POST IT PADS | 11.38 |
| 5313 | TELEPHONE | AT & T | ZLINE 708 Z820013 | 495.23 |
| 5355 | UNIFORMS | GALL'S INC. | SCHROEDER: BLACKINTON NAM | 10.46 |
| 5313 | TELEPHONE | AT & T | Z-LINE 847 Z995683 | 272.61 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | CD-R, SPINDLE | 29.99 |
| 5313 | TELEPHONE | AT & T | ZLINE 847 R280831 | 1,837.22 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | 5 * 8 INDEX CARDS | 7.56 |
| 5354 | SMALL TOOLS & EQUIP | HOME DEPOT CREDIT SERVICES | HUMIDIFIER - DISPATCH CEN | 149.00 |
| 5353 | OFFICE SUPPLIES | RUNCO OFFICE SUPPLY & EQUIPMENT | 3" BINDERS | 75.98 |
| 5355 | UNIFORMS | GALL'S INC. | UNIFORM-LYON | 50.95 |
| Program Total | | | | 8,583.83 |

Program: 10124023 -CRIME PREVENTION

| | | | | |
|------|---------------------------|--------------------------------|---------------------------|--------|
| 5219 | OTHER PROFESSIONAL SVCS | TLO LLC | TLO MONTHLY INVESTIGATIVE | 110.75 |
| 5352 | PRINTING-STATIONERY/FORMS | SIGNSCAPES INC | EXPO SPONSOR SIGN | 34.00 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - POLICE DEPARTMENT | SRO MEETING | 70.99 |
| 5359 | OTHER SUPPLIES | ELEGANT EMBROIDERY/MELON INK | LETTER OPENERS | 222.50 |
| 5359 | OTHER SUPPLIES | ELEGANT EMBROIDERY/MELON INK | LANYARDS | 510.00 |

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| 5219 | OTHER PROFESSIONAL SVCS | TRANS UNION CORPORATION | BACKGROUND INVESTIGATION | 81.14 |
| 5219 | OTHER PROFESSIONAL SVCS | WEST PUBLISHING GROUP | CLEAR FEE - BACKGROUND IN | 144.32 |
| 5152 | CONFERENCES & SEMINARS | DANIELSON, KURT | PLATTEVILLE RECRUITMENT F | 97.15 |
| 5359 | OTHER SUPPLIES | ELEGANT EMBROIDERY/MELON INK | TOTE BAGS | 775.00 |
| 5359 | OTHER SUPPLIES | ELEGANT EMBROIDERY/MELON INK | GRAYLINE FLY9 | 251.50 |
| 5359 | OTHER SUPPLIES | ELEGANT EMBROIDERY/MELON INK | MUGS | 745.92 |
| 5359 | OTHER SUPPLIES | ELEGANT EMBROIDERY/MELON INK | OPPER FIBER | 495.00 |
| Program Total | | | | 3,538.27 |

Program: 10124024 -INTERGOVERNMENTAL

| | | | | |
|----------------------|----------|---|--|--------------|
| 5355 | UNIFORMS | NORTHERN IL POLICE ALARM SYSTEM PIN - EST | | 40.00 |
| 5355 | UNIFORMS | NORTHERN IL POLICE ALARM SYSTEM EST SHIRTS | | 50.00 |
| 5355 | UNIFORMS | NORTHERN IL POLICE ALARM SYSTEM NIPAS MFF PATCHES | | 8.00 |
| Program Total | | | | 98.00 |

Program: 10125001 -FIRE/RESCUE-ADMIN

| | | | | |
|----------------------|---------------------------|----------------------------------|---------------------------|-----------------|
| 5355 | UNIFORMS | EAGLE ENGRAVING, INC | ACCOUNTABILITY PASSPORT T | 32.00 |
| 5153 | TRAINING & BUSINESS MTGS | IL FIRE CHIEFS ASSOCIATION | LIFE SAFETY CLASS | 375.00 |
| 5314 | CELL PHONES & PAGERS | VERIZON WIRELESS LLC | CELL PHONES - | 240.35 |
| 5313 | TELEPHONE | CALL ONE | ANALOG - MAR | 229.91 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - FIRE/RESCUE #1 | LC CHIEF'S MTGS | 80.00 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - FIRE/RESCUE #1 | IFSAP MTG | 10.00 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - FIRE/RESCUE #1 | LEADERSHIP MTG | 38.26 |
| 5153 | TRAINING & BUSINESS MTGS | PETTY CASH - FIRE/RESCUE #1 | MTG SUPPLIES | 3.48 |
| 5156 | EMPLOYEE RECOGNITION | PETTY CASH - FIRE/RESCUE #1 | FRAMES | 13.29 |
| 5353 | OFFICE SUPPLIES | STAPLES BUSINESS ADVANTAGE | MISC ITEMS | 62.47 |
| 5359 | OTHER SUPPLIES | PETTY CASH - FIRE/RESCUE #1 | REHAB SUPPLIES | 38.24 |
| 5359 | OTHER SUPPLIES | MID-AMERICA VACUUM CENTERS | VACUUM BAGS | 25.46 |
| 5211 | VILLAGE ATTORNEY RETAINER | KLEIN THORPE & JENKINS | LEGAL FEES - JAN | 575.00 |
| 5152 | CONFERENCES & SEMINARS | IL FIREFIGHTER PEER SUPPORT TEAM | TRAINING CRSE-BLAUW | 300.00 |
| 5271 | MAINT-BLDGS & GROUNDS | HASTINGS AIR-ENERGY CONTROL | SENSOR SERVICE CALL | 207.95 |
| 5355 | UNIFORMS | EAGLE ENGRAVING, INC | SHIPPING | 3.80 |
| 5359 | OTHER SUPPLIES | CAPITAL ONE NATIONAL ASSOCIATION | STATION SUPPLIES | 206.27 |
| 5313 | TELEPHONE | COMCAST CABLE | DEER PARK #4 - INTERNET | 99.35 |
| Program Total | | | | 2,540.83 |

Program: 10125031 -EMERGENCY MANAGEMENT

| | | | | |
|----------------------|-----------------|-----------------------------|---------------------------|-----------------|
| 5359 | OTHER SUPPLIES | TURNING TECHNOLOGIES, LLC | RF HID RECEIVER AND RESPO | 1,365.00 |
| 5359 | OTHER SUPPLIES | TURNING TECHNOLOGIES, LLC | SHIPPING | 5.00 |
| 5274 | MAINT-EQUIPMENT | IDENTISYS | CONTRACT 2014 | 1,209.00 |
| 5313 | TELEPHONE | NI GOVERNMENT SERVICES, INC | FEBRUARY SERVICE | 25.28 |
| Program Total | | | | 2,604.28 |

Program: 10125032 -FIRE SUPPRESSION

| | | | | |
|------|---------------------------|----------------------|---------------------------|----------|
| 5355 | UNIFORMS | RED WING SHOE STORE | BENE SAFETY SHOES | 119.00 |
| 5327 | EQUIP MAINT PART&SUPPLIES | PLASTIX PLUS LLC | CUSTOM TRAY LINER | 89.78 |
| 5314 | CELL PHONES & PAGERS | VERIZON WIRELESS LLC | CELL PHONES - | 181.63 |
| 5355 | UNIFORMS | W S DARLEY & COMPANY | TURNOUT GEAR COAT | 7,599.75 |
| 5355 | UNIFORMS | W S DARLEY & COMPANY | TURNOUT GEAR PANTS (CORN | 5,104.75 |

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| Program Total | | | | 13,094.91 |
| Program: 10125033 -EMS | | | | |
| 5357 | MEDICAL SUPPLIES | HENRY SCHEIN EMS | HEAD IMMOBILIZER | 384.00 |
| 5359 | OTHER SUPPLIES | CHICAGO COMMUNICATION LLC | PAGER | 522.21 |
| 5355 | UNIFORMS | TODAY'S UNIFORMS INC. | ERB UNIFORMS | 54.95 |
| 5354 | SMALL TOOLS & EQUIP | HOME DEPOT CREDIT SERVICES | SMALL TOOLS | 41.00 |
| 5357 | MEDICAL SUPPLIES | HENRY SCHEIN EMS | EMS SUPPLIES | 1,183.69 |
| 5357 | MEDICAL SUPPLIES | HENRY SCHEIN EMS | EMS SUPPLIES | 911.45 |
| 5357 | MEDICAL SUPPLIES | HENRY SCHEIN EMS | EMS - BREATHSAVE BAGS | 297.00 |
| 5359 | OTHER SUPPLIES | HENRY SCHEIN EMS | NASCO CARRYING CASE | 310.00 |
| 5357 | MEDICAL SUPPLIES | HENRY SCHEIN EMS | EMS - BREATHSAVE BAGS | 594.00 |
| 5357 | MEDICAL SUPPLIES | MEDTRONIC PHYSIO-CONTROL CORP. | PATIENT CABLE, EMS SUPPLI | 1,072.70 |
| 5355 | UNIFORMS | RED WING SHOE STORE | BORST SHOES | 99.00 |
| 5151 | LICENSING/CERTIFICATIONS | NORTHWEST COMMUNITY HOSPITAL E SYSTEM ENTRY MARTIN JOYCE | | 75.00 |
| 5357 | MEDICAL SUPPLIES | MEDTRONIC PHYSIO-CONTROL CORP. | PATIENT CABLE, EMS SUPPLI | 2,295.00 |
| 5359 | OTHER SUPPLIES | NORTHWEST COMMUNITY HOSPITAL E FILTERS | | 125.00 |
| 5357 | MEDICAL SUPPLIES | CDS OFFICE TECHNOLOGIES | NOTEBOOK STYLUS, TETHER | 387.00 |
| 5153 | TRAINING & BUSINESS MTGS | NORTHWEST COMMUNITY HEALTH SV | INSTANTION AND CLASS FEES | 3,412.50 |
| 5357 | MEDICAL SUPPLIES | HENRY SCHEIN EMS | EMS SUPPLIES | 675.00 |
| 5357 | MEDICAL SUPPLIES | HENRY SCHEIN EMS | EMS SUPPLIES | 869.00 |
| 5355 | UNIFORMS | TODAY'S UNIFORMS INC. | KRAUS UNIFORMS | 31.90 |
| 5357 | MEDICAL SUPPLIES | BOUND TREE MEDICAL LLC | INTUBATION CASE | 57.25 |
| 5314 | CELL PHONES & PAGERS | VERIZON WIRELESS LLC | CELL PHONES - | 120.11 |
| 5413 | EMPLOYEE EXAMS | HEALTH ENDEAVORS, SC | COMPREHENSIVE PHYSICAL WI | 410.00 |
| 5219 | OTHER PROFESSIONAL SVCS | ANDRES MEDICAL BILLING LTD. | AMB FEES - FEB | 2,052.04 |
| 5357 | MEDICAL SUPPLIES | HENRY SCHEIN EMS | EMS SUPPLIES | 144.00 |
| 5359 | OTHER SUPPLIES | CHICAGO COMMUNICATION LLC | SHIPPING | 8.00 |
| Program Total | | | | 16,131.80 |
| Program: 10125034 -SPECIAL RESCUE | | | | |
| 5277 | MAINT-OTHER | UNITED PARCEL SERVICE | DRY SUITS REPAIR | 128.67 |
| 5277 | MAINT-OTHER | CMS SAFETY INSTITUTE, INC | SENSIT REPAIR | 375.00 |
| 5354 | SMALL TOOLS & EQUIP | GRAINGER | CORD | 211.14 |
| 5274 | MAINT-EQUIPMENT | A.P.B. COMMUNICATIONS, INC | RADIO REPAIRS | 298.00 |
| 5277 | MAINT-OTHER | DRY SUITS PLUS INC. | DRY SUIT REPAIRS | 449.00 |
| 5359 | OTHER SUPPLIES | GRAINGER | HAZMAT SPILL KIT | 541.35 |
| Program Total | | | | 2,003.16 |
| Program: 10125035 -FIRE PREVENTION BUREAU | | | | |
| 5152 | CONFERENCES & SEMINARS | IL FIRE INSPECTORS ASSOCIATION | TRAINING BZDUSEK KLEINHEI | 75.00 |
| 5152 | CONFERENCES & SEMINARS | IL FIRE INSPECTORS ASSOCIATION | TRAINING BZDUSEK KLEINHEI | 70.00 |
| 5353 | OFFICE SUPPLIES | PETTY CASH - FIRE/RESCUE #1 | ART SUPPLIES | 6.86 |
| 5359 | OTHER SUPPLIES | PROMOS 911 INC. | PUB ED MATERIALS | 2,606.63 |
| 5314 | CELL PHONES & PAGERS | VERIZON WIRELESS LLC | CELL PHONES - | 128.00 |
| Program Total | | | | 2,886.49 |
| Program: 10128001 -B & Z ADMIN | | | | |
| 5219 | OTHER PROFESSIONAL SVCS | ROLF CAMPBELL & ASSOCIATES | MARATHON LANDSCAPE REVIEW | 335.00 |
| 5151 | LICENSING/CERTIFICATIONS | JLT TOWERS RE (NORTH AMERICA) INC | NOTARY BOND - LUSTIG | 30.00 |

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| 5353 | OFFICE SUPPLIES | WAREHOUSE DIRECT, INC | COPY PAPER | 58.30 |
| 5155 | MEMBERSHIPS & SUBSCRIP | PADDOCK PUBLICATIONS INC. | 3/30/14-5/24/14 HERAL | 43.00 |
| 5154 | BOOKS/REF PUBLICATIONS | INTERNATIONAL CODE COUNCIL INC. | 2012 CODE | 850.00 |
| 5570 | CAPITAL LEASE | KIP AMERICA INC | WIDE FORMAT COPIER LEASE | 260.81 |
| 5219 | OTHER PROFESSIONAL SVCS | LAKE COUNTY RECORDER | 440 RAND PLAT OF SUBDIVIS | 68.00 |
| 5219 | OTHER PROFESSIONAL SVCS | DLZ ILLINOIS, INC | MARATHON TRAFFIC STUDY | 330.00 |
| 5314 | CELL PHONES & PAGERS | VERIZON WIRELESS LLC | CELL PHONES - | 196.15 |
| 5353 | OFFICE SUPPLIES | STAPLES BUSINESS ADVANTAGE | MISC ITEMS | 9.77 |
| 5276 | MAINT-SERVICE CONTRACTS | CLIFFORD-WALD, A KIP COMPANY | WIDE FORMAT COPIER | 22.50 |
| Program Total | | | | 2,203.53 |

Program: 10128081 -INSPECTIONS

| | | | | |
|----------------------|---------------------------|---------------------------------|--------------------------|-----------------|
| 5355 | UNIFORMS | LA BEE, THOMAS | BOOTS | 50.00 |
| 5154 | BOOKS/REF PUBLICATIONS | INTERNATIONAL CODE COUNCIL INC. | 2012 CODE | 2,245.00 |
| 5219 | OTHER PROFESSIONAL SVCS | THOMPSON ELEVATOR INSP SERVICE | SEMI ANNUAL INSPECTIONS | 430.00 |
| 5219 | OTHER PROFESSIONAL SVCS | THOMPSON ELEVATOR INSP SERVICE | PERMIT PLAN REVIEW | 100.00 |
| 5219 | OTHER PROFESSIONAL SVCS | THOMPSON ELEVATOR INSP SERVICE | PLAN REVIEW - WATER EDGE | 200.00 |
| 5352 | PRINTING-STATIONERY/FORMS | INTERNATIONAL CODE COUNCIL INC. | 2012 CODE | 184.00 |
| Program Total | | | | 3,209.00 |

Program: 10136001 -COMMUNITY SERVICES ADMIN

| | | | | |
|----------------------|--------------------------|-------------------------------|-----------------------|---------------|
| 5355 | UNIFORMS | CINTAS CORPORATION LOC. 355 | UNIFORMS | 42.18 |
| 5314 | CELL PHONES & PAGERS | VERIZON WIRELESS LLC | CELL PHONES - | 154.55 |
| 5355 | UNIFORMS | CINTAS CORPORATION LOC. 355 | UNIFORMS | 42.18 |
| 5151 | LICENSING/CERTIFICATIONS | IL DEPT OF AGRICULTURE | 2014 LIC - WALKINGTON | 20.00 |
| 5355 | UNIFORMS | CINTAS CORPORATION LOC. 355 | UNIFORMS | 37.18 |
| 5151 | LICENSING/CERTIFICATIONS | IL DEPT OF AGRICULTURE | 2014 LIC - LOHMAN | 20.00 |
| 5276 | MAINT-SERVICE CONTRACTS | CLIFFORD-WALD, A KIP COMPANY | WIDE FORMAT COPIER | 22.50 |
| 5151 | LICENSING/CERTIFICATIONS | IL DEPT OF AGRICULTURE | 2014 LIC - CUELLAR | 20.00 |
| 5155 | MEMBERSHIPS & SUBSCRIP | ZIMMERMAN, RYAN | WEATHER APRIL | 87.50 |
| 5151 | LICENSING/CERTIFICATIONS | IL DEPT OF AGRICULTURE | 2014 LIC - KALAL | 20.00 |
| 5413 | EMPLOYEE EXAMS | NORTHWEST COMMUNITY HEALTH SV | DOT TESTING | 275.00 |
| Program Total | | | | 741.09 |

Program: 10136042 -PARK MAINTENANCE

| | | | | |
|------|---------------------------|----------------------------|---------------------------|----------|
| 5325 | BLDG & GROUND MAINT SUPPL | HOME DEPOT CREDIT SERVICES | BARN C/O DETECTOR | 41.94 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | WICKLOW SOCCAR | 17.66 |
| 5354 | SMALL TOOLS & EQUIP | HOME DEPOT CREDIT SERVICES | SPRAYGROUND HAMMER DRILL | 189.05 |
| 5325 | BLDG & GROUND MAINT SUPPL | HOME DEPOT CREDIT SERVICES | PARK BALLAST | 29.97 |
| 5271 | MAINT-BLDGS & GROUNDS | MARTIN ENTERPRISES | BUFFALO CREEK FURNACE REP | 851.00 |
| 5271 | MAINT-BLDGS & GROUNDS | BEST QUALITY CLEANING INC. | PK - CLEANING SERVICE | 1,365.00 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | BARN ELECTRIC | 65.33 |
| 5325 | BLDG & GROUND MAINT SUPPL | HOME DEPOT CREDIT SERVICES | CHALET FLOOR REPAIR | 21.72 |
| 5325 | BLDG & GROUND MAINT SUPPL | HOME DEPOT CREDIT SERVICES | CHALET FLOOR REPAIR | 38.83 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | CONCESSION ELECTRIC | 1.58 |
| 5325 | BLDG & GROUND MAINT SUPPL | HOME DEPOT CREDIT SERVICES | SPRAYGROUND CORROSION REP | 126.24 |
| 5325 | BLDG & GROUND MAINT SUPPL | HOME DEPOT CREDIT SERVICES | PAULUS DUMPSTER REPAIR | 25.71 |
| 5323 | LANDSCAPING SUPPLIES | NATIONWIDE CHEMICALS | PARKS WEED CONTROL | 333.05 |
| 5325 | BLDG & GROUND MAINT SUPPL | FASTENAL COMPANY | SPRAYGROUND MAINTENANCE | 22.58 |
| 5414 | RENTALS | COMMUNITY SEWER & SEPTIC | RENTAL - PAULUS PK | 75.00 |

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| Account Code | Account Title | Vendor Name | Payable Description | Payment Amount |
|--|---------------------------|-----------------------------|---------------------------|-----------------|
| Program Total | | | | 3,204.66 |
| Program: 10136043 -MUNICIPAL PROPERTY MAINT | | | | |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | 15 SOUTH OLD RAND ELECTRI | 66.52 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | 7 EAST MAIN ELECTRIC | 30.46 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | 133 WEST MAIN ELECTRIC | 43.55 |
| 5325 | BLDG & GROUND MAINT SUPPL | HOME DEPOT CREDIT SERVICES | 133 WEST MAIN ROOF REPAIR | 21.82 |
| 5271 | MAINT-BLDGS & GROUNDS | BEST QUALITY CLEANING INC. | VH - CLEANING SERVICES | 795.00 |
| 5354 | SMALL TOOLS & EQUIP | BERLAND'S HOUSE OF TOOLS | HAND TOOLS | 82.76 |
| 5271 | MAINT-BLDGS & GROUNDS | CINTAS CORPORATION LOC. 355 | UNIFORMS | 60.75 |
| 5325 | BLDG & GROUND MAINT SUPPL | SPRING AIR FILTER INC. | HVAC FILTERS | 231.00 |
| 5325 | BLDG & GROUND MAINT SUPPL | JOSEPH D FOREMAN COMPANY | COMMUNITY SERVICES ELEVAT | 244.15 |
| 5325 | BLDG & GROUND MAINT SUPPL | AIRGAS USA, LLC | CUTTING TORCHES | 42.97 |
| 5325 | BLDG & GROUND MAINT SUPPL | HOME DEPOT CREDIT SERVICES | 15 SOUTH OLD RAND SUMP PU | 100.32 |
| 5354 | SMALL TOOLS & EQUIP | HOME DEPOT CREDIT SERVICES | ELECTRIC METER | 59.97 |
| 5271 | MAINT-BLDGS & GROUNDS | CINTAS CORPORATION LOC. 355 | UNIFORMS | 60.75 |
| 5354 | SMALL TOOLS & EQUIP | HOME DEPOT CREDIT SERVICES | ELECTRIC METER | 65.25 |
| 5325 | BLDG & GROUND MAINT SUPPL | BCB GROUP, INC | VILLAGE HALL EMERGENCY LI | 18.95 |
| 5325 | BLDG & GROUND MAINT SUPPL | HOME DEPOT CREDIT SERVICES | COMMUNITY SERVICES SUMP P | 132.73 |
| 5354 | SMALL TOOLS & EQUIP | HOME DEPOT CREDIT SERVICES | IMPACT DRILL | 170.02 |
| 5354 | SMALL TOOLS & EQUIP | HOME DEPOT CREDIT SERVICES | CREDIT | (65.25) |
| 5271 | MAINT-BLDGS & GROUNDS | METRO DOOR & DOCK, INC | COMMUNITY SERVICES WEST V | 205.50 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | 15 SOUTH OLD RAND ELECTRI | 51.05 |
| 5325 | BLDG & GROUND MAINT SUPPL | HOME DEPOT CREDIT SERVICES | COMMUNITY SERVICES OUTLET | 40.36 |
| 5271 | MAINT-BLDGS & GROUNDS | CINTAS CORPORATION LOC. 355 | UNIFORMS | 60.75 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | 11 SOUTH OLD RAND ELECTRI | 20.16 |
| 5271 | MAINT-BLDGS & GROUNDS | MARTIN ENTERPRISES | 16 SOUTH OLD RAND FURNACE | 210.00 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | 11 SOUTH OLD RAND ELECTRI | 43.33 |
| 5253 | WASTE REMOVAL | WASTE MANAGEMENT | 133 WEST MAIN DUMPSTER | 183.84 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | 15 SOUTH OLD RAND ELECTRI | 63.35 |
| 5271 | MAINT-BLDGS & GROUNDS | BEST QUALITY CLEANING INC. | PW - CLEANING SERVICES | 745.00 |
| Program Total | | | | 3,785.06 |
| Program: 10136044 -RIGHT OF WAY MAINT | | | | |
| 5261 | MAINT-STREETS | SHERWIN INDUSTRIES INC. | REPLACEMENT SIGNS | 549.09 |
| 5354 | SMALL TOOLS & EQUIP | BERLAND'S HOUSE OF TOOLS | HAND TOOLS | 169.95 |
| Program Total | | | | 719.04 |
| Program: 10136045 -SNOW & ICE CONTROL | | | | |
| 5358 | SAFETY SUPPLIES | CONSERV FARM SUPPLY | SNOW FENCE STAKES | 500.00 |
| Program Total | | | | 500.00 |
| Program: 10136048 -ENGINEERING | | | | |
| 5216 | ENGR/ARCHITECTURAL | MANHARD CONSULTING LTD | 1125 S. RAND | 480.00 |
| 5216 | ENGR/ARCHITECTURAL | MANHARD CONSULTING LTD | LZ SHOPS | 540.00 |
| 5216 | ENGR/ARCHITECTURAL | MANHARD CONSULTING LTD | 1275 GERE MARIE | 1,098.75 |
| 5216 | ENGR/ARCHITECTURAL | MANHARD CONSULTING LTD | 885 TELSER | 92.00 |
| 5216 | ENGR/ARCHITECTURAL | MANHARD CONSULTING LTD | LINDEN SUBDIVISION, HONEY | 798.25 |
| 5216 | ENGR/ARCHITECTURAL | MANHARD CONSULTING LTD | COVENTRY CREEK | 350.00 |

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|---|---------------------------|---------------------------------|------------------------|-----------------|
| Program Total | | | | 3,359.00 |
| Program: 10136071 -VEHICLE MAINTENANCE | | | | |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | COPPER GASKET 3296 | 2.04 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | BRAKE PARTS 3296 | 428.47 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | WSAY BAR BUSHINGS 331 | 27.32 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | TUBING 3215 | 2.25 |
| 5328 | OTHER MAINT PARTS&SUPPLY | LAWSON PRODUCTS INC. | HARDWARE | 502.74 |
| 5326 | AUTO PARTS & SUPPLIES | RUSH TRUCK CENTER - SPRINGFIELD | SHUT DOWN BRACKET 3210 | 230.75 |
| 5326 | AUTO PARTS & SUPPLIES | RUSH TRUCK CENTER - SPRINGFIELD | LEVEL KIT 3247 | 77.74 |
| 5326 | AUTO PARTS & SUPPLIES | RUSH TRUCK CENTER - SPRINGFIELD | AIR TANK 532 | 275.34 |
| 5155 | MEMBERSHIPS & SUBSCRIP | MUNICIPAL FLEET MANAGERS ASSN. | DUES PAULUS | 30.00 |
| 5326 | AUTO PARTS & SUPPLIES | FASTENAL COMPANY | BOLTS 331 | 4.54 |
| 5326 | AUTO PARTS & SUPPLIES | RUSH TRUCK CENTER - SPRINGFIELD | FILTERS | 193.58 |
| 5353 | OFFICE SUPPLIES | STAPLES BUSINESS ADVANTAGE | MISC ITEMS | 4.04 |
| 5326 | AUTO PARTS & SUPPLIES | ADAMS STEEL SERVICE INC. | STEEL 3211 | 449.40 |
| 5327 | EQUIP MAINT PART&SUPPLIES | FASTENAL COMPANY | ROD 510C | 8.40 |
| 5354 | SMALL TOOLS & EQUIP | INTERSTATE BATTERY | SCAN TOOL BATTERY | 3.00 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | FILTERS | 56.40 |
| 5327 | EQUIP MAINT PART&SUPPLIES | POMP'S TIRE SERVICE | TIRES 710C | 3,325.80 |
| 5327 | EQUIP MAINT PART&SUPPLIES | POMP'S TIRE SERVICE | TIRES RODDER | 188.04 |
| 5353 | OFFICE SUPPLIES | STAPLES BUSINESS ADVANTAGE | MISC ITEMS | 11.52 |
| 5326 | AUTO PARTS & SUPPLIES | GLOBAL EMERGENCY PRODUCTS INC. | TRANS COOLER 3210 | 1,263.03 |
| 5326 | AUTO PARTS & SUPPLIES | RUSH TRUCK CENTER - SPRINGFIELD | AIR TANK BRACKETS 532 | 238.20 |
| 5271 | MAINT-BLDGS & GROUNDS | WAGNER, CHRISTOPHER W. | SHOP LIGHT INSTALL | 415.07 |
| 5327 | EQUIP MAINT PART&SUPPLIES | SEWER EQUIPMENT CO OF AMERICA | LEADER HOSE | 255.40 |
| 5327 | EQUIP MAINT PART&SUPPLIES | WEST SIDE EXCHANGE | ALTERNATOR 510C | 297.50 |
| 5326 | AUTO PARTS & SUPPLIES | RUSH TRUCK CENTER -GRAYSLAKE | SOLENOID 3247 | 51.40 |
| 5326 | AUTO PARTS & SUPPLIES | PRECISION SERVICE & PARTS, INC | BRAKE PADS 331 | 185.57 |
| 5326 | AUTO PARTS & SUPPLIES | PRECISION SERVICE & PARTS, INC | O2 SENSOR 337 | 112.14 |
| 5327 | EQUIP MAINT PART&SUPPLIES | O'REILLY AUTOMOTIVE STORES, INC | BATTERY ONAN | 198.39 |
| 5326 | AUTO PARTS & SUPPLIES | O'REILLY AUTOMOTIVE STORES, INC | HEADLIGHT 433 | 5.99 |
| 5326 | AUTO PARTS & SUPPLIES | WICKSTROM FORD | WHEEL 7493 | 259.19 |
| 5355 | UNIFORMS | CINTAS CORPORATION LOC. 355 | UNIFORMS | 160.63 |
| 5342 | FUELS | NICOR GAS | CNG | 35.78 |
| 5326 | AUTO PARTS & SUPPLIES | R.A. ADAMS ENTERPRISES, INC. | TOOL BOX CLIP 431 | 5.00 |
| 5326 | AUTO PARTS & SUPPLIES | GROSSINGER CHEVROLET | EXHAUST PARTS 331 | 135.59 |
| 5326 | AUTO PARTS & SUPPLIES | FASTENAL COMPANY | BOLTS 331 | 2.57 |
| 5327 | EQUIP MAINT PART&SUPPLIES | WINTER EQUIPMENT COMPANY | PLOW SHOES | 1,283.26 |
| 5355 | UNIFORMS | CINTAS CORPORATION LOC. 355 | UNIFORMS | 30.63 |
| 5326 | AUTO PARTS & SUPPLIES | FASTENAL COMPANY | FLAT STOCK 3211 | 27.95 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | CREDIT | (31.00) |
| 5346 | LUBRICANTS & FLUIDS | KELLER-HEARTT OIL | HYDRAULIC OIL | 1,264.20 |
| 5327 | EQUIP MAINT PART&SUPPLIES | O'REILLY AUTOMOTIVE STORES, INC | BULBS BOBCAT | 17.98 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | LIGHTS 3212 | 26.28 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | CREDIT | (49.50) |
| 5328 | OTHER MAINT PARTS&SUPPLY | AIRGAS USA, LLC | CUTTING TORCHES | 42.97 |
| 5326 | AUTO PARTS & SUPPLIES | O'REILLY AUTOMOTIVE STORES, INC | CREDIT - NOV EARNBACK | (49.82) |
| 5273 | MAINT-VEHICLES | MIDWEST FUEL INJECTION | TURBO REBUILD RODDER | 698.50 |
| 5355 | UNIFORMS | CINTAS CORPORATION LOC. 355 | UNIFORMS | 30.63 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | FILTERS | 44.88 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | TUNE UP PARTS 337 | 60.72 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | FILTERS | 151.22 |

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|----------------------|---------------------------|-----------------------------------|---------------------------|------------------|
| 5327 | EQUIP MAINT PART&SUPPLIES | NAPA AUTO PARTS | OIL FILTER | 4.18 |
| 5327 | EQUIP MAINT PART&SUPPLIES | ATLAS BOBCAT INC. | AIR FILTER | 30.06 |
| 5327 | EQUIP MAINT PART&SUPPLIES | ATLAS BOBCAT INC. | GRINDER TEETH | 153.65 |
| 5354 | SMALL TOOLS & EQUIP | SNAP-ON INDUSTRIAL | DRIVER HANDLE | 27.85 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | CREDIT-CORE DEP | (122.24) |
| 5355 | UNIFORMS | PAULUS, STEVE | WINTER COAT REPAIR | 51.00 |
| 5326 | AUTO PARTS & SUPPLIES | GLOBAL EMERGENCY PRODUCTS INC. | DOOR HANDLES 3214 | 168.63 |
| 5326 | AUTO PARTS & SUPPLIES | R.A. ADAMS ENTERPRISES, INC. | TOOL BOX LATCH 431 | 45.69 |
| 5327 | EQUIP MAINT PART&SUPPLIES | ATLAS BOBCAT INC. | WIPER PARTS BOBCAT | 421.19 |
| 5326 | AUTO PARTS & SUPPLIES | O'REILLY AUTOMOTIVE STORES, INC | CREDIT | (105.60) |
| 5346 | LUBRICANTS & FLUIDS | ATLAS BOBCAT INC. | COOLANT BOBCAT | 52.59 |
| 5327 | EQUIP MAINT PART&SUPPLIES | SEWER EQUIPMENT CO OF AMERICA | RODDER PUMP PARTS | 403.50 |
| 5327 | EQUIP MAINT PART&SUPPLIES | WEST SIDE EXCHANGE | CREDIT | (90.00) |
| 5327 | EQUIP MAINT PART&SUPPLIES | AEC FIRE SAFETY & SECURITY | RESCUE TOOL #2 PARTS | 118.25 |
| 5326 | AUTO PARTS & SUPPLIES | PRECISION SERVICE & PARTS, INC | TPMS SENSOR 7493 | 44.66 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | FUSES | 4.65 |
| 5327 | EQUIP MAINT PART&SUPPLIES | O'REILLY AUTOMOTIVE STORES, INC | CREDIT - BATTERY | (22.00) |
| 5327 | EQUIP MAINT PART&SUPPLIES | ATLAS BOBCAT INC. | CREDIT-TOOTH | (650.34) |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | WHEEL STUD 643 | 2.98 |
| 5327 | EQUIP MAINT PART&SUPPLIES | WEST SIDE EXCHANGE | SAFETY SWITCHES 710C | 297.24 |
| 5326 | AUTO PARTS & SUPPLIES | BRAKE ALIGN PARTS & SERVICES, INC | EXHAUST PARTS 326 | 33.92 |
| 5328 | AUTO PARTS & SUPPLIES | GLOBAL EMERGENCY PRODUCTS INC. | THREE REAR TAILBOARD COMP | 3,978.11 |
| 5327 | EQUIP MAINT PART&SUPPLIES | SEWER EQUIPMENT CO OF AMERICA | RODDER PUMP PARTS | 419.27 |
| 5341 | CHEMICALS | NAPA AUTO PARTS | ULTRA COPPER | 8.84 |
| 5326 | AUTO PARTS & SUPPLIES | RUSH TRUCK CENTER - SPRINGFIELD | CREDIT - BRACKET | (295.22) |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | OIL FILTERS | 6.90 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | FILTERS | 132.94 |
| 5354 | SMALL TOOLS & EQUIP | NAPA AUTO PARTS | GREASE GUN PARTS | 28.38 |
| 5351 | POSTAGE & SHIPPING | THE UPS STORE | PARTS SHIPPING 7493 | 9.87 |
| 5328 | OTHER MAINT PARTS&SUPPLY | HOME DEPOT CREDIT SERVICES | VELCRO | 28.97 |
| 5326 | AUTO PARTS & SUPPLIES | O'REILLY AUTOMOTIVE STORES, INC | BATTERY 3290 | 121.47 |
| 5342 | FUELS | BELL FUELS INC. | FUEL | 8,518.80 |
| 5327 | EQUIP MAINT PART&SUPPLIES | O'REILLY AUTOMOTIVE STORES, INC | BATTERIES 510C | 243.98 |
| 5342 | FUELS | BELL FUELS INC. | FUEL | 8,323.95 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | BRAKE ROTORS 331 | 293.18 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | CALIPER 331 | 74.22 |
| 5327 | EQUIP MAINT PART&SUPPLIES | NAPA AUTO PARTS | GASKET | 2.80 |
| 5219 | OTHER PROFESSIONAL SVCS | ALPINE AUTOMOTIVE INC. | TOW 328 | 134.00 |
| 5326 | AUTO PARTS & SUPPLIES | NAPA AUTO PARTS | DIFF GASKET | 3.97 |
| 5342 | FUELS | BELL FUELS INC. | FUEL | 10,071.90 |
| 5342 | FUELS | BELL FUELS INC. | FUEL | 3,710.70 |
| Program Total | | | | 49,676.57 |

Program: 10167001 -PARK & REC ADMIN

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|----------------------|----------------------|----------------------|---------------------------|---------------|
| 5361 | PROGRAM SUPPLIES | CROWN TROPHY | ENGRAVINGS FOR TREE AND B | 27.65 |
| 5314 | CELL PHONES & PAGERS | VERIZON WIRELESS LLC | CELL PHONES - | 0.23 |
| 5361 | PROGRAM SUPPLIES | MAX R | BENCH MEMORIAL-CRYSTAL OL | 697.00 |
| Program Total | | | | 724.88 |

Program: 10167920 -SPECIAL RECREATION

| | | | | |
|------|--------------|------------------------------|---------------------------|-----------|
| 5242 | SRA PROGRAMS | PLAYPOWER LT FARMINGTON, INC | PLY GRD EQUIP-PAULUS PARK | 40,587.86 |
| 5242 | SRA PROGRAMS | PLAYPOWER LT FARMINGTON, INC | FREIGHT | 586.25 |

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| <u>Program Total</u> | | | | <u>41,174.11</u> |
| Program: 10167940 -PRESCHOOL | | | | |
| 5414 | RENTALS | ST PETER'S CHURCH | TERRIFIC 2'S - FACILITY R | 280.00 |
| 5241 | PROGRAM SVCS | MUSIC IN THE BOX, INC | MUSIC MASTERS -WINTER 2 2 | 643.50 |
| <u>Program Total</u> | | | | <u>923.50</u> |
| Program: 10167965 -ATHLETICS | | | | |
| 5241 | PROGRAM SVCS | MIDWEST TENNIS PROGRAM, LLC | WINTER 1 TENNIS INSTRUCTI | 1,616.00 |
| <u>Program Total</u> | | | | <u>1,616.00</u> |
| Program: 10167975 -SPECIAL INTEREST & EVENTS | | | | |
| 5414 | RENTALS | THE CHAPEL | VILLAGE SINGERS REHEARSAL | 300.00 |
| <u>Program Total</u> | | | | <u>300.00</u> |
| Program: 10167995 -CONCESSIONS | | | | |
| 5415 | TAXES | ILLINOIS DEPARTMENT OF REVENUE | ST-1 PENALTY FOR LATE FIL | 40.33 |
| <u>Program Total</u> | | | | <u>40.33</u> |
| Fund Total | | | | 257,213.42 |

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Fund: 202 - MOTOR FUEL TAX

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|---|-------------------------|--------------------------------|------------------------|------------------|
| Program: 20236045 -SNOW AND ICE CONTROL | | | | |
| 5345 | SALT & DEICING SUPPLIES | CORRELATED PRODUCTS, INC | LIQUID DEICER ICEBITE | 6,009.00 |
| | | | <u>Program Total</u> | <u>6,009.00</u> |
| Program: 20236046 -STREET/TRAFFIC LIGHTS | | | | |
| 5311 | ELECTRICITY | CONSTELLATION NEW ENERGY, INC. | STREETLIGHT ELECTRIC | 10,303.05 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | CLAIRVIEW STREETLIGHTS | 41.11 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | STREETLIGHT ELECTRIC | 716.75 |
| | | | <u>Program Total</u> | <u>11,060.91</u> |
| | | | Fund Total | 17,069.91 |

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Fund: 401 - CAPITAL PROJECT

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|--|--------------------------|---|---------------------------|-----------------|
| Program: 40136043 -CIP - MUNICIPAL PROPERTY | | | | |
| 5530 | BLDG & BLDG IMPROVEMENTS | HOME DEPOT CREDIT SERVICES | VILLAGE HALL BUILDOUT LOC | 66.37 |
| 5530 | BLDG & BLDG IMPROVEMENTS | HOME DEPOT CREDIT SERVICES | VILLAGE HALL BUILDOUT LOC | 13.26 |
| 5530 | BLDG & BLDG IMPROVEMENTS | WAGNER, CHRISTOPHER W. | COMMUNITY SERVICES FILE R | 371.87 |
| 5530 | BLDG & BLDG IMPROVEMENTS | INTERNATIONAL FIRE EQUIPMENT | VILLAGE HALL BUILDOUT FIR | 1,947.00 |
| 5530 | BLDG & BLDG IMPROVEMENTS | CAPITAL ONE NATIONAL ASSOCIATION ADMIN - TV | | 778.97 |
| Program Total | | | | 3,177.47 |
| Fund Total | | | | 3,177.47 |

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Fund: 402 - PARK IMPROVEMENT

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|------------------------------------|-------------------|------------------------------|---------------------------|-------------------|
| Program: 40267900 -PARK IMP | | | | |
| 5520 | LAND IMPROVEMENTS | PLAYPOWER LT FARMINGTON, INC | FREIGHT | 1,758.75 |
| 5520 | LAND IMPROVEMENTS | PLAYPOWER LT FARMINGTON, INC | PLY GRD EQUIP-PAULUS PARK | 121,763.57 |
| 5520 | LAND IMPROVEMENTS | HOME DEPOT CREDIT SERVICES | SKATE PARK REPAIRS | 39.79 |
| 5520 | LAND IMPROVEMENTS | FASTENAL COMPANY | SKATE PARK REPAIRS | 31.57 |
| 5520 | LAND IMPROVEMENTS | FASTENAL COMPANY | SKATE PARK REPAIRS | 4.21 |
| 5520 | LAND IMPROVEMENTS | FASTENAL COMPANY | SKATE PARK REPAIR PARTS | 17.00 |
| 5520 | LAND IMPROVEMENTS | FASTENAL COMPANY | SKATE PARK REPAIR PARTS | 184.86 |
| 5520 | LAND IMPROVEMENTS | FASTENAL COMPANY | SKATE PARK REPAIR PARTS | 17.00 |
| 5520 | LAND IMPROVEMENTS | HOME DEPOT CREDIT SERVICES | SKATE PARK REPAIR PARTS | 40.89 |
| 5520 | LAND IMPROVEMENTS | FASTENAL COMPANY | SKATE PARK REPAIR PARTS | 5.82 |
| <u>Program Total</u> | | | | <u>123,863.46</u> |

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|--|-------------------|-------------------|
| | Fund Total | 123,863.46 |
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Fund: 405 - NHRST CAPITAL PROJECTS

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|--------------------------------------|---------------------------|---------------------|--------------------------|-----------------|
| Program: 40536044 -NHR PW ROW | | | | |
| 5343 | CONCRETE & ASPHALT | GESKE & SONS INC | BLACKTOP PATCH | 1,060.80 |
| 5540 | INFRASTRUCTURE IMPROVEMT: | HOLMES TESTING, INC | 2014/15 PAVEMENT TESTING | 2,900.00 |
| 5343 | CONCRETE & ASPHALT | GESKE & SONS INC | BLACKTOP PATCH | 1,860.30 |
| <u>Program Total</u> | | | | <u>5,821.10</u> |
| Fund Total | | | | 5,821.10 |

Village of Lake Zurich
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Fund: 501 - WATER/SEWER

| Account Code | Account Title | Vendor Name | Payable Description | Payment Amount |
|--|---------------------------|---------------------------------|---------------------------|------------------|
| Program: 501 -WATER/SEWER | | | | |
| 2037 | EMPLOYER-UNDIST LIFE | UNITED HEALTHCARE INSURANCE CO. | LIFE - ER | 112.98 |
| 2013 | WATER/SEWER REFUNDS | KAUFFMAN, JEREMY & SEEMA | UB REFUND-FINAL | 246.12 |
| Program Total | | | | 359.10 |
| Program: 50156001 -UTILITIES-ADMIN | | | | |
| 5313 | TELEPHONE | CALL ONE | ANALOG - MAR | 108.77 |
| 5355 | UNIFORMS | CINTAS CORPORATION LOC. 355 | UNIFORMS | 33.41 |
| 5355 | UNIFORMS | CINTAS CORPORATION LOC. 355 | UNIFORMS | 33.41 |
| 5211 | VILLAGE ATTORNEY RETAINER | KLEIN THORPE & JENKINS | LEGAL FEES - JAN | 575.00 |
| 5355 | UNIFORMS | CINTAS CORPORATION LOC. 355 | UNIFORMS | 33.41 |
| 5314 | CELL PHONES & PAGERS | VERIZON WIRELESS LLC | CELL PHONES - | 252.13 |
| 5313 | TELEPHONE | AT & T | CONCORD LIFT ALARM | 63.75 |
| Program Total | | | | 1,099.88 |
| Program: 50156054 -WATER PROD/STORAGE | | | | |
| 5341 | CHEMICALS | MORTON SALT, INC | BULK WATER CONDITIONING R | 1,823.25 |
| 5341 | CHEMICALS | MORTON SALT, INC | BULK WATER CONDITIONING R | 1,948.50 |
| 5341 | CHEMICALS | HYDRITE CHEMICAL CO. | CHLORINE/FLUORIDE | 1,583.65 |
| 5289 | WATER SAMPLE ANALYSIS | SUBURBAN LABORATORIES, INC. | LAB ANAYSIS/WATER | 357.00 |
| 5354 | SMALL TOOLS & EQUIP | STAPLES BUSINESS ADVANTAGE | MISC ITEMS | 40.98 |
| 5327 | EQUIP MAINT PART&SUPPLIES | HOME DÉPOT CREDIT SERVICES | GROUND ROD | 10.72 |
| 5354 | SMALL TOOLS & EQUIP | HOME DEPOT CREDIT SERVICES | ASSORTED HAND TOOLS | 400.71 |
| 5359 | OTHER SUPPLIES | HOME DEPOT CREDIT SERVICES | PENETRATING LUBRICANT | 14.91 |
| 5341 | CHEMICALS | HYDRITE CHEMICAL CO. | CHLORINE/FLUORIDE | 792.75 |
| 5288 | SYSTEM(S) INSPECTIONS | CORRPRO COMPANIES INC. | ANNUAL SERVICE AGREEMENT/ | 705.00 |
| 5288 | SYSTEM(S) INSPECTIONS | CORRPRO COMPANIES INC. | ANNUAL SERVICE AGREEMENT/ | 485.00 |
| 5312 | NATURAL GAS | NICOR GAS | WELL 7 | 861.16 |
| 5359 | OTHER SUPPLIES | BCB GROUP, INC | SLAA6-5F 6V DIALER ALARM | 38.85 |
| 5289 | WATER SAMPLE ANALYSIS | ENVIRONMENTAL INC. MIDWEST LAB | GROSS ALPHA ANALYSIS/WELL | 55.00 |
| 5359 | OTHER SUPPLIES | AIRGAS USA, LLC | CUTTING TORCHES | 42.98 |
| 5341 | CHEMICALS | MORTON SALT, INC | BULK WATER CONDITIONING R | 2,061.55 |
| Program Total | | | | 11,222.01 |
| Program: 50156055 -WATER DISTRIBUTION | | | | |
| 5219 | OTHER PROFESSIONAL SVCS | ASSOCIATED TECHNICAL SERVICES | MOHAWK & S OLD RAND | 705.00 |
| 5338 | DISTRIBUTION SYS REPAIR | HOME DEPOT CREDIT SERVICES | 1" BALL VALVE/SWT | 18.57 |
| 5327 | EQUIP MAINT PART&SUPPLIES | MID AMERICAN WATER | 3/4" WATER SERVICE FITTIN | 11.28 |
| 5354 | SMALL TOOLS & EQUIP | JOSEPH D FOREMAN COMPANY | 3' TILE PROBE | 132.00 |
| 5328 | OTHER MAINT PARTS&SUPPLY | MID AMERICAN WATER | UPPER HYDRANT STEM/MUELLE | 250.00 |
| 5354 | SMALL TOOLS & EQUIP | JOSEPH D FOREMAN COMPANY | 36" MANHOLE HOOK | 96.00 |
| 5338 | DISTRIBUTION SYS REPAIR | MID AMERICAN WATER | 3/4" FLARED CURB STOP | 498.00 |
| 5327 | EQUIP MAINT PART&SUPPLIES | MID AMERICAN WATER | ASSORTED B-BOX PARTS | 428.80 |
| Program Total | | | | 2,139.85 |
| Program: 50156056 -METER READING | | | | |
| 5333 | METERS PARTS & SUPPLIES | HD SUPPLY WATERWORKS LTD. | 1.5" METER FLANGE KIT | 300.00 |
| 5333 | METERS PARTS & SUPPLIES | HD SUPPLY WATERWORKS LTD. | 1" METER REGISTER | 260.28 |

Village of Lake Zurich
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Fund: 501 - WATER/SEWER

| Account Code | Account Title | Vendor Name | Payable Description | Payment Amount |
|---|---------------------------|---------------------------------|---------------------------|------------------|
| 5274 | MAINT-EQUIPMENT | BCB GROUP, INC | RECHARGEABLE AA 4-PK | 12.74 |
| 5333 | METERS PARTS & SUPPLIES | HD SUPPLY WATERWORKS LTD. | 510M SINGLE POINT MXU | 2,160.00 |
| 5333 | METERS PARTS & SUPPLIES | HD SUPPLY WATERWORKS LTD. | SENSUS OMNI 1.5" R2 METER | 3,066.00 |
| Program Total | | | | 5,799.02 |
| Program: 50156064 -INDUS MONITORING | | | | |
| 5289 | WATER SAMPLE ANALYSIS | FIRST ENVIRONMENTAL LABORATORIE | QUENTIN PUMP STATION EFFL | 400.50 |
| Program Total | | | | 400.50 |
| Program: 50156066 -LIFT STATIONS | | | | |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | FLOW CONTROL STRUCTURE | 92.13 |
| 5331 | LIFT STATION PARTS & SUPP | METROPOLITAN INDUSTRIES INC. | SEAL FAIL MODULE | 81.45 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | MIDLOTHIAN SEWER FLOW MET | 29.89 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | CHURCH ST LIFT STATION | 251.96 |
| 5311 | ELECTRICITY | COMMONWEALTH EDISON | VACUUM PRIMING STRUCTURE | 85.36 |
| 5284 | MAINT-INST&TELEMETRY | VORTEX TECHNOLOGIES INC. | REPAIR D-95 FLOW METER | 1,010.00 |
| Program Total | | | | 1,550.79 |
| Program: 50156067 -COLLECTION SYSTEM | | | | |
| 5285 | MAINT-MANHOLES | LAKE COUNTY TREASURER | PERMIT FEE-MANHOLE | 1,650.00 |
| 5337 | SEWER SYST REPAIR | MID AMERICAN WATER | 4" NON SHEAR COUPLINGS | 78.44 |
| Program Total | | | | 1,728.44 |
| Fund Total | | | | 24,299.39 |

Village of Lake Zurich
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Warrant Date: 4/7/2014

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Fund: 601 - MEDICAL SELF INSURANCE

| Account Code | Account Title | Vendor Name | Payable Description | Payment Amount |
|---|------------------|-----------------------------|---------------------|------------------|
| Program: 601 -MEDICAL SELF INSURANCE | | | | |
| 1502 | PREPAID EXPENSES | MIDWEST OPERATING ENG L/150 | LOCAL 150-SINGLE | 5,953.59 |
| 1502 | PREPAID EXPENSES | MIDWEST OPERATING ENG L/150 | LOCAL 150-FAMILY | 27,132.45 |
| <u>Program Total</u> | | | | <u>33,086.04</u> |

| | | | |
|------------|--|--|-----------|
| Fund Total | | | 33,086.04 |
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Village of Lake Zurich
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Report Run Date: 4/1/2014
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Fund: 603 - RISK MANAGEMENT INS

| Account Code | Account Title | Vendor Name | Payable Description | Payment Amount |
|--|------------------|-------------------|---------------------|-----------------|
| Program: 60312010 -RISK MANAGEMENT INS FUND | | | | |
| 5222 | INSURANCE CLAIMS | R.N.O.W., INC | SWEEPER SPRAY BAR | 624.18 |
| 5222 | INSURANCE CLAIMS | BROWN, RANDALL L. | ALPINE BLDG REPAIRS | 6,368.50 |
| <u>Program Total</u> | | | | <u>6,992.68</u> |
| Fund Total | | | | 6,992.68 |

Village of Lake Zurich
Semi-Monthly Warrant Report
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Fund: 710 - PERFORMANCE ESCROW

| Account Code | Account Title | Vendor Name | Payable Description | Payment Amount |
|---|-------------------------|---------------------------------|-----------------------|------------------|
| Program: 710 -PERFORMANCE ESCROW | | | | |
| 2501 | BUILDING DEPOSITS | MULLER, ANNEKE | BLD REF-520 GINGER TR | 100.00 |
| 2501 | BUILDING DEPOSITS | ARTHUR, JAMES | BLD REF-910 BRUSH HIL | 50.00 |
| 2501 | BUILDING DEPOSITS | PERMA-SEAL BASEMENT SYSTEMS, IN | BLD REF-561 APLEGATE | 100.00 |
| 2501 | BUILDING DEPOSITS | ALOHA CONSTRUCTION INC | BLD REF-1171 GENEVA L | 150.00 |
| 2501 | BUILDING DEPOSITS | VILLAGE SQUARE RETAIL CENTER | BLD REF-481 S RAND RD | 500.00 |
| 2511 | RECAPTURE FEE DEPOSITS | HUMMEL, ROBERT L | RSR RECAPTR #99121006 | 435.34 |
| 2501 | BUILDING DEPOSITS | T & M MULLER EXTERIORS | BLD REF-1128 PHEASANT | 100.00 |
| 2501 | BUILDING DEPOSITS | CLIMATE MAKERS, INC | BLD REF-1256 ERIC LN | 100.00 |
| 2511 | RECAPTURE FEE DEPOSITS | HUMMEL, ROBERT L | ADDITION #200404283 | 1,961.81 |
| 2501 | BUILDING DEPOSITS | WHITE EAGLE REMODELING INC | BLD REF-1155 CEDAR CR | 100.00 |
| 2501 | BUILDING DEPOSITS | HAUGER, JOHN | BLD REF-630 CYPRESS B | 100.00 |
| 2511 | RECAPTURE FEE DEPOSITS | HUMMEL, ROBERT L | ADDITION #200404283 | 11,770.81 |
| 2501 | BUILDING DEPOSITS | DE ANDA, BETH | BLD REF-126C POTOWATO | 100.00 |
| 2501 | BUILDING DEPOSITS | TANGORRA, CATHY | BLD REF-245 DENBERRY | 100.00 |
| 2501 | BUILDING DEPOSITS | PROLINE EXTERIORS INC. | BLD REF-606 DUNHILL D | 100.00 |
| 2053 | UNDIST AR SUSPENSE | KLEINTHORPE & JENKINS | LEGAL FEES - JAN | 273.00 |
| 2511 | RECAPTURE FEE DEPOSITS | HUMMEL, ROBERT L | RSR RECAPTR #99121006 | 1,152.41 |
| 2501 | BUILDING DEPOSITS | KOSMAN, JOAN | BLD REF-660 PORTREE L | 100.00 |
| 2501 | BUILDING DEPOSITS | SCHMITZ, ELIZABETH/TIM | BLD REF-1258 PHEASANT | 100.00 |
| 2501 | BUILDING DEPOSITS | ESPINOZA, JUAN | BLD REF-249 PINE TREE | 100.00 |
| 2501 | BUILDING DEPOSITS | LZ TIRE & AUTO INC | BLD REF-532 W RT 22 | 500.00 |
| 2501 | BUILDING DEPOSITS | KLAWANS, LAURIE | BLD REF-825 THORNDALE | 100.00 |
| 2501 | BUILDING DEPOSITS | TALLEY, GEOFF | BLD REF-413 PRAIRIE | 100.00 |
| 2510 | STREET OPENING DEPOSITS | TALLEY, GEOFF | ST OPNG REFUND | 1,000.00 |
| 2501 | BUILDING DEPOSITS | TINSLEY, MEGAN | BLD REF-1278 BERKSHIR | 100.00 |
| 2501 | BUILDING DEPOSITS | HARTMANN, CHRISTINA | BLD REF-290 MARK LN | 100.00 |
| 2501 | BUILDING DEPOSITS | KRETSCHMER, RUTH | BLD REF-1507 SANDY PA | 50.00 |
| 2501 | BUILDING DEPOSITS | AG PROFESSIONAL CONSTRUCTION IN | BLD REF-1040 ASPEN CT | 100.00 |
| 2501 | BUILDING DEPOSITS | IBBOTSON HEATING COMPANY | BLD REF-699 WINDEMERE | 100.00 |
| 2501 | BUILDING DEPOSITS | LOUD BROTHERS, INC | BLD REF-219 ALPINE DR | 50.00 |
| 2501 | BUILDING DEPOSITS | HEWES CONSTRUCTION CORP | BLD REF-155 W HARBOR | 50.00 |
| Program Total | | | | 19,743.37 |

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|--|-------------------|------------------|
| | Fund Total | 19,743.37 |
|--|-------------------|------------------|

Village of Lake Zurich
Semi-Monthly Warrant Report
Warrant Date: 4/7/2014

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Fund: 720 - PAYROLL CLEARING

| Account Code | Account Title | Vendor Name | Payable Description | Payment Amount |
|---------------------------------------|--------------------------|---------------------------------|---------------------|-----------------|
| Program: 720 -PAYROLL CLEARING | | | | |
| 2043 | LIFE INS DED | NCPERS-IL IMRF - 0157 | GROUP LIFE - APRIL | 268.00 |
| 2039 | 100% EE COVERED BENEFITS | UNITED HEALTHCARE INSURANCE CO. | VISION - MAR | 1,091.57 |
| 2039 | 100% EE COVERED BENEFITS | UNITED HEALTHCARE INSURANCE CO. | DENTAL - MAR | 6,307.87 |
| 2043 | LIFE INS DED | UNITED HEALTHCARE INSURANCE CO. | LIFE - EE | 1,677.34 |
| <u>Program Total</u> | | | | <u>9,344.78</u> |

| | | | |
|------------|--|--|----------|
| Fund Total | | | 9,344.78 |
|------------|--|--|----------|

YTD Vendor Payments

Date: 4/1/2014

| Vendor Number | Vendor Name | Current Payment | YTD Amount Paid |
|---------------|-----------------------------------|-----------------|-----------------|
| 2503 | A.P.B. COMMUNICATIONS, INC | 298.00 | 2,076.00 |
| 995 | ADAMS STEEL SERVICE INC. | 449.40 | 5,836.97 |
| 1260 | AEC FIRE SAFETY & SECURITY | 116.25 | 467.95 |
| 99934 | AG PROFESSIONAL CONSTRUCITON INC | 100.00 | 100.00 |
| 2460 | AIRGAS USA, LLC | 128.92 | 853.46 |
| 99946 | ALAMAN, RICKEY L | 150.00 | 150.00 |
| 99953 | ALOHA CONSTRUCTION INC | 150.00 | 150.00 |
| 3521 | ALPINE AUTOMOTIVE INC. | 134.00 | 1,072.70 |
| 4180 | ANDRES MEDICAL BILLING LTD. | 2,052.04 | 19,379.73 |
| 99676 | ARTHUR, JAMES | 50.00 | 100.00 |
| 5602 | ASSOCIATED TECHNICAL SERVICES | 705.00 | 2,108.00 |
| 3683 | AT & T | 8,126.51 | 88,025.07 |
| 5732 | ATLAS BOBCAT INC. | 7.15 | 182.03 |
| 7510 | BADE PAPER PRODUCTS | 539.38 | 12,080.44 |
| 8390 | BCB GROUP, INC | 70.54 | 1,317.01 |
| 8850 | BELL FUELS INC. | 30,625.35 | 358,243.42 |
| 9090 | BEREZA, IRENEUSZ | 73.00 | 73.00 |
| 9175 | BERLAND'S HOUSE OF TOOLS | 252.71 | 553.73 |
| 9219 | BEST QUALITY CLEANING INC. | 4,200.00 | 51,539.00 |
| 10430 | BOUND TREE MEDICAL LLC | 57.25 | 57.25 |
| 10634 | BRAKE ALIGN PARTS & SERVICES, INC | 33.92 | 1,263.46 |
| 11190 | BROWN, RANDALL L. | 6,368.50 | 29,967.00 |
| 12503 | CALL ONE | 2,181.37 | 28,642.06 |
| 12797 | CAPITAL ONE NATIONAL ASSOCIATION | 985.24 | 9,923.59 |
| 12975 | CARROT TOP INDUSTRIES | 698.57 | 733.33 |
| 13315 | CDS OFFICE TECHNOLOGIES | 387.00 | 387.00 |
| 15280 | CDW GOVERNMENT INC. | 1,318.08 | 13,031.42 |
| 13900 | CHICAGO COMMUNICATION LLC | 530.21 | 4,276.36 |
| 14252 | CINTAS CORPORATION LOC. 355 | 625.91 | 6,812.72 |
| 14760 | CLIFFORD-WALD, A KIP COMPANY | 45.00 | 1,201.32 |
| 99227 | CLIMATE MAKERS, INC | 100.00 | 100.00 |
| 14800 | CMRS - POSTAGE BY PHONE | 1,200.00 | 16,500.00 |
| 25105 | CMS SAFETY INSTITUTE, INC | 375.00 | 5,243.71 |
| 15258 | COMCAST CABLE | 248.70 | 2,181.48 |
| 15271 | COMMONWEALTH EDISON | 1,620.19 | 19,842.33 |
| 15278 | COMMUNITY SEWER & SEPTIC | 75.00 | 3,730.00 |
| 15390 | CONSERV FARM SUPPLY | 500.00 | 8,097.71 |
| 26590 | CONSTELLATION NEW ENERGY, INC. | 10,303.05 | 379,372.60 |
| 75115 | CORRELATED PRODUCTS, INC | 6,009.00 | 18,129.60 |
| 15921 | CORRPRO COMPANIES INC. | 1,190.00 | 10,405.00 |
| 16212 | CROWN TROPHY | 135.50 | 415.50 |
| 16505 | CURRIE MOTORS FRANKFORT INC. | 51,172.00 | 127,856.00 |
| 17260 | DANIELSON, KURT | 97.15 | 645.81 |
| 99954 | DE ANDA, BETH | 100.00 | 100.00 |
| 18593 | DIRECT FITNESS SOLUTIONS | 1,335.70 | 1,710.70 |
| 18745 | DLZ ILLINOIS, INC | 330.00 | 990.00 |
| 19360 | DRY SUITS PLUS INC. | 449.00 | 449.00 |
| 20345 | EAGLE ENGRAVING, INC | 35.80 | 195.53 |

YTD Vendor Payments

Date: 4/1/2014

| Vendor Number | Vendor Name | Current Payment | YTD Amount Paid |
|---------------|-----------------------------------|-----------------|-----------------|
| 20343 | EARTHCHANNEL COMMUNICATIONS, INC | 7,744.00 | 7,744.00 |
| 23225 | ELEGANT EMBROIDERY/MELON INK | 2,999.92 | 9,125.42 |
| 24050 | ENTENMANN-ROVIN COMPANY | 140.25 | 546.50 |
| 24071 | ENVIRONMENTAL INC. MIDWEST LAB | 55.00 | 805.00 |
| 25090 | ESPINOZA, JUAN | 100.00 | 100.00 |
| 27515 | FASTENAL COMPANY | 326.50 | 3,293.15 |
| 28351 | FIRST ENVIRONMENTAL LABORATORIES | 400.50 | 2,304.00 |
| 30240 | GALL'S INC. | 1,266.54 | 14,181.82 |
| 80863 | GESKE & SONS INC | 2,921.10 | 23,647.25 |
| 30953 | GLOBAL EMERGENCY PRODUCTS INC. | 5,409.77 | 22,198.84 |
| 96120 | GRAINGER | 752.49 | 9,034.50 |
| 32602 | GREAT LAKES FIRE & SAFETY | 41.20 | 5,157.45 |
| 27540 | GROSSINGER CHEVROLET | 135.59 | 4,756.48 |
| 99933 | HARTMANN, CHRISTINA | 100.00 | 100.00 |
| 35030 | HASTINGS AIR-ENERGY CONTROL | 207.95 | 993.55 |
| 35035 | HAUGER, JOHN | 100.00 | 1,427.00 |
| 92422 | HD SUPPLY WATERWORKS LTD. | 5,786.28 | 32,855.12 |
| 35425 | HEALTH ENDEAVORS, SC | 410.00 | 19,675.00 |
| 35423 | HEALTHCARE & FAMILY SERVICES | 120.63 | 547.60 |
| 77315 | HENRY SCHEIN EMS | 5,368.14 | 13,947.95 |
| 99935 | HEWES CONSTRUCTION CORP | 50.00 | 50.00 |
| 37000 | HOLMES TESTING, INC | 2,900.00 | 6,970.13 |
| 37025 | HOME DEPOT CREDIT SERVICES | 1,822.87 | 26,565.58 |
| 37090 | HOOPS, BRADLEY | 60.00 | 60.00 |
| 74900 | HUMMEL, ROBERT L | 15,320.37 | 20,114.77 |
| 38561 | HYDRITE CHEMICAL CO. | 2,376.40 | 11,333.30 |
| 38900 | IBBOTSON HEATING COMPANY | 100.00 | 100.00 |
| 12835 | IDENTISYS | 1,209.00 | 2,377.00 |
| 39723 | IL DEPT OF AGRICULTURE | 80.00 | 80.00 |
| 41784 | IL FIRE CHIEFS ASSOCIATION | 375.00 | 2,312.00 |
| 41786 | IL FIRE INSPECTORS ASSOCIATION | 145.00 | 1,140.00 |
| 41789 | IL FIREFIGHTER PEER SUPPORT TEAM | 300.00 | 300.00 |
| 41771 | ILLINOIS DEPARTMENT OF REVENUE | 40.33 | 40.33 |
| 42369 | INSIGHT PUBLIC SECTOR, INC | 468.58 | 17,664.10 |
| 10071 | INTERNATIONAL CODE COUNCIL INC. | 3,279.00 | 3,279.00 |
| 42392 | INTERNATIONAL FIRE EQUIPMENT | 1,947.00 | 4,990.87 |
| 42395 | INTERSTATE BATTERY | 3.00 | 427.23 |
| 46597 | JLT TOWERS RE (NORTH AMERICA) INC | 60.00 | 60.00 |
| 47400 | JOSEPH D FOREMAN COMPANY | 472.15 | 7,201.60 |
| UB000084 | KAUFFMAN, JEREMY & SEEMA | 246.12 | 246.12 |
| 10023 | KELLER, NANCY | 147.95 | 147.95 |
| 48745 | KELLER-HEARTT OIL | 1,264.20 | 13,960.97 |
| 49172 | KIESLER POLICE SUPPLY, INC. | 2,970.00 | 17,221.58 |
| 49340 | KIP AMERICA INC | 260.81 | 3,129.72 |
| 99936 | KLAWANS, LAURIE | 100.00 | 100.00 |
| 49830 | KLEIN THORPE & JENKINS | 6,023.00 | 95,877.50 |
| 99938 | KOSMAN, JOAN | 100.00 | 100.00 |
| 50371 | KRETSCHMER, RUTH | 50.00 | 50.00 |

YTD Vendor Payments

Date: 4/1/2014

| Vendor Number | Vendor Name | Current Payment | YTD Amount Paid |
|---------------|----------------------------------|-----------------|-----------------|
| 51200 | LA BEE, THOMAS | 50.00 | 50.00 |
| 51259 | LAKE COUNTY RECORDER | 82.00 | 1,330.00 |
| 51250 | LAKE COUNTY TREASURER | 1,650.00 | 2,650.00 |
| 51730 | LAWSON PRODUCTS INC. | 502.74 | 9,392.45 |
| 51810 | LEADINGIT SOLUTIONS, INC | 2,863.00 | 34,356.00 |
| 99948 | LOUD BROTHERS, INC | 50.00 | 50.00 |
| 51262 | LZ AREA CHAMBER OF COMMERCE | 55.00 | 640.00 |
| 51290 | LZ RURAL FIRE PROTECTION DIST. | 100.00 | 2,253.34 |
| 99372 | LZ TIRE & AUTO INC | 500.00 | 1,000.00 |
| 54490 | MANHARD CONSULTING LTD | 3,359.00 | 278,834.60 |
| 54750 | MARTIN ENTERPRISES | 1,061.00 | 18,785.10 |
| 32607 | MAX R | 697.00 | 697.00 |
| 70670 | MEDTRONIC PHYSIO-CONTROL CORP. | 3,367.70 | 41,301.30 |
| 66731 | METRO DOOR & DOCK, INC | 205.50 | 12,709.19 |
| 56826 | METROPOLITAN INDUSTRIES INC. | 81.45 | 109,977.45 |
| 57024 | MID AMERICAN WATER | 1,266.52 | 8,930.10 |
| 57022 | MID-AMERICA VACUUM CENTERS | 25.46 | 25.46 |
| 57031 | MIDWEST FUEL INJECTION | 698.50 | 698.50 |
| 57045 | MIDWEST OPERATING ENG L/150 | 33,086.04 | 129,336.30 |
| 76850 | MIDWEST TENNIS PROGRAM, LLC | 1,616.00 | 19,271.66 |
| 54459 | MORRISON ASSOCIATES LTD | 2,000.00 | 3,300.00 |
| 58269 | MORTON SALT, INC | 5,833.30 | 208,077.99 |
| 99949 | MULLER, ANNEKE | 100.00 | 100.00 |
| 58959 | MUNICIPAL FLEET MANAGERS ASSN. | 30.00 | 705.00 |
| 59175 | MUSIC IN THE BOX, INC | 643.50 | 2,979.75 |
| 59770 | NAPA AUTO PARTS | 1,159.84 | 20,416.38 |
| 59842 | NATIONAL PUBLIC SAFETY INFO | 144.00 | 144.00 |
| 59874 | NATIONWIDE CHEMICALS | 333.05 | 333.05 |
| 41772 | NCPERS-IL IMRF - 0157 | 268.00 | 3,520.00 |
| 60747 | NI GOVERNMENT SERVICES, INC | 25.28 | 330.08 |
| 61214 | NICOR GAS | 896.94 | 41,888.28 |
| 61210 | NORTHERN IL POLICE ALARM SYSTEM | 98.00 | 4,653.00 |
| 61225 | NORTHWEST COMMUNITY HEALTH SVC | 3,687.50 | 9,153.50 |
| 61224 | NORTHWEST COMMUNITY HOSPITAL EMS | 200.00 | 5,456.42 |
| 61247 | NORTHWEST POLICE ACADEMY | 25.00 | 75.00 |
| 66520 | O'REILLY AUTOMOTIVE STORES, INC | 410.39 | 12,538.45 |
| 68771 | PADDOCK PUBLICATIONS INC. | 77.00 | 1,487.55 |
| 69103 | PARKER SYSTEMS, INC | 2,051.09 | 5,368.19 |
| 69508 | PAULUS, STEVE | 51.00 | 51.00 |
| 99514 | PERMA-SEAL BASEMENT SYSTEMS, INC | 100.00 | 100.00 |
| 70250 | PETTY CASH - FINANCE | 99.97 | 883.13 |
| 70249 | PETTY CASH - FIRE/RESCUE #1 | 190.13 | 190.13 |
| 70254 | PETTY CASH - POLICE DEPARTMENT | 362.59 | 362.59 |
| MB000018 | PICKETT, ALLAN P | 5.00 | 5.00 |
| 70901 | PITNEY BOWES - LEASE | 59.00 | 708.00 |
| 69610 | PLASTIX PLUS LLC | 89.78 | 89.78 |
| 71036 | PLAYPOWER LT FARMINGTON, INC | 164,696.43 | 164,696.43 |
| 71345 | POMP'S TIRE SERVICE | 3,513.84 | 16,245.20 |

YTD Vendor Payments

Date: 4/1/2014

| Vendor Number | Vendor Name | Current Payment | YTD Amount Paid |
|---------------|-------------------------------------|-----------------|-----------------|
| 71753 | PRECISION SERVICE & PARTS, INC | 342.37 | 8,065.71 |
| 71989 | PROLINE EXTERIORS INC. | 100.00 | 400.00 |
| 71987 | PROMOS 911 INC. | 2,606.63 | 4,815.16 |
| 73175 | R.A. ADAMS ENTERPRISES, INC. | 50.69 | 23,100.36 |
| 74910 | R.N.O.W., INC | 624.18 | 2,883.99 |
| 73540 | RAY O'HERRON COMPANY INC. | 465.92 | 8,489.97 |
| 73661 | RED WING SHOE STORE | 218.00 | 3,385.56 |
| 75550 | ROLF CAMPBELL & ASSOCIATES | 335.00 | 1,036.25 |
| 76143 | RUNCO OFFICE SUPPLY & EQUIPMENT CO. | 475.29 | 18,357.13 |
| 76346 | RUSH TRUCK CENTER - SPRINGFIELD | 720.39 | 5,765.22 |
| 76344 | RUSH TRUCK CENTER -GRAYSLAKE | 51.40 | 851.58 |
| 99598 | SCHMITZ, ELIZABETH/TIM | 100.00 | 100.00 |
| 77942 | SECRETARY OF STATE VEHICLE SVC DEPT | 210.00 | 1,323.00 |
| 78180 | SEWER EQUIPMENT CO OF AMERICA | 1,078.17 | 1,078.17 |
| 78520 | SHERMAN MECHANICAL INC | 1,294.50 | 30,637.78 |
| 78543 | SHERWIN INDUSTRIES INC. | 549.09 | 18,036.02 |
| 79038 | SIGNSCAPES INC | 34.00 | 5,436.00 |
| 80170 | SNAP-ON INDUSTRIAL | 27.85 | 282.07 |
| 80788 | SPRING AIR FILTER INC. | 231.00 | 832.00 |
| 76921 | ST PETER'S CHURCH | 280.00 | 2,240.00 |
| 81070 | STAPLES BUSINESS ADVANTAGE | 128.78 | 7,374.85 |
| 82073 | SUBURBAN LABORATORIES, INC. | 357.00 | 5,781.50 |
| 70839 | SUSAN R. PILAR CSR | 300.00 | 2,137.50 |
| 58875 | T & M MULLER EXTERIORS | 100.00 | 150.00 |
| 99947 | TALLEY, GEOFF | 1,100.00 | 1,100.00 |
| 99937 | TANGORRA, CATHY | 100.00 | 100.00 |
| 99705 | THE CHAPEL | 300.00 | 300.00 |
| 54419 | THE UPS STORE | 18.64 | 565.49 |
| 84200 | THOMPSON ELEVATOR INSP SERVICE | 730.00 | 6,662.00 |
| 99704 | TINSLEY, MEGAN | 100.00 | 100.00 |
| 84490 | TLO LLC | 110.75 | 1,363.75 |
| 84885 | TODAY'S UNIFORMS INC. | 86.85 | 4,444.01 |
| 85220 | TRANS UNION CORPORATION | 81.14 | 684.56 |
| 85783 | TURNING TECHNOLOGIES, LLC | 1,370.00 | 1,370.00 |
| 85785 | TWINN TEK | 4,043.00 | 4,043.00 |
| 88131 | UNITED HEALTHCARE INSURANCE CO. | 10,489.06 | 1,878,616.98 |
| 88132 | UNITED PARCEL SERVICE | 128.67 | 306.98 |
| 90050 | VERIZON WIRELESS LLC | 1,803.64 | 22,811.15 |
| 90340 | VILLAGE SQUARE RETAIL CENTER | 500.00 | 600.00 |
| 90810 | VORTEX TECHNOLOGIES INC. | 1,010.00 | 37,029.14 |
| 95830 | W S DARLEY & COMPANY | 12,704.50 | 35,703.63 |
| 91948 | WAGNER, CHRISTOPHER W. | 786.94 | 18,381.83 |
| 92335 | WAREHOUSE DIRECT, INC | 145.75 | 2,843.90 |
| 92413 | WASTE MANAGEMENT | 183.84 | 10,625.79 |
| 93160 | WEST PUBLISHING GROUP | 144.32 | 2,805.76 |
| 93170 | WEST SIDE EXCHANGE | 504.74 | 8,992.13 |
| 99721 | WHITE EAGLE REMODELING INC | 100.00 | 150.00 |
| 93900 | WICKSTROM FORD | 259.19 | 5,204.45 |

YTD Vendor Payments

Date: 4/1/2014

| Vendor Number | Vendor Name | Current Payment | YTD Amount Paid |
|----------------------|--------------------------|-------------------|-----------------|
| 94680 | WINTER EQUIPMENT COMPANY | 1,283.26 | 2,566.52 |
| 98875 | ZIMMERMAN, RYAN | 87.50 | 962.50 |
| <u>Report Total:</u> | | <u>500,611.62</u> | |

Village of Lake Zurich
Semi-Monthly Warrant Report
Manual Checks 3-12-14 thru 4-01-14

| | | | |
|----------|-----------------------------|------------|------------|
| 96913 | ICMA RETIREMENT | 03/14/2014 | 27,872.96 |
| 96914 | BAYTREE LEASING | 03/27/2014 | 2,863.00 |
| 96915 | BAYTREE LEASING | 03/27/2014 | 666.00 |
| 96916 | COMCAST CABLE | 03/27/2014 | 139.85 |
| 96917 | UNITED HEALTHCARE INSURANCE | 03/27/2014 | 158,395.75 |
| 96918 | US BANK NATIONAL ASSOC | 03/27/2014 | 1,403.77 |
| WT000149 | INLAND BANK | 03/17/2014 | 11,780.64 |
| WT000151 | AFLAC | 03/31/2014 | 7,423.06 |

Report Total: \$ 210,545.03

Community Services Dept.

- Building & Zoning
- Public Works

505 Telser Road
Lake Zurich, IL 60047



AGENDA ITEM

8B

Phone: (847) 540-1696

Fax: (847) 726-2182

Web: www.LakeZurich.org

MEMORANDUM

Date: March 31, 2014

To: Jason T. Slowinski, Village Manager

From: Michael J. Earl, Director of Community Services
Michael Brown, Public Works Manager

Subject: **Pavement Management Plan - Proposal from Manhard Consulting**

Issue: The Village is in need of a Pavement Management Plan (PMP) to guide decisions related to street improvements. Staff has solicited a proposal from engineering consultant, Manhard Consulting, to develop a PMP. Staff has reviewed the proposal and recommends Village Board approval. The purpose of a Pavement Management Plan (PMP) is to provide a municipality with a tool to properly match maintenance and rehabilitation needs with the pavement condition of a road. Doing so allows for maximum return on funds committed for road improvements.

Analysis: The five-year Capital Improvement Plan and the proposed FY-2015 budget includes \$85,000 for a PMP. The proposal from Manhard Consulting is a not-to-exceed amount of \$75,000 per the rates set forth in the Master Services Agreement. Staff has analyzed the proposal cost against the experiences of other communities and believes the cost is fair and reasonable.

Per the attached proposal, the condition of every street will be assessed and receive a specific Pavement Condition Index (PCI). Road maintenance and rehabilitation strategies will be determined each year under the funding parameters set by the Village Board. The goal is to maximize the life of Village roads and reduce lifecycle costs by committing funds to strategies that will allow for maximum return on tax dollars spent. If approved, the work will begin immediately and be completed in time for next year's road resurfacing program.

Recommendation: Authorize approval of the proposal from Manhard to prepare a Pavement Management Plan in a not-to-exceed amount of \$75,000.

Attachment: Proposal from Manhard Consulting dated March 13, 2014.



Civil Engineers
Surveyors
Water Resources Engineers
Water & Wastewater Engineers
Construction Managers
Environmental Scientists
Landscape Architects
Planners

March 13, 2014

Mr. Michael Earl, Community Services Director
Village of Lake Zurich
505 Telser Road
Lake Zurich, Illinois 60047

**RE: PROPOSAL FOR CIVIL ENGINEERING SERVICES
PAVEMENT MANAGEMENT PLAN
LAKE ZURICH, ILLINOIS**

Dear Mr. Earl:

We appreciate the opportunity to submit a proposal to prepare a Pavement Management Plan (PMP) for the Village of Lake Zurich.

PROJECT UNDERSTANDING

The Village of Lake Zurich desires to implement a PMP for managing their pavements and guide decision making in planning, capital budgeting and prioritizing roadway improvements. The PMP will evaluate current pavement conditions, provide pavement management strategies based on pavement condition, and recommend capital improvement projects for the Village's streets. An appropriately administered PMP will provide the necessary information to decision-makers so they will be well informed to make major capital budgeting decisions relating to the Village's streets.

In general, the PMP answers the following questions:

- What is the condition of the Village's pavements?
- How fast is it deteriorating?
- What prevention, maintenance and rehabilitation strategies can be used?
- How can the pavement life be maximized?
- How can available funding be best used?

Manhard Consulting proposes to prepare the PMP using the PAVER™ software. PAVER™ was originally developed by the US Army Corps of Engineers and is now administered through the American Public Works Association. PAVER™'s Pavement Condition Index (PCI) methodology is the only pavement management system to have received an ASTM standard designation (D6433) and is the only pavement rating methodology recognized for rating road and parking lot pavements.

The PAVER™ process is based upon the Critical PCI method which manages pavement across their entire life cycle and focuses on keeping the good roads in good condition before using funding on poor roads. The Federal Highway Administration has long been a proponent of the "keeping good roads good" philosophy as it is far less expensive to keep a road in good condition than it is to rehabilitate the road once it has deteriorated.

Manhard Consulting, Ltd.

900 Woodlands Parkway • Vernon Hills, Illinois 60061

tel: (847) 634-5550 • fax: (847) 634-0095 • www.manhard.com

ARIZONA • CALIFORNIA • COLORADO • GEORGIA • ILLINOIS • INDIANA • NEVADA • VIRGINIA



SCOPE OF SERVICES

Manhard Consulting proposes the following scope of work:

Task 1. Data Collection and Network Definition

This task involves the collection of data necessary to create the PAVER™ database including a pavement inventory and work history.

- a. Review the Village's GIS database to understand the street network system and review for accuracy and completeness.
- b. Obtain from the Village and review available historical data, plans and repair history for use by the PAVER™ database. Historical data is a critical component of the PMP process to predict future pavement condition, which will impact prevention, maintenance and rehabilitation decisions. Where records are not available, Manhard will consult with Village Staff to assess a "best guess" date of last major construction.
- c. Develop the PAVER™ database by inputting available information from the Village's databases including pavement length and widths, pavement materials, pavement thicknesses, street classification, subdivision, and road district for analyzing data.

Task 2. Roadway Condition Assessment

This task includes an in the field visual assessment of the Village's roads to categorize and quantify the existing pavement distresses (cracking and deformations). This information is then used to calculate the Pavement Condition Index (PCI) of each road, along with generating repair quantities for use in analyzing prevention, maintenance and rehabilitation budgets.

It is cost prohibitive to analyze every portion of each roadway for a network-level assessment. The ASTM D6433 recommends a procedure which results in a minimum sampling rate of approximately 10% of each road to achieve a statistically adequate estimate (95% confidence) for determining the PCI.

- a. Develop a list of all Village owned and maintained streets for review and approval by Village staff prior to beginning field assessment.
- b. Perform a field assessment of the Village's roadways to determine pavement distress types, severity and quantity following the ASTM D6433 PCI methodology.
- c. Input field assessment data into PAVER™ for analysis.

Task 3. Data Analysis

This task analyzes the information from the field assessment, investigates various strategies for prevention, maintenance and rehabilitation of the Village's roads and explores the impacts of various budgeting scenarios.

- a. Calculate PCI values for individual streets and summary values for various categories such as type of street (arterial, collector, residential, industrial), road district, overall network and other categories as deemed necessary.
- b. Develop Pavement Condition Prediction Curves to forecast future pavement condition if no work is performed. PAVER™ uses this information to assess the cost and condition implications of delaying work due to insufficient funding.
- c. Meet with Village staff to discuss PCI values and develop prevention, maintenance and rehabilitation strategies based on pavement condition (PCI values). Various strategies will be explored including Typical (crack sealing, milling and repaving, patching and



- reconstruction), Preventative (rejuvenation, microsurfacing) and Recycling (Hot In-Place, Cold In-Place and Full Depth Reclamation).
- d. Research recent unit cost information and develop a unit cost for each strategy.
 - e. Develop "decision trees" identifying recommended strategies based on the PCI values for road segments.
 - f. Analyze impact of various funding scenarios based on input from Village Staff.
 - g. Discuss results with Village Staff.
 - h. Prepare a report summarizing findings. Included with the report will be color coded GIS-based exhibits showing pavement conditions and work plans.
 - i. Prepare a recommended 5-year capital improvement plan for the Village streets.

We offer to complete these services at the Time and Material rates set forth in the Master Services Agreement not-to-exceed \$75,000.00. General terms and conditions are in accordance with the "Agreement for Village Engineering Services between the Village of Lake Zurich and Manhard Consulting, Ltd." dated January 14, 2014. We will begin work as soon as we receive an executed copy of this Proposal. This Proposal will be null and void if not accepted by April 30, 2014.

Thank you again for the opportunity to submit this proposal. Should you have any questions, please do not hesitate to contact us.

Yours truly,
MANHARD CONSULTING, LTD.

Peter E. Manhard, P.E.
Executive Vice-President

PS/rw

Peter Stoehr, P.E.
Municipal Project Manager

ACCEPTED: **VILLAGE OF LAKE ZURICH**

By: _____
(Authorized Representative)

Title: _____

Date: _____

Community Services Dept.

- Building & Zoning
- Public Works

505 Telser Road
Lake Zurich, IL 60047



Phone: (847) 438-5141
Fax: (847) 540-1768
Web: www.LakeZurich.org

MEMORANDUM

Date: March 31, 2014

To: Jason T. Slowinski, Village Administrator

From: Sam Hubbard, Village Planner

Cc: Michael J. Earl, Director of Community Services
Daniel A. Peterson, Manager of Building and Zoning

Subject: Zoning Application for Site Plan approval, Exterior Appearance approval, and a Parking Variance to allow an addition to the YMCA gymnasium at 1025 Old McHenry Rd.

A handwritten signature in black ink, appearing to be "S. Hubbard", is written over the "To:" and "From:" lines of the memorandum.

Issue: The Foglia YMCA (the "Applicant") has submitted a zoning application for approval of Site Plans, Exterior Appearance plans, and a Variance to allow the construction of a 8,940 sq. ft. addition to the existing YMCA gymnasium located at 1025 Old McHenry Rd. The Application has been heard by both the Zoning Board of Appeals and the Plan Commission, and the Village Board must now decide if they will grant final approval of the request.

Analysis: The Zoning Board of Appeal held a public hearing on February 20th to consider the request for a Variance to reduce the required on-site parking from 447 spaces to 395 spaces. With no special conditions attached to their recommendation, the Zoning Board of Appeals voted 7-0 in favor of granting the Variance.

On March 19th, the Plan Commission held a public meeting to consider the request for Site Plan approval and Exterior Appearance approval. Of note, the new gymnasium addition will involve the removal of the existing metal paneling on the side and rear of the gymnasium and its replacement with Concrete Masonry Unit's (CMU's) to match the existing building façade. The Plan Commission voted 5-0 to recommend approval of the Site Plan and Exterior Appearance plans for the building and included one condition of approval relative to their recommendation:

- The applicant must provide details on the quantities and species type for all landscaping that will be removed to accommodate the proposed gymnasium expansion. A landscape plan must be submitted to the Village for review and approval that includes, at a minimum, the replacement in kind and quantity all landscaping that will be removed. This plan must be approved prior to issuance of a building permit for the addition, and all replacement trees must be planted prior to issuance of final occupancy for the addition.

Recommendation: Staff concurs with both the recommendation of Variance approval by the Zoning Board of Appeals and recommendation of Site Plan and Exterior Appearance approval by the Plan Commission. Staff recommends approval of the attached ordinance, which includes the condition of approval as per the Plan Commission recommendation.

w/ Attachments:

1. Approval Ordinance (including the Staff Report from the 3/19/14 Plan Commission Meeting as an exhibit)
2. Site Plans
3. Village Review comments from:
 - a. Zoning, dated 3/11/2014
 - b. Public Works, dated 3/4/2014
 - c. Fire Department, dated 2/28/2014
 - d. Manhard Engineering, dated 3/7/2014
 - e. Police Department, dated 3/11/2014

ORDINANCE NO. 2014-_____ - _____

**AN ORDINANCE APPROVING A SITE PLAN AND EXTERIOR
APPEARANCE AND GRANTING A VARIATION
(FOGLIA YMCA)**

WHEREAS, H. Jack Devedjian, Senior Vice Mayor of Real Estate Development, Facilities and Capital Projects for the YMCA of Metropolitan Chicago ("Applicant") filed an application with the Village of Lake Zurich on January 20, 2014, ("PC 2014-02 #1") for the YMCA – owned property located at 1025 Old McHenry Road ("Property"), said Property legally described in **Exhibit A**, for certain zoning approvals to allow the construction of an addition to the current gymnasium space at the Property;

WHEREAS, said Property is located within the I-B Institutional Buildings District in the Village; and

WHEREAS, the Applicant has filed requests for zoning relief which were heard by the Plan Commission and by the Zoning Board of Appeals; and

WHEREAS, the Applicant seeks a reduction of the minimum parking space requirements at Lake Zurich Zoning Code Subsection 10-101(F)(2)(e)(vi), pursuant to Subsection 17-103(A)(4) and the standards outlined at Section 17-104 of the Zoning Code; and

WHEREAS, the YMCA site currently provides 395 parking spaces, resulting in 52 fewer spaces than called for under the Village Code (requirement under the Village Code parking standards for a minimum of 447 parking spaces); and

WHEREAS, the Applicant presented information to show that the current YMCA parking lot is adequate for the existing and expanded use, based on the site utilization, event scheduling and data from their other locations; and

WHEREAS, the Village Zoning Code allows for the consideration of a variation in the parking standards under the Code up to a maximum twenty percent (20%) reduction in the required parking pursuant to Subsection 17-103(A)(4) of the Zoning Code; and

WHEREAS, Applicant is seeking a reduction in the required number of parking spaces that would constitute a twelve percent (12%) reduction; and

WHEREAS, the Lake Zurich Zoning Board of Appeals conducted a public hearing on February 20, 2014, to consider the Applicant's request for a variation for a reduction in the required on-site parking, and did consider the application and all of the facts and circumstances affecting the application, including the 3-page STAFF REPORT from Building and Zoning Manager Daniel Peterson to the Zoning Board of Appeals (and all site plan, exhibits and attachments submitted with the application) dated February 13, 2014, and recommendations therein, along with the minutes of the Zoning Board of Appeals February 20, 2014 public hearing on this matter, which the Zoning

Board of Appeals has adopted as their own findings and recommended approval of the requested reduction in required parking spaces, all pages of such report and documentation made a part hereto by this reference; and

WHEREAS, at its April 7, 2014 meeting, the Mayor and Board of Trustees considered the findings and recommendations of the Zoning Board of Appeals, and all facts and circumstances affecting this application for a variance, and they have determined that the application satisfies the applicable standards in the Lake Zurich Zoning Code.

WHEREAS, the Applicant's request for approval of a new site plan and for exterior appearance approval, to allow for the requested addition of new space to the gymnasium, was presented to the Plan Commission on March 19, 2014; and

WHEREAS, the Plan Commission held a public meeting on March 19, 2014 to consider this application for site plan approval and exterior appearance approval, along with all of information presented by the Applicant and staff regarding the application, and recommended adoption and approval of PC 2014-02 #1 as described in the staff reports and recommendations set forth in the March 14, 2014 STAFF REPORT, consisting of 12 pages, along with the additions, changes and modifications to said STAFF REPORT adopted by the Plan Commission in its one-page written approval dated March 19, 2014, all 13 pages attached hereto as **Exhibit B**; and

WHEREAS, at its April 7, 2014 meeting, the Mayor and Board of Trustees have considered the findings and recommendations of the Plan Commission and have considered all of the facts and circumstances affecting the application, and have determined that the application satisfies the applicable standards in Sections 20-103 (Site Plan) and 21-103 (Exterior Appearance) of the Lake Zurich Zoning Code for the Property.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: ADOPTION AND INCORPORATION OF RECITALS. The foregoing recitals, recommendations, drawings, exhibits and plans are incorporated herein as findings and requirements of the Mayor and Board of Trustees, and all Exhibits referenced herein are made a part of and incorporated into this Ordinance and related approvals.

SECTION 2: GRANT OF VARIATION AND CONDITIONS. The Mayor and Board of Trustees do hereby approve the application and grant the variation for the Property to permit a reduction of the minimum parking space requirements under the Village Code, pursuant to Lake Zurich Zoning Code Subparagraph 10-101F(2)(e)(vi) and the standards outlined at Sections 17-103 and 17-104 of the Zoning Code, of twelve percent (12%) allowing a reduction in the number of required parking spaces from the 447 required by Village Code, to the 395 parking spaces now provided, resulting in a reduction of 52 spaces less than called for under the Village Zoning Code, as shown on

the parking configuration plan attached as **Exhibit C**, subject to the following terms and conditions:

- A. This grant of variation does not authorize any work on the Subject Property, but rather merely authorizes the filing and processing of permits that may be required for such work. The Applicant shall submit all applicable building plans, and all other required materials, in a timely manner to the appropriate parties, which materials shall be prepared in compliance with all applicable Village codes and ordinances.
- B. The gymnasium addition site/building plan and resulting parking field configuration and spaces shall be as shown and submitted by Applicant in its application for a parking variation and as presented to and considered by the Zoning Board of Appeals at its February 20, 2014 public hearing.

SECTION 3: FINDINGS IN SUPPORT OF VARIATION. The findings and conditions of the Zoning Board of Appeals and staff reports and filings provided to the Zoning Board of Appeals are hereby accepted by the Board and adopted as its own, based upon all available information from both the Zoning Board of Appeals hearing and the discussions taking place at the April 7, 2014 Board meeting and shall be made a part of the official record for the application and are attached hereto as **Exhibit D**.

SECTION 4: GRANT OF APPROVAL OF *SITE PLAN AND EXTERIOR APPEARANCE PLAN* AND CONDITIONS. The Mayor and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Chapters 20 and 21 of the Lake Zurich Zoning Code, hereby approve the site plan attached to this Ordinance, as **Exhibit E** and the exterior appearance plans attached to this Ordinance as **Exhibit F**, subject to the conditions set forth hereinbelow. The approvals and modifications granted in this Section are granted expressly subject to, and are at all times subject to, the following conditions:

- A. Applicant must provide details on the quantities and species type for all landscaping that will be removed to accommodate the proposed gymnasium expansion. A landscape plan must be submitted to the Village for review and approval which includes, at minimum, the replacement in kind and quantity of all landscaping being removed. This plan must be approved prior to issuance of a building permit for the expansion work, and all replacement trees must be planted prior to issuance of final occupancy for the expansion.
- B. All development within the Subject Property must be undertaken in strict compliance with the site plans and exterior appearance plans approved pursuant to this Ordinance.
- C. Prior to commencing any work on the Subject Property, the Owner must submit all required building permit applications and other materials in a timely manner to the appropriate parties, which materials should be prepared in compliance with all applicable Village codes and ordinances.

SECTION 5: FINDINGS IN SUPPORT OF APPROVAL OF SITE PLAN AND EXTERIOR APPEARANCE PLAN. The findings and conditions of the Plan Commission and the staff reports and filings provided to the Plan Commission are hereby accepted as the Board's own and shall be made a part of the official record for the application and are attached hereto as **Exhibit B**.

SECTION 6: COMPLIANCE WITH ORDINANCE AND ALL CODES. Except as otherwise specifically provided in writing in advance by the Village, no work may be commenced on the Subject Property pursuant to the approvals granted in this Ordinance until all conditions precedent of this Ordinance to such work have been fulfilled and after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.

SECTION 7: SEVERABILITY. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 8: CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 9: EFFECTIVE DATE. This Ordinance shall be in full force and effect upon its passage and approval and publication, as provided by law.

PASSED THIS _____ day of _____, 2014.

Ayes:

Nays:

Absent:

Abstain:

APPROVED this ____ day of _____, 2014.

Mayor Tom Poynton

ATTEST:

Village Clerk
Kathleen Johnson

Exhibit A
Legal Description of "Property"

THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9 AND THE EAST 311.6 FEET OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 9, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRICIPAL MERIDIAN, LYING SOUTH OF THE CENTER LINE OF STATE AID ROUTE 32, AND AS SHOWN ON THE PLAT OF SURVEY, RECORDED FEBRUARY 13, 1943 IN BOOK 29 OF PLATS, PAGE 14, AS DOCUMENT 524175, (EXCEPT THAT PART THEREOF DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER OF THE NORTHEAST QUARTER; THENCE NORTH 00 DEGREES 29 MINUTES 08 SECONDS EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, 364.50 FEET TO A POINT IN THE CENTER OF STATE AID ROUTE NO.32; THENCE NORTH 61 DEGREES 25 MINUTES 00 SECONDS WEST ALONG SAID CENTER LIINE 676.20 FEET TO THE POINT OF BEGINNING; THENCE NORHT 61 DEGREES 25 MINUTES 00 SECONDS WEST ALONG THE CENTER LINE OF SAID STATE AID ROUTE NO. 32, A DISTANCE OF 258.50 FEET TO A POINT OF CURVATURE; THENCE NORTHWESTERLY ALONG A CURVE HAVING A RADIUS OF 1432.7 FEET AS SAID CURVE IS CONVEXED TO THE NORTHEAST FOR AN ARC DISTANCE OF 30.0 FEET; THENCE SOUTH 28 DEGREES 35 MINUTES 00 SECONDS WEST, 160.69 FEET; THENCE SOUTH 61 DEGREES 25 MINUTES 00 SECONDS EAST, 288.5 FEET; THENCE NORTH 28 DEGREES 35 MINUTES 00 SECONDS EAST, 161.00 FEET TO THE POINT OF BEGINNING), ALSO (EXCEPT 429.78 FEET AS MEASURED ALONG THE SOUTH LINE THEREOF), (EXCEPTING THEREFROM ANY PORTION DEDICATED, TAKEN OR USED FOR ROAD PURPOSES) IN LAKE COUNTY, ILLINOIS.

Exhibit B

The March 14, 2014 STAFF REPORT, consisting of 12 pages, along with the additions, changes and modifications to said STAFF REPORT adopted by the Plan Commission in its one-page written approval dated March 19, 2014, all 13 pages.

APPLICATION PC 2014-02 #1

AGENDA ITEM 4A

Community Services Dept.

- Building & Zoning
- Public Works

505 Telser Road
Lake Zurich, IL 60047



Phone: (847) 540-1696
Fax: (847) 726-2182
Web: www.LakeZurich.org

STAFF REPORT

To: Chairperson Jackson and Members of the Plan Commission
From: Sam Hubbard, Village Planner
CC: Daniel A. Peterson, Manager of Building & Zoning
Date: March 14, 2014
Re: **PC 2014-02 #1 Zoning Application for Foglia YMCA, 1025 Old McHenry Rd.**

Summary: H. Jack Devedjian (the “*Applicant*”) is the Senior Vice President of Real Estate Development, Facilities & Capital Projects for the YMCA of Metropolitan Chicago, which owns the property located at 1025 Old McHenry Road legally described in **Exhibit A** attached hereto (the “*Subject Property*”). The Applicant filed an application with the Village of Lake Zurich dated January 20, 2014 (the “*Application*”) seeking the following approvals in order to construct an addition to their current gymnasium:

- (i) Site Plan
- (ii) Exterior Appearance
- (iii) Variance to reduce the required on-site parking.

The Subject Property is within the Village’s IB Institutional Buildings District.

Because Site Plan approval and Exterior Appearance approval only require a public meeting, notice in a newspaper, notice to adjacent taxpayers, and a public hearing sign on the property is not required.

The Application also included a request for a variance to reduce the required parking on site. The Zoning Board of Appeals has the authority to consider parking variances and has already voted in favor of recommending approval of this petition.

Background: The original Foglia YMCA was constructed in the mid 1990’s and over the last two decades the YMCA has appeared before the Plan Commission five times to ask for various approvals. These approvals are summarized below:

- 1996: Property was rezoned from R-1½ (Single-Family Residential) to IB (Institutional Building) and granted a SUP for a sports and fitness facility (YMCA).
- 1997: Property was granted a Variance to allow disturbance of conservancy soils.
- 1997: Property was granted Site Plan and Exterior Appearance approval for phase 1A and 1B of the development.
- 1997: Property was granted Site Plan and Exterior Appearance approval for sport court lighting.
- 1998: Property was granted Site Plan and Exterior Appearance approval for phase II of the development.

Although conditions of approval were attached to each of the prior petitions, none of the conditions of approval are relative to the present request.

Preliminary Findings: The YMCA is proposing a 8,940 square foot addition to their gymnasium, which will include space for a new basketball court and two new classroom areas that can also be used as temporary storage space. This addition was planned as phase III in the YMCA's long range plans and its eventual construction was considered when build-out of the existing facility took place. Consequently, underground utilities were kept out of the phase III area so that they would not have to be relocated to accommodate the eventual gymnasium addition.

The existing site provides 395 parking spaces and the existing building and use require the provision of 389 parking spaces. Therefore, the property in its current state is code compliant. However, the proposed addition creates new floor area, which increases the required parking to 447 parking spaces. The Applicant has applied for a Variance to reduce the number of required parking spaces from 447 to 395, which represents a 12% reduction in the parking requirement. If approved, the YMCA will not add any additional parking.

The YMCA has analyzed their parking needs and informed staff that existing parking is mostly underutilized. The only time the parking lot reaches capacity is during special events, primarily aquatics events, where the gymnasium will have little impact. Prudent event planning to ensure that special events do not overlap to create a parking problem can mitigate this potential issue. Additionally, the gymnasium expansion does not include space for bleachers and should not create a significant increase in parking needs. The Zoning Board of Appeals met on February 20th, 2014, to consider the matter and voted in favor of recommending approval of the parking Variance.

The existing gymnasium was constructed with metal panel siding under the rationale that the eventual addition would overlap all metal siding and replace it with a masonry product that matched the existing building. Although the original plans for the phase III addition included an area towards the rear of the building that would completely cover all metal paneling, the proposed addition does not encompass the entire area as shown on the original long range plans. However, the Applicant has agreed to remove all metal paneling not covered by the addition and replace it with CMU's to match the existing CMU's on the building. Therefore, this project will result in the elimination of all metal paneling and its replacement with CMU's to give the building a uniform and quality appearance.

In initial conversations with the YMCA regarding the gym expansion it appeared that no landscaping would be removed to accommodate the addition. However, staff has identified small areas of landscaping that may potentially be disturbed and/or removed to create space for the addition. Staff requests that the applicant provide clarity on this issue and that site plan approval be conditional upon the provision of a landscape plan that shows the replacement in kind and quantity of any landscaping to be removed.

Detailed staff reviews from the Building and Zoning Division, Public Works, Police Department, Fire/Rescue Department, and Manhard Engineering are attached.

Recommendation: Your recommendations should be based on the standards included in Section 20-103 Standards for Site Plan Disapproval and Section 21-103 Standards and Considerations for Exterior Appearance Approval.

*Please refer to **Exhibit B** for Staff's responses to these zoning standards. Based on staff's analysis, the standards for approval **have** been met. Staff requests the Plan Commission to make these standards a part of the official record for the Application.*

Staff recommends approval of the Site Plan and Exterior Appearance plans, however, staff recommends approval of the Site Plan subject to the following condition:

1. The applicant must provide details on the quantities and species type for all landscaping that will be removed to accommodate the proposed gymnasium expansion. A landscape plan must be submitted to the Village for review and approval that includes, at a minimum, the replacement in kind and quantity all landscaping that will be removed. This plan must be approved prior to issuance of a building permit for the addition, and all replacement trees must be planted prior to issuance of final occupancy for the addition.

Should you have any questions, please call me at 847-540-1759.

EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY

THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9 AND THE EAST 311.6 FEET OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 9, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRICIPAL MERIDIAN, LYING SOUTH OF THE CENTER LINE OF STATE AID ROUTE 32, AND AS SHOWN ON THE PLAT OF SURVEY, RECORDED FEBRUARY 13, 1943 IN BOOK 29 OF PLATS, PAGE 14, AS DOCUMENT 524175, (EXCEPT THAT PART THEREOF DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER OF THE NORTHEAST QUARTER; THENCE NORTH 00 DEGREES 29 MINUTES 08 SECONDS EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, 364.50 FEET TO A POINT IN THE CENTER OF STATE AID ROUTE NO.32; THENCE NORTH 61 DEGREES 25 MINUTES 00 SECONDS WEST ALONG SAID CENTER LIINE 676.20 FEET TO THE POINT OF BEGINNING; THENCE NORHT 61 DEGREES 25 MINUTES 00 SECONDS WEST ALONG THE CENTER LINE OF SAID STATE AID ROUTE NO. 32, A DISTANCE OF 258.50 FEET TO A POINT OF CURVATURE; THENCE NORTHWESTERLY ALONG A CURVE HAVING A RADIUS OF 1432.7 FEET AS SAID CURVE IS CONVEXED TO THE NORTHEAST FOR AN ARC DISTANCE OF 30.0 FEET; THENCE SOUTH 28 DEGREES 35 MINUTES 00 SECONDS WEST, 160.69 FEET; THENCE SOUTH 61 DEGREES 25 MINUTES 00 SECONDS EAST, 288.5 FEET; THENCE NORTH 28 DEGREES 35 MINUTES 00 SECONDS EAST, 161.00 FEET TO THE POINT OF BEGINNING), ALSO (EXCEPT 429.78 FEET AS MEASURED ALONG THE SOUTH LINE THEREOF), (EXCEPTING THEREFROM ANY PORTION DEDICATED, TAKEN OR USED FOR ROAD PURPOSES) IN LAKE COUNTY, ILLINOIS.

EXHIBIT B
REVIEW OF COMPLIANCE WITH ZONING STANDARDS
FOR 1025 OLD MCHENRY ROAD

20-103 STANDARDS FOR SITE PLAN DISAPPROVAL

A. Standards. The Board of Trustees shall not disapprove, and the Plan Commission shall not recommend disapproval of, a site plan submitted pursuant to this Chapter except on the basis of specific written findings directed to one or more of the following standards:

1. Application Improper. The application is incomplete in specified particulars or contains or reveals violations of this Code or other applicable regulations that the applicant has failed or refused to supply or correct.

Staff Response: Standard met. The application is complete.

2. Failure of Condition Precedent. The application is submitted in connection with another application, the approval of which is a condition precedent to the necessity for site plan review, and the applicant has failed to secure approval of that application.

Staff Response: Standard met. The Applicant has requested Variance relief to reduce the parking requirement to allow the proposed addition. This petition has already been voted on by the Zoning Board of Appeals and will appear at the Village Board in conjunction with this request.

3. Failure to Meet Standards. The site plan fails to adequately meet specified standards required by this Code with respect to the proposed use or development, including special use standards where applicable.

Staff Response: Not applicable. There are no specific standards that address this particular use or development.

4. Interference With Right-Of-Way. The proposed site plan interferes with easements or rights-of-way.

Staff Response: Standard met. The development was planned and constructed to accommodate the future "Phase III" gymnasium addition with regards to Right-of-Way and easements and so there is no interference with existing Right-of-Way or easements.

5. Interference with Features. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

Staff Response: Standard met. There addition takes place on an open area that was cleared and reserved to accommodate the gymnasium addition. There are no significant natural, topographical, or physical features in this location that warrant preservation.

6. Traffic Problems. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably create hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off site.

Staff Response: Standard met. The site circulation has been built to accommodate the traffic congestion on public streets. The gymnasium addition will not interfere with existing circulation or create any disjointed pedestrian or vehicular circulation paths on or off site.

7. Inadequate Screening. The screening of the site does not provide adequate shielding from or for nearby uses.

Staff Response: Standard met. The site has existing landscape screening that was placed when the original building was constructed. This existing screening is adequate and provides a shield for nearby uses.

8. Lacking Amenity. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

Staff Response: Standard met. The proposed façade on the addition will be an improvement over the existing metal panel siding on the building and is therefore not lacking in amenity.

9. Lack of Open Space. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

Staff Response: Not applicable. The proposed site plan has not been submitted in connection with an application for a special use permit.

10. Drainage or Erosion Problems. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned drainage system serving the Village.

Staff Response: Standard met. A system to accommodate drainage and erosion was previously approved for this site. The previously approved plan was designed to accommodate this future addition.

11. Burdens on Utilities. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility systems serving the Village.

Staff Response: Standard met. The Subject Property is already served with adequate utilities and the proposed development will not place a burden on the existing systems servicing the Village.

12. Lack of Public Uses. The proposed site plan does not provide for required public uses designated on the Official Map.

Staff Response: Not applicable. The Official Map does not require public uses on the Subject Property.

13. Other Adverse Effects. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

Staff Response: Standard met. The proposed gymnasium addition will allow for increased recreational opportunities within the Village, which will benefit the public health and general welfare, and will not jeopardize public safety.

- B. Alternative Approaches. In citing any of the foregoing standards, other than those of Paragraphs A1 and A2, as the basis for disapproving a site plan, the Plan Commission or the Board of Trustees shall suggest alternate site plan approaches that could be developed to avoid the specified deficiency or shall state the reasons why such deficiency cannot be avoided consistent with the applicant's objectives.

Staff Response: Not applicable as no basis for disapproval has been found.

*** *** ***

21-103 STANDARDS AND CONSIDERATIONS FOR EXTERIOR APPEARANCE APPROVAL

In their consideration of applications for exterior appearance approval, the Plan Commission and the Board of Trustees shall consider and evaluate the propriety of granting the approval in terms of the effect of the application on the purposes for which exterior appearance approval is required. In addition, the Plan Commission and the Board of Trustees shall be guided by the following standards and considerations:

- A. General Quality of Design and Site Development. New and existing buildings and structures and appurtenances thereof which are constructed, reconstructed, materially altered, repaired, or moved shall be evaluated under the following quality of design and site development guidelines:

1. Open Spaces. The quality of the open spaces between buildings and in setback spaces between street and facade.

Staff Response: Standard met. There is a large amount of open space between the proposed addition and all property lines. This open space is occupied with sports fields, required detention areas, wetlands, landscaping, and parking, all of which are necessary for the development.

2. Materials. The quality of materials and their relationship to those in existing adjacent structures.

Staff Response: Standard met. The proposed addition will match the existing materials of the building and are an improvement over the existing metal siding on the gymnasium.

3. General Design. The quality of the design in general and its relationship to the overall character of neighborhood.

Staff Response: Standard met. The design of the addition is consistent with the existing building and due to the unique use of the site as a YMCA, is not directly comparable to the primarily residential character of the neighborhoods to the north and south.

4. General Site Development. The quality of the site development in terms of landscaping, recreation, pedestrian access, automobile access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

Staff Response: Standard met. The existing facility on site was constructed with quality landscaping, recreation, pedestrian access, automobile access, and parking. The proposed gymnasium addition will not change this aspect of the property. Furthermore, by replacing in kind and quality any landscaping removed to accommodate this addition, the Applicant will be preserving the quality landscaping on site.

- B. General Standards for Visual Compatibility. New and existing buildings and structures, and appurtenances thereof, which are constructed, reconstructed, materially altered, repaired, or moved shall be visually compatible in terms of the following guidelines:

1. Height. The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

Staff Response: Standard met. The height of the building is consistent with the height of the existing gymnasium building.

2. Proportion of Front Facade. The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

Staff Response: Standard met. There is no comparable building of the same width within the vicinity so comparison in this regard is difficult. However, the proportion of the front facade in relation to the height of the building is acceptable.

3. Proportion of Openings. The relationship of the width to height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

Staff Response: Standard met. The proposed windows on the addition will match the width and height of the windows on the existing gym and are therefore compatible.

4. Rhythm of Solids to Voids in Front Facades. The relationship of solids to voids in the front facade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

Staff Response: Standard met. The proposed addition continues the relationship of solids to voids in the front façade of the existing gymnasium and is therefore compatible with buildings, public ways, and places to which it is visually related.

5. **Rhythm of Spacing and Buildings on Streets.** The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

Staff Response: Standard met. Given the large size and unique shape of the Subject Property, the proposed addition is in general conformity with the rhythm of the spacing within the character of the neighborhood.

6. **Rhythm of Entrance, Porch, and Other Projections.** The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

Staff Response: Standard met. Entrance to the gym and gym addition is achieved through the existing building. There will be no change to the existing entrances and projections to sidewalks of the existing building. Emergency exits are included in the proposed gymnasium addition but are not to be used for general admittance.

7. **Relationship of Materials and Texture.** The relationship of the materials and texture of the facade shall be visually compatible with the predominant materials used in the buildings and structures to which it is visually related.

Staff Response: Standard met. The proposed material of the gymnasium addition will match the existing material on the building.

8. **Roof Shapes.** The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

Staff Response: Standard met. The proposed gymnasium addition will continue the roof line of the existing building.

9. **Walls of Continuity.** Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

Staff Response: Standard met. The proposed addition will be roughly parallel with the street, which is visually compatible in relation to the street. There are no appurtenances that will disrupt this compatible relationship.

10. **Scale of Building.** The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

Staff Response: The proposed building meets this standard.

11. **Directional Expression of Front Elevation.** A building shall be visually compatible with the buildings, public ways, and places to which it is visually related in its

directional character, whether this be vertical character, horizontal character, or non-directional character.

Staff Response: Standard met. The directional expression of the proposed addition is organized to be parallel with the street and therefore mirrors the horizontal character of the area.

C. Additional Standards Applicable to Development in the B-2 Central Business District. New and existing buildings and structures and appurtenances thereof in the B-2 Central Business District which are constructed, reconstructed, materially altered, or moved shall be evaluated under the following quality of design and site development guidelines in addition to the standards set in Subsections A and B of this Section:

1. Overall Compatibility. The proposed improvements should be compatible with adjacent structures and with the overall redevelopment strategy for the B-2 District set forth in the Official Comprehensive Plan.
2. Building Frontage Lines. Buildings along Main Street and Old Rand Road should have frontage directly adjacent to the sidewalk right-of-way line. Building setbacks may be permitted if the area between the building face and the sidewalk is used for outdoor retailing, seating, or usable public-access open space and is compatible with adjacent properties.
3. Principal Entrance. Buildings along Main Street and Old Rand Road should have the principal store entrance accessible directly from the public sidewalk. A short private walkway to the entrance may be permissible if it is consistent with the character of the building and adjacent properties.
4. Entrance Highlights. Store entrances should be highlighted with architectural features compatible with the overall building design.
5. Windows. Windows should be subdivided to emphasize vertical proportions.
6. Story Distinctions. The first story of the building should be distinguished from the second story by means of a horizontal lintel, second floor overhang or setback, or similar detail.
7. Building Materials. Exterior building materials should be any of the following: brick, masonry, stucco, cementitious products, wood-like vinyl siding, and/or natural wood siding.
8. Signs. Sign materials, forms, and designs shall be integral with the building architecture. Custom designed individual letters, carved wood, or etched metal signs will be strongly encouraged. Perpendicular signs extending over the sidewalk may be permitted if limited in size and if compatible with adjacent properties and safety concerns. Back-lighted fluorescent box signs shall be prohibited.

Staff Response: Not applicable as this property is not within the B-2 District.

D. Additional Standards Applicable to Development in the LP Lake Protection District. New and existing buildings and structures and appurtenances thereof in the LP Lake Protection District which are constructed, reconstructed, materially altered, repaired, or moved shall be

evaluated under the following development guidelines in addition to the standards set in Subsections A, B, and, if applicable, C of this Section:

1. No Adverse Impact on Views. The proposed development should create no undue adverse impact on existing views of the lake, subject to the other guidelines in this Subsection D.
2. Diminution of value. Impacts on existing views of the lake may be offset by the degree to which the value of the subject property would be diminished by avoidance or elimination of such impacts on existing views.
3. Protection of Lake Features. Such diminution in value may be offset, however, by the protection of a valuable existing feature of the lake.
4. Value of Adjacent Properties. The use and enjoyment, or value, of adjacent properties should not be adversely affected by the proposed use or development.

Staff Response: Not applicable as this property is not located within the Lake Protection District.

- E. Special Considerations for Existing Buildings. For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

Staff Response: Standard met. The proposed gymnasium addition will match the existing material on the building and will match the style and size of the existing windows on the gym, continuing the pattern established by the existing building.

LAKE ZURICH PLAN COMMISSION
FINAL FINDINGS & RECOMMENDATIONS
FOR 1025 OLD MCHENRY ROAD
MARCH 19, 2014

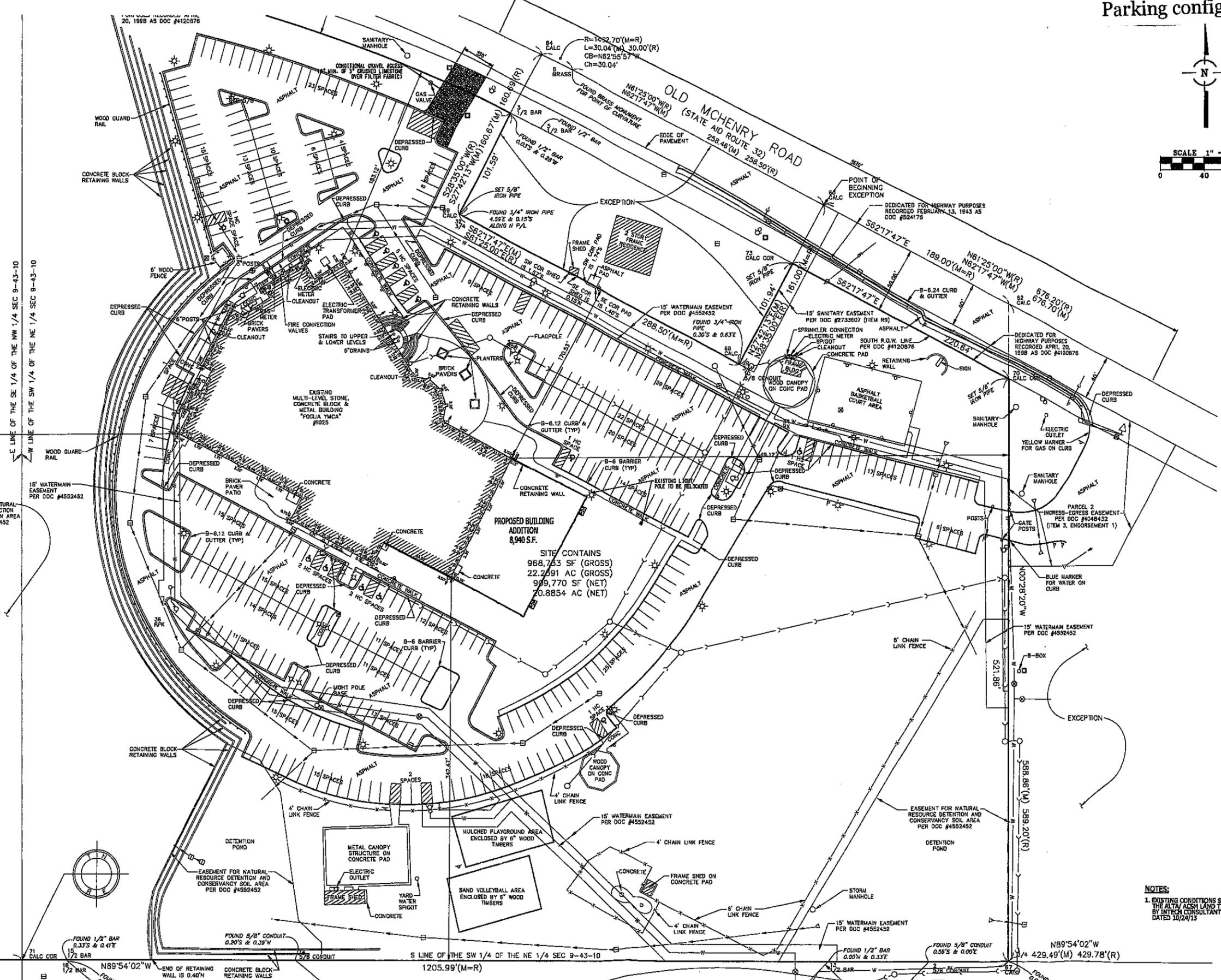
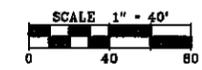
The Plan Commission hereby recommends approval of the Application [PC 2014-02 #1](#), subject to and including the terms, findings, and conditions contained within the Staff Report dated [March 14, 2014](#) for this Application (with the conditions included below for reference) as follows:

Conditions of Approval (from Staff Report):

1. The applicant must provide details on the quantities and species type for all landscaping that will be removed to accommodate the proposed gymnasium expansion. A landscape plan must be submitted to the Village for review and approval that includes, at a minimum, the replacement in kind and quantity all landscaping that will be removed. This plan must be approved prior to issuance of a building permit for the addition, and all replacement trees must be planted prior to issuance of final occupancy for the addition.
- Without any further additions, changes and modifications.
- With the following additions, changes and modifications:

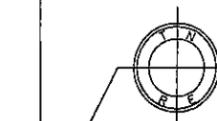

Orlando Stratman, Vice-Chairperson

Exhibit C Parking configuration plan



E LINE OF THE SE 1/4 OF THE NW 1/4 SEC 9-43-10
W LINE OF THE SW 1/4 OF THE NE 1/4 SEC 9-43-10

EASEMENT FOR NATURAL RESOURCE PROTECTION WETLAND PROTECTION AREA PER DOC #4552452



**PROPOSED BUILDING ADDITION
8,940 S.F.**
SITE CONTAINS
968,763 SF (GROSS)
22.2591 AC (GROSS)
909,770 SF (NET)
20.8854 AC (NET)

NOTES:
1. EXISTING CONDITIONS SHOWN ARE BASED ON THE ALTA/ACSD LAND TITLE SURVEY PREPARED BY INTERA CONSULTANTS, INC. DATED 10/24/13

| NO. | DATE | REMARKS |
|-----|----------|---------------------------|
| 2 | 02/12/14 | BUILDING ADDITION REVISED |
| 1 | 01/14/14 | BUILDING ADDITION REVISED |

| NO. | DATE | REMARKS |
|-----|----------|---------------------------|
| 2 | 02/12/14 | BUILDING ADDITION REVISED |
| 1 | 01/14/14 | BUILDING ADDITION REVISED |

OVERALL SITE PLAN
FOGLIA YMCA - GYM ADDITION
1025 N. OLD MCHENRY ROAD
LAKE ZURICH, IL

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
9275 W. Highway Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 896-4000 Fax: (847) 896-0005



FILENAME:
7894OVERALL
DATE:
12/11/13
JOB NO.
7894
SHEET
OV1
3 OF 4

Exhibit D

The 3-page STAFF REPORT from Building and Zoning Manager Daniel Peterson to the Zoning Board of Appeals (and all site plan, exhibits and attachments submitted with the application) dated February 13, 2014, and recommendations therein, along with the minutes of the Zoning Board of Appeals February 20, 2014 public hearing on this matter.

Community Services Dept.

- Building & Zoning
- Public Works

505 Telser Road
Lake Zurich, IL 60047



Phone: (847) 540-1696
Fax: (847) 726-2182
Web: www.LakeZurich.org

MEMORANDUM

TO: Chairman McCormack
Zoning Board of Appeals Members

FROM: Daniel A. Peterson
Building & Zoning Manager

DATE: February 13, 2014

RE: 1025 Old McHenry Road – Foglia YMCA

The Foglia YMCA is proposing an expansion to construct a second gymnasium along with two program/classrooms. The YMCA is planning no additional parking spaces; there are currently 395 parking spaces and our code requires a total of 447 parking spaces, for a deficit of 52 spaces. The YMCA does not wish to “landbank” parking spaces and feels that their parking lot is adequate for the existing and expanded uses based on data from their other locations. Our code allows a variation be considered for a maximum 20% reduction in required parking; this proposal is a 12% reduction.

This expansion as proposed requires a Variation by the Zoning Board of Appeals, and Site Plan/Exterior Appearance by the Plan Commission. Since time of application, the addition location has been somewhat changed from a south and west expansion to solely a west expansion. Based on this change, the Plan Commission meeting has been postponed to their March meeting date. As the parking data has not substantially changed, the application with the Zoning Board of Appeals remains for February. Relief is sought from the following Zoning Code section:

- Zoning Code Subparagraph 10-101F(2)(e)(vi) to authorize a reduction in the total number of parking spaces required

I submit this application and all pertinent documentation to the Zoning Board of Appeals for review and recommendation.

Enclosures

1/17/14 Application with cover letter and attachments
2/13/14 Zoning review

ZONING REVIEW

PROJECT: YMCA – ADDITION
SITE PLAN, EXTERIOR APPEARANCE, VARIATION
LOCATION: 1025 OLD MC HENRY ROAD
REVIEWED BY: MARY MEYER
DATE: FEBRUARY 13, 2014
DOCUMENTS
REVIEWED: APPLICATION DATED 1/17/14, PLANS A0.00 – A3.03 DATED
1/16/14, ENGINEERING PLANS DATED 1/14/14, PLAT OF SURVEY,
ZONING CODE, LAND DEVELOPMENT CODE

The Foglia YMCA proposes construction of a 12,000 square foot addition for an additional gymnasium along with two new rooms for classrooms/programs. The YMCA's addition in 1999 allowed a portion of the building be constructed of metal siding with certain conditions. The conditions allowed the metal exterior to remain on a temporary basis with the understanding that the siding would be changed to masonry or the siding would become an interior wall with the construction of a future expansion. The expansion is now proposed resulting in the entire Foglia YMCA in compliance with masonry exterior materials.

There is no additional parking proposed with this building expansion. The YMCA believes that although the code requires additional parking be installed with additional building square footage, the gymnasium and classroom expansion will result in few additional guests. The YMCA is seeking a variation to reduce the number of parking spaces by less than 20% of the code requirement. Review is as follows:

1) Addition Clarification:

Clarify the square footage of the addition. Marked up A1.01 plans indicate a 12,000 square foot addition; 2/10/14 e-mail indicates 8,940 square foot.

2) Zoning: I-B Institutional Buildings.

3) Use: YMCA recreational/membership use approved via Ordinance #96-02-789.
Other areas of the building were previously rented to private companies/agencies.
Clarify occupant/s in building.

4) Maximum Building

Height: Allowed: 30 feet (average/mean height between eave & ridge)
Proposed: 29 feet

5) Minimum Lot

Area: Required: 15,000 square feet
Existing/Proposed: 20.88 acres

6) Minimum Lot

Width: Required: 90 feet
Existing: 220.64 feet +

7) Minimum Front

Yards: Required: 25 feet
Proposed: 40 feet to basketball court
Proposed: 170 feet +/- to addition

8) Minimum Interior

Side Yard: Required: 10 feet

Existing: 25 feet +/- to parking
Proposed: 400 feet +/- to addition

9) Minimum Rear

Yard: Required: 25 feet
Existing: 340 feet +/- main building (25 feet to pavilion)
Proposed: 300 feet +/- main building

10) Maximum Floor

Area Ratio: Allowed: .35
Proposed: .17

11) Minimum Landscaped

Surface Area: Required: 50%
Proposed: 50%+

12) Number of Parking

Spaces: Required: 447
Existing/Proposed: 395
By Variation, applicant may seek Variation to reduce by not more than 20% the minimum number of off-street parking spaces required. A 20% reduction would decrease spaces to 354. 395 is a 12% reduction.

13) Handicapped

Parking: When 301-400 spaces are provided, at least 8 shall be handicapped.
12 handicapped spaces are existing, disbursed at different entrances.

14) Landscaping: Landscaping shall be reviewed by Village Planner.

15) Rooftop Mechanical

Units: Rooftop units to be fully screened by screenwalls.

16) Exterior Lighting: Minimal exterior lighting is proposed. Lighting shall not exceed 0.50 at property lines, 10.0 on site and shall not produce glare onto roadways. Lighting to be field verified.

17) Exterior: With this expansion, the temporary allowance of metal siding will be removed. The exterior of the expansion is split faced cmu to match existing.

18) Trash Enclosure: Trash enclosure is existing with one dumpster located within, and one outside. All dumpsters are required to be located inside of enclosure.

19) Misc. Violations: Miscellaneous violations exist onsite including shed trim and siding to be maintained (at day camp pavilion), and temporary signs removed. Temporary signs are authorized for 60 days with the issuance of a temporary sign building permit.

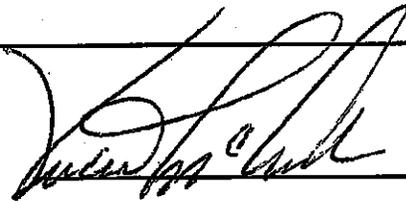
Conclusion

- Consideration for Site Plan and Exterior Appearance shall be based on standards outlined in Zoning Code 20-103 and 21-103.
- Consideration for Variation to reduced the required number of parking spaces by 52 (12% reduction) shall be based on standards outlined in Zoning Code 17-104.
- Clarify square footage of addition.
- All exterior walls shall be masonry material as shown on plans.

LAKE ZURICH ZONING BOARD OF APPEALS
FINDINGS & RECOMMENDATIONS
FOR FOGLIA YMCA – 1025 OLD MC HENRY ROAD
February 20, 2014

The Zoning Board of Appeals recommends adoption of variation for the Foglia YMCA property at 1025 Old McHenry Road to allow a reduction in the minimum required number of parking spaces, from 447 to 395, subject to and including the terms, conditions and findings contained in the attached Staff Report dated February 13, 2014 for this matter with the following additions, changes and modifications:

(none)



20 FEB 2014

Vincent McCormack, Chairperson

Unapproved
**VILLAGE OF LAKE ZURICH
ZONING BOARD
OF APPEALS MEETING
FEBRUARY 20, 2014**

The meeting was called to order by Chairman McCormack at 7:30 p.m.

ROLL CALL: *Present* - Chairman McCormack, Commissioners Burch, Hagan, Kmiecik, Paulus, Shaw, and Rubin. *Also present* – Zoning Inspector Meyer.

APPROVAL OF MINUTES:

APPROVAL OF THE NOVEMBER 21, 2013 ZONING BOARD OF APPEALS MINUTES:

MOTION was made by Commissioner Kmiecik, seconded by Commissioner Rubin, to approve the November 21, 2013 Zoning Board of Appeals minutes as submitted.

Voice vote, AYES have it. MOTION CARRIED.

PUBLIC HEARING:

Foglia YMCA addition – 1025 Old McHenry Road, Variation from Zoning Code Subparagraph 10-101F(2)(e)(vi) to authorize a reduction in the total number of parking spaces required

Chairman McCormack said the petitioner was scheduled to appear before the Plan Commission last night but had requested a continuance because the location of the addition had changed slightly. Since it did not impact the parking, the Zoning Board will hear this item this evening and the Plan Commission review will take place at their March meeting.

The public hearing was opened at 7:32 p.m. The court reporter swore in those wishing to testify.

Sam Rea, project manager for the YMCA of Chicago, gave an overview of the proposed expansion to add an 8,200 s.f. multi-use gymnasium. He clarified that it would be one gymnasium but divided into two courts. He reviewed the current parking spaces, which would result in a deficiency of 52 spaces after the addition is built. Mr. Rea said they currently have a surplus of spaces on a regular basis and are only deficient when they hold a swim meet.

Commissioner Shaw shared his observations of the parking and said he has seen cars overflow into the fire department lot when the YMCA hosts events and has seen a severe deficiency when they host swim meets.

Architect Rich Van Zyle said he is working with the YMCA's to improve their signage and would add signs directing cars to the rear parking lot. He said it is too costly to build up and put the gymnasium on top of the other one. He said the YMCA does not want to expand the parking on the east side because they use the grassy area for outdoor recreation.

MOTION was made by Commissioner Rubin, seconded by Commissioner Kmiecik, to close the public hearing at 7:40 p.m. Voice vote, AYES have it. MOTION CARRIED.

MOTION made by Commissioner Kmiecik, seconded by Commissioner Rubin, to recommend the Board of Trustees grant a variation from Zoning Code Subparagraph 10-101F(2)(e)(vi) to authorize a reduction in the total number of parking spaces required.

AYES: 7 Chairman McCormack, Commissioners Burch, Hagan, Kmiecik, Paulus, Shaw, and Rubin.

NAYS: 0

ABSENT: 0

MOTION CARRIED

ADJOURNMENT:

MOTION was made by Commissioner Burch, seconded by Commissioner Kmiecik, to adjourn the meeting. Voice vote, AYES have it. MOTION CARRIED.

The meeting was adjourned at 7:43 p.m.

Submitted by: Janet McKay, Recording Secretary

Approved: _____

Vincent McCormack, Chairman Zoning Board of Appeals

Exhibit F

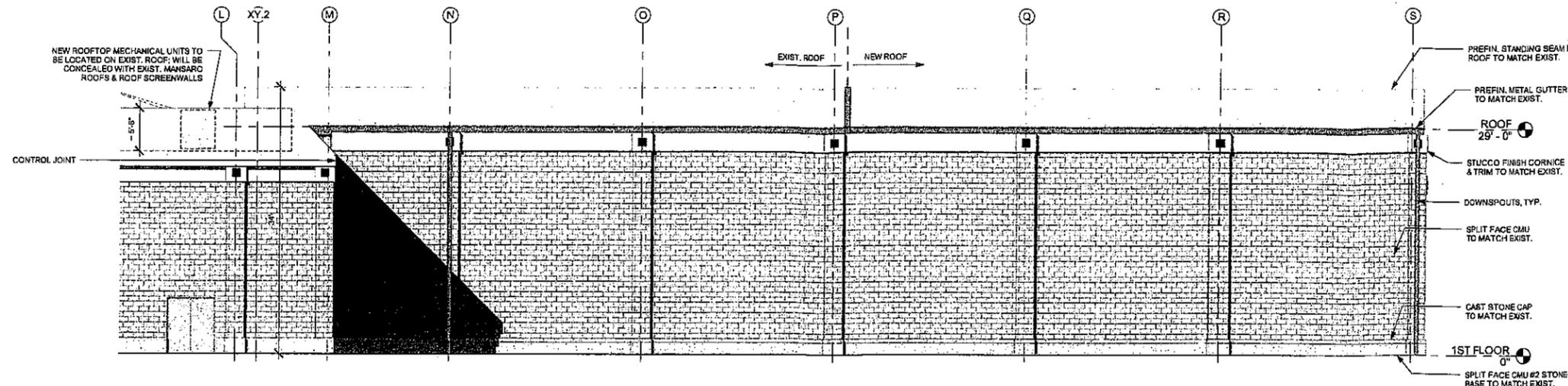
Exterior Appearance Plans



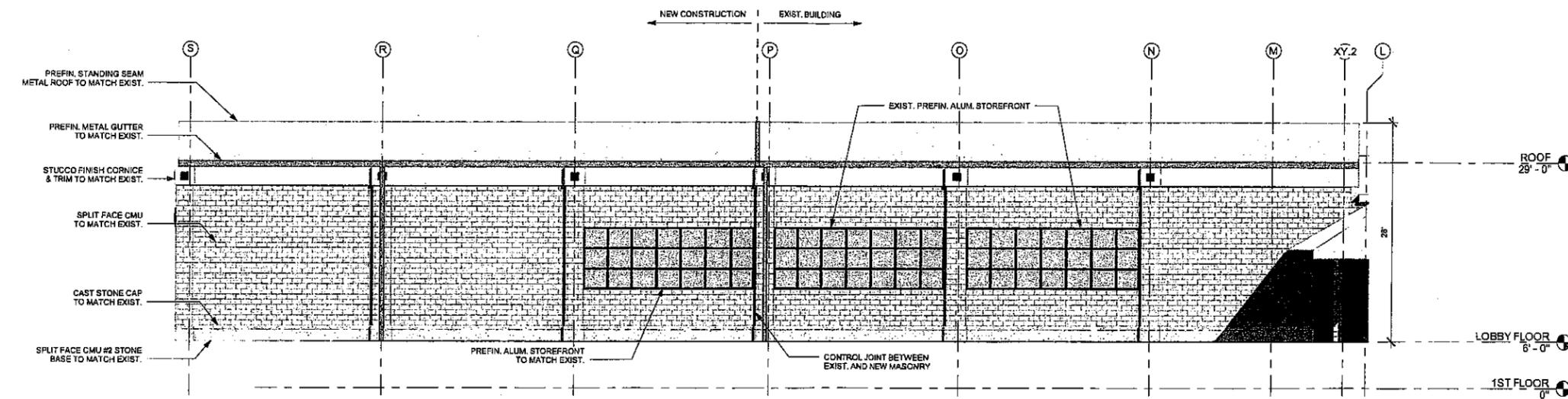
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GENERAL NOTES:

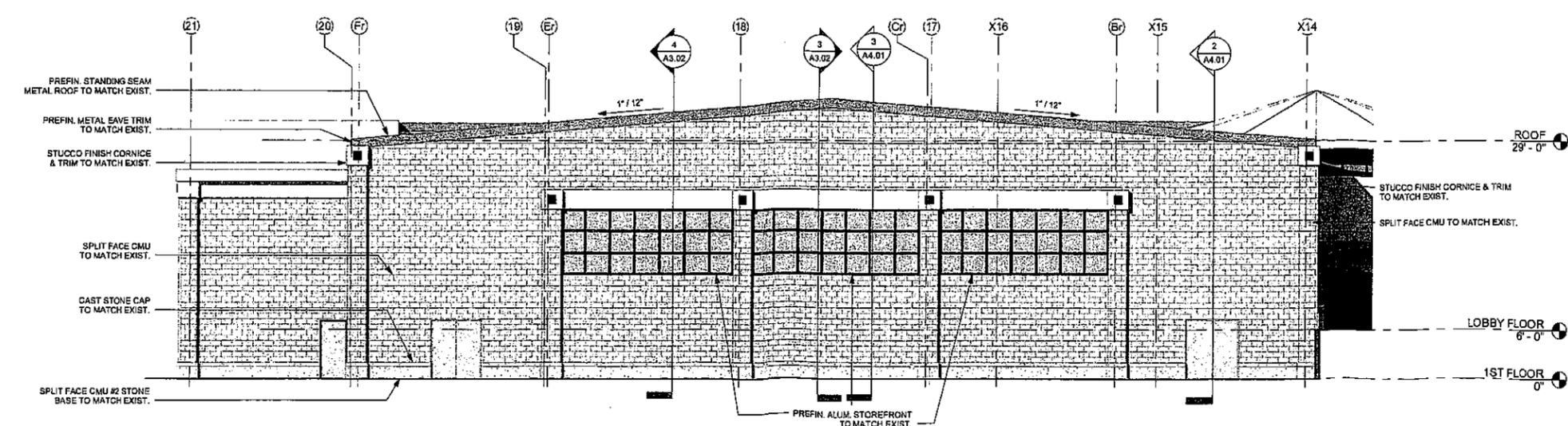
- A. PRE-ENGINEERED METAL BUILDING DESIGNER TO MATCH EXISTING EAVE AND RIDGE HEIGHTS
- B. NEW ROOF SYSTEM TO MATCH EXISTING ROOF SYSTEM COLOR AND PROFILE AS CLOSE AS POSSIBLE USING STANDARD MANUFACTURER COMPONENTS. PROVIDE VOLUNTARY ALTERNATES FOR CUSTOM COMPONENTS THAT CAN BETTER MATCH EXISTING CONDITIONS.



3 SOUTH ELEVATION - DETAIL
1/8" = 1'-0"



2 NORTH ELEVATION - DETAIL
1/8" = 1'-0"



1 EAST ELEVATION - DETAIL
1/8" = 1'-0"

ISSUES AND REVISIONS:

| No. | Description | Date |
|-----|-----------------------------|------------|
| 4 | RE-ISSUED FOR ZONING REVIEW | 07-18-2014 |
| 3 | ISSUED FOR SCHEMATIC DESIGN | 01-17-2014 |
| 2 | ISSUED FOR ZONING REVIEW | 01-17-2014 |
| 1 | ISSUED FOR RFP RFP | 12-04-2013 |

FOGLIA YMCA GYM EXPANSION
1025 N. OLD MCHENRY ROAD
LAKE ZURICH, IL 60047

BUILDING ELEVATIONS - DETAIL

PROJECT: 1996
DRAWN BY: **A3.03**
Author

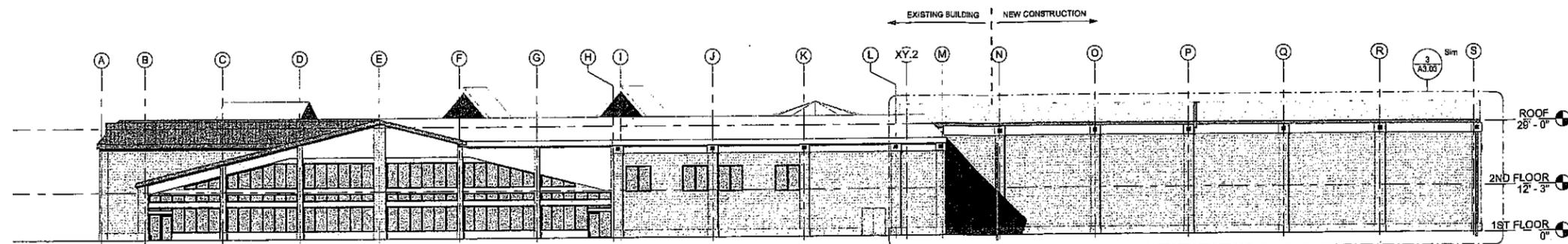
2/20/14 11:28 AM



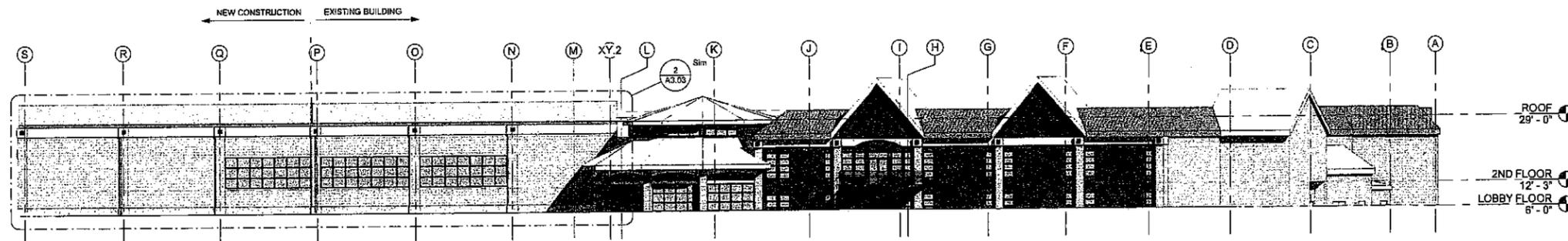
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GENERAL NOTES:

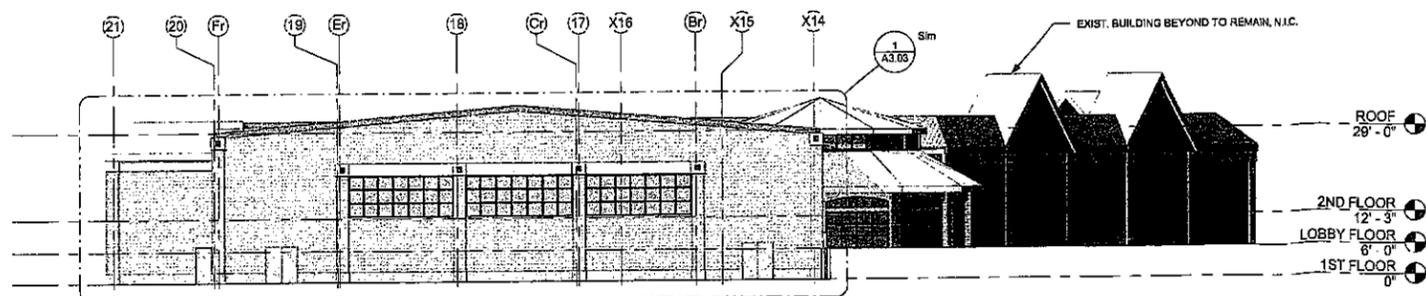
- A. PRE-ENGINEERED METAL BUILDING DESIGNER TO MATCH EXISTING EAVE AND RIDGE HEIGHTS
- B. NEW ROOF SYSTEM TO MATCH EXISTING ROOF SYSTEM COLOR AND PROFILE AS CLOSE AS POSSIBLE USING STANDARD MANUFACTURER COMPONENTS. PROVIDE VOLUNTARY ALTERNATES FOR CUSTOM COMPONENTS THAT CAN BETTER MATCH EXISTING CONDITIONS.
- C. NEW MECHANICAL UNITS WILL BE CONCEALED WITH EXISTING MANSARD ROOFS AND ROOF SCREEN WALLS.



3 SOUTH ELEVATION - OVERALL
1/16" = 1'-0"



2 NORTH ELEVATION - OVERALL
1/16" = 1'-0"



1 EAST ELEVATION - OVERALL
1/16" = 1'-0"

ISSUES AND REVISIONS:

| No. | Description | Date |
|-----|-----------------------------|------------|
| 4 | RE-ISSUED FOR ZONING REVIEW | 02-18-2014 |
| 3 | ISSUED FOR SCHEMATIC DESIGN | 01-17-2014 |
| 2 | ISSUED FOR ZONING REVIEW | 01-12-2014 |
| 1 | ISSUED FOR MEP RFP | 12-04-2013 |

**FOGLIA YMCA GYM
EXPANSION**
1025 N. OLD
MCHENRY ROAD
LAKE ZURICH, IL
60047

**BUILDING
ELEVATIONS -
OVERALL**

PROJECT:
1556
DRAWN BY:
Author

A3.01



Foglia YMCA Gymnasium Expansion
 1025 North Old McHenry Road
 Lake Zurich, Illinois 60047

2014.02.18 - RE-ISSUED FOR ZONING REVIEW

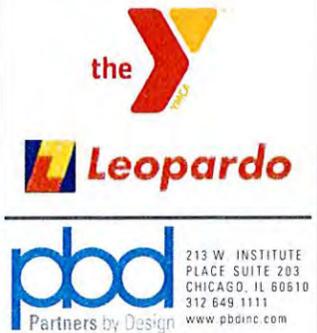
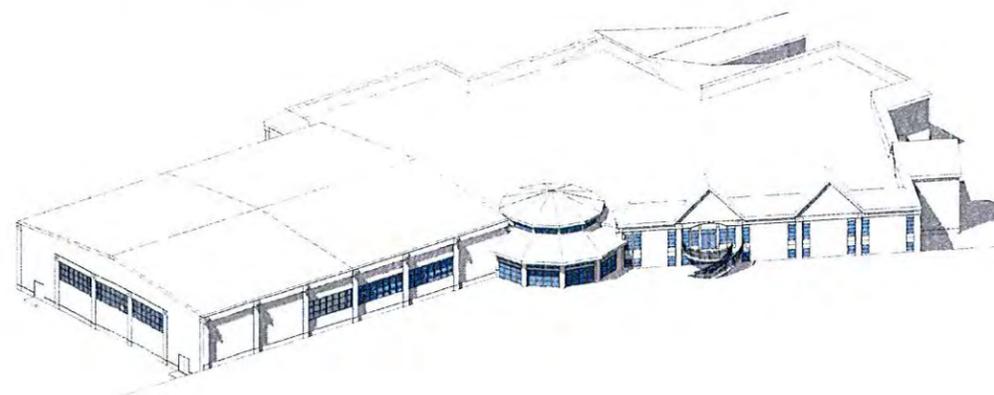
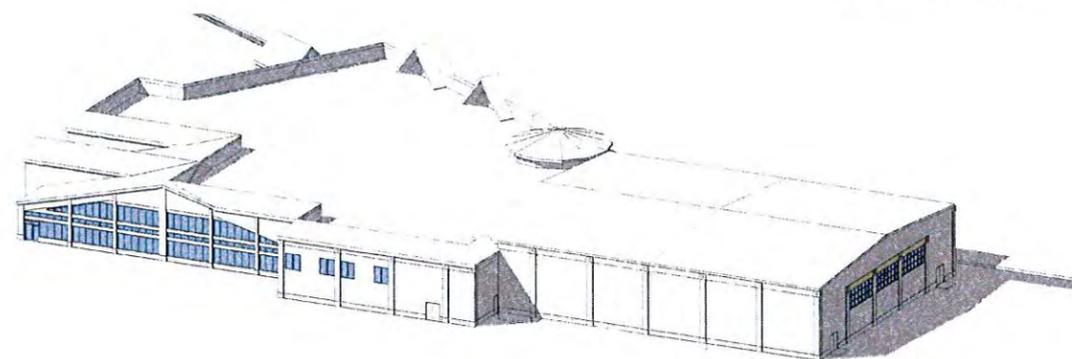
Owner:
 YMCA of Metro Chicago
 801 North Dearborn Street
 Chicago, IL 60610
 T: 312.932.1324

Architect:
 Partners by DESIGN incorporated
 213 West Institute Place, Suite 203
 Chicago, IL 60610
 T: 312.649.1111
 F: 312.649.0993

Structural Engineer:
 Structurelogic, Inc.
 1205 Ogden Avenue
 Downers Grove, IL 60515
 T: 630.969.0414
 F: 630.969.0538

General Contractor:
 Leopardo Companies, Inc.
 5200 Prairie Stone Parkway
 Hoffman Estates, IL 60192
 T: 847.783.3000
 F: 847.783.3001

Civil Engineer:
 SPACECO, Inc.
 9575 West Higgins Road, Suite 700
 Rosemont, IL 60018
 T: 847.696.4060
 F: 847.696.4065



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ISSUES AND REVISIONS:

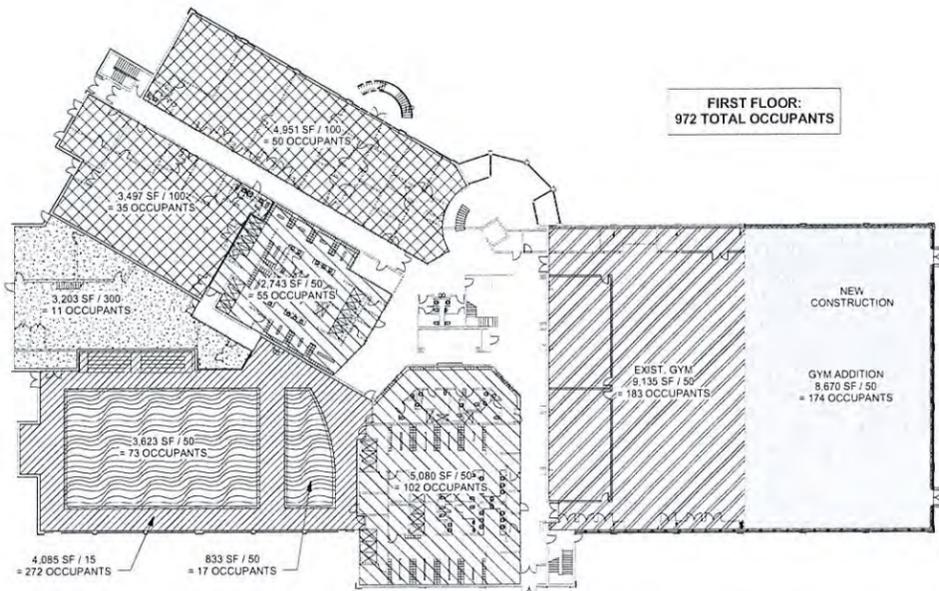
| No. | Description | Date |
|-----|-----------------------------|------------|
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| 3 | ISSUED FOR SCHEMATIC DESIGN | 01-17-2014 |
| 2 | ISSUED FOR ZONING REVIEW | 01-17-2014 |
| 1 | ISSUED FOR PREP | 12-04-2013 |

FOGLIA YMCA GYM
 EXPANSION

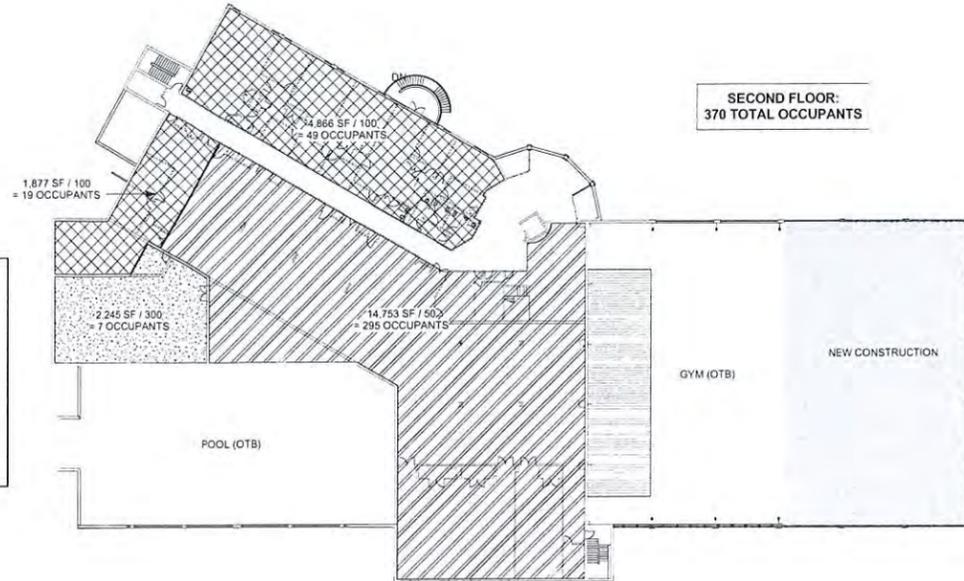
1025 N. OLD
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 LAKE ZURICH, IL
 60047

COVER SHEET

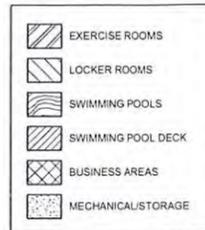
PROJECT:
 1996
 DRAWN BY:
 Author
A0.00



1 OCCUPANCY DIAGRAM - 1ST FLOOR
1/32" = 1'-0"



2 OCCUPANCY DIAGRAM - 2ND FLOOR
1/32" = 1'-0"



| BUILDING CODE REQUIREMENTS | |
|----------------------------|-----------------|
| PROJECT NAME | FOGLIA YMCA |
| PROJECT ADDRESS | LAKE ZURICH, IL |
| PREPARED BY | BL |
| DATE | 2013/12/04 |

| TITLE | APPLICATION CODES | EDITION | DATE |
|--|-------------------|---------|------|
| INTERNATIONAL BUILDING CODE | | 2006 | |
| INTERNATIONAL ENERGY CONSERVATION CODE | | 2012 | |
| INTERNATIONAL MECHANICAL CODE | | 2006 | |
| INTERNATIONAL FUEL GAS CODE | | 2006 | |
| NATIONAL ELECTRIC CODE | | 2005 | |
| INTERNATIONAL FIRE CODE | | 2006 | |
| ILLINOIS ACCESSIBILITY CODE | | 1997 | |

| DESCRIPTION | |
|--|--|
| GYMNASIUM EXPANSION TO AN EXISTING GYMNASIUM, INDOOR SWIMMING POOL, AND FITNESS FACILITY. BUILDING EXPANSION IS A PRE-ENGINEERED METAL BUILDING WITH CMU OR METAL PANEL INSULATION WALLS. BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SUPPRESSION SYSTEM. | |

| USE AND OCCUPANCY CLASSIFICATION - CHAPTER 3 | | |
|--|--|---------|
| BUILDING CLASSIFICATION | REQUIREMENT | SECTION |
| | ASSEMBLY GROUP A-3 | 309.1 |
| | (GYMNASIUMS WITHOUT SPECTATOR SEATING) | |

| SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY - CHAPTER 4 | |
|--|--|
| | |

| GENERAL BUILDING HEIGHTS AND AREAS - CHAPTER 5 | | |
|--|--|---------|
| CONSTRUCTION TYPE | REQUIREMENTS | SECTION |
| | TYPE IIB | 602.2 |
| MAX ALLOWABLE HEIGHT | 55', 2 STORIES | 503 |
| MAX ALLOWABLE AREA | UNLIMITED | 507.6 |
| HEIGHT MODIFICATION | 20' INCREASE, 1 STORY INCREASE | 504.2 |
| MODIFICATION MAX - ALLOWABLE HEIGHT | 75', 3 STORIES | 504.2 |
| PROPOSED AREA AND HEIGHT | 20,800 sf (GYMNASIUM ONLY), 34', 2 STORIES | 507.6 |

| TYPES OF CONSTRUCTION - CHAPTER 6 | | |
|---|---------------------------|---------|
| CONSTRUCTION TYPE | REQUIREMENTS | SECTION |
| | TYPE IIB, NON-COMBUSTIBLE | 602.2 |
| STRUCTURAL FRAME (COLUMNS, GIRDERS AND TRUSSES) | 0 HOURS | |
| BEARING WALLS - EXTERIOR | 0 HOURS | |
| BEARING WALLS - INTERIOR | 0 HOURS | |
| NON-BEARING WALLS & PARTITIONS - EXTERIOR | 0 HOURS | |
| NON-BEARING WALLS AND PARTITIONS - INTERIOR | 0 HOURS | |
| FLOOR CONSTRUCTION (INCLUDING BEAMS AND JOISTS) | 0 HOURS | |
| ROOF CONSTRUCTION | 0 HOURS | |

| FIRE RESISTIVE/RATED CONSTRUCTION - CHAPTER 7 | |
|---|--|
| | |

| INTERIOR FINISHES - CHAPTER 8 | | |
|--|---|-------------|
| WALL & CEILING FINISHES | REQUIREMENT | SECTION |
| | CLASS A = FLAME 0-25 & SMOKE 0-450 | 803.1 |
| FLAME SPREAD RATING | CLASS B = FLAME 26-75 & SMOKE 0-450 | |
| SMOKE DEVELOPED RATING | CLASS C = FLAME 76-200 & SMOKE 0-450 | |
| INTERIOR FINISH REQUIREMENTS - GROUP A-3 (SPRINKLERED) | VERTICAL EXITS AND EXIT PASSAGEWAYS = CLASS B | TABLE 803.5 |
| | EXIT ACCESS CORRIDORS = CLASS B | |
| | ROOMS & ENCLOSED SPACES = CLASS C | |

| FIRE PROTECTION SYSTEMS - CHAPTER 9 | | |
|-------------------------------------|--|---------|
| REQUIREMENTS | | SECTION |
| | BUILDING WILL BE EQUIPPED THROUGHOUT WITH AN AUTOMATED FIRE SUPPRESSION SYSTEM. REFER TO FIRE PROTECTION DRAWINGS FOR INFORMATION. | |

| MEANS OF EGRESS - CHAPTER 10 | | |
|--|--|----------------------|
| CEILING HEIGHT | REQUIREMENT | SECTION |
| | NOT LESS THAN 7'-6" | 1003.2 |
| MAX. FLOOR AREA ALLOWANCE PER OCCUPANT | EXERCISE ROOMS = 50 GROSS SF / OCCUPANT | TABLE 1004.1 |
| ACTUAL OCCUPANCY CALCULATION | SEE PLAN DIAGRAMS AND TABLES FOR OCCUPANT LOAD CALCULATIONS | |
| EGRESS WIDTH | OTHER THAN HAZARDOUS OR I-2 USES: | TABLE 1005.1 |
| | OTHER = 0.15' / PERSON | |
| DOOR ENCROACHMENT | SHALL NOT REDUCE REQUIRED WIDTH TO < 1/2 DURING THE COURSE OF THE SWING | 1005.2 |
| DOOR SWINGS | SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING AND OCCUPANT LOAD OF 50 OR MORE | 1008.1.2 |
| COMMON PATH OF EGRESS TRAVEL | GROUP A-3 OCCUPANCY = MAX 75'-0" | 1014.3 |
| EXIT OR EXIT ACCESS DOORWAYS REQUIRED | (2) EXITS REQUIRED FOR 'A' SPACES ABOVE 49 OCCUPANTS | 1015.2 |
| TWO EXITS OR EXIT ACCESS DOORWAYS | SEPARATION DISTANCE OF EXIT ACCESS DOORS SHALL NOT BE LESS THAN ONE-THIRD OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED | 1015.2, EXCEPTION #2 |
| TRAVEL DISTANCE LIMITATIONS | GROUP A-3 = 250' (MEASURED FROM MOST REMOTE POINT WITHIN A STORY TO THE ENTRANCE TO AND EXIT) | TABLE 1016.1 |
| CORRIDOR WIDTH | NOT LESS THAN 44" | 1017.2 |
| DEAD ENDS | GROUP A-3 = 20" | 1017.3 |
| MINIMUM NUMBER OF EXITS | 2 EXITS IF 1-500 OCCUPANTS 3 EXITS IF 501-1000 OCCUPANTS 4 EXITS IF MORE THAN 1,000 OCCUPANTS | 1019.1 |
| ROOF ACCESS | STAIRWAY NOT REQUIRED IF < 4 STORIES ROOF HATCH = (16' MINIMUM & 2'-0" MINIMUM DIMENSION) | 1009.12.1 |

SITE / ZONING ANALYSIS

| | |
|---------------------------------|--|
| ZONING DISTRICT: | IB - INSTITUTIONAL BUILDINGS |
| MAXIMUM FAR: | 0.35 |
| MIN. LANDSCAPED SURFACE AREA: | 50% |
| SITE AREA: | 909,770 SF (20.9 ACRES) |
| MAXIMUM AREA: | 318,420 SF |
| LANDSCAPE AREA REQUIRED: | 454,885 SF |
| LANDSCAPE AREA PROVIDED: | TBD |
| EXISTING BUILDING | |
| DESIGN CAPACITY: | 1168 |
| REQUIRED PARKING SPACES: | 389 (1168/3 = 1 FOR EACH 3 PERSONS OF DESIGN CAPACITY, BASED ON REQUIREMENTS FOR PHYSICAL FITNESS FACILITIES, MEMBERSHIP SPORTS, AND RECREATION CLUBS) |
| PROPOSED BUILDING DESIGN | |
| DESIGN CAPACITY: | 1342 (BASED ON OCCUPANCY RATES OF VARIOUS SPACES, SEE DIAGRAMS ABOVE) |
| REQUIRED PARKING SPACES: | 447 |
| CURRENT PARKING SPACES: | 395 |
| PROPOSED PARKING SPACES: | 395 |
| PARKING SPACE DEFICIT: | 52 |
| VARIANCE ALLOWABLE 20% DEFICIT: | 89 |

PLUMBING FIXTURE ANALYSIS

TYPE OF BUILDING: ASSEMBLY PLACES

DESIGN CAPACITY:
USING 50/50 MALE TO FEMALE

671 WOMEN
671 MEN

FIXTURE COUNT:
COUNTS ARE BASED ON EXISTING FACILITY, NO NEW PLUMBING FIXTURES ARE PLANNED

| | MEN-WC | MEN-URINALS | WOMEN-WC | LAVS-MEN | LAVS-WOMEN | DRINK FNT |
|---------------|--------|-------------|----------|----------|------------|-----------|
| SECOND FLOOR: | 1 | 1 | 1 | 1 | 2 | 4 |
| FIRST FLOOR: | 12 | 5 | 17 | 20 | 20 | 4 |
| TOTAL: | 13 | 6 | 20 | 21 | 22 | 8 |

FIXTURE REQUIREMENTS - ILLINOIS PLUMBING CODE:
BASED ON ASSEMBLY PLACES (SPORTS ARENAS, STADIUMS, CONVENTION HALLS, ETC.)

WATER CLOSETS - MEN: 4 FOR UP TO 800 OCCUPANTS, ADD 1 FOR EACH ADDITIONAL 700
REQUIRED: 4

URINALS: 4 FOR UP TO 600 OCCUPANTS, ADD 1 FOR EACH ADDITIONAL 250
REQUIRED: 4

WATER CLOSETS - WOMEN: 9 FOR UP TO 800 OCCUPANTS, ADD 1 FOR EACH ADDITIONAL 200
REQUIRED: 9

LAVATORIES - MEN: 3 FOR FIRST 750 OCCUPANTS, ADD 1 FOR EACH ADDITIONAL 400
REQUIRED: 3

LAVATORIES - WOMEN: 3 FOR FIRST 750 OCCUPANTS, ADD 1 FOR EACH ADDITIONAL 400
REQUIRED: 3

DRINKING FOUNTAINS: 1 FOR FIRST 100 OCCUPANTS, ADD 1 FOR EACH ADDITIONAL 500
REQUIRED: 3



ISSUES AND REVISIONS:

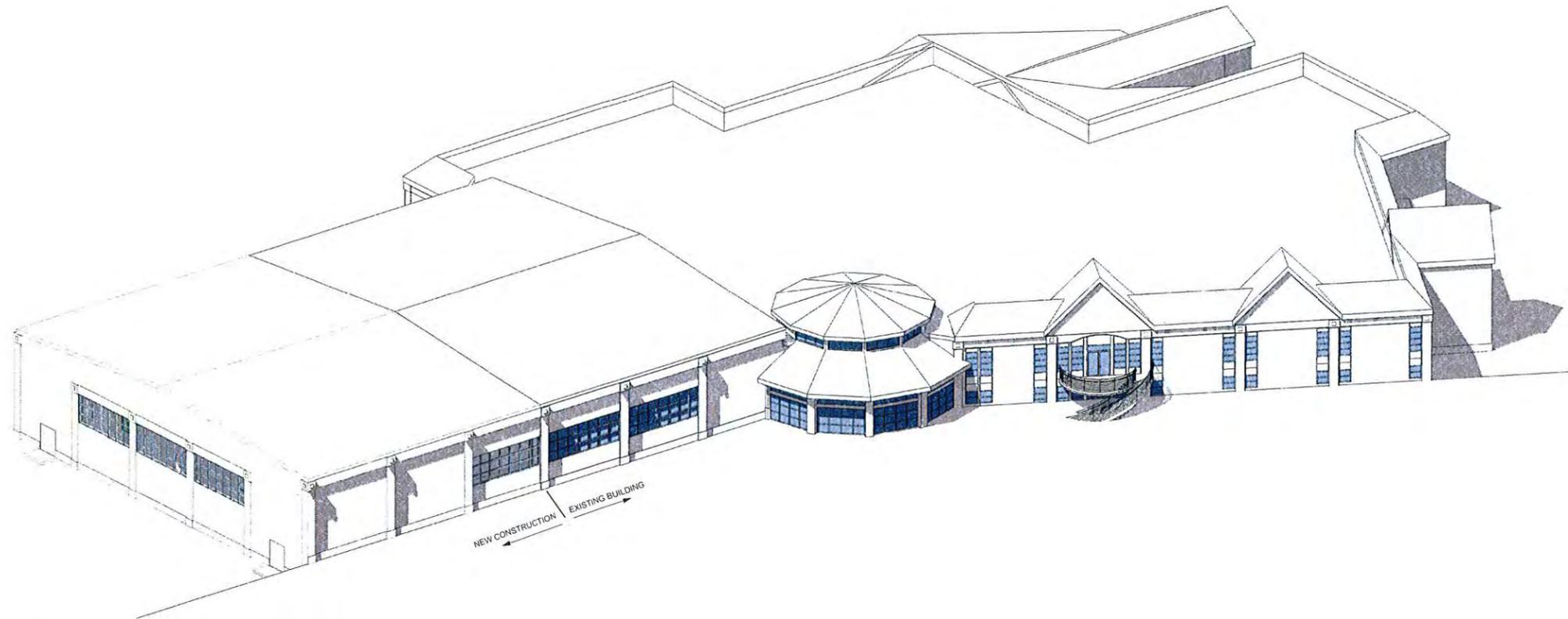
| No. | Description | Date |
|-----|-----------------------------|------------|
| 4 | REVISED FOR ZONING REVIEW | 02-18-2014 |
| 3 | ISSUED FOR SCHEMATIC DESIGN | 01-17-2014 |
| 2 | ISSUED FOR ZONING REVIEW | 01-17-2014 |

FOGLIA YMCA GYM EXPANSION
1025 N. OLD MCHENRY ROAD
LAKE ZURICH, IL 60047

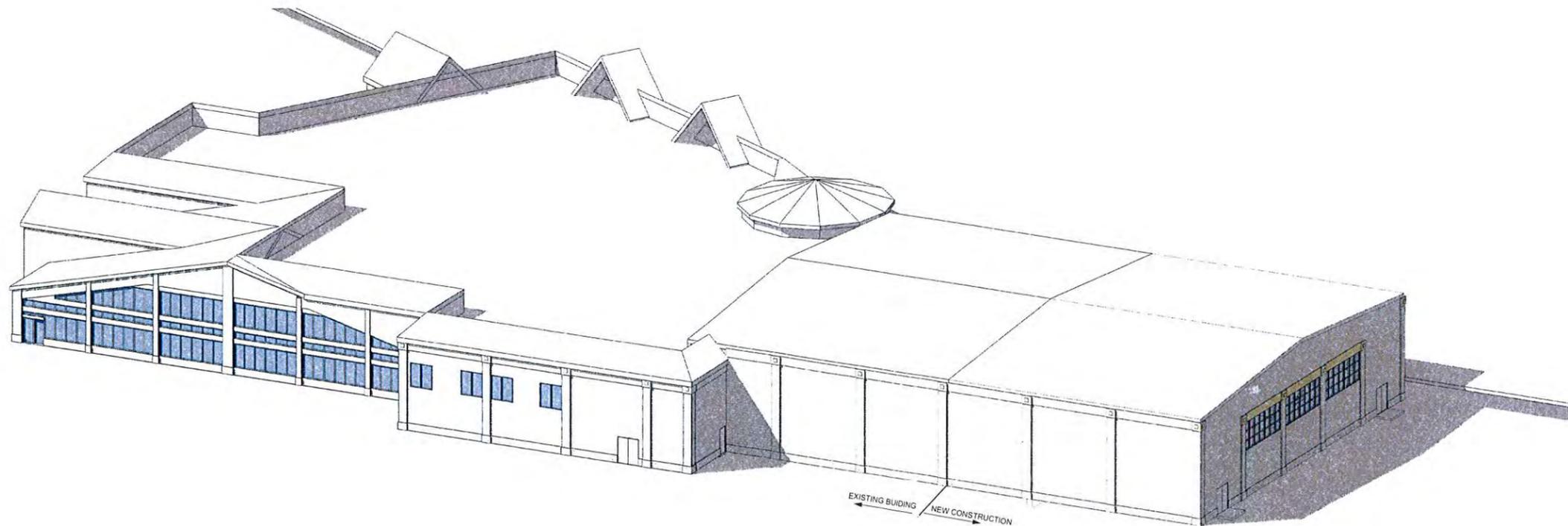
CODE ANALYSIS

PROJECT:
1996
DRAWN BY:
Author

A0.03



1 3D- NE Isometric-SHEET



2 3D- SE Isometric-SHEET



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GENERAL NOTES:
1. 3D VIEWS ARE FOR ILLUSTRATION PURPOSES ONLY. REFER TO PLANS SECTIONS AND ELEVATIONS FOR ADDITIONAL INFORMATION.

ISSUES AND REVISIONS:

| No. | Description | Date |
|-----|-----------------------------|------------|
| 4 | RE-ISSUED FOR ZONING REVIEW | 02-18-2014 |
| 3 | ISSUED FOR SCHEMATIC DESIGN | 01-17-2014 |
| 2 | ISSUED FOR ZONING REVIEW | 01-17-2014 |

FOGLIA YMCA GYM EXPANSION

1025 N. OLD MCHENRY ROAD
LAKE ZURICH, IL 60047

ISOMETRIC VIEWS

PROJECT: 1996
DRAWN BY: Author
A0.04



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GENERAL NOTES:

1. NEW WAYFINDING SIGNAGE AS PART OF SEPARATE PROJECT FOR SITE IMPROVEMENTS

SITE INFORMATION:

| | |
|-------------------------------|------------|
| SITE AREA: | 909,770 SF |
| CURRENT TOTAL PARKING SPACES: | 395 |
| SPACES REQUIRED PER ZONING: | 447 |
| PARKING SPACE DEFICIT: | 52 |

SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION.

ISSUES AND REVISIONS:

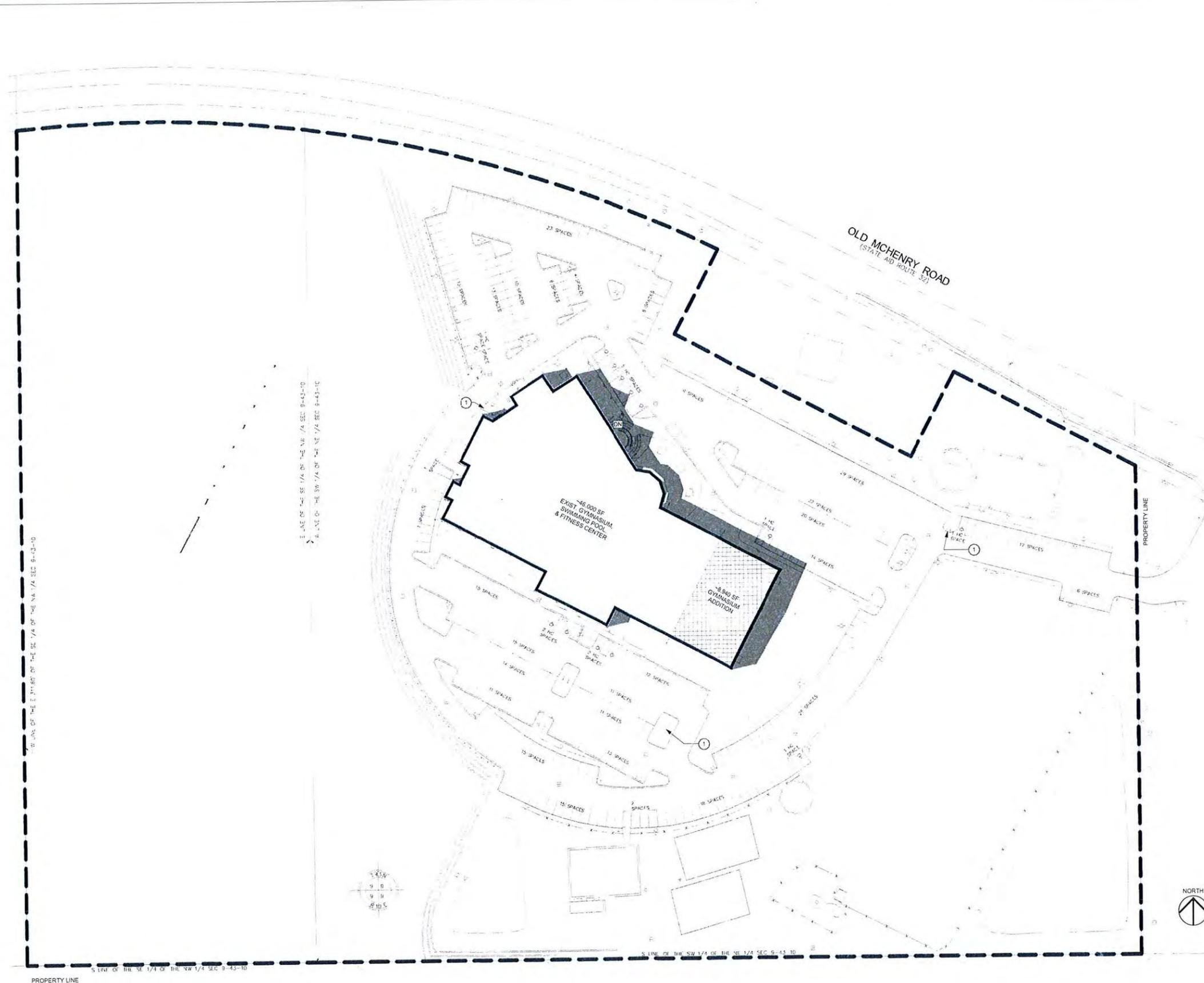
| No. | Description | Date |
|-----|---------------------------------|------------|
| 1 | RE-ISSUED FOR ZONING REVIEW | 02-16-2014 |
| 2 | ISSUED FOR ARCHITECTURAL DESIGN | 01-13-2014 |
| 3 | ISSUED FOR ZONING REVIEW | 01-17-2014 |

**FOGLIA YMCA GYM
EXPANSION**
1025 N. OLD
MCHENRY ROAD
LAKE ZURICH, IL
60047

SITE PLAN

PROJECT:
1996
DRAWN BY:
Author

A1.01



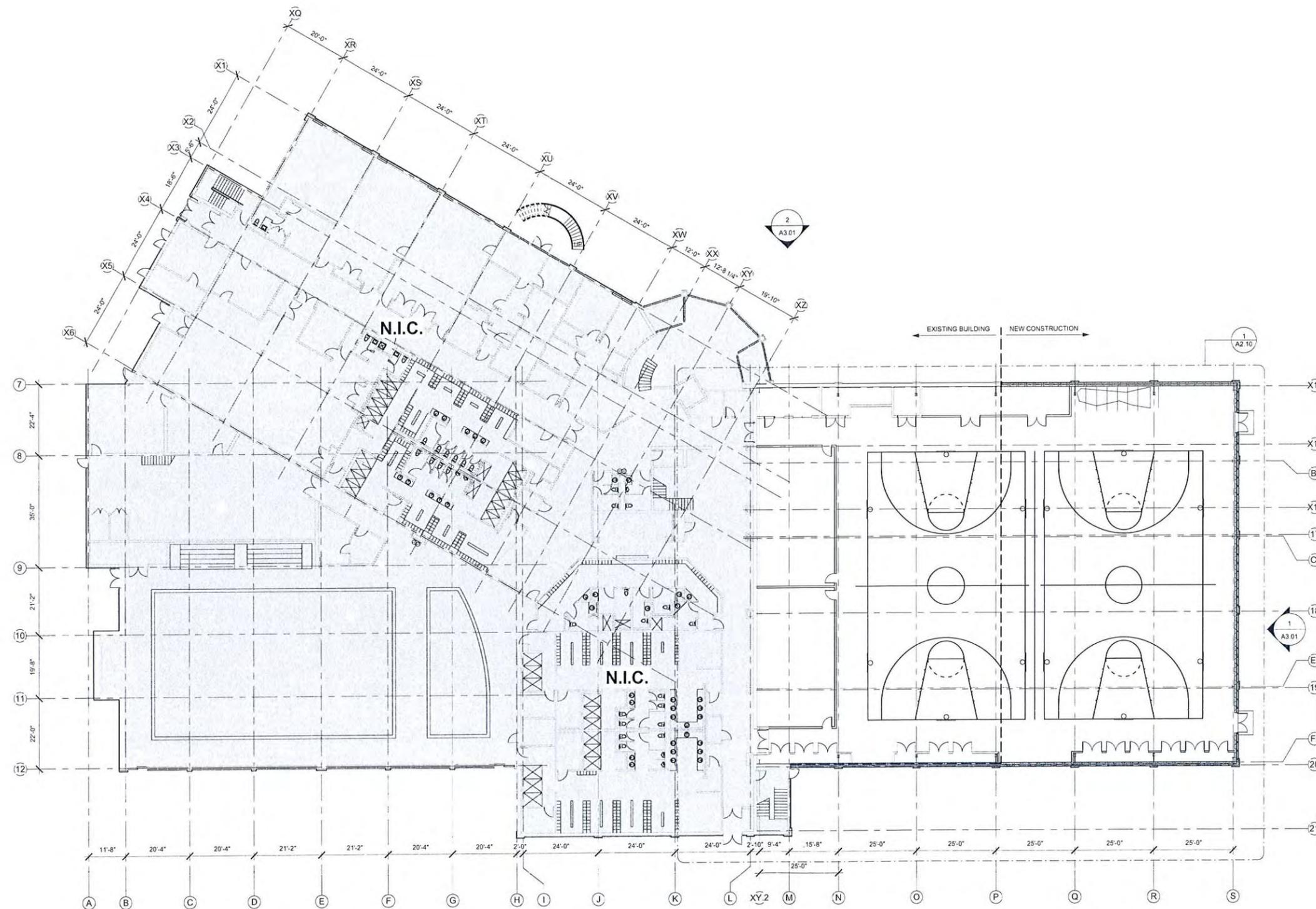
1 OVERALL SITE PLAN
1" = 50'-0"

FOGLIA Y.M.C.A. 1025 N. OLD MCHENRY ROAD, LAKE ZURICH, IL 60047



Leopardo

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1 1ST FLOOR - OVERALL
1/16" = 1'-0"

ISSUES AND REVISIONS:

| No. | Description | Date |
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| 4 | RE-ISSUED FOR ZONING REVIEW | 02-18-2014 |
| 3 | ISSUED FOR SCHEMATIC DESIGN | 01-17-2014 |
| 2 | ISSUED FOR ZONING REVIEW | 01-17-2014 |
| 1 | ISSUED FOR MSP RFP | 12-04-2013 |

FOGLIA YMCA GYM EXPANSION

1025 N. OLD MCHENRY ROAD
LAKE ZURICH, IL 60047

1ST FLOOR OVERALL PLAN

PROJECT:
1996
DRAWN BY:
RVZ

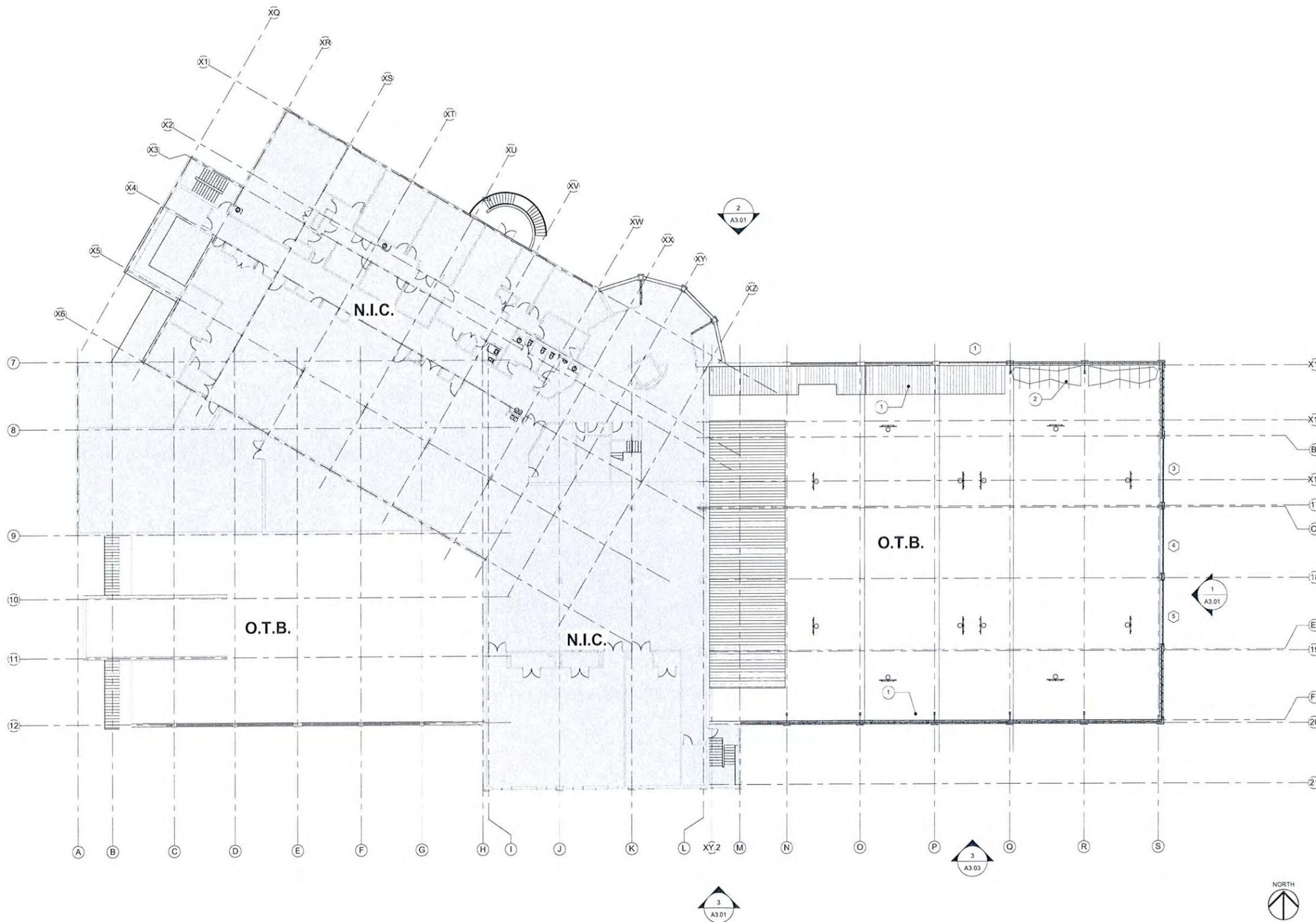
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KEY NOTES:

- ① SLOPED METAL ROOF ABOVE STORAGE ROOMS AND CLASSROOM TO MATCH EXISTING.
- ② RELOCATE & RECONFIGURE CLIMBING WALL.



ISSUES AND REVISIONS:

| No. | Description | Date |
|-----|-----------------------------|------------|
| 4 | RE-ISSUED FOR ZONING REVIEW | 03-18-2014 |
| 3 | ISSUED FOR SCHEMATIC DESIGN | 01-17-2014 |
| 2 | ISSUED FOR ZONING REVIEW | 01-17-2014 |
| 1 | ISSUED FOR MEP RFP | 12-04-2013 |

FOGLIA YMCA GYM EXPANSION

1025 N. OLD MCHENRY ROAD
LAKE ZURICH, IL 60047

2ND FLOOR OVERALL PLAN

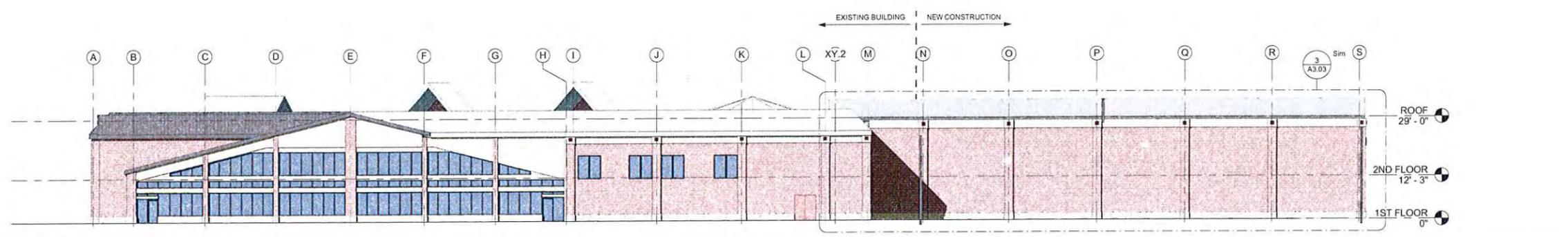
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DRAWN BY: Author
A2.02

① 2ND FLOOR - OVERALL
1/16" = 1'-0"

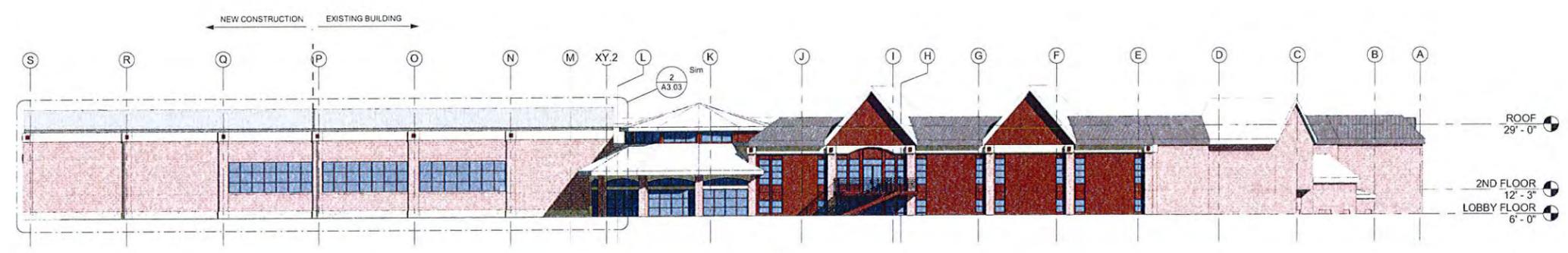


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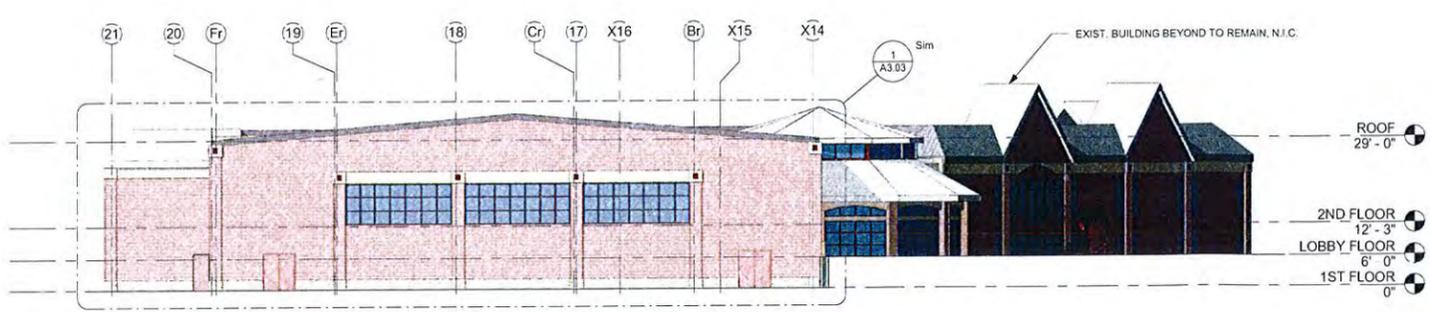
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 A. PRE-ENGINEERED METAL BUILDING DESIGNER TO MATCH EXISTING EAVE AND RIDGE HEIGHTS
 B. NEW ROOF SYSTEM TO MATCH EXISTING ROOF SYSTEM COLOR AND PROFILE AS CLOSE AS POSSIBLE USING STANDARD MANUFACTURER COMPONENTS. PROVIDE VOLUNTARY ALTERNATES FOR CUSTOM COMPONENTS THAT CAN BETTER MATCH EXISTING CONDITIONS.
 C. NEW MECHANICAL UNITS WILL BE CONCEALED WITH EXISTING MANSARD ROOFS AND ROOF SCREEN WALLS.



3 SOUTH ELEVATION - OVERALL
1/16" = 1'-0"



2 NORTH ELEVATION - OVERALL
1/16" = 1'-0"



1 EAST ELEVATION - OVERALL
1/16" = 1'-0"

ISSUES AND REVISIONS:

| No. | Description | Date |
|-----|-----------------------------|------------|
| 4 | RE-ISSUED FOR ZONING REVIEW | 02-18-2014 |
| 3 | ISSUED FOR SCHEMATIC DESIGN | 01-17-2014 |
| 2 | ISSUED FOR ZONING REVIEW | 01-17-2014 |
| 1 | ISSUED FOR MEP RFP | 12-04-2013 |

FOGLIA YMCA GYM EXPANSION
 1025 N. OLD MCHENRY ROAD
 LAKE ZURICH, IL 60047

BUILDING ELEVATIONS - OVERALL

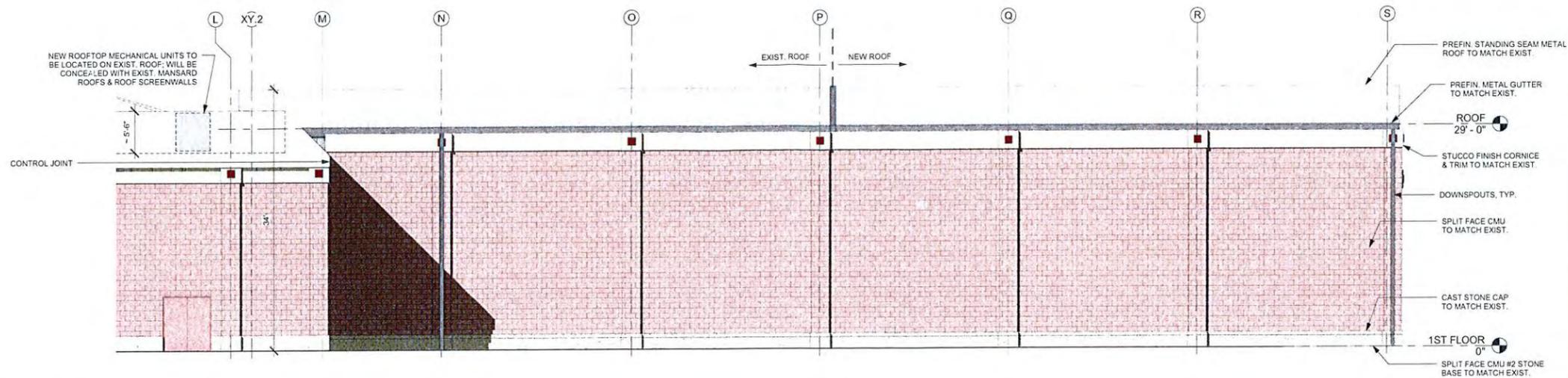
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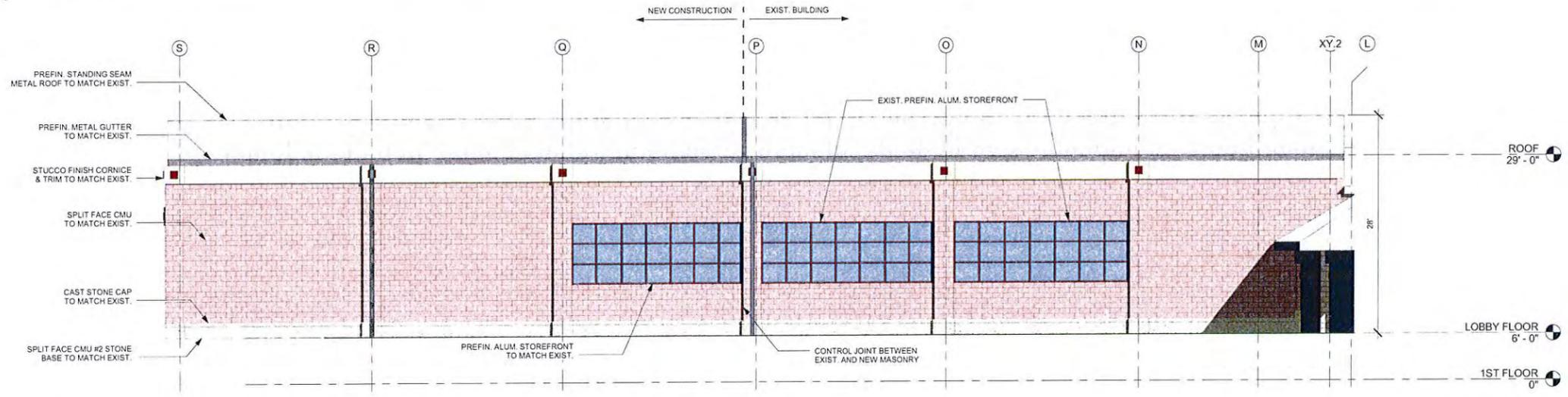
Leopardo

pbd Partners by Design
213 W INSTITUTE PLACE SUITE 203 CHICAGO, IL 60610 312 649 1111 www.pbdinc.com

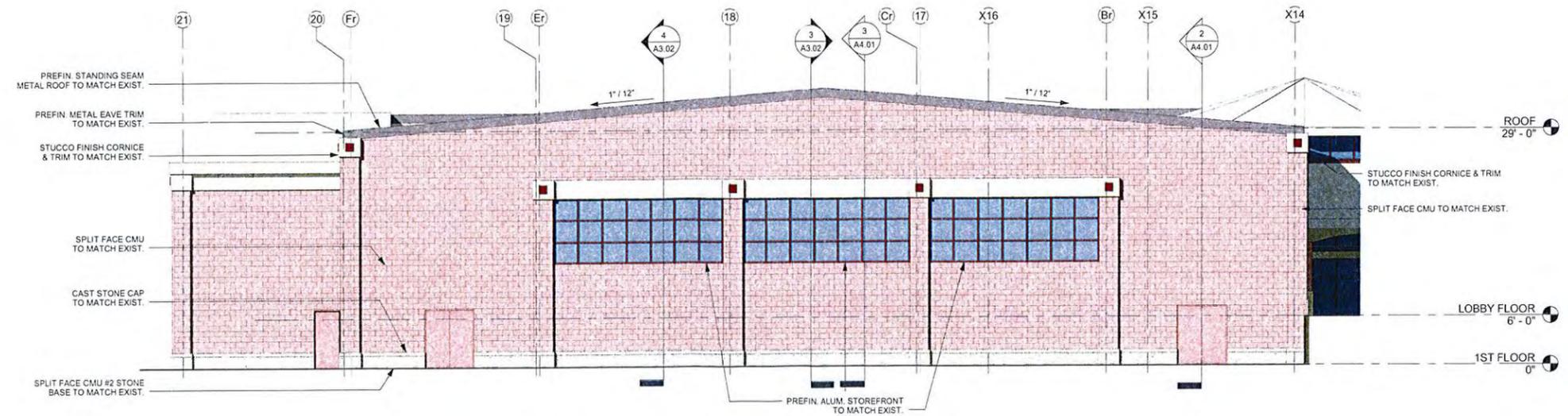
GENERAL NOTES:
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B. NEW ROOF SYSTEM TO MATCH EXISTING ROOF SYSTEM COLOR AND PROFILE AS CLOSE AS POSSIBLE USING STANDARD MANUFACTURER COMPONENTS. PROVIDE VOLUNTARY ALTERNATES FOR CUSTOM COMPONENTS THAT CAN BETTER MATCH EXISTING CONDITIONS.



3 SOUTH ELEVATION - DETAIL
1/8" = 1'-0"



2 NORTH ELEVATION - DETAIL
1/8" = 1'-0"



1 EAST ELEVATION - DETAIL
1/8" = 1'-0"

ISSUES AND REVISIONS:

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FOGLIA YMCA GYM EXPANSION
1025 N. OLD MCHENRY ROAD
LAKE ZURICH, IL 60047

BUILDING ELEVATIONS - DETAIL

PROJECT: 1996
DRAWN BY: **A3.03**
Author

7/10/14 11:24 AM C:\projects\1996\1996.dwg

GENERAL NOTES

- 1. REFERENCED CODES
A. ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSBCC), AND SUPPLEMENTAL SPECIFICATIONS AND RECORDING SPECIAL PROVISIONS ADOPTED JANUARY 1, 2012 BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THEREIN AND IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY EXCEPT AS MODIFIED HEREIN. IN CASE OF CONFLICT, MUNICIPAL CODE SHALL TAKE PRECEDENCE.
B. ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION (SSWCC) AND SUPPLEMENTAL SPECIFICATIONS AND RECORDING SPECIAL PROVISIONS ADOPTED JANUARY 1, 2012 BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THEREIN AND IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.

- 22. GENERAL EXCAVATION/UNDERGROUND NOTES
A. SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. SHOULDER AND GRADE BEHIND SLOPING IS NOT POSSIBLE EITHER BECAUSE OF SPACE RESTRICTIONS OR STABILITY OF MATERIALS. EXCAVATED, MAINTAIN SIDES AND SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.
B. PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH AS SHEET PILING, UPRIGHTS, STRUTTERS AND CROSS BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINIMUM REQUIREMENTS FOR TRENCH SHORING AND BRACING TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. MAINTAIN SHORING AND BRACING IN EXCAVATIONS REGARDLESS OF TIME PERIOD EXCAVATIONS WILL BE OPEN. CLAY OR SOIL SHORING AND BRACING AS EXCAVATION PROGRESSES IN ACCORDANCE WITH OSHA AND GOVERNING AUTHORITY.
C. PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS. REMOVE WATER TO PREVENT SUBSIDING OF FOUNDATION FOOTINGS, UNDERCUTTING FOOTINGS, AND SOIL DRAZES. RETRIEVAL TO STABILITY OF SUBBASES AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, Sumps, SUCTION AND DISCHARGE LINES FOR OTHER BEHAVIORING SYSTEMS COMPONENTS TO REMOVE WATER FROM EXCAVATIONS. CONVEY WATER REMOVED FROM EXCAVATIONS AND RAINWATER TO COLLECTING OR RUN-OFF AREAS ACCEPTABLE TO AUTHORITY HAVING JURISDICTION. PROVIDE AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DISPOSITIONS OUTSIDE EXCAVATION LIMITS FOR EACH STRUCTURE. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.
D. IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNSOUND BEARING TO THE OWNER/DEVELOPER BEFORE CONTINUING WORK.

- 3. EARTH EXCAVATION INCLUDES:
A. EXCAVATION OF CLAY AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.
B. PLACEMENT OF THE CLAY AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIAL SHALL BE PLACED IN LARGE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION.
STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL TO WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.
C. COMPACTION OF THE CLAY AND OTHER SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALKS, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.
D. EXCAVATION QUANTITIES OF EARTH EXCAVATION INDICATED ELSEWHERE IN THIS CONTRACT HAVE BEEN COMPUTED BY THE END AREA METHOD AS PROVIDED FOR IN SECTION 202 OF THE STANDARD SPECIFICATIONS. EXCAVATED MATERIALS NOT NEEDED FOR THIS JOB SITE SHALL BE LEGALLY DISPOSED OF. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER CUBIC YARD OF EARTH EXCAVATION.
4. UNSUITABLE MATERIAL
UNUSABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.
5. MISCELLANEOUS THE CONTRACTOR SHALL:
A. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
B. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
C. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
D. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. THE CURBS SHALL NOT BE BACKFILLED UNTIL THE CONCRETE HAS CURED FOR AT LEAST 7 DAYS.
E. TRENCH COMPACTION: ALL TRENCHES SHALL BE COMPACTED BY MECHANICAL TECHNIQUES APPROVED BY THE SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER. THE REQUIREMENT FOR MECHANICAL COMPACTION MAY BE WAIVED IF, IN THE OPINION OF THE SOILS ENGINEER AND THE MUNICIPAL ENGINEER, THE BACKFILLED TRENCHES MEET THE DENSITY REQUIREMENTS. JETTING OF TRENCHES FOR COMPACTION WILL NOT BE ALLOWED.
6. TESTING AND FINAL ACCEPTANCE
A. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A FULLY LOADED SIX-WHEEL TANKER TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY MUNICIPAL ENGINEER AND THE OWNER. SEE PAVING SPECIFICATION.
B. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL, OR OTHERWISE CORRECTED, APPROVED BY THE SOILS CONSULTANT.
C. ANY TESTING THAT IS REQUIRED OF THIS CONSTRUCTION IS CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE.

EARTHWORK NOTES

- 1. GENERAL
A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE. THE CONTRACTOR SHALL OBTAIN AND READ THE GEOTECHNICAL REPORTS AVAILABLE FROM THE OWNER.
B. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRAISE HIMSELF AS TO ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN WRITING BY THE OWNER.
C. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC. MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS.
D. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION, AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM FROST, SEDIMENTATION AND TRAFFIC.
E. PLANS FOR THE SITE DETERMINING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO MODIFICATION TO THE CONSTRUCTION PLAN SHALL BE MADE FOR REVERTING DURING CONSTRUCTION.
F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES". THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC. TO PROTECT ADJACENT PROPERTY, NEIGHBORS, ETC. SHALL OCCUR BEFORE GRADING BEGINS. A MUNICIPAL ENGINEER (INSPECTION) SHALL BE REQUIRED BEFORE ANY EARTHWORK IS PERFORMED.
G. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERCT A "SHOW FENCE" AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.
H. EXCESS MATERIALS, IF NOT UTILIZED AS FILL, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.
I. ALL EARTHWORK SHALL BE DONE UNDER THE SUPERVISION OF AN ILLINOIS LICENSED ENGINEER WHO SPECIALIZES IN THE GEOTECHNICAL FIELD (SOILS ENGINEER). THIS ENGINEER WILL BE RESPONSIBLE FOR ENSURING THAT ALL UNSUITABLE MATERIALS ARE REMOVED, ALL STRUCTURAL FILL MATERIALS ARE PROPERLY PLACED AND COMPACTED, ALL PAVEMENT SUBGRASSES ARE PROPERLY PREPARED, PROOF ROLLING SUBGRASSES AND BASE COURSES, AND ENSURING THAT ALL WATER RETAINING EMBANKMENTS ARE PROPERLY CONSTRUCTED. THE DEVELOPER PAYS FOR ALL GEOTECHNICAL SERVICES.

SOIL EROSION NOTES

- 1. GENERAL
A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE. THE CONTRACTOR SHALL OBTAIN AND READ THE GEOTECHNICAL REPORTS AVAILABLE FROM THE OWNER.
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LEGEND table with columns: EXISTING, DESCRIPTION, PROPOSED. Includes symbols for DRAIN TILE, STORM SEWER, SANITARY SEWER, SANITARY TRUNK SEWER, WATER MAIN (WITH SIZE), PIPE TRENCH BACKFILL, GAS MAIN, TELEPHONE LINES, ELECTRIC LINE, FENCE, RIGHT-OF-WAY, EASEMENT, PROPERTY LINE, SETBACK LINE, CENTERLINE, CONTOUR, SANITARY MANHOLE, STORM MANHOLE, CATCH BASIN, INLET, FIRE HYDRANT, PRESSURE CONNECTION, PIPE REDUCER, VALVE AND VAAAT, VALVE, FLARED END SECTION, STREET LIGHT, UTILITY POLE, CONTROL POINT, SIGN, SPOT ELEVATION, SOL BORING, OVERLAND FLOW ROUTE, DRAINAGE SLOPE, GUARDRAIL, WATER'S EDGE, CONCRETE, REVERSE PITCH CURB, TREE, FR TREE, BUSH, & PROPOSED TREE TO REMOVE.

ABBREVIATIONS

Table of abbreviations: M - STORM MANHOLE, S - SANITARY MANHOLE, CB - CATCH BASIN, LP - LIGHT POLE, VV - VALVE VAAAT, VE - END SECTION, FH - FIRE HYDRANT, GR - GRADE RING (HYDRANT), I - INVERT OR INLET, TF - TOP OF FOUNDATION, G - GARAGE FLOOR, TC - TOP OF CURB, TW - TOP OF DEPRESSION CURB, LW - LOOK OUT, BW - BOTTOM OF RETAINING WALL, OP - OUTLET OF PIPE, T/P - TOP OF PIPE, B/P - BOTTOM OF PIPE, WM - WATERMAIN, SAN - SANITARY SEWER, STM - STORM SEWER, LO - LOOK OUT, PLO - PARTIAL LOOK OUT.

PERMITS

Table with columns: DESCRIPTION, LOG NO., PERMIT NO., DATE ISSUED.

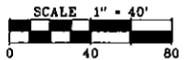
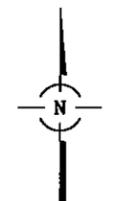
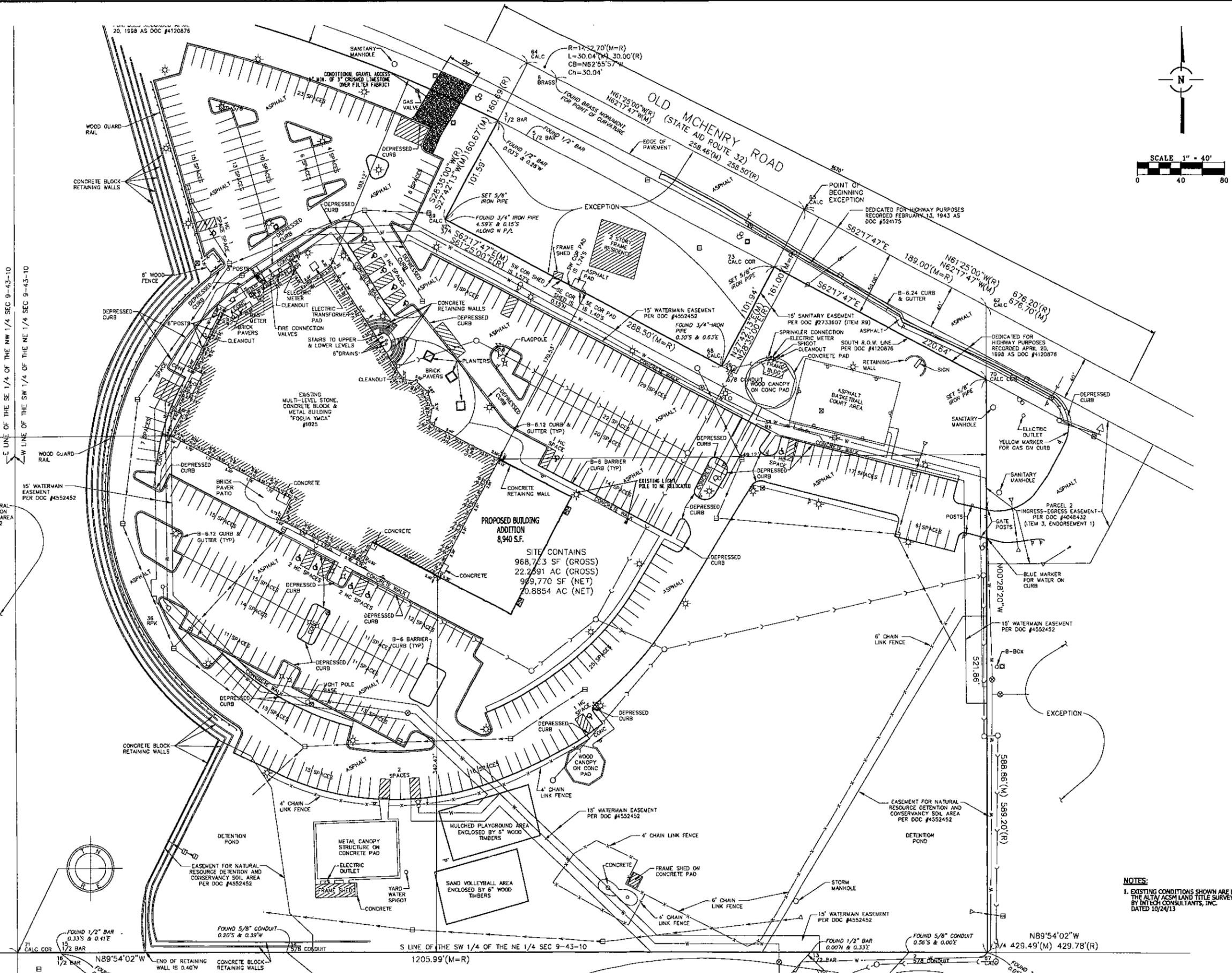
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GENERAL NOTES
FOGLIA YMCA - GYM ADDITION
1025 N. OLD MCHENRY ROAD
LAKE ZURICH, IL

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
9275 W. Highway Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 694-0360 Fax: (847) 694-4645

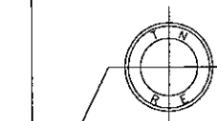


FILENAME: 7894GN
DATE: 12/11/13
JOB NO. 7894
SHEET 2 OF 4



E LINE OF THE SE 1/4 OF THE NW 1/4 SEC 9-43-10
 W LINE OF THE SW 1/4 OF THE NE 1/4 SEC 9-43-10

EASEMENT FOR NATURAL RESOURCE PROTECTION WETLAND PROTECTION AREA PER DOC #4552452



PROPOSED BUILDING ADDITION
 8,940 S.F.

SITE CONTAINS
 968,743 SF (GROSS)
 22,281 AC (GROSS)
 969,770 SF (NET)
 20.8854 AC (NET)

OLD MCHENRY ROAD
 (STATE AID ROUTE 32)

NOTES:
 1. EXISTING CONDITIONS SHOWN ARE BASED ON THE ALTA/ACSM LAND TITLE SURVEY PREPARED BY INTECH CONSULTANTS, INC. DATED 10/24/13

OVERALL SITE PLAN

FOGLIA YMCA - GYM ADDITION
 1025 N. OLD MCHENRY ROAD
 LAKE ZURICH, IL

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS



FILENAME:
 7894OVERALL

DATE:
 12/11/13

JOB NO.
 7894

SHEET
OV1
 3 OF 4

| NO. | DATE | REMARKS |
|-----|----------|---------------------------|
| 1 | 01/14/14 | BUILDING ADDITION REVISED |
| 2 | 02/12/14 | BUILDING ADDITION REVISED |

9576 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065

ZONING REVIEW

PROJECT: YMCA – ADDITION
SITE PLAN, EXTERIOR APPEARANCE, VARIATION
LOCATION: 1025 OLD MC HENRY ROAD
REVIEWED BY: MARY MEYER
DATE: MARCH 11, 2014
DOCUMENTS
REVIEWED: APPLICATION DATED 1/17/14, PLANS A0.00 – A3.03 DATED
1/16/14, ENGINEERING PLANS DATED 1/14/14, PLAT OF SURVEY,
ZONING CODE, LAND DEVELOPMENT CODE

The Foglia YMCA proposes construction of an 8,670 square foot addition for an additional gymnasium along with two new rooms for classrooms/programs. The YMCA's addition in 1999 allowed a portion of the building be constructed of metal siding with certain conditions. The conditions allowed the metal exterior to remain on a temporary basis with the understanding that the siding would be changed to masonry or the siding would become an interior wall with the construction of a future expansion. The expansion is now proposed resulting in the entire Foglia YMCA in compliance with masonry exterior materials.

There is no additional parking proposed with this building expansion. The YMCA believes that although the code requires additional parking be installed with additional building square footage, the gymnasium and classroom expansion will result in few additional guests. The YMCA is seeking a variation to reduce the number of parking spaces by less than 20% of the code requirement. The Zoning Board of Appeals reviewed the request for reduced number of parking spaces at their February 20, 2014 meeting, and recommended approval. Additional signage is requested to direct patrons to alternate parking areas. Review is as follows:

- 1) Zoning: I-B Institutional Buildings.
- 2) Use: YMCA recreational/membership use approved via Ordinance #96-02-789.
Other areas of the building were previously rented to private companies/agencies.
Clarify occupant/s in building.
- 3) Maximum Building
Height: Allowed: 30 feet (average/mean height between eave & ridge)
Proposed: 29 feet
- 4) Minimum Lot.
Area: Required: 15,000 square feet
Existing/Proposed: 20.88 acres
- 5) Minimum Lot
Width: Required: 90 feet
Existing: 220.64 feet +
- 6) Minimum Front
Yards: Required: 25 feet
Proposed: 40 feet to basketball court
Proposed: 170 feet +/- to addition
- 7) Minimum Interior
Side Yard: Required: 10 feet
Existing: 25 feet +/- to parking
Proposed: 400 feet +/- to addition
- 8) Minimum Rear

- Yard: Required: 25 feet
Existing: 340 feet +/- main building (25 feet to pavilion)
Proposed: 300 feet +/- main building
- 9) Maximum Floor Area Ratio: Allowed: .35
Proposed: .17
- 10) Minimum Landscaped Surface Area: Required: 50%
Proposed: 50%+
- 11) Number of Parking Spaces: Required: 447
Existing/Proposed: 395
By Variation, applicant may seek Variation to reduce by not more than 20% the minimum number of off-street parking spaces required. A 20% reduction would decrease spaces to 354. 395 is a 12% reduction.
- 12) Handicapped Parking: When 301-400 spaces are provided, at least 8 shall be handicapped.
12 handicapped spaces are existing, disbursed at different entrances.
- 13) Landscaping: Landscaping shall be reviewed by Village Planner.
- 14) Rooftop Mechanical Units: Rooftop units to be fully screened by screenwalls.
- 15) Exterior Lighting: Minimal exterior lighting is proposed. Lighting shall not exceed 0.50 at property lines, 10.0 on site and shall not produce glare onto roadways.
Lighting to be field verified.
- 16) Exterior: With this expansion, the temporary allowance of metal siding will be removed. The exterior of the expansion is split faced cmu to match existing.
- 17) Trash Enclosure: Trash enclosure is existing with one dumpster located within, and one outside. All dumpsters are required to be located inside of enclosure.
- 18) Misc. Violations: Miscellaneous violations exist onsite including shed trim and siding to be maintained (at day camp pavilion), and temporary signs removed.
Temporary signs are authorized for 60 days with the issuance of a temporary sign building permit.

Conclusion

- Consideration for Site Plan and Exterior Appearance shall be based on standards outlined in Zoning Code 20-103 and 21-103.
- Consideration for Variation to reduce the required number of parking spaces by 52 (12% reduction) shall be based on standards outlined in Zoning Code 17-104.
- All exterior walls shall be masonry material as shown on plans.

Memo

To: Sam Hubbard, Village Planner
From: Betty Harrison, EQC Supervisor
CC:
Date: March 4, 2014
Re: Staff Review – March 19th Plan Commission Meeting

1. Foglia YMCA Gymnasium Expansion

Water and Sewer main lines are outside of the area of the proposed expansion. No issues with the expansion.

2. PF Ventures/Flex Construction

Sanitary sewer service line cannot connect to manhole. Connection must be made downstream of the manhole.

The utility crossing between the sanitary sewer line and water service line must be addressed. It is denoted on plan but not how it will be addressed.

Connection to water main must be at least five (5) feet from the hydrant.

Water service alongside the building must be placed outside of the 45-degree bearing plane of the footing.

Water service connection could be made to the water main on the west side of the property.

All applicable fees apply.

There will be a \$1,000 refundable parkway opening bond required.



VILLAGE OF LAKE ZURICH FIRE RESCUE DEPARTMENT
FIRE PREVENTION BUREAU
1075 OLD MCHENRY ROAD, LAKE ZURICH, ILLINOIS 60047
PHONE: 847.540.5073 • WWW.LZFIRERESCUE.ORG
JOHN M. BZDUSEK SR., DEPUTY FIRE MARSHAL

February 28, 2014

Sam Hubbard
Village Planner.
505 Telser Rd.
Lake Zurich, IL 60047

Re: PR14-045 YMCA Proposed Expansion-Interior Build out

The Fire Prevention Bureau has reviewed the proposed interior build out plans for the YMCA, 1025 Old McHenry Road in Lake Zurich, IL. The following items have been noted in this review.

1. Plans and specifications for the modification of the sprinkler protection system shall be submitted for review and approval. A permit needs to be obtained before any work on the sprinkler system can begin.

225 ILCS 325 3d
LZBC: 903.2

2. Plans and specifications for the modification of the existing fire alarm system need to be submitted for review and approval. Visual indicating devices shall be required in the bathrooms.

LZBC: 903.4

3. Village Ordinance 2009-01-609 requires that all Fire System Contractors working on a fire protection system register. An application for registration will be sent with this review. Completion of the registration application, copies of required certification or license, and the fee for registration are required prior to issuance of any permit.

4. Emergency lighting and exit signs shall be provided for all exiting requirements including toilet rooms. Emergency lighting is required for all exit discharge areas immediately adjacent to exit doors in occupancies that require two or more exits. Final approval of exit sign placement and emergency lighting shall be subject to a field inspection.

IFC 1006.1

VILLAGE OF LAKE ZURICH FIRE RESCUE DEPARTMENT
321 S. BUESCHING ROAD, LAKE ZURICH, ILLINOIS 60047-3226
PHONE: 847.540.5070 • WWW.LZFIRERESCUE.ORG
DAVID P. WHELOCK, FIRE CHIEF/DIRECTOR

5. A minimum 2A 10BC portable fire extinguisher shall be provided for every 75 feet of travel distance.

IFC 906.1

6. A duct smoke detector with remote test and reset switch that is powered from the alarm system shall be provided on the return side of any HVAC unit having a design capacity over 2000 cubic feet per minute. All remote reset switches shall be labeled to match the roof top unit. Final approval of test switch location is subject to visual inspection.

IMC 606.2.2

7. Two sets of keys for tenant space shall be provided for placement in the Knox box for emergency access. Keyed access shall be provided through all rear doors. All exterior doors shall be equipped with hardware that allows exterior access with the use of a master key.

LZBC 506.1

Based on the information provided, the build-out plans **COMPLY AS NOTED.**

Please contact the Bureau office at (847) 540-5073, if you have any questions or comments.

Sincerely,

John M. Bzdusek Sr.
Deputy Fire Marshal
Fire Prevention Bureau



Civil Engineering
Surveying
Water Resources Management
Water & Wastewater Engineering
Supply Chain Logistics
Construction Management
Environmental Sciences
Landscape Architecture
Land Planning

March 7, 2014

Mr. Sam Hubbard, Village Planner
Village of Lake Zurich
505 Telser Road
Lake Zurich, Illinois 60047

ENGINEERING REVIEW - APPROVED

DEVELOPMENT: Foglia YMCA – Gym Addition
1025 N. Old McHenry Rd

ITEMS RECEIVED:

- 1) Foglia YMCA Gym Expansion Plans prepared by SPACECO, Inc. revised February 12, 2014.
- 2) Detention verification letter and Stormwater Management Calculations prepared by SPACECO, Inc. and G & C Consulting Engineers, Inc., dated February 13, 2014.

On behalf of the Village of Lake Zurich, Manhard Consulting, Ltd. has completed a review of the above referenced materials for conformance with the Village ordinances and general accepted engineering practices. We recommend approval for the proposed improvements subject to the following comments:

1. Plans should be provided with a Professional Engineer's sign and seal.
2. Incorporate the attached LCSMC silt fence detail, and the Village of Lake Zurich standard detail sheets.
3. Watershed Development Permit fees in the amount of \$250 need to be submitted.

If you should have any questions, please do not hesitate to contact me.

Yours truly,
MANHARD CONSULTING, LTD.

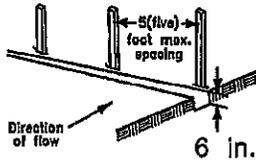

Peter Stoehr, P.E.
Municipal Project Manager

LZLZ8/documents/FogliaYMCA/EngineeringApproval

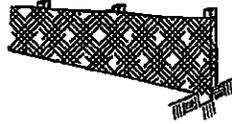
cc: Dan Peterson, Building and Zoning Manager
Betty Harrison, EQC Supervisor

Manhard Consulting, Ltd.
900 Woodlands Parkway • Vernon Hills, Illinois 60061
tel: (847) 634-5550 • fax: (847) 634-0095 • www.manhard.com
ARIZONA • CALIFORNIA • COLORADO • GEORGIA • ILLINOIS • INDIANA • MARYLAND • NEVADA • VIRGINIA

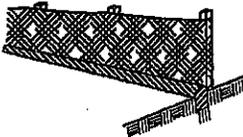
1. Set posts and excavate or slit-trench a 6-inch deep trench upslope along the line of the post



2. Attach the geotextile filter fabric to each post with a minimum of 3 (three) fasteners per post and extend to the bottom of the trench. Acceptable fasteners include staples, zip ties, or wire ties

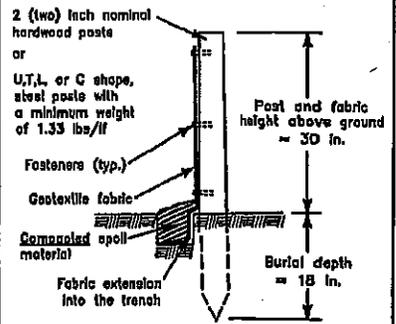


3. Backfill and compact the excavated spoil materials



| Geotextile Requirement | Test Method | MARV |
|---|-------------|---------------------|
| Grab strength | ASTM D 4632 | |
| - Machine direction | | 550 N |
| - X-machine direction | | 450 N |
| Permittivity | ASTM D 4491 | 0.05 cc/s |
| Apparent opening size* | ASTM D 4751 | 0.80 mm |
| Ultraviolet stability (retained strength) | ASTM D 4395 | 70% after 500 hours |

Note:
Value for apparent opening size represents maximum average roll value.



SILT FENCE DETAIL

DATE: 4/21/08 BY: KAW
 REVISED: BY:



LAKE COUNTY
 STORMWATER MANAGEMENT COMMISSION

WATERSHED DEVELOPMENT PERMIT APPLICATION

Revised 10/2012

| | | | |
|--|--|---|--|
| 1. JURISDICTION AND STATUS <input checked="" type="checkbox"/> Inland <input checked="" type="checkbox"/> Coastal <input checked="" type="checkbox"/> Other | | 2. PROJECT INFORMATION Project Name: _____ Project Number: _____ | |
| 5. NAME & ADDRESS OF PROPERTY OWNER Foglia YMCA 1025 N. Old McHenry Road Lake Zurich, IL 60047 Telephone: 847-439-5400 Fax: 847-438-4805 Email: steu@ymcachicago.org | | 6. NAME & ADDRESS OF ENGINEER/AGENT Irena Wiczowski SPACECO, Inc. 9575 W. Higgins Road Rosemont, IL 60018 Telephone: 847-696-4060 Fax: 847-696-4065 Email: iwiczowski@spacecoinc.com | |
| 7. NAME & ADDRESS OF CERT. WETLAND SPECIALIST N/A | | | |

| | |
|---|---|
| 8A. CHECK THE ONE CONDITION THAT APPLIES: <input type="checkbox"/> Large Wetland Development (more than 100 acres) (IV.A.1) <input type="checkbox"/> Most Development (IV.B.1) <input checked="" type="checkbox"/> Major Development (A) (in the Floodway (IV.A.1), (V.P.1), (V.C.1)) <input type="checkbox"/> Major Development (B) (in the Floodway (IV.A.1), (V.P.1), (V.C.1)) <input type="checkbox"/> Minor Development (IV.C.1) <input type="checkbox"/> Other Development (in the Floodway, Appendix E, 2.2) <input type="checkbox"/> Existing Development (IV.C.1) <input type="checkbox"/> Significant Wetland (Other, State Only) | 8B. CHECK ALL CONDITIONS THAT APPLY: <input type="checkbox"/> Isolated Wetland Impact (IV.E) <input type="checkbox"/> Request Letter of No Wetland Impact (LONNI) (IV.E) <input type="checkbox"/> Development in a Floodway (IV.C.2) <input type="checkbox"/> Floodplain Map Revision or Amendment (IV.C.2.g; IV.C.3.d (8)) <input type="checkbox"/> Watercourse w/ Drainage Area > 20 Acres and < 100 Acres (IV.A., IV.D) <input type="checkbox"/> Watercourse w/ Drainage Area > 100 Acres and < 600 Acres (IV.A., IV.D) <input type="checkbox"/> Earth Change Approval (ECA) (IV.A.4.b) <input type="checkbox"/> Variance Request (V) <input type="checkbox"/> BFC or Floodway Delineation (IV.C.) <input type="checkbox"/> Designated Erosion Control Inspector (DECI) (Required) <input type="checkbox"/> Pre-application Meeting Held <input type="checkbox"/> Hydrologically Significant Wetland |
|---|---|

| 9A. STORMWATER DATA SUMMARY | | Unit | | 9B. WETLAND DATA SUMMARY | |
|-------------------------------------|------|-------|--------------------------------|--------------------------|-------|
| Land Property Ownership | 1.25 | Acres | Existing Wetland Average | 0 | Acres |
| Practice Disturbance | 0.28 | Acres | Waters of the U.S. | 0 | Acres |
| Watershed Area Total w/ Development | 1.53 | Acres | Isolated Waters of Lake County | 0 | Acres |
| Watershed Area Total w/ Development | 1.53 | Acres | Associated Wetland Average | 0 | Acres |
| Watershed Area Total w/ Development | 1.53 | Acres | Waters of the U.S. | 0 | Acres |
| Existing Impervious Area Total | 0 | Acres | Isolated Waters of Lake County | 0 | Acres |
| Existing Impervious Area Total | 0 | Acres | Majority Replacement Ratio | 0 | Acres |
| Existing Impervious Area Total | 0 | Acres | Majority Average Replacement | 0 | Acres |
| Existing Impervious Area Total | 0 | Acres | Waters of the U.S. | 0 | Acres |
| Existing Impervious Area Total | 0 | Acres | Included Waters of Lake County | 0 | Acres |
| Existing Impervious Area Total | 0 | Acres | On-Site | 0 | Acres |
| Existing Impervious Area Total | 0 | Acres | Off-Site | 0 | Acres |
| Existing Impervious Area Total | 0 | Acres | Majority Average Replacement | 0 | Acres |
| Existing Impervious Area Total | 0 | Acres | Majority Average Replacement | 0 | Acres |

9C. The applicant is responsible for obtaining all necessary permits from the appropriate agencies. 9D. The applicant is responsible for obtaining all necessary permits from the appropriate agencies.

| | |
|--|---|
| 10A. DESCRIPTION OF DEVELOPMENT Construction of 8,200 S.F. building addition to existing YMCA facility | |
| 10B. NAME OF DEVELOPMENT Foglia YMCA - Gym Addition | 10C. SINGLE FAMILY HOME ONLY Planned, Under Construction |
| 10D. LOCATION OF DEVELOPMENT 1025 N. Old McHenry Road Street Address: 1025 N. Old McHenry Road Municipality: Lake Zurich, IL 60047 Fox River Watershed: Flint Creek Address: 516A, 516B | 11. LOCAL DESCRIPTION Project Description: _____ Project Number: _____ Project Date: _____ |

| | | | |
|--|--|--|--|
| 12. LIST ALL LOCAL, STATE, AND FEDERAL PERMIT APPLICATION, OR APPROVAL LETTERS REQUIRED FOR DEVELOPMENT | | | |
| Permit Type: _____ Agency: _____ Status: _____ | Permit Type: _____ Agency: _____ Status: _____ | Permit Type: _____ Agency: _____ Status: _____ | Permit Type: _____ Agency: _____ Status: _____ |
| 13A. I, the undersigned, certify that the information provided in this application and the attached documents is true and correct to the best of my knowledge and belief, and that I am not providing any false or misleading information. | | | |
| Signature: _____ Date: 11/14/14 | | Signature: _____ Date: 11/14/14 | |

14. PERMIT REVIEW FEES (separate checks) 250.00

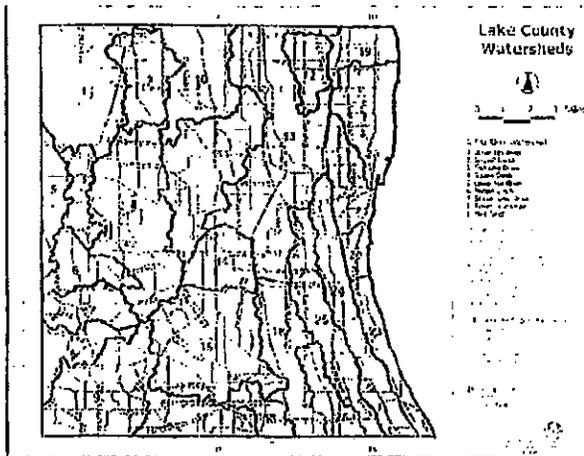
15. SECURITIES (if required) AMOUNT _____

TOTAL _____

17. FINAL APPROVAL FOR PLANS ENTITLED AND DATED
Foglia YMCA Gym Expansion Plans prepared by Space Co, LLC.
revised February 12, 2014

Ord of Eng. No: 3/7/14 No. over By Title: Village Engineer REF. ORSR: 062237

 Peter Stumm



Village of Lake Zurich

**Kevin Finlon
Chief of Police**



Serving with Pride

Police Department

Support Services Division

**Interdepartmental Memorandum
Commander David M. Bradstreet**

March 11, 2014

To: Sam Hubbard
Subject: 1025 Old McHenry Road (Foglia YMCA)

Representatives of the police department reviewed the plans and do not have any recommendations at this time.

Respectfully



**David M. Bradstreet
Commander of Administration**

Community Services Dept.

- Building & Zoning
- Public Works

505 Telser Road
Lake Zurich, IL 60047



AGENDA ITEM

8D

Phone: (847) 438-5141

Fax: (847) 540-1768

Web: www.LakeZurich.org

MEMORANDUM

Date: March 31, 2014

To: Jason T. Slowinski, Village Administrator

From: Sam Hubbard, Village Planner

Cc: Michael J. Earl, Director of Community Services
Daniel A. Peterson, Manager of Building and Zoning

Subject: Zoning Application for Concept and Final PUD approval, Site Plan approval, and Exterior Appearance approval for the Marathon Gas Station located at 1125 S. Old Rand Rd.

Issue: Jassi Sandhu (the "Applicant") is the owner of the Marathon Gas located at 1125 S. Old Rand Rd. and has submitted a zoning application for approval of:

1. Concept and Final PUD
2. Site Plans
3. Exterior Appearance
4. Exception to the Land Development Code

Approval of this application will allow the Applicant to tear down the existing convenience store "kiosk" and replace it with a 1,600 square foot convenience store building. This application has been heard by the Plan Commission, which has forwarded a recommendation of approval to the Village Board. The application is now before the Village Board for final approval.

Analysis: The Plan Commission conducted a public hearing on January 15, 2014, to consider the application and all of the facts and circumstances affecting the application, including the staff report and recommendations. Based on issues relating to the compensating amenity, landscaping, site circulation, emergency access, utilities, and illumination, the Plan Commission voted to continue the public hearing until the February 19th Plan Commission meeting. The application was continued again at the February 19th Plan Commission to allow the Applicant additional time to address all concerns.

In the time after the initial January 15th Plan Commission meeting, the Applicant amended his original application and submitted revised drawings that were presented to the Plan Commission on March 19th. The amended application included:

- Revised landscape plans and indications that the Applicant had begun conversations with IDOT for permission to install landscaping in their ROW.
- An appropriate compensating amenity in the amount of \$5,000 to be used for general improvements in the area.
- Revised traffic study showing improved site circulation and minimal traffic interference.
- Revised information to address emergency ingress/egress.
- Revised Photometric Plan showing decreased levels of illumination.
- Clarification on utility issues.
- Upgrades to materials on the building façade.

The Plan Commission considered the amended Application and voted 5-0 in favor of recommending approval of all parts of the Application relative to the following conditions:

- 1) Site plan approval is subject to IDOT approval of landscaping within the IDOT ROW.
- 2) Final PUD approval is conditional upon the provision of a \$5,000 compensating amenity to the Village of Lake Zurich for general improvements within the vicinity.

Recommendation: Staff concurs with both the recommendation by the Plan Commission and recommends approval of the attached ordinance, which includes the conditions of approval as per the Plan Commission recommendation.

w/ Attachments:

1. Approval Ordinance (including the Staff Report from the 3/19/14 Plan Commission Meeting as an exhibit)
2. Site Plans
3. Village Review comments from:
 - a. Zoning, dated 3/11/2014
 - b. Public Works, dated 3/10/2014
 - c. Fire Department, dated 3/4/2014
 - d. Manhard Engineering, dated 3/10/2014
 - e. Rolf C. Campell & Associates (Landscape Consultant), dated 3/12/2014
 - f. Police Department, dated 3/11/2014
 - g. DLZ (Traffic Consultant), dated 3/10/2014

ORDINANCE NO. 2014-_____ - _____

**AN ORDINANCE GRANTING PUD, SITE PLANS AND EXTERIOR
APPEARANCE APPROVALS AND EXCEPTION TO THE LAND
DEVELOPMENT CODE
(Marathon Gas Station – 1125 S. Old Rand Road)**

WHEREAS, Jassi Sandhu (“Applicant”), as owner of the Marathon Gas Station located at 1125 S. Old Rand Road in the Village of Lake Zurich, said property legally described in **Exhibit A** (“Property”), filed an application with the Village on December 18, 2013, and amended February 25, 2014, seeking approval of a concept and final planned unit development, approval of a proposed new site plan and exterior appearance plan for improvements to the facility located on the property (“Application PC 2014-01 #1); and

WHEREAS, said Property is located within the B-1 Local and Community Business District within the Village of Lake Zurich, is currently improved and used as a Marathon gas service station and Applicant is seeking to upgrade the site use and the facilities; and

WHEREAS, following proper notice, the Plan Commission conducted a public hearing on January 15, 2014, said hearing continued to February 19, 2014, and continued for final hearing on March 19, 2014, to consider the application and all of the facts and circumstances affecting the application, including staff reports and recommendations, comprised of the March 14, 2014 STAFF REPORT, consisting of 17 pages and attached hereto as **Exhibit B**, which the Plan Commission has adopted as their own findings and recommendations; and

WHEREAS, the Plan Commission also reviewed the site plans and exterior appearance plans submitted by the applicant and a request for relief from the Land Development Code relative to the installation of a sanitary sewer line and the Plan Commission recommends approval subject to certain conditions; and

WHEREAS, the Mayor and Board of Trustees have considered the findings and recommendations of the Plan Commission and have considered all of the facts and circumstances affecting the application, and have determined that the application satisfies the applicable standards in Sections 22-105, 20-103, 21-103 of the Lake Zurich Zoning Code and Section 10-7-3 of the Land Development Code.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: Recitals. The foregoing recitals are incorporated herein as findings of the Mayor and Board of Trustees, and all Exhibits referenced herein are made a part of and incorporated into the grant of this Planned Unit Development and approval of this Ordinance.

SECTION 2: APPROVALS. The following approvals are hereby granted subject to the conditions hereinafter stated:

- A. The requested concept and final planned unit development ("PUD"), including all the zoning relief items listed in the "Analysis of Zoning Relief for PUD" dated March 14, 2014, is hereby approved, including those changes showing the outdoor storage of propane, firewood and an ice chest, as depicted on the Site plans attached hereto as **Exhibit C**.
- B. The Site plans for the Property, attached as **Exhibit C**, as presented at the Plan Commission meetings, is approved, without the requirement for a public sidewalk, based on the Village engineering recommendation.
- C. Exterior appearance plans, attached as **Exhibit D**, are approved, which include specific materials for the dumpster enclosure to match the building materials, with the enclosure to provide space for a prefabricated shed and the enclosure walls to be at the approved height to screen the shed, and to increase the amount of brick to be utilized on the sides of the building to meet the requirements of the Architectural Guidelines for the Route 12 Corridor.
- D. A variation and exception from the requirements of the Village of Lake Zurich Land Development Code is hereby granted under Subsection 10-7-3 of Chapter 7 ("Administration, Enforcement, Fees") of Title 10 ("Land Development Code") of the Village of Lake Zurich Code to allow for a three foot (3') deep sanitary sewer to serve the Property.

SECTION 3: CONDITIONS. The above approvals set forth in **SECTION 2** are hereby expressly conditioned on the following.

- A. The final review and approval of engineering plans for infrastructure and site improvements for the Property, including the required off-site easements and the sanitary sewer line improvements (at location depicted on the civil engineering plans on file with Village) to serve the Property, the irrigation system requirements and ROW limitations, the lighting/illumination of the Property, and Village landscape review.
- B. The Site plan remains subject to IDOT approval of landscaping within the adjoining IDOT right-of-way. If IDOT approval is not granted, a revised landscaping plan is required and may be subject to the further review of the Plan Commission, which would require a return of this issue to the Plan Commission for review and consideration.

C. The payment of a compensating amenity of \$5,000.00 to the Village of Lake Zurich for general improvements in the vicinity, as a condition of the grant of the PUD.

D. The ongoing responsibility for maintenance and upkeep of the improvements approved herein, including, but not limited to, landscaping, sanitary sewer, building exterior materials and enclosure materials, consistent with the plans approved pursuant to this Ordinance.

SECTION 4: COMPLIANCE WITH ALL CODES. That all requirements set forth in the Zoning and other applicable Codes of the Village of Lake Zurich, as would be required by any owner of property zoned in the same manner as the property described above, shall be complied with, except as otherwise provided in this Ordinance.

SECTION 5: FINDINGS AND RECOMMENDATIONS. The findings, recommendations and conditions of the Plan Commission and the staff reports and filings provided to the Plan Commission are hereby accepted as the Board's own and shall be made a part of the official record for the application and are attached hereto as **Exhibits B, C and D.**

SECTION 6: SEVERABILITY. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 7: CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 8: EFFECTIVE DATE. This Ordinance shall be in full force and effect upon its passage and approval as provided by law.

PASSED THIS _____ day of _____,
2014.

Ayes:

Nays:

Absent:

Abstain:

APPROVED this ____ day of _____, 2014.

Tom Poynton
Mayor

ATTEST:

Kathleen Johnson
Village Clerk

EXHIBIT A
Legal Description of Property

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE NORTH ON THE EAST LINE THEREOF 19.0 FEET; THENCE NORTHWESTERLY ON THE CENTER LINE OF RAND ROAD, 289.0 FEET; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE CENTER LINE OF SAID RAND ROAD, 227.90 FEET TO THE CENTER LINE OF UNITED STATES ROUTE NO. 12; THENCE SOUTHEASTERLY ON CENTER LINE OF SAID ROUTE NO. 12, 225.40 FEET TO THE SOUTH LINE OF SAID QUARTER QUARTER SECTION; THENCE EAST ON THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, 179.25 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

EXHIBIT B

The March 14, 2014 STAFF REPORT, consisting of 16 pages, along with the additions, changes and modifications to said STAFF REPORT adopted by the Plan Commission in its one-page written approval dated March 19, 2014, all 17 pages.

APPLICATION PC 2014-01 #1

AGENDA ITEM 3A

Community Services Dept.

- Building & Zoning
- Public Works

505 Telser Road
Lake Zurich, IL 60047



Phone: (847) 540-1696
Fax: (847) 726-2182
Web: www.LakeZurich.org

STAFF REPORT

To: Chairperson Jackson and Members of the Plan Commission
From: Sam Hubbard, Village Planner
CC: Daniel A. Peterson, Manager of Building & Zoning
Date: March 14, 2014
Re: **PC 2014-01 #1 Zoning Application for Marathon Gas Station, 1125 S. Old Rand Rd.**

Summary: Jassi Sandhu (the "*Applicant*") is the owner of the Marathon Gas Station located at 1125 South Old Rand Road legally described in **Exhibit A** attached hereto (the "*Subject Property*"). The Applicant filed an application with the Village of Lake Zurich dated December 18, 2013 (the "*Application*") seeking the following approvals:

- (i) Concept and Final Planned Unit Development (PUD)
- (ii) Site Plan
- (iii) Exterior Appearance

The Subject Property is within the Village's B-1 Local & Community Business District.

Pursuant to public notice published on December 26, 2013, in the *Lake Zurich Courier*, a public hearing was scheduled with the Lake Zurich Plan Commission on January 15, 2014, to consider the Application. The Village posted a public hearing sign on the Subject Property (**Exhibit B**).

On January 15th, the Plan Commission opened the public hearing to discuss the Application. Discussion revolved around several topics, including:

- Landscaping in IDOT Right-of-Way
- Illumination
- Infrastructure improvements (sanitary sewer)
- Traffic generation and traffic study
- Building materials

- Site ingress/egress, including for emergency services.

Upon conclusion of the discussion, the Plan Commission voted to continue the public hearing until the next regularly scheduled meeting on February 19th.

The Applicant had not fully addressed all items in time for the February 19th meeting, and asked for another continuance until the March 19th meeting to allow more time to revise the plans.

The Applicant has amended their original Application with revised documents (dated stamped and received February 25th, 2014) that are included within the Plan Commission packet. This amended Application includes a request for an Exception from the Land Development Code, which comes under the authority of the Plan Commission but does not require public notice. This request will allow a 3' deep sanitary sewer, which was briefly discussed at the January 15th Plan Commission meeting.

Preliminary Findings: The Applicant has addressed many of the items raised during the January 15th Plan Commission meeting:

- A defined compensating amenity has been proposed. Staff is of the opinion that the proposed compensating amenity satisfactorily addresses the relief sought via the PUD.
- The Applicant has clarified that relief via the PUD is requested for outdoor storage of propane, firewood, and an ice chest. The location of each is depicted on the site plan.
- The Applicant has clarified that no public sidewalk will be constructed in association with this redevelopment and relief from this requirement is included within the PUD request. The Village's engineering consultant has agreed that an extension of the existing Old Rand Rd. sidewalk to Rand Rd. and along Rand Rd. may be hazardous as no sidewalk system exists in the vicinity.
- The Applicant has upgraded the material of the dumpster enclosure from a wooden fence to CMU's to match the style of the building. The dumpster enclosure will include space for a prefabricated shed and the walls of the enclosure will be tall enough to screen this shed.
- The Applicant has been made aware of the irrigation system requirement and informed staff that they will work to keep it out of the ROW.
- The Applicant has verified with Lake County that easements exist on the Inland Bank property that will allow the applicant to connect to the existing sewer main.
- The revised traffic study was evaluated by the Village's traffic consultant, who is in agreement with the analysis that the proposed redevelopment will have a minimal impact on the operation of the driveways and circulation within the site.
- The Applicant has increased the amount of brick used on the sides of the building to comply with the Architectural Guidelines for the Route 12 corridor.
- The Applicant has satisfactorily addressed the concerns of the Fire Department as illustrated in their latest review letter.

There are only two outstanding issues that remain:

- Landscaping along Rand Rd. has not yet received approval from the State. IDOT is aware of the Applicants intent to install landscaping in the ROW and have said they will consider the request, however, they have not reached a conclusion on the acceptability of the landscaping. The Applicant can proceed forward with the plan as submitted, however, if IDOT approval is not granted then a

revised landscaping plan would be required and may need Plan Commission approval depending on the scope of the revisions. This would require the Applicant to return to the Plan Commission.

- The Applicant has not proposed any change to the illumination on site. The applicant has recalibrated their illumination equipment and received results that are below the initial reading but still above the maximum allowable level of illumination. The Applicant has analyzed similar gas stations within the vicinity and submitted documentation that show they emit similar levels of illumination when compared to these other gas stations. Furthermore, they have stated that as the lights age they will emit less illumination and collect dust that will dull the output. Staff notes that the landscaping plan also shows the installation of a tree directly in-between the residential area to the southwest (across Rand Rd.) that will provide a seasonal screen as the tree matures, which may help to reduce illumination as well. Staff recommends allowing relief via the PUD.

Detailed staff reviews from the Building and Zoning Division, Public Works, Police Department, Fire/Rescue Department, Manhard Engineering, Rolf Campbell & Associates (landscape consultant), and DLZ (traffic consultant) are attached. The Applicant has included a response letter addressing these reviews.

To help the Plan Commission fully understand the areas where the proposed development does not conform to code, staff has prepared an analysis of the relief that is sought through the PUD. The analysis is included within the packet and titled "Analysis of Zoning Relief for PUD".

Recommendation: Your recommendations should be based on the standards included in Section 22-105 for Standards for Planned Unit Developments, Section 20-103 Standards for Site Plan Disapproval, Section 21-103 Standards for Exterior Appearance Approval, and Section 10-7-3 of the Land Development Code for standards for Exceptions.

Please refer to Exhibit C for Staff's responses to these zoning standards. The Zoning Code requires that a recommendation should be made only after all standards of approval have been met. Based on Staff's review, all of the standards for approval have been met and therefore staff recommends the Plan Commission make these standards a part of the official record for the Application.

Staff recommends approval of the following items subject to the conditions listed below and subject to any terms and conditions that may be discussed at the public hearing.

- (i) Concept and Final Planned Unit Development, including all the zoning relief items listed in "Analysis of Zoning Relief for PUD" dated March 14, 2014.
- (ii) Site plans.
- (iii) Exterior Appearance plans for new convenience store.
- (iv) Exception to Land Development Code to allow a sanitary sewer depth of 3' in the location as depicted on the Civil Engineering Plans.

Conditions of Approval:

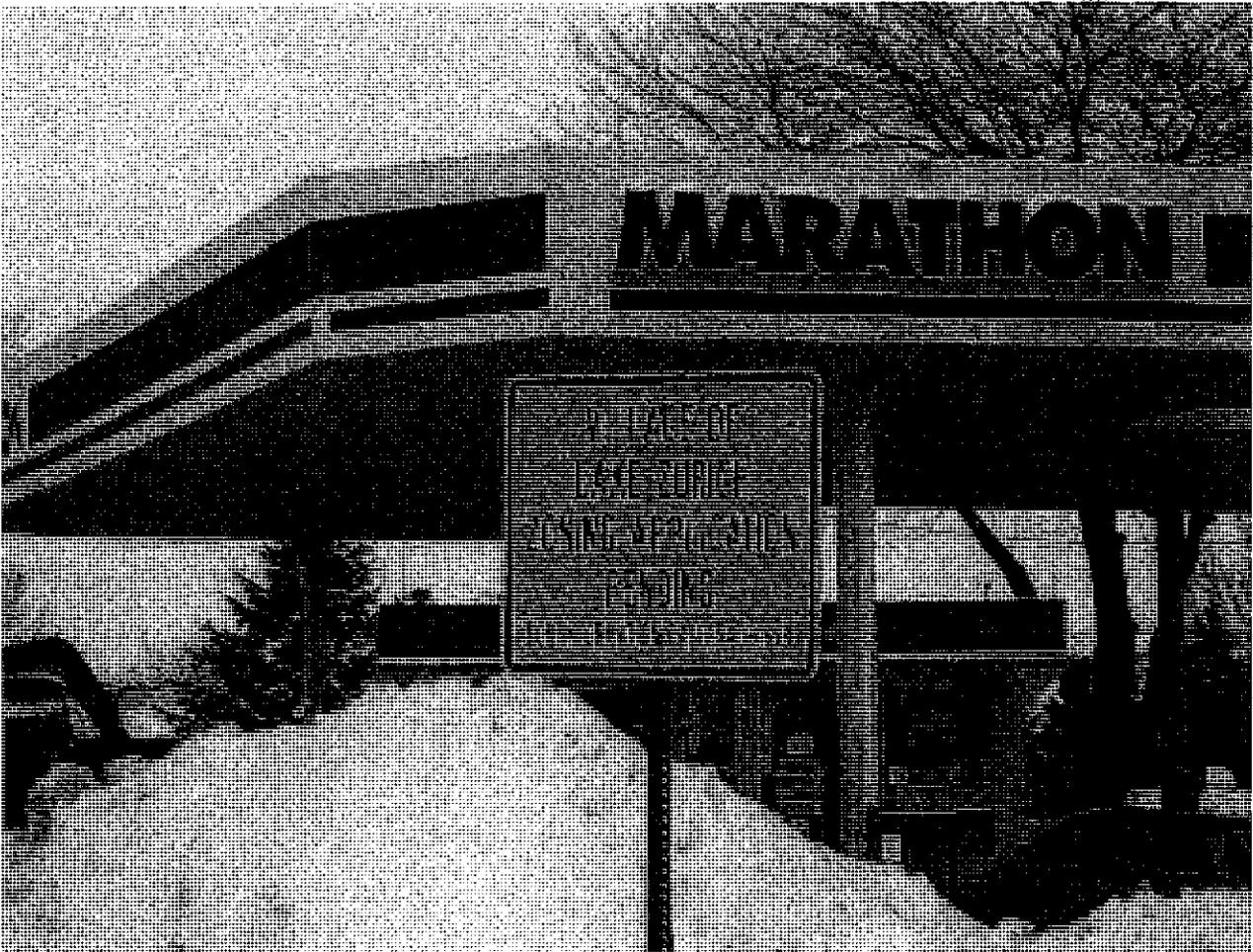
- 1) Site plan approval is subject to IDOT approval of landscaping within the IDOT ROW.
- 2) Final PUD approval is conditional upon the provision of a \$5,000 compensating amenity to the Village of Lake Zurich for general improvements within the vicinity.

Should you have any questions, please call me at 847-540-1759.

EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY

THAT PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE NORTH ON THE EAST LINE THEREOF 19.0 FEET; THENCE NORTHWESTERLY ON THE CENTER LINE OF RAND ROAD, 289.0 FEET; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE CENTER LINE OF SAID RAND ROAD, 227.90 FEET TO THE CENTER LINE OF UNITED STATES ROUTE NO. 12; THENCE SOUTHEASTERLY ON CENTER LINE OF SAID ROUTE NO. 12, 225.40 FEET TO THE SOUTH LINE OF SAID QUARTER QUARTER SECTION; THENCE EAST ON THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, 179.25 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

**EXHIBIT B
PUBLIC HEARING SIGN ON SUBJECT PROPERTY**



1125 South Old Rand Rd.

EXHIBIT C
REVIEW OF COMPLIANCE WITH ZONING STANDARDS
FOR 1125 SOUTH OLD RAND ROAD

22-105 STANDARDS FOR PLANNED UNIT DEVELOPMENTS

- A. Special Use Permit Standards. No special use permit for a planned unit development shall be recommended or granted pursuant to this Chapter unless the applicant shall establish that the proposed development will meet each of the standards made applicable to special use permits pursuant to Chapter 19 of this Code.

Staff Response: These standards have been met in their entirety and a recommendation of approval is warranted.

- B. Additional Standards for All Planned Unit Developments. No special use permit for a planned unit development shall be recommended or granted unless the applicant shall establish that the proposed development will meet each of the following additional standards:

1. Unified Ownership Required. The entire property proposed for planned unit development treatment shall be in single ownership or under such unified control as to ensure that the entire property will be developed as a unified whole. All owners of the property shall be included as joint applicants on all applications and all approvals shall bind all owners. The violation of any owner as to any tract shall be deemed a violation as to all owners and all tracts.

Staff Response: Standard met. The entire Subject Property is owned by the Applicant.

2. Minimum Area. The applicant shall have the burden of establishing that the subject property is of sufficient size and shape to be planned and developed as a unified whole capable of meeting the objectives for which planned unit developments may be established pursuant to this Section.

Staff Response: Standard met. The size of the property is adequate for the development as proposed.

3. Covenants and Restrictions to be Enforceable by Village. All covenants, deed restrictions, easements, and similar restrictions to be recorded in connection with the planned unit development shall provide that they may not be modified, removed, or released without the express consent of the Board of Trustees and that they may be enforced by the Village as well as by future landowners within the proposed development.

Staff Response: Standard met. As a single property under unified ownership, covenants, conditions, and restrictions are not necessary. The Village will insure that all applicable easements will include language that addresses the concerns of this standard.

4. Public Open Space and Contributions. Whenever the Official Comprehensive Plan, Zoning Map, or Official Map indicates that development of a planned unit development will create a need for land for public purposes of the Village within the proposed planned unit development, the Board of Trustees may require that such area be designated and to the extent such need is specifically and uniquely attributable to the proposed development, dedicated to the Village for such use. In addition, the Board of Trustees may require evidence that all requirements of Village ordinances pertaining to the dedication of land or the contribution of cash in connection with subdivisions or developments of land have been met as respects the proposed planned unit development.

Staff Response: Standard met. The Official Comprehensive Plan, Zoning Map, or Official Map does not indicate that development on this property creates a need for land for public purposes. The applicant has proposed a compensating amenity that is suitable to offset the relief as granted via the PUD.

5. Common Open Space.

- a. Amount, Location, and Use. The failure of a planned unit development to provide common open space shall be considered to be an indication that it has not satisfied the objectives for which such developments may be approved pursuant to this Code. When common open space is provided in a planned unit development, the amount and location of such open space shall be consistent with its intended function as set forth in the application and planned unit development plans. No such open space shall be used for the construction of any structure or improvement except such structures and improvements as may be approved in the Final Plan as appropriate to the intended leisure and recreational uses for which such open space is intended.
- b. Preservation. Adequate safeguards, including recorded covenants or dedication of development rights, shall be provided to prevent the subsequent use of common open space for any use, structure, improvement, or development other than that shown on the approved Final Plan. The restrictions must be permanent and not for a given period of years and must run with the land. Such covenants and dedications may provide that they may be released, but only with the express written consent of the Board of Trustees.
- c. Ownership and Maintenance. The Final Plan shall include such provisions for the ownership and maintenance of such open space and improvements as are reasonably necessary to ensure their continuity, care, conservation, maintenance, and operation in accordance with predetermined standards and to ensure that remedial measures will be available to the Village if such open space or improvements are permitted to deteriorate or are not maintained in a condition consistent with the best interests of the planned unit development or the Village.
- d. Property Owners' Association. When the requirements of the preceding subparagraph are to be satisfied by the ownership or maintenance of such open space or improvements by a property owners' association, such association shall meet each of the following standards:

- i. the by-laws and rules of the association and all declarations, covenants, and restrictions to be recorded must be approved as part of the Final Plan prior to becoming effective. Each such document shall provide that it shall not be amended in any manner that would result in it being in violation of the requirements of this Subparagraph; and
- ii. the association must be established and all covenants and restrictions must be recorded prior to the sale of any property within the area of the planned unit development designated to have the exclusive use of the proposed open space or improvements; and
- iii. the association must be responsible for casualty and liability insurance, taxes, and the maintenance of the open space and improvements to be deeded to it; and
- iv. membership in the association must be mandatory for each property owner and any successive owner having a right to the use or enjoyment of such open space or improvements; and
- v. every property owner having a right to the use or enjoyment of such open space or improvements must pay its pro rata share of the cost of the association by means of an assessment to be levied by the association that meets the requirements for becoming a lien on the property in accordance with State statutes; and
- vi. the association must have the right to adjust the assessment to meet changed needs. The membership vote required to authorize such adjustment shall not be fixed at more than two-thirds of the members voting on the issue; and
- vii. the Village must be given the right to enforce the covenants; and
- viii. the Village must be given the right, after 10 days' written notice to the association, to perform any maintenance or repair work that the association has neglected to perform, to assess the membership for such work and to have a lien against the property of any member failing to pay such assessment. For this purpose alone, the Village shall have all the rights and powers of the association and its governing body under the agreements and declarations creating the association.

Staff Response: Common open space is not necessary for a redevelopment project of this scope and on a property of this size and therefore this standard is not applicable to the proposed development.

6. Landscaping and Perimeter Treatment. Any area of a planned unit development not used for structures or circulation elements shall be landscaped or otherwise improved. The perimeter of the planned unit development shall be treated so as to ensure compatibility with surrounding uses by means such as provision of compatible uses and structures, setbacks, screening, or natural or man-made buffers.

Staff Response: Standard met. The proposed landscaping along the perimeter of the development falls on land controlled by the Illinois Department of Transportation (IDOT). The Applicant has submitted an application to IDOT asking for approval of landscaping within IDOT Right-of-Way, however, approval has not yet been received. Approval of the Site Plan will be subject to IDOT approval of the landscaping and therefore this standard is met. Additionally, in many areas the amount of landscaping is in excess of code requirements and will function to enhance to overall exterior appearance of the site.

7. Private Streets. Private streets are prohibited unless expressly approved by the Board of Trustees. If so approved, they shall meet all construction standards applicable to public streets. No such streets shall be approved except upon the condition that they shall be owned and maintained by a property owners' association meeting the requirements set forth in Subparagraph B5(d) of this Section.

Staff Response: Not applicable due to there being no private streets proposed within this development.

8. Sidewalks. A sidewalk meeting the standards of the Lake Zurich Subdivision Ordinance shall be provided along at least one side of every street in or abutting a planned unit development; provided, however, that such sidewalk may be constructed in a street right-of-way or as a specific element of the design of the planned unit development.

Staff Response: Standard met. Although no public sidewalks have been included within the development, the applicant has demonstrated that there is no public sidewalks system in the vicinity of this development and therefore the provision of a sidewalk may create a hazardous pedestrian situation. Additionally, they have included a compensating amenity within their proposal to potentially address this issue in the future.

9. Utilities. All utility lines shall be installed underground.

Staff Response: All utility lines are proposed to be installed underground and therefore this standard has been met.

- C. Additional Standards for Specific Planned Unit Developments. When the district regulations authorizing any planned unit development use in a particular district impose standards to be met by such planned unit development in such district, a special use permit for such development shall not be recommended or granted unless the applicant shall establish compliance with such standards.

Staff Response: There are no additional standards for a PUD in the B-3 district and therefore this standard has been met.

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A. Standards. The Board of Trustees shall not disapprove, and the Plan Commission shall not recommend disapproval of, a site plan submitted pursuant to this Chapter except on the basis of specific written findings directed to one or more of the following standards:

1. Application Improper. The application is incomplete in specified particulars or contains or reveals violations of this Code or other applicable regulations that the applicant has failed or refused to supply or correct.

Staff Response: Standard met. The application is complete.

2. Failure of Condition Precedent. The application is submitted in connection with another application, the approval of which is a condition precedent to the necessity for site plan review, and the applicant has failed to secure approval of that application.

Staff Response: Standard met. The Applicant has applied to receive the necessary PUD and Exterior Appearance approval that is required to proceed with the development.

3. Failure to Meet Standards. The site plan fails to adequately meet specified standards required by this Code with respect to the proposed use or development, including special use standards where applicable.

Staff Response: Standard met. The proposed site plan meets the standards as required by Code, and the proposal has included a request for relief via a PUD to address areas where it is deficient.

4. Interference With Right-Of-Way. The proposed site plan interferes with easements or rights-of-way.

Staff Response: Standard met. There will be no interference with existing Right-of-Way or easements. It may be noted that the Village traffic consultant has reviewed the development and found no major concerns regarding interference with the ROW.

5. Interference with Features. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

Staff Response: Standard met. There are no significant natural, topographical, or physical features on the site that warrant preservation.

6. Traffic Problems. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably create hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off site.

Staff Response: Standard met. The Village traffic consultant has reviewed the plans and has not found any concerns related to undue traffic congestion.

7. Inadequate Screening. The screening of the site does not provide adequate shielding from or for nearby uses.

Staff Response: Standard met. The proposed landscaping plan provides adequate shielding from and for nearby uses through extensive lot line landscaping and the provision of street trees. The proposed landscaping will be a great improvement over the current landscaping on site.

8. Lacking Amenity. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

Staff Response: Standard met. The proposed landscaping is comparable to surrounding structures and the building facade includes large expanses of brick along the most prominent elevations which provides a quality exterior appearance.

9. Lack of Open Space. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

Staff Response: Standard met. Given the small size of the site and the usage of the property, open space would not be practical.

10. Drainage or Erosion Problems. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned drainage system serving the Village.

Staff Response: Standard met. The proposed development will comply with all applicable engineering requirements related to drainage and erosion.

11. Burdens on Utilities. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility systems serving the Village.

Staff Response: Standard met. The Subject Property will update all utility systems to comply with code and will not place a burden on the utility system. In fact, the Applicant is proposing the extension of a sanitary main along S. Old Rand Rd., which will help to expand the Village's utility system.

12. Lack of Public Uses. The proposed site plan does not provide for required public uses designated on the Official Map.

Staff Response: Not applicable. The Official Map does not require public uses on the Subject Property.

13. Other Adverse Effects. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

Staff Response: Standard met. The proposed convenience store will not have an adverse effect the public health, safety, or general welfare.

- B. Alternative Approaches. In citing any of the foregoing standards, other than those of Paragraphs A1 and A2, as the basis for disapproving a site plan, the Plan Commission or the Board of Trustees shall suggest alternate site plan approaches that could be developed to

avoid the specified deficiency or shall state the reasons why such deficiency cannot be avoided consistent with the applicant's objectives.

Staff Response: Not applicable as no basis for disapproval has been found.

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21-103 STANDARDS AND CONSIDERATIONS FOR EXTERIOR APPEARANCE APPROVAL

In their consideration of applications for exterior appearance approval, the Plan Commission and the Board of Trustees shall consider and evaluate the propriety of granting the approval in terms of the effect of the application on the purposes for which exterior appearance approval is required. In addition, the Plan Commission and the Board of Trustees shall be guided by the following standards and considerations:

A. General Quality of Design and Site Development. New and existing buildings and structures and appurtenances thereof which are constructed, reconstructed, materially altered, repaired, or moved shall be evaluated under the following quality of design and site development guidelines:

1. Open Spaces. The quality of the open spaces between buildings and in setback spaces between street and facade.

Staff Response: The proposed open spaces are adequate given the small size of the site.

2. Materials. The quality of materials and their relationship to those in existing adjacent structures.

Staff Response: Standard met. The proposed building facade includes large expanses of brick along the most prominent elevations which creates a quality exterior appearance.

3. General Design. The quality of the design in general and its relationship to the overall character of neighborhood.

Staff Response: The design of the proposed convenience store is not out of character with the surrounding commercial properties.

4. General Site Development. The quality of the site development in terms of landscaping, recreation, pedestrian access, automobile access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

Staff Response: The Application includes quality landscaping. Pedestrian access is not a major consideration due to minimal pedestrian traffic, and recreation is not applicable to the site given its small size. The revised traffic study shows that the

development will not create a significant negative impact on parking, automobile access, and impact on vehicular traffic patterns.

B. General Standards for Visual Compatibility. New and existing buildings and structures, and appurtenances thereof, which are constructed, reconstructed, materially altered, repaired, or moved shall be visually compatible in terms of the following guidelines:

1. Height. The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

Staff Response: Standard met. The height of the building is consistent with adjacent structures.

2. Proportion of Front Facade. The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

Staff Response: Standard met. The proposed front facade is compatible with buildings of similar size within the immediate vicinity.

3. Proportion of Openings. The relationship of the width to height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

Staff Response: Standard met. The windows are compatible with adjacent buildings.

4. Rhythm of Solids to Voids in Front Facades. The relationship of solids to voids in the front facade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

Staff Response: Standard met. The proposed convenience store structure is compatible with buildings, public ways, and places to which it is visually related.

5. Rhythm of Spacing and Buildings on Streets. The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

Staff Response: Standard met. Given the small size and unique shape of the Subject Property, the proposed structure is in general conformity with the rhythm of spacing within the character of the neighborhood.

6. Rhythm of Entrance, Porch, and Other Projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

Staff Response: Standard met. The front facing nature of the building is in conformity to the places that it is visually related.

7. Relationship of Materials and Texture. The relationship of the materials and texture of the facade shall be visually compatible with the predominant materials used in the buildings and structures to which it is visually related.

Staff Response: Standard met. The predominance of brick on the three most visible elevations is compatible with surrounding structures to which it is visually related.

8. Roof Shapes. The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

Staff Response: Standard met. The proposed addition has a flat roof, which is consistent with commercial properties along Rand Rd.

9. Walls of Continuity. Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

Staff Response: Not applicable. There is no established characteristic of the area for cohesive walls of enclosure. Furthermore, the unique shape of the lot would not lend itself to a cohesive wall of enclosure.

10. Scale of Building. The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

Staff Response: The proposed building meets this standard.

11. Directional Expression of Front Elevation. A building shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or non-directional character.

Staff Response: Standard met. The directional expression of the proposed structure is organized in the most sensible direction given the unique shape of the lot.

- C. Additional Standards Applicable to Development in the B-2 Central Business District. New and existing buildings and structures and appurtenances thereof in the B-2 Central Business District which are constructed, reconstructed, materially altered, or moved shall be evaluated under the following quality of design and site development guidelines in addition to the standards set in Subsections A and B of this Section:

1. Overall Compatibility. The proposed improvements should be compatible with adjacent structures and with the overall redevelopment strategy for the B-2 District set forth in the Official Comprehensive Plan.
2. Building Frontage Lines. Buildings along Main Street and Old Rand Road should have frontage directly adjacent to the sidewalk right-of-way line. Building setbacks may be permitted if the area between the building face and the sidewalk is used for outdoor retailing, seating, or usable public-access open space and is compatible with adjacent properties.

3. Principal Entrance. Buildings along Main Street and Old Rand Road should have the principal store entrance accessible directly from the public sidewalk. A short private walkway to the entrance may be permissible if it is consistent with the character of the building and adjacent properties.
4. Entrance Highlights. Store entrances should be highlighted with architectural features compatible with the overall building design.
5. Windows. Windows should be subdivided to emphasize vertical proportions.
6. Story Distinctions. The first story of the building should be distinguished from the second story by means of a horizontal lintel, second floor overhang or setback, or similar detail.
7. Building Materials. Exterior building materials should be any of the following: brick, masonry, stucco, cementitious products, wood-like vinyl siding, and/or natural wood siding.
8. Signs. Sign materials, forms, and designs shall be integral with the building architecture. Custom designed individual letters, carved wood, or etched metal signs will be strongly encouraged. Perpendicular signs extending over the sidewalk may be permitted if limited in size and if compatible with adjacent properties and safety concerns. Back-lighted fluorescent box signs shall be prohibited.

Staff Response: Not applicable as this property is not within the B-2 District.

D. Additional Standards Applicable to Development in the LP Lake Protection District. New and existing buildings and structures and appurtenances thereof in the LP Lake Protection District which are constructed, reconstructed, materially altered, repaired, or moved shall be evaluated under the following development guidelines in addition to the standards set in Subsections A, B, and, if applicable, C of this Section:

1. No Adverse Impact on Views. The proposed development should create no undue adverse impact on existing views of the lake, subject to the other guidelines in this Subsection D.
2. Diminution of value. Impacts on existing views of the lake may be offset by the degree to which the value of the subject property would be diminished by avoidance or elimination of such impacts on existing views.
3. Protection of Lake Features. Such diminution in value may be offset, however, by the protection of a valuable existing feature of the lake.
4. Value of Adjacent Properties. The use and enjoyment, or value, of adjacent properties should not be adversely affected by the proposed use or development.

Staff Response: Not applicable as this property is not located within the Lake Protection District.

E. Special Considerations for Existing Buildings. For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

Staff Response: Not applicable as this will be a new building.

*** **

10-7-3: VARIATIONS AND EXCEPTIONS:  

A. **Hardships:** Where the Plan Commissions finds that extraordinary hardships or particular difficulties regarding the physical development of land may result from strict compliance with these regulations, it may recommend variations or exceptions of the regulations so that substantial justice may be done and the public interest secured; provided, that such variation or exception shall not have the effect of nullifying the intent and purpose of this Title; and, further provided the Plan Commission shall not recommend variations or exceptions to the regulations of this Title unless it shall make findings based upon the evidence presented to it in each specific case that:

1. **Public Welfare Protected:** The granting of the variation will not be detrimental to the public safety, health or welfare or injurious to nearby properties;

Staff Response: Standard met. There will be no harm to the general public, health, or welfare associated with a 3' deep sanitary sewer. The 3' deep sanitary sewer will not be injurious to nearby properties.

2. **Unique Conditions:** The conditions upon which the request for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property;

Staff Response: Standard met. Given the small size and irregular shape of the lot, a unique condition exists.

3. **Particular Physical Conditions:** Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

Staff Response: Standard met. The topography of the site and the depth of the existing main where connection is needed would require the installation of a lift station which is not financially practical given the small scope of this project. This is not a mere inconvenience but a legitimate hardship.

**LAKE ZURICH PLAN COMMISSION
FINAL FINDINGS & RECOMMENDATIONS
FOR 1125 SOUTH OLD RAND ROAD
MARCH 19, 2014**

The Plan Commission hereby recommends approval of the Application PC 2014-01 #1, subject to and including the terms, findings, and conditions contained within the Staff Report dated March 14, 2014 for this Application (with the conditions included below for reference) as follows:

Conditions of Approval (from Staff Report):

- 1) Site plan approval is subject to IDOT approval of landscaping within the IDOT ROW.
 - 2) Final PUD approval is conditional upon the provision of a \$5,000 compensating amenity to the Village of Lake Zurich for general improvements within the vicinity.
- Without any further additions, changes and modifications.
- With the following additions, changes and modifications:



Orlando Stratman, Vice-Chairperson

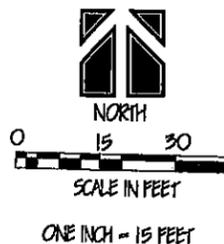
Proposed Site Plan New Sales Building

1125 S. Old Rand Road
Lake Zurich, IL 60047

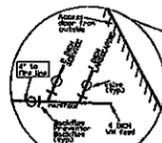
Additional Public Work's Notes:
 New Water Service line must be flushed, pressure tested, chlorinated, and tested per Village Standards.
 Size of new water meter to be determined by Village Inspector.
 Non-Shear Mission Couplings to be used.
 Public Works to be notified at least two working days prior to any excavation within public parkways or easements.

OWNER
 Attn:
 Mr. Jassi Sandhu
 1125 S. Old Rand Road
 Lake Zurich, IL 60047
 (847) 254-1782

ENGINEER
 DAN GRECCO, P.E.
 Professional Civil Engineer
 5246 Meyer Dr.
 Lisle Grove, IL 60532
 (630) 745-0524
 dgreccod@aig.com



Water Manifold Detail



IMPERVIOUS & LANDSCAPE AREA SUMMARY:

LOT SIZE = 18,058 S.F.

| EXISTING | PROPOSED |
|-----------------------------------|-----------------------------------|
| BUILDING 400 S.F. | BUILDING 1,600 S.F. |
| ASPHALT 8,358 S.F. | ASPHALT 10,965 S.F. |
| CANOPY 1,800 S.F. | SIDEWALK 640 S.F. |
| TOTAL 10,558 S.F. | CANOPY 1,800 S.F. |
| | TOTAL 15,005 S.F. |
| GREEN AREA 7,900 S.F. OR 43.7% | GREEN AREA 3,053 S.F. OR 16.9% |

Minimum Landscape/Greenspace area is 40%.
 See Landscape Plan for Proposed Compensation

NEW CURB LEGEND

| CURB STATION | TYPE | LENGTH |
|--------------|-------------|----------|
| A TO B | B6-12 | 130 L.F. |
| C TO D | B6-12* | 50 L.F. |
| E TO F | B6-12* | 55 L.F. |
| G TO H | B6-12* | 75 L.F. |
| F TO A | DEPRESSED** | 22 L.F. |
| B TO C | DEPRESSED** | 14 L.F. |

* MATCH EXISTING

** FLUSH WITH GRADE, NO BARRIER

SECRET
C3

PROJECT: NEW SALES BUILDING FOR MR. JASSI SANDHU 1125 S. OLD RAND ROAD LAKE ZURICH, IL 60047

PROPOSED SITE PLAN
SHEET 1 OF 3

Architect:
 An Meyer & Associates
 136 Park Avenue
 Barrington, IL 60010
 (847) 382-0200
 ameyer@anmeyer.com

Chief Engineer:
 Dan Grecco, P.E.
 5246 Meyer Drive
 Lisle, IL 60532
 (630) 745-0524
 dgreccod@aig.com

SCALE: AS SHOWN
 SHEET: C3
 DATE: FEBRUARY 13, 2014

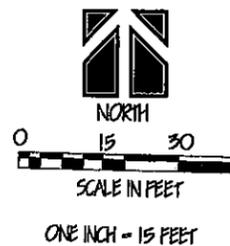
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1125 S. Old Rand Road
Lake Zurich, IL 60047

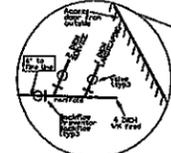
Additional Public Work's Notes:
 New Water Service line must be flushed, pressure tested, chlorinated, and tested per Village Standards.
 Size of new water meter to be determined by Village Inspector.
 Non-Shear Mission Couplings to be used.
 Public Works to be notified at least two working days prior to any excavation within public parkways or easements.

OWNER
 Attn:
 Mr. Jassi Sandhu
 1125 S. Old Rand Road
 Lake Zurich, IL 60047
 (847) 254-1782

ENGINEER
 DAN GRECCO, P.E.
 Professional Civil Engineer
 5246 Meyer Dr.
 Lisle Grove, IL 60532
 (630) 745-0524
 dgreccod@aig.com



Water Manifold Detail



IMPERVIOUS & LANDSCAPE AREA SUMMARY:

| | |
|-----------------------------------|-----------------------------------|
| LOT SIZE = 18,058 S.F. | |
| EXISTING | PROPOSED |
| BUILDING 400 S.F. | BUILDING 1,600 S.F. |
| ASPHALT 8,358 S.F. | ASPHALT 10,965 S.F. |
| CANOPY 1,800 S.F. | SIDEWALK 640 S.F. |
| TOTAL 10,558 S.F. | TOTAL 12,205 S.F. |
| GREEN AREA 7,900 S.F. OR 43.7% | GREEN AREA 3,053 S.F. OR 16.9% |

Minimum Landscape/Greenspace area is 40%.
See Landscape Plan for Proposed Compensation

NEW CURB LEGEND

| CURB STATION | TYPE | LENGTH |
|--------------|-------------|----------|
| A TO B | B6-12 | 130 L.F. |
| C TO D | B6-12* | 50 L.F. |
| E TO F | B6-12* | 55 L.F. |
| G TO H | B6-12* | 75 L.F. |
| F TO A | DEPRESSED** | 22 L.F. |
| B TO C | DEPRESSED** | 14 L.F. |

* MATCH EXISTING
 ** FLUSH WITH GRADE, NO BARRIER

SECRET C3

PROJECT: NEW SALES BUILDING FOR MR. JASSI SANDHU 1125 S. OLD RAND ROAD LAKE ZURICH, IL 60047

PROPOSED SITE PLAN
SHEET 1 OF 3

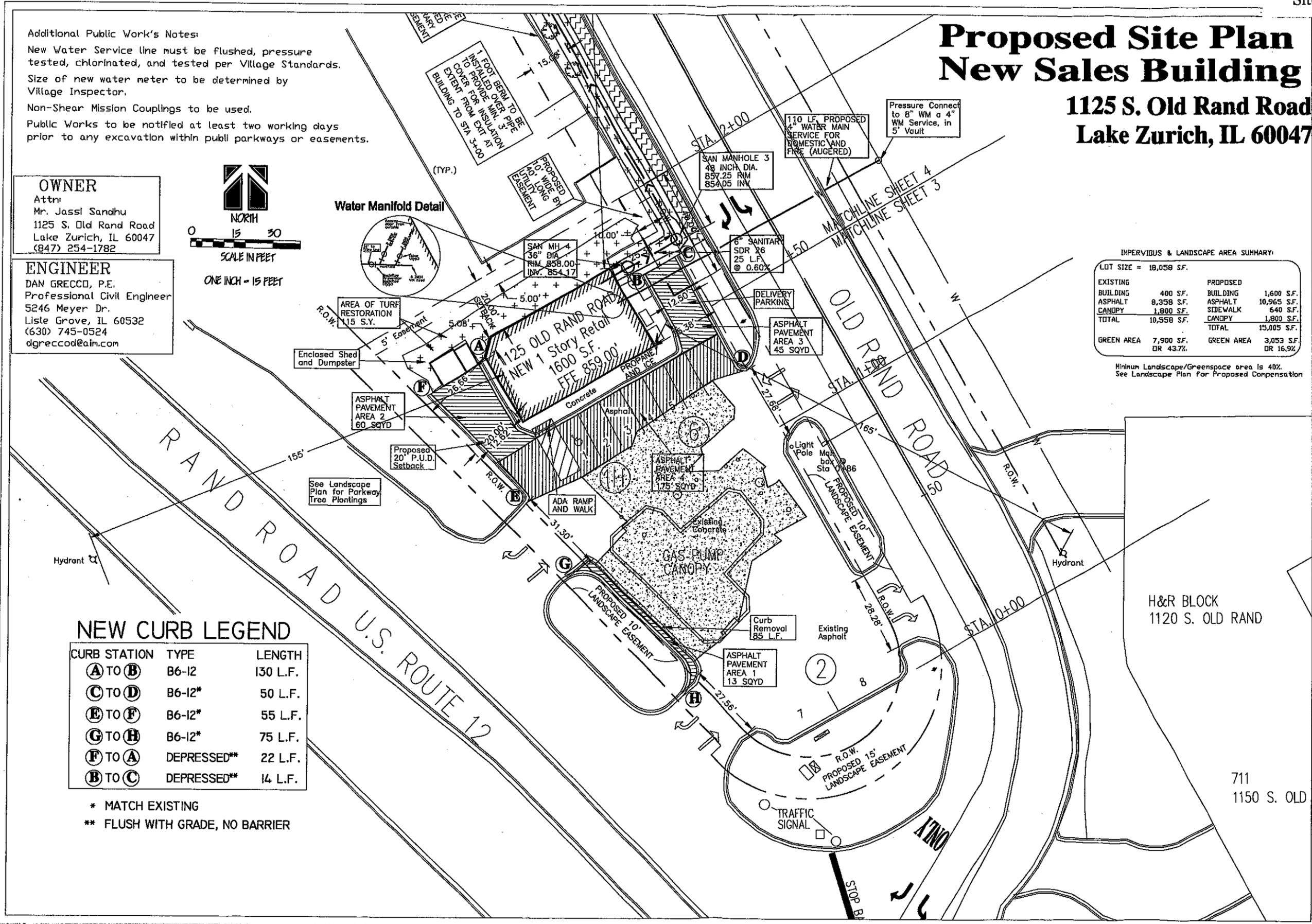
Architect:
Joe Meyer & Associates
135 Park Avenue
Barrington, IL 60010
(847) 388-0900
joe@meyerandassociates.com

Civil Engineer:
Dan Grecco, P.E.
5246 Meyer Drive
Lisle, IL 60532
(630) 745-0524
dgreccod@aig.com

SCALE: AS SHOWN

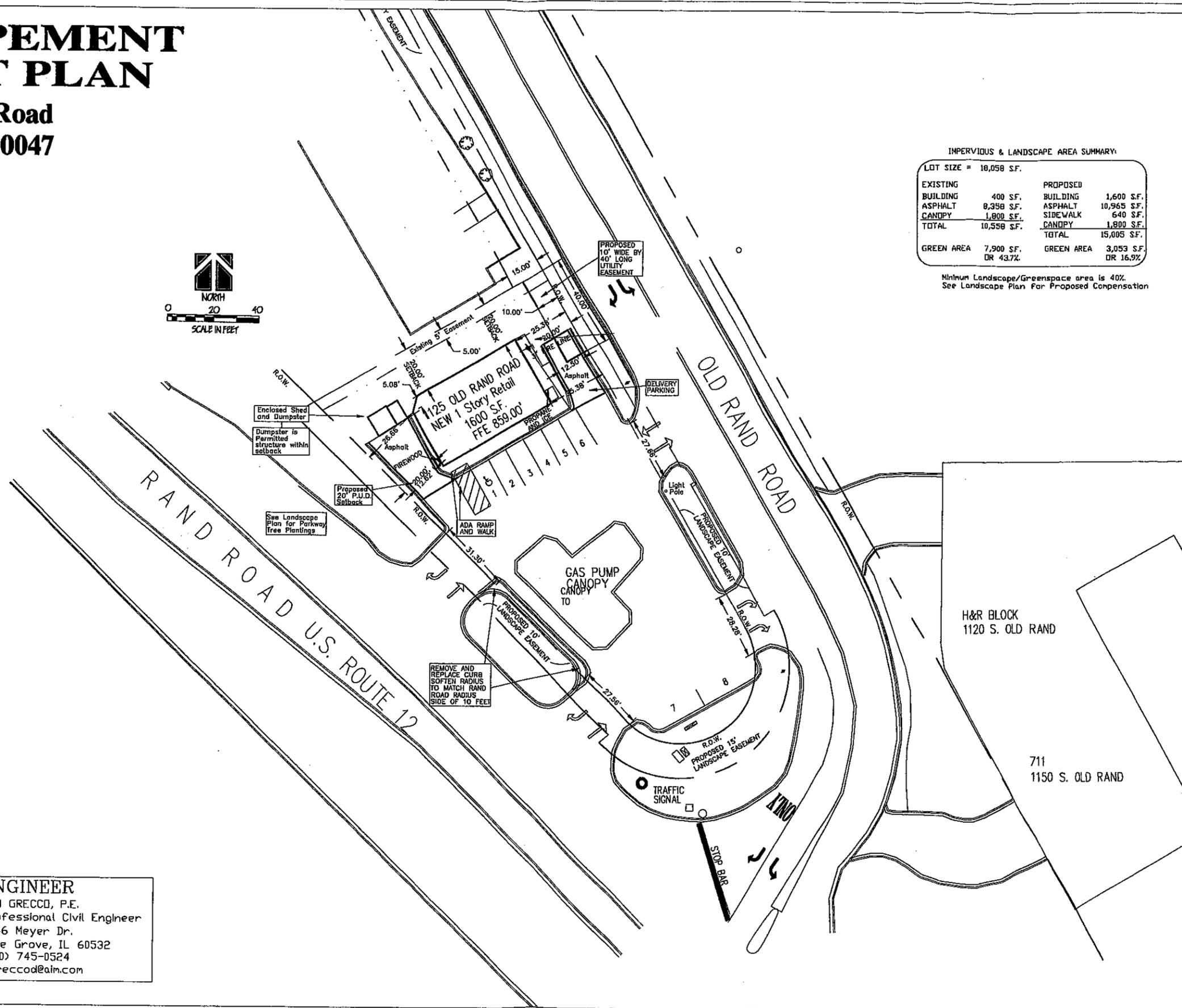
SHEET: C3

Date: FEBRUARY 13, 2014



DEVELOPEMENT CONCEPT PLAN

1125 S. Old Rand Road
Lake Zurich, IL 60047



IMPERVIOUS & LANDSCAPE AREA SUMMARY:

| | | | |
|------------------------|------------------------|------------|------------------------|
| LOT SIZE = 10,058 S.F. | | | |
| EXISTING | | PROPOSED | |
| BUILDING | 400 S.F. | BUILDING | 1,600 S.F. |
| ASPHALT | 9,358 S.F. | ASPHALT | 10,965 S.F. |
| CANOPY | 1,800 S.F. | SIDEWALK | 640 S.F. |
| TOTAL | 10,558 S.F. | CANOPY | 1,800 S.F. |
| | | TOTAL | 15,005 S.F. |
| GREEN AREA | 7,900 S.F. DR 43.7% | GREEN AREA | 3,053 S.F. DR 16.9% |

Minimum Landscape/Greenspace area is 40%.
See Landscape Plan For Proposed Compensation

PROJECT: C7

| | |
|----------------------------------|-------------------------|
| 1. PREPARED BY: MR. JASSI SANDHU | DATE: FEBRUARY 17, 2014 |
| 2. CHECKED BY: MR. JASSI SANDHU | DATE: FEBRUARY 17, 2014 |
| 3. APPROVED BY: MR. JASSI SANDHU | DATE: FEBRUARY 17, 2014 |

PROJECT: NEW SALES BUILDING FOR:
MR. JASSI SANDHU
1125 S. OLD RAND ROAD
LAKE ZURICH, IL 60047

PUD DEVELOPMENT
CONCEPT PLAN

Architect:
Joe Meyer & Associates
135 Park Avenue
Barrington, IL 60010
(847) 382-0630
joe@joeandassociates.com

Civil Engineer:
Dan Grecco, P.E.
5946 Meyer Drive
Lisle, IL 60532
(630) 745-0524
dgrecco@aim.com

SCALE: AS SHOWN
SHEET: C7

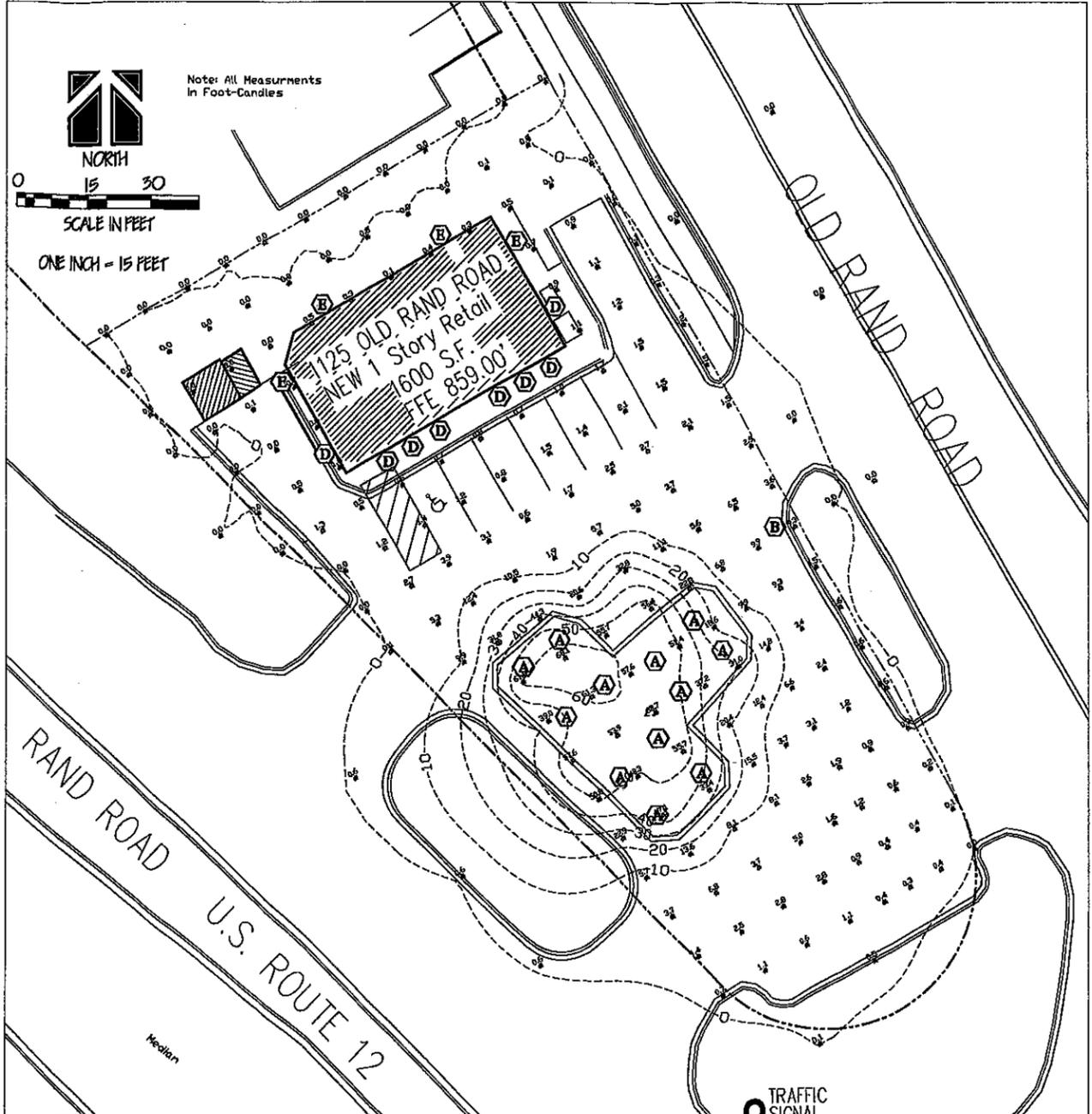
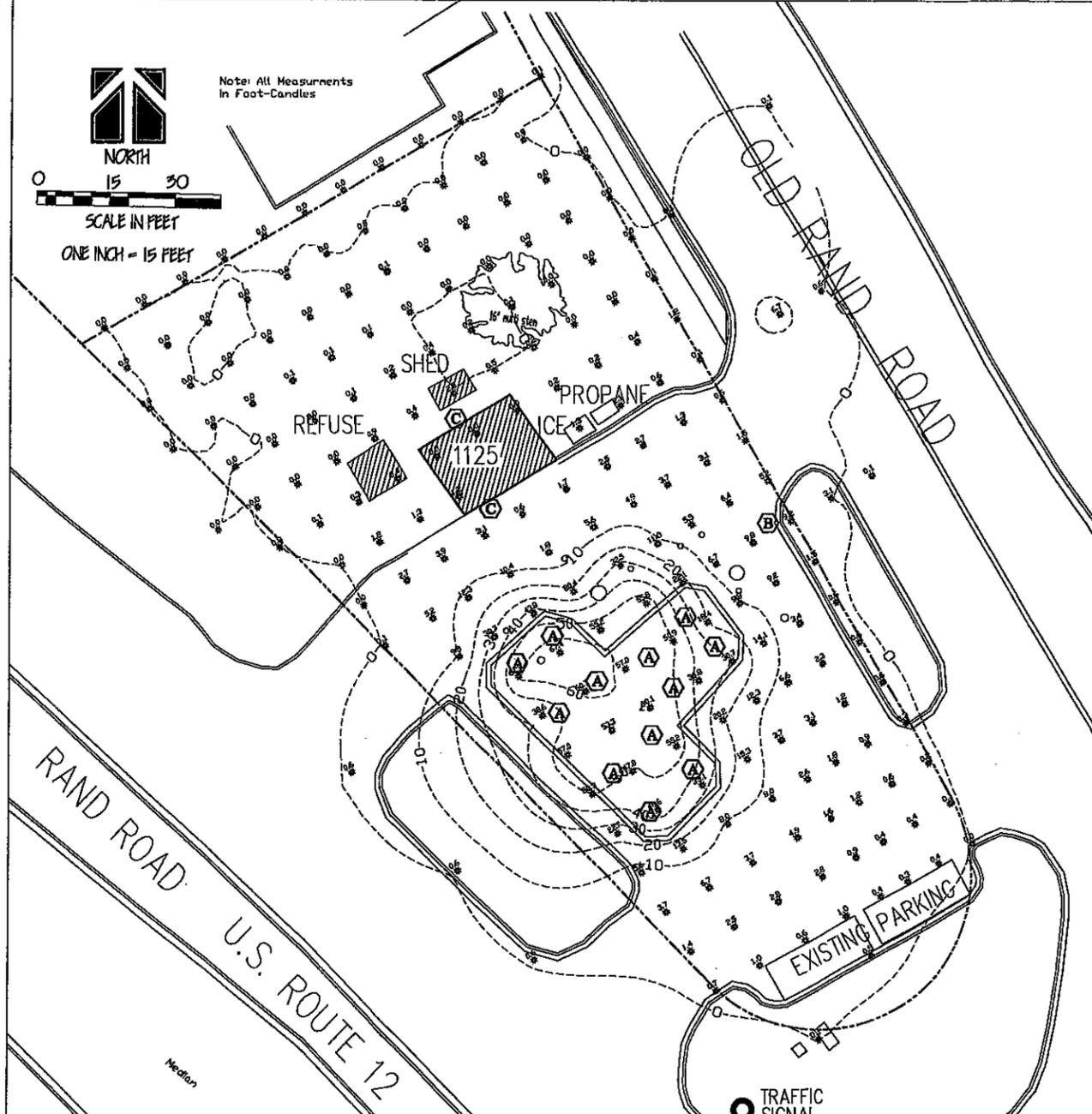
Date: FEBRUARY 17, 2014

OWNER
Attn: Mr. Jassi Sandhu
1125 S. Old Rand Road
Lake Zurich, IL 60047
(847) 254-1782

ENGINEER
DAN GRECCO, P.E.
Professional Civil Engineer
5246 Meyer Dr.
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(630) 745-0524
dgrecco@aim.com

EXISTING SITE 1125 S. Old Rand Road PHOTOMETRICS Lake Zurich, IL 60047

PROPOSED SITE 1125 S. Old Rand Road PHOTOMETRICS Lake Zurich, IL 60047



Existing Lighting Summary⁺

Maximum: 68.3 F.C.*
Minimum: 0.0 F.C.
Average: 7.2 F.C.

Lighting Legend

- A** 127 Watt L.E.D., recessed within Canopy
- B** 300 Watt L.E.D., Pole Mounted Spot
- C** 300 WATT H.P.S., Spot Mounted on Building
- D** 8 Watt L.E.D., Gooseneck, shielded
- E** 8 Watt L.E.D., Wall mounted with cutoff optics

Proposed Lighting Summary⁺

Maximum: 68.3 F.C.*
Minimum: 0.0 F.C.
Average: 7.3 F.C.

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OWNER
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1125 S. Old Rand Road
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⁺ Overall Lighting Levels reduced by 1/3 from previous submittal, due to recalibrating of digital light meter.

*Previous unconverted lux reading measurement corrected.

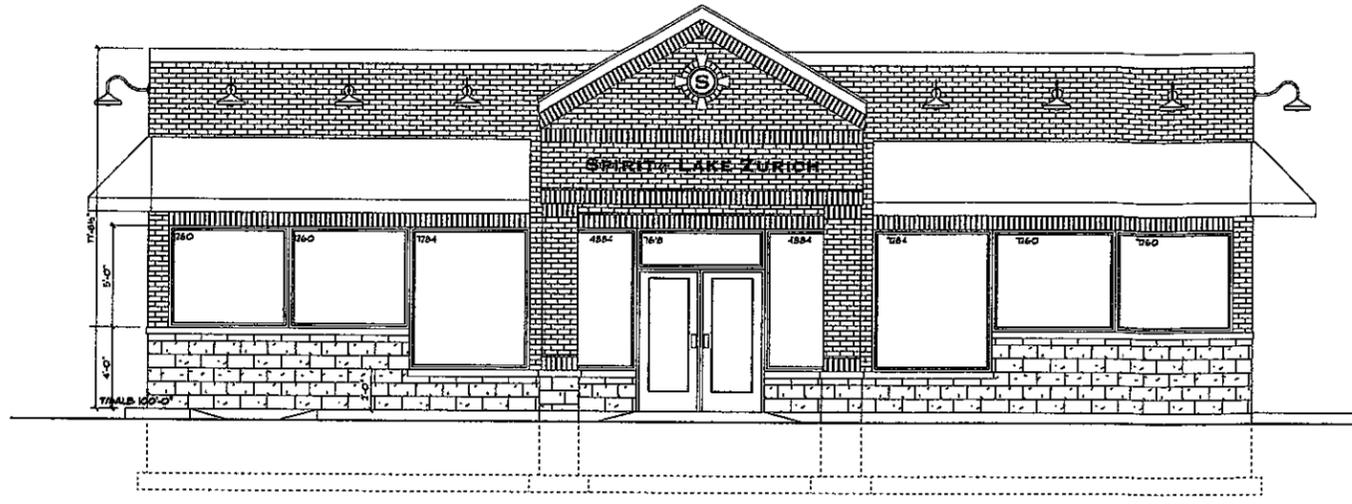
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Analysis of Zoning Relief for PUD

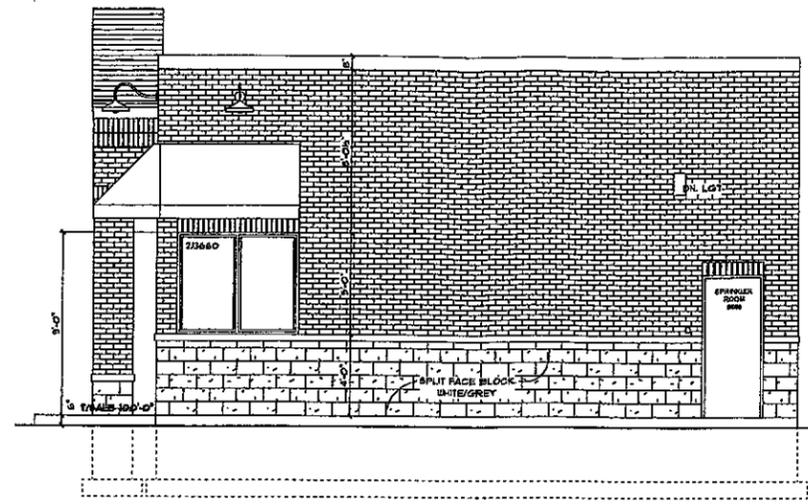
1. Setbacks:
 - a. Front Yard Setback (Rand Rd double frontage): reduction in the required front yard setback from 50' to 20' for the building and from 50' to approx. 2' for the parking lot.
 - b. Front Yard Setback (S. Old Rand Rd double frontage): reduction in the required front yard setback from 25 to approx. 2' for the parking lot.
2. Landscape Surface Area:
 - a. Reduction in the minimum allowable landscape surface area from 40% to 16.9%
3. Accessory Structures:
 - a. Location of dumpster enclosure in front yard setback where code requires the location to be in the rear of the property.
 - b. Reduction in front yard setback and side yard setback to allow a shed within the dumpster enclosure area.
4. Lighting:
 - a. Increase in allowable footcandles at property lines from 0.50 to 20 at the property line along Rand Rd and from 0.50 to 9.7 at the property line along S. Old Rand Rd.
 - b. Increase the maximum allowable illumination on site from 10 to 68.1 footcandles
5. Outdoor Storage:
 - a. To allow the permanent outdoor storage of an ice chest, firewood, and propane tanks in the locations and sizes as depicted on the PUD Concept Plan dated 2-17-14.
6. Landscaping:
 - a. Lot Line Landscaping:
 - i. Southeast side: reduction in required number of 36" shrubs from 10 to 7 (based on Unit C calculations)
 - b. Landscape Area Width:
 - i. Reduction in minimum required landscape area width from 10' to approx. 3'
 - c. Tree Replacement Requirement:
 - i. Elimination of the tree replacement requirements in relation to the removal of one existing 16" multi-stem tree on site.
7. Sidewalks:
 - a. Relief from the installation of required sidewalks along Rand Rd and S. Old Rand Rd.

EXHIBIT D
Exterior Appearance Plan



FRONT ELEVATION

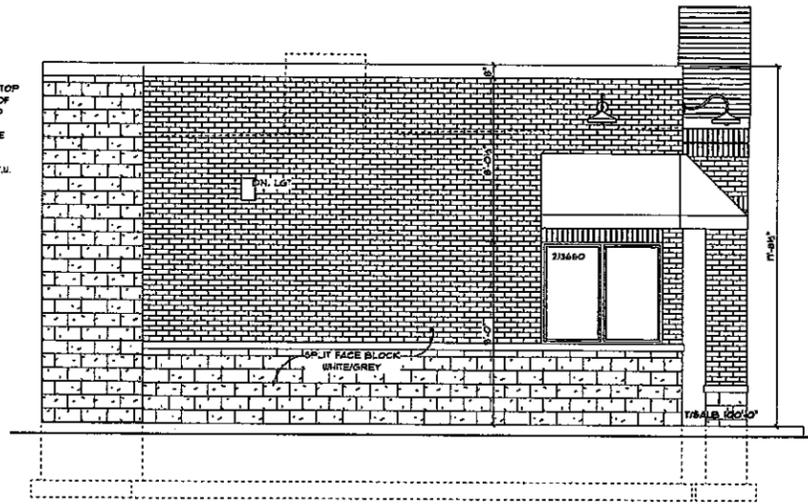
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

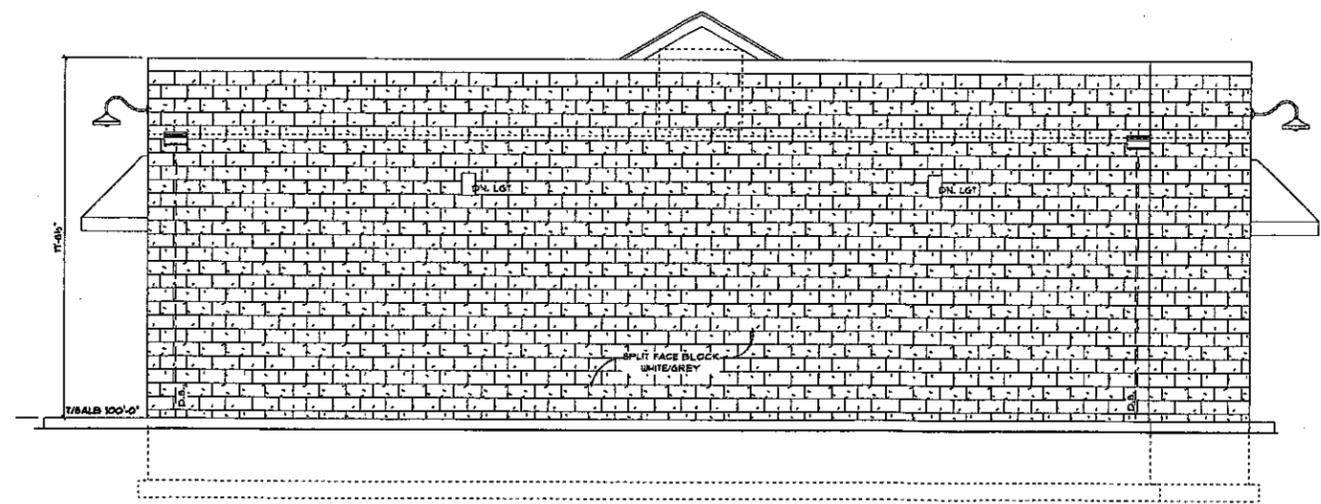
SCALE: 1/4" = 1'-0"

DASHED LINES SHOW ROOF TOP
UNIT AND ROOF SLOPE. ROOF
TOP UNIT WILL BE SCREENED
BY PARAPET WALL. ON
LOOKER WOULD HAVE TO BE
STANDING UPWARDS OR
300'-0" AWAY TO VIEW THE
TOP MOST EDGE OF THE R.T.U.



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

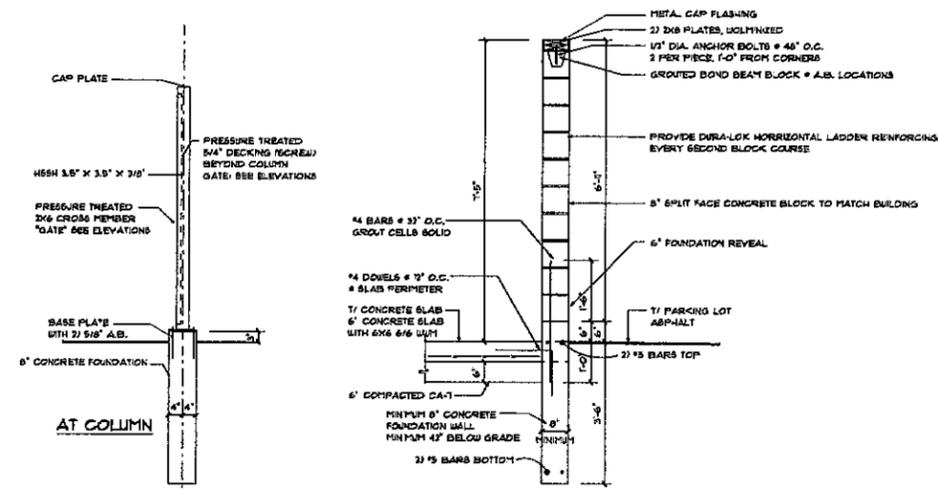
SCALE: 1/4" = 1'-0"

JOSEPH A. MEYER
STRUCTURAL & PROFESSIONAL ENGINEER
135 PARK AVE. BARRINGTON, IL 60010 847-362-0200

NEW SALES BUILDING FOR:
MR. JASSINDER SANDHU
1125 S. OLD RAND ROAD LAKE ZURICH, ILLINOIS 60047

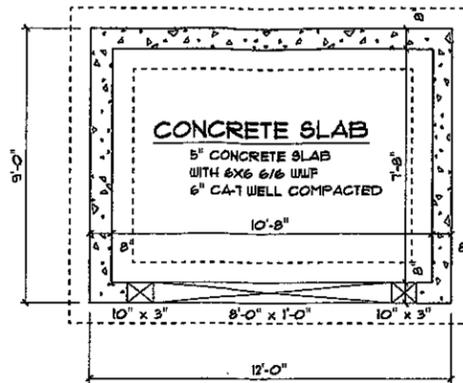
| DATE |
|---------------|
| JULY 23, 2013 |
| AUG 9, 2013 |
| OCT 10, 2013 |
| REVISION |
| DEC 4, 2013 |
| JAN 28, 2014 |

JOB #
SHEET #
4



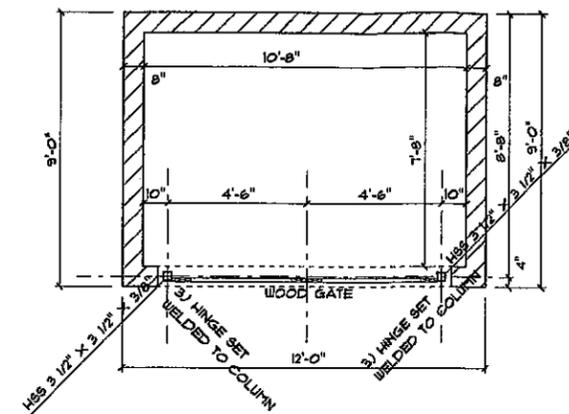
TYPICAL SECTION

SCALE: 1/2" = 1'-0"



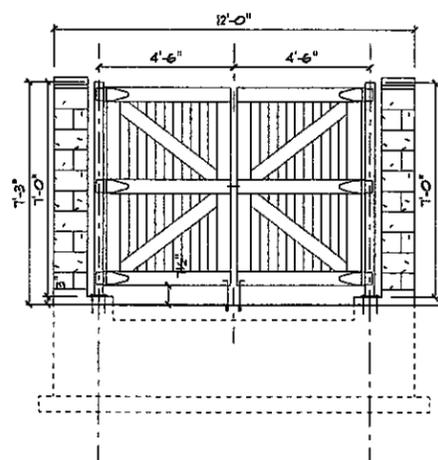
FOUNDATION PLAN

SCALE: 3/8" = 1'-0"



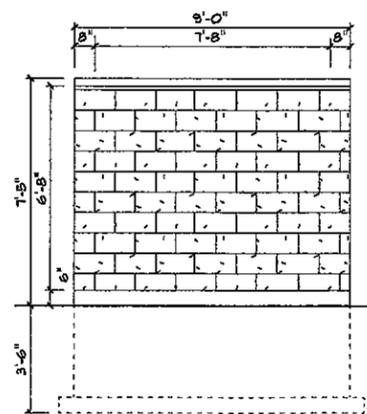
ENCLOSURE PLAN

SCALE: 3/8" = 1'-0"



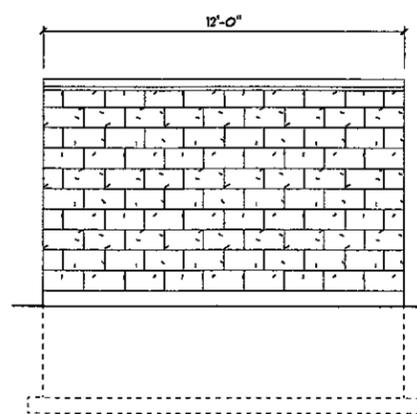
FRONT

SCALE: 3/8" = 1'-0"



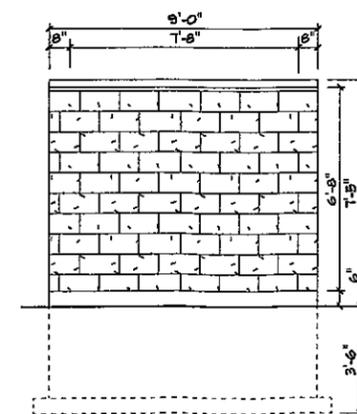
LEFT

SCALE: 3/8" = 1'-0"



REAR

SCALE: 3/8" = 1'-0"



RIGHT

SCALE: 3/8" = 1'-0"

JOSEPH A. MEYER
STRUCTURAL & PROFESSIONAL ENGINEER
135 PARK AVE. BARRINGTON IL 60010 847-382-0200

NEW SALES BUILDING FOR:
MR. JASSINDER SANDHU 60047
1125 S. OLD RAND ROAD LAKE ZURICH, ILLINOIS

DATE
JULY 23, 2013
OCT 10, 2013

REVISION
DEC 4, 2013
JAN 28, 2014

JOB #
SHEET #

6



SPIRIT OF LAKE ZURICH

MARATHON

Civil Engineering Plans for: New Sales Building - Marathon Gas Station

1125 Old Rand Road Lake Zurich, IL 60047

INDEX

1. Cover Sheet and Information
2. Existing Conditions, Demolition, & Erosion Control Plan
3. Site Plan, Sheet 1
4. Site Plan, Sheet 2
5. Site Plan, Sheet 3
6. Proposed Grading Plan
7. P.U.D. Concept Exhibit
8. Landscaping Plan
9. Details, Sheet 1
10. Details, Sheet 2
11. Details, Sheet 3
12. Lighting
13. Plat of Survey

LEGEND

| EXISTING | PROPOSED |
|--------------------------------------|-------------------------------------|
| — () — STORM SEWER | — () — STORM SEWER |
| — () — SANITARY SEWER | — () — DRAIN TILE |
| — () — WATER MAIN | — () — SANITARY SEWER |
| ⊕ WATER VALVE MANHOLE | ⊕ WATER MAIN |
| ○ STORM INLET/CATCH BASIN | ⊕ SANITARY MANHOLE |
| □ BOX INLET | ○ STORM INLET |
| — EXISTING PROPERTY LINE | — PROPOSED CONTOUR, C.L. = 3 FOOT |
| — CULVERT | — PROPOSED CONTOUR, C.L. = 1/2 FOOT |
| — EXISTING CONTOURS, C.L. = 1/2 FOOT | ⊕ SPOT ELEVATION, PROPOSED |
| ⊕ SPOT ELEVATION, EXISTING | ⊕ TREE TO BE REMOVED |
| ⊕ TREE, W/ OA | — SELF FINISHLINE |
| — UTILITY POLE | — CASEMENT |
| — FINISHLINE | — STRAW BALES |
| ▽ FIRE HYDRANT | — OVERFLOW ROUTE |
| ⊕ HYDRANT W/ VALVE | — DRAINAGE DIRECTION, GENERAL |
| ⊕ SIGN POST | ⊕ 2 FOOT SELF BASKET FOR INLET |
| ⊕ MANHOLE, TP | — REMOVE CURB OR STORM |
| ⊕ SANITARY MANHOLE | |

CALL JULIE
BEFORE YOU DIG
1-800-892-0123

BENCHMARKS

LAKE COUNTY BM 6-22
Description: Chisled square on south end of curbed median located at Burr Ridge/Cambridge drive entrance and Cuba road intersection, in Lake Zurich USGS Quod map.

Elevation - 848.48 (1929 / N.G.V.D.)
Elevation - 848.25 (1988 / N.A.V.D.)

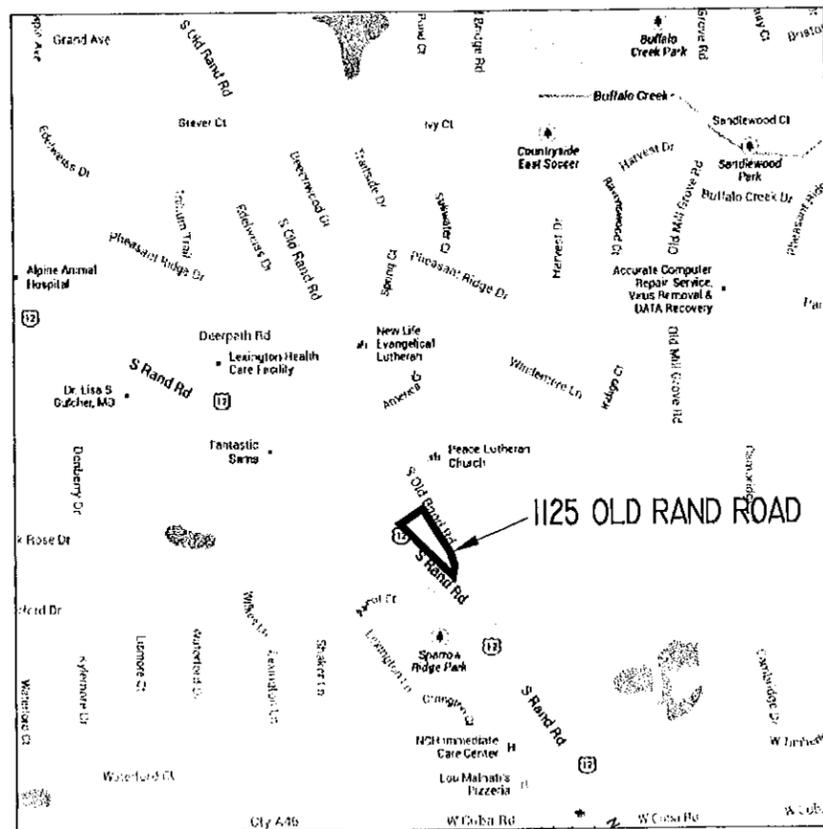
LAKE COUNTY BM 6-23
Description: "+" North Rim of Manhole located within N.W. Parkway of Cuba Road and Williamsburg Colony intersection, in Lake Zurich USGS Quod Map

Elevation - 868.50 (1929 / N.G.V.D.)
Elevation - 868.27 (1988 / N.A.V.D.)

SITE BENCHMARK:

Description: Top side of Rail Road Spike in Utility Pole in parkway right next to Old Rand Road & Rand Road and adjacent to 1125 S. Old Rand Road Property.
Elevation - 856.87 (1988 / N.A.V.D.)

PROJECT LOCATION MAP



EXPIRES 11/30/2015

SCALE:
SIGNATURE:
I HEREBY CERTIFY THAT THE PROPOSED STORMWATER DRAINAGE IMPROVEMENTS WILL NOT ADVERSELY IMPACT THE SUBJECT PROPERTY, THE SURROUNDING PROPERTIES OR THE PUBLIC RIGHT-OF-WAY WITH RESPECTS TO STORMWATER DRAINAGE AND THAT A SAFE OVERFLOW ROUTE FOR REAR/SIDE YARD STORM WATER HAS BEEN ESTABLISHED.

Marathon Gas Station New Sales Building

1125 Old Rand Road
Lake Zurich, IL 60047

Latitude: 42.179700 °
Longitude: -88.078017 °

ENGINEER

DAN GRECCO, P.E.
Professional Civil Engineer
5246 Meyer Dr.
Lisle Grove, IL 60532
(630) 745-0524
dgrecco@aaim.com

ARCHITECT

Joe Meyers & Associates
135 Park Avenue
Barrington, IL 60010
(847) 382-0200

OWNER/BUILDER

Mr. Jassi Sandhu
1125 S. Old Rand Road
Lake Zurich, IL 60047
(847) 254-1782

CONTACTS

Village of Lake Zurich (847) 540-1683
Building (847) 540-1698
Public Works (847) 540-1696
Fire Prevention Bureau (847) 540-5073
Illinois Dept. of Public Health (217) 782-5830
(Jerry Dawson) (217) 524-4136
Lake County DOPH (Mark Hussachio) (847) 984-5003

SPRINKLER

Orion Fire Protection
1000 N. Rand Road, Suite 123
Wauconda, IL 60084
(847) 526-0348

GENERAL NOTES:

The Contractor shall contact Julie (1-800-892-0123) prior to any excavation work. Lake County Parcel Identification number 14-28-100-003, or Northwest 1/4 of Section 28 in Township 43 (Ela Township).

The Village of Lake Zurich must have 48 hours notice prior to the commencement of any approved construction activity.

All approve improvements shall be designed and constructed in accordance with the Village of Lake Zurich "Standard Specifications of the Design and Construction of Public Improvements," latest edition, the Village Municipal Code.

Permits shall be obtained from all outside governmental agencies having jurisdiction prior to Village approval of construction activities.

Work within the public rights-of-way is subject to the specific approval of the Village Engineer.

All structure adjustments shall be accomplished using only concrete rings not to exceed 8" with appropriate mastic or mortar.

Existing field tiles encountered during design or construction shall be redirected or included in a manner acceptable to the Village Engineer. Any and all field tiles encountered shall be immediately reported to the Village Engineer. Any and all field tiles encountered shall be immediately reported to the Village Engineer or field representatives.

The builder shall provide parkway trees in accordance with the Village of Lake Zurich Land Development code.

The builder shall be responsible for all adjustments before and after final inspection, prior to final acceptance by the Village of Lake Zurich.

All utility lines shall be augured under street pavement unless specific approval is obtained from the Village Engineer to open cut the street pavement. Contractor shall maintain pavement crossings until final pavement restoration is accepted by the Village Engineer.

SHEET: C1

PROJECT:
NEW SALES BUILDING FOR:
MR. JASSI SANDHU
1125 S. OLD RAND ROAD
LAKE ZURICH, IL 60047

COVER SHEET
& INFORMATION

Architect:
Joe Meyers & Associates
135 Park Avenue
Barrington, IL 60010
(847) 382-0200
meyer-arc@aim.com

Civil Engineer:
Dan Grecco, P.E.
5246 Meyer Dr.
Lisle Grove, IL 60532
(630) 745-0524
dgrecco@aaim.com

SCALE:
AS SHOWN

SHEET:
C1

DATE:
FEBRUARY 11, 2014

Additional Public Work's Notes:
 All permits and fees to be completed prior to start.
 Prior to abandonment, septic tank to be completely pumped out. At a minimum, floor and walls to be cracked & crumbled so that it no longer holds water, and backfilled with sand. An inspection by public works is required prior to backfill.
 Lake County Health Department also to be notified and present for inspection of septic tank abandonment.
 Final meter reading to be collected by Public Works.
 See Grading Plan Sheet C6 for further Erosion notes and details.

Marathon Gas Station

EXISTING CONDITIONS

New Sales Building

1125 S. Old Rand Road
 Lake Zurich, IL 60047

PROJECT: NEW SALES BUILDING FOR: MR. JASSI SANDHU 1125 S. OLD RAND ROAD LAKE ZURICH, IL 60047

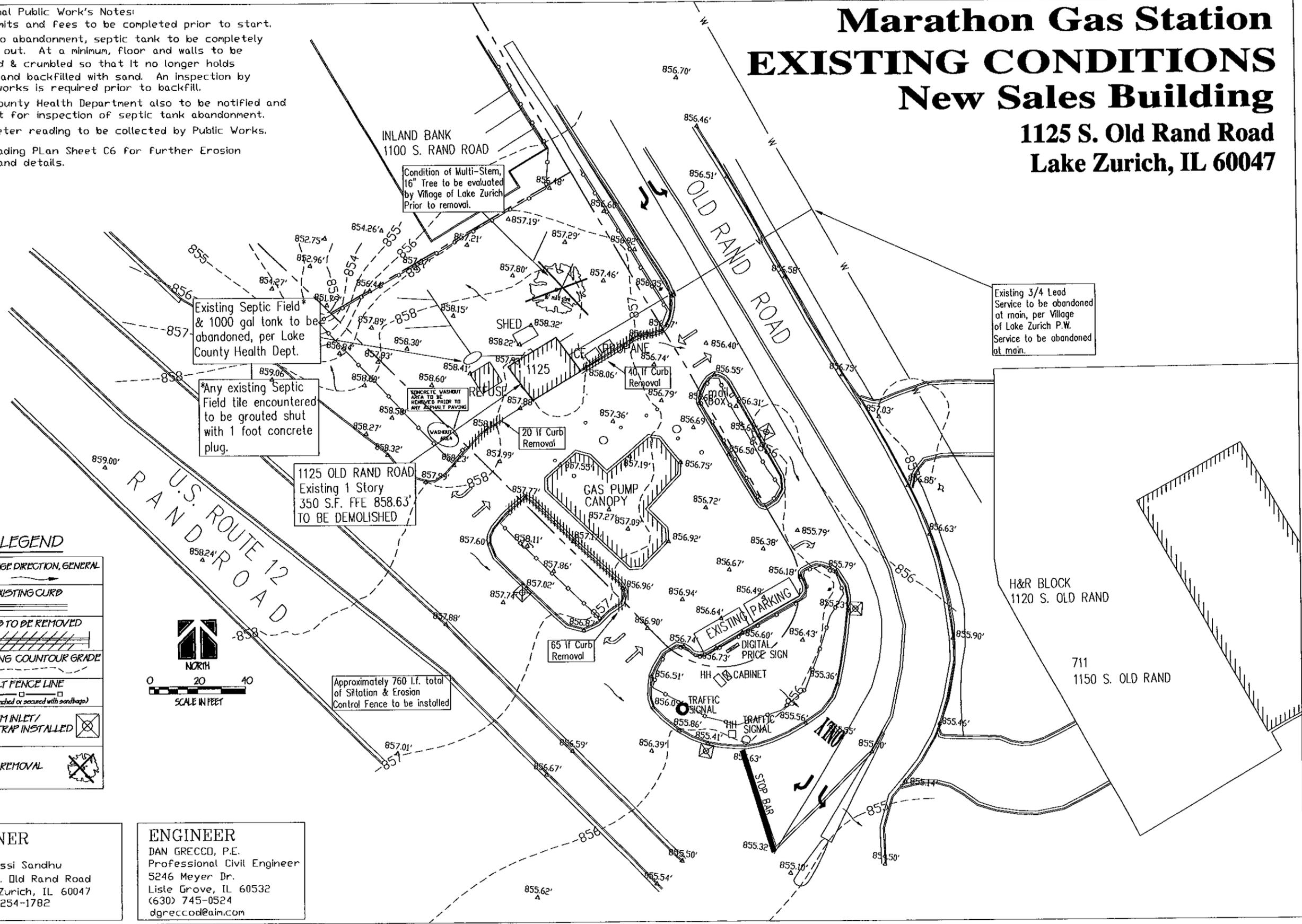
ARCHITECT: Joe Meyer & Associates 235 Park Avenue Barrington, IL 60010 (847) 385-0250 jomeyer@wchicagoengineering.net

CIVIL ENGINEER: Dan Grecco, P.E. P.O. Box 561 Downers Grove, IL 60515 (630) 745-0524 dgrecco@wchicagoengineering.net

SCALE: AS SHOWN

SHEET: C2

Date: FEBRUARY 13, 2013



Existing 3/4 Lead Service to be abandoned at main, per Village of Lake Zurich P.W. Service to be abandoned at main.

Existing Septic Field & 1000 gal tank to be abandoned, per Lake County Health Dept.

*Any existing Septic Field tile encountered to be grouted shut with 1 foot concrete plug.

1125 OLD RAND ROAD Existing 1 Story 350 S.F. FFE 858.63' TO BE DEMOLISHED

Approximately 760 l.f. total of Siltation & Erosion Control Fence to be installed

LEGEND

DRAINAGE DIRECTION, GENERAL

EXISTING CURB

CURB TO BE REMOVED

EXISTING COUNTOUR GRADE

SILT FENCE LINE
 (can be treeshed or secured with sandbags)

STORM INLET/ SILT TRAP INSTALLED

TREE REMOVAL

OWNER
 Attn: Mr. Jassi Sandhu
 1125 S. Old Rand Road
 Lake Zurich, IL 60047
 (847) 254-1782

ENGINEER
 DAN GRECCO, P.E.
 Professional Civil Engineer
 5246 Meyer Dr.
 Liste Grove, IL 60532
 (630) 745-0524
 dgrecco@aimg.com

Proposed Site Plan New Sales Building

1125 S. Old Rand Road
Lake Zurich, IL 60047

Additional Public Work's Notes:

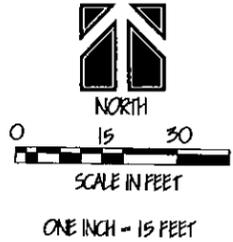
New Water Service line must be flushed, pressure tested, chlorinated, and tested per Village Standards.
Size of new water meter to be determined by Village Inspector.
Non-Shear Mission Couplings to be used.
Public Works to be notified at least two working days prior to any excavation within public parkways or easements.

OWNER

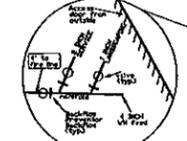
Attn:
Mr. Jassi Sandhu
1125 S. Old Rand Road
Lake Zurich, IL 60047
(847) 254-1782

ENGINEER

DAN GRECCO, P.E.
Professional Civil Engineer
5246 Meyer Dr.
Liste Grove, IL 60532
(630) 745-0524
dgreccod@aol.com



Water Manifold Detail



IMPERVIOUS & LANDSCAPE AREA SUMMARY:

LOT SIZE = 18,058 S.F.

| EXISTING | PROPOSED |
|-----------------------------------|-----------------------------------|
| BUILDING 400 S.F. | BUILDING 1,600 S.F. |
| ASPHALT 8,358 S.F. | ASPHALT 10,965 S.F. |
| CANOPY 1,800 S.F. | SIDEWALK 640 S.F. |
| TOTAL 10,558 S.F. | CANOPY 1,800 S.F. |
| | TOTAL 15,005 S.F. |
| GREEN AREA 7,900 S.F. DR 43.7% | GREEN AREA 3,053 S.F. DR 16.9% |

Minimum Landscape/Greenspace area is 40%.
See Landscape Plan for Proposed Compensation

NEW CURB LEGEND

| CURB STATION | TYPE | LENGTH |
|--------------|-------------|----------|
| A TO B | B6-12 | 130 L.F. |
| C TO D | B6-12* | 50 L.F. |
| E TO F | B6-12* | 55 L.F. |
| G TO H | B6-12* | 75 L.F. |
| F TO A | DEPRESSED** | 22 L.F. |
| B TO C | DEPRESSED** | 14 L.F. |

* MATCH EXISTING
** FLUSH WITH GRADE, NO BARRIER

SHEET: C3

PROPOSED SITE PLAN
SHEET 1 OF 3

Architect:
Joe Meyer & Associates
135 Park Avenue
Barrington, IL 60010
(847) 382-0200
joe@joeandassociates.com

Civil Engineer:
Dan Grecco, P.E.
5246 Meyer Drive
Liste, IL 60532
(630) 745-0524
dgreccod@aol.com

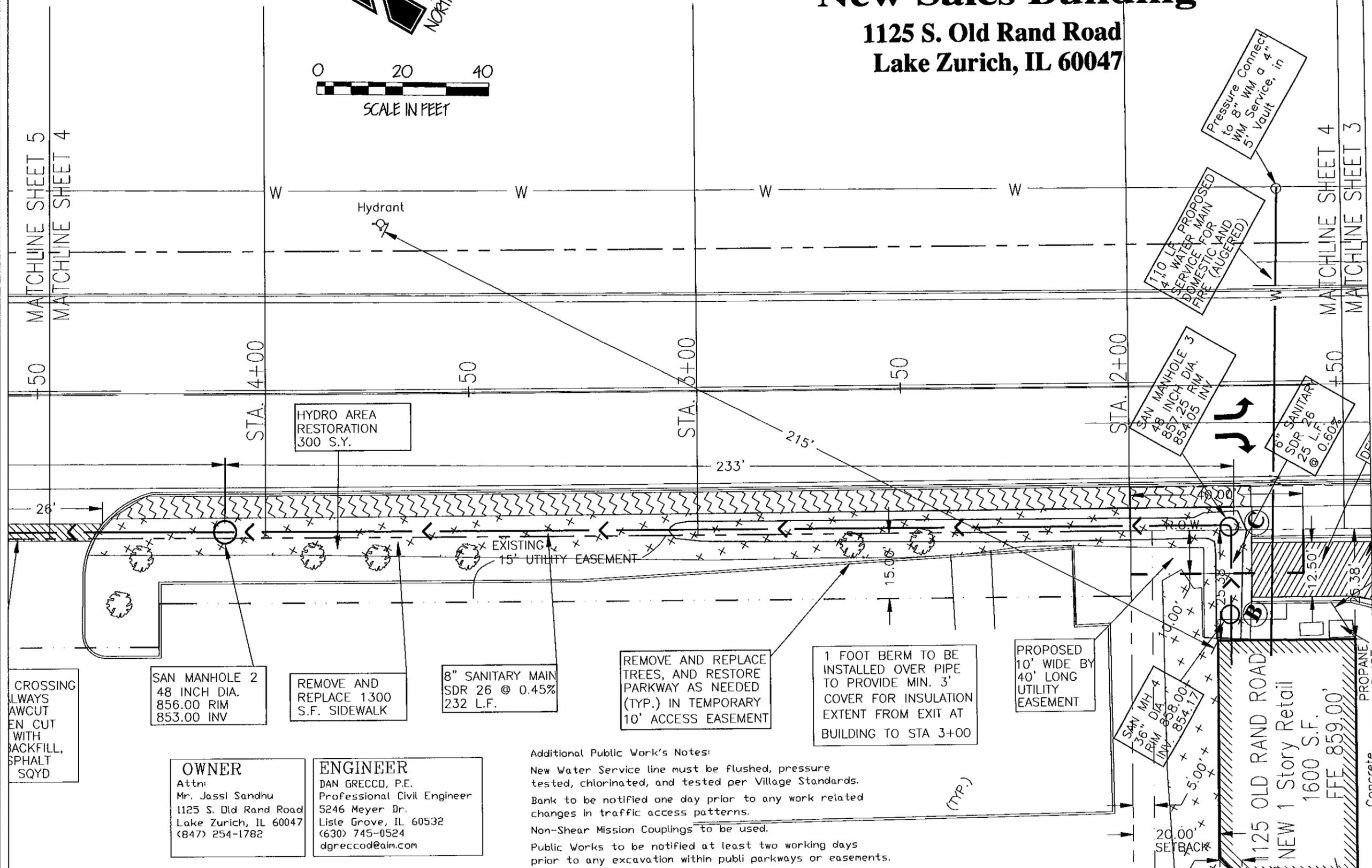
SCALE: AS SHOWN

SHEET: C3

DATE: FEBRUARY 13, 2014

PROPOSED SITE PLAN New Sales Building

1125 S. Old Rand Road
Lake Zurich, IL 60047



CROSSING ALWAYS SAWCUT THEN CUT WITH BACKFILL, ASPHALT SQYD

SAN MANHOLE 2
48 INCH DIA.
856.00 RIM
853.00 INV

REMOVE AND REPLACE 1300 S.F. SIDEWALK

8" SANITARY MAIN
SDR 26 @ 0.45%
232 L.F.

REMOVE AND REPLACE TREES, AND RESTORE PARKWAY AS NEEDED (TYP.) IN TEMPORARY 10' ACCESS EASEMENT

1 FOOT BERM TO BE INSTALLED OVER PIPE TO PROVIDE MIN. 3" COVER FOR INSULATION EXTENT FROM EXIT AT BUILDING TO STA 3+00 (TYP.)

PROPOSED 10' WIDE BY 40' LONG UTILITY EASEMENT

OWNER
Attn:
Mr. Jassi Sandhu
1125 S. Old Rand Road
Lake Zurich, IL 60047
(847) 254-1782

ENGINEER
DAN GRECCO, P.E.
Professional Civil Engineer
5246 Meyer Dr.
Liste Grove, IL 60532
(630) 745-0524
dgrecco@aim.com

Additional Public Work's Notes:
New Water Service line must be flushed, pressure tested, chlorinated, and tested per Village Standards.
Bank to be notified one day prior to any work related changes in traffic access patterns.
Non-Shear Mission Couplings to be used.
Public Works to be notified at least two working days prior to any excavation within public parkways or easements.

| | |
|----------------|--|
| PROJECT | NEW SALES BUILDING FOR: MR. JASSI SANDHU 1125 S. OLD RAND ROAD LAKE ZURICH, IL 60047 |
| ARCHITECT | Joe Meyer & Associates 135 Park Avenue Barrington, IL 60010 (847) 968-0500 jomeyer@jma.com |
| CIVIL ENGINEER | Dan Grecco, P.E. 5246 Meyer Drive Liste, IL 60532 (630) 745-0524 dgrecco@aim.com |
| SCALE | AS SHOWN |
| SHEET | C4 |
| DATE | FEBRUARY 13, 2014 |

PROPOSED SITE PLAN
SHEET 2 OF 3

PROPOSED SITE PLAN

New Sales Building

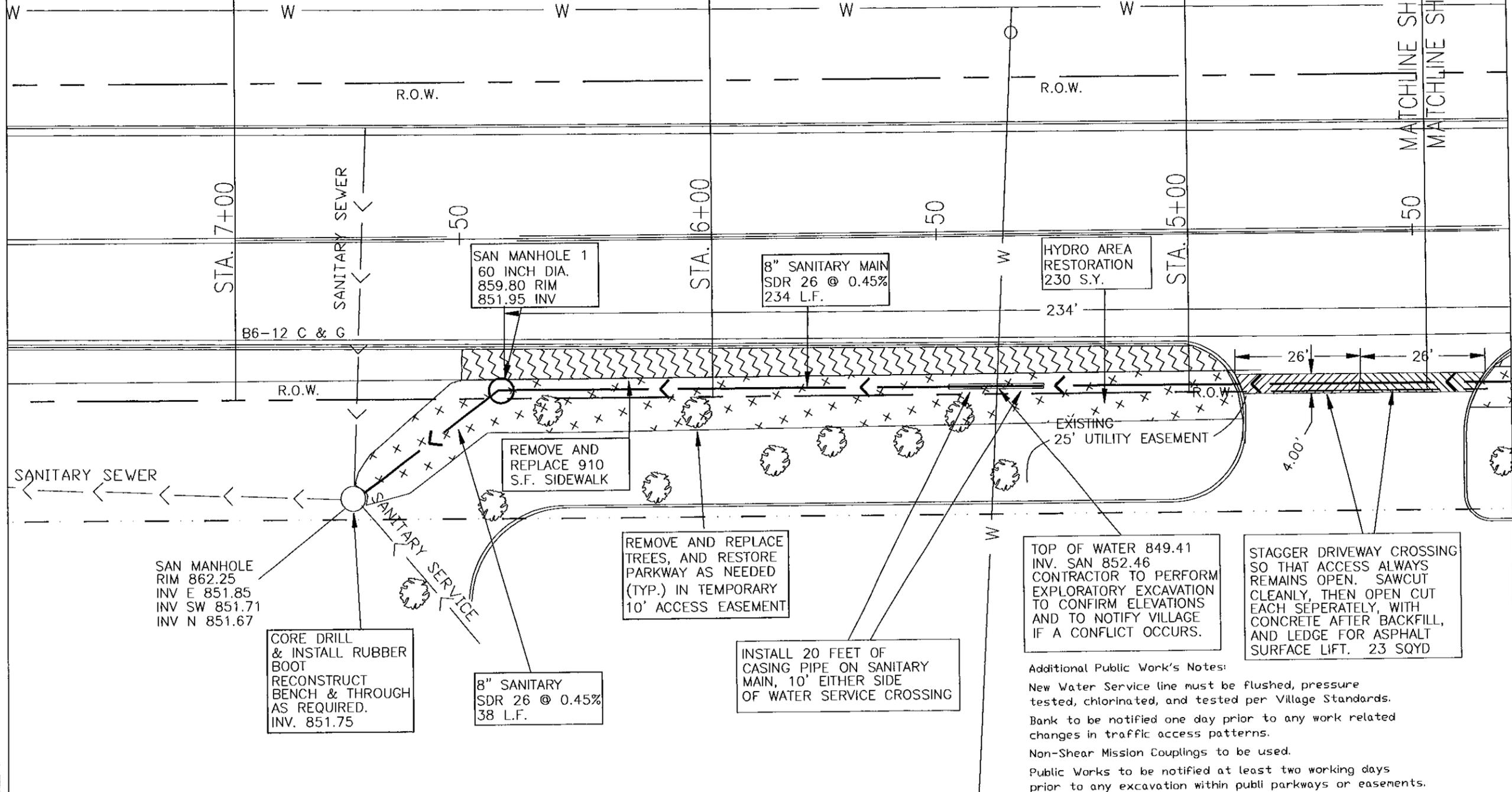
1125 S. Old Rand Road
Lake Zurich, IL 60047

OWNER

Attn:
Mr. Jassi Sandhu
1125 S. Old Rand Road
Lake Zurich, IL 60047
(847) 254-1782

ENGINEER

DAN GRECCO, P.E.
Professional Civil Engineer
5246 Meyer Dr.
Lisle Grove, IL 60532
(630) 745-0524
dgrecco@aim.com



PROJECT: NEW SALES BUILDING FOR MR. JASSI SANDHU, 1125 S. OLD RAND ROAD, LAKE ZURICH, IL 60047

| | | |
|-----|------|-------------------------|
| NO. | DATE | DESCRIPTION |
| 1 | | ISSUED FOR PERMITS |
| 2 | | ISSUED FOR CONSTRUCTION |
| 3 | | |
| 4 | | |
| 5 | | |

SHEET: C5

PROPOSED SITE PLAN
SHEET 3 OF 3

| | |
|----------------|---|
| Architect | Joe Meyer & Associates 195 Park Avenue Barrington, IL 60010 (847) 382-0200 joe@joeandassociates.com |
| Civil Engineer | Dan Grecco, P.E. 5246 Meyer Drive Lisle, IL 60532 (630) 745-0524 dgrecco@aim.com |
| SCALE | AS SHOWN |
| SHEET | C5 |
| DATE | FEBRUARY 13, 2014 |

TOP OF WATER 849.41
INV. SAN 852.46
CONTRACTOR TO PERFORM
EXPLORATORY EXCAVATION
AND TO NOTIFY VILLAGE
IF A CONFLICT OCCURS.

STAGGER DRIVEWAY CROSSING
SO THAT ACCESS ALWAYS
REMAINS OPEN. SAWCUT
CLEANLY, THEN OPEN CUT
EACH SEPERATELY, WITH
CONCRETE AFTER BACKFILL,
AND LEDGE FOR ASPHALT
SURFACE LIFT. 23 SQYD

Additional Public Work's Notes:
New Water Service line must be flushed, pressure tested, chlorinated, and tested per Village Standards.
Bank to be notified one day prior to any work related changes in traffic access patterns.
Non-Shear Mission Couplings to be used.
Public Works to be notified at least two working days prior to any excavation within publi parkways or easements.

GRADING PLAN

New Sales Building

1125 S. Old Rand Road Lake Zurich, IL 60047

LEGEND

DRAINAGE DIRECTION, GENERAL

EXISTING CURB

NEW PAVEMENT AREA

EXISTING COUNTOUR GRADE

PROPOSED COUNTOUR GRADE

SILT FENCE LINE
(can be trenched or secured with sandbags)

STORM INLET/
SILT TRAP INSTALLED

EXISTING GRADE
△ 857.55'

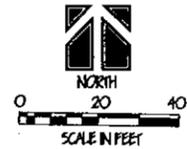
PROPOSED GRADE
● 857.85 FL-FLOW LINE GRADE
● FG-FINISHED GRADE

IMPERVIOUS & LANDSCAPE AREA SUMMARY:

LOT SIZE = 10,058 S.F.

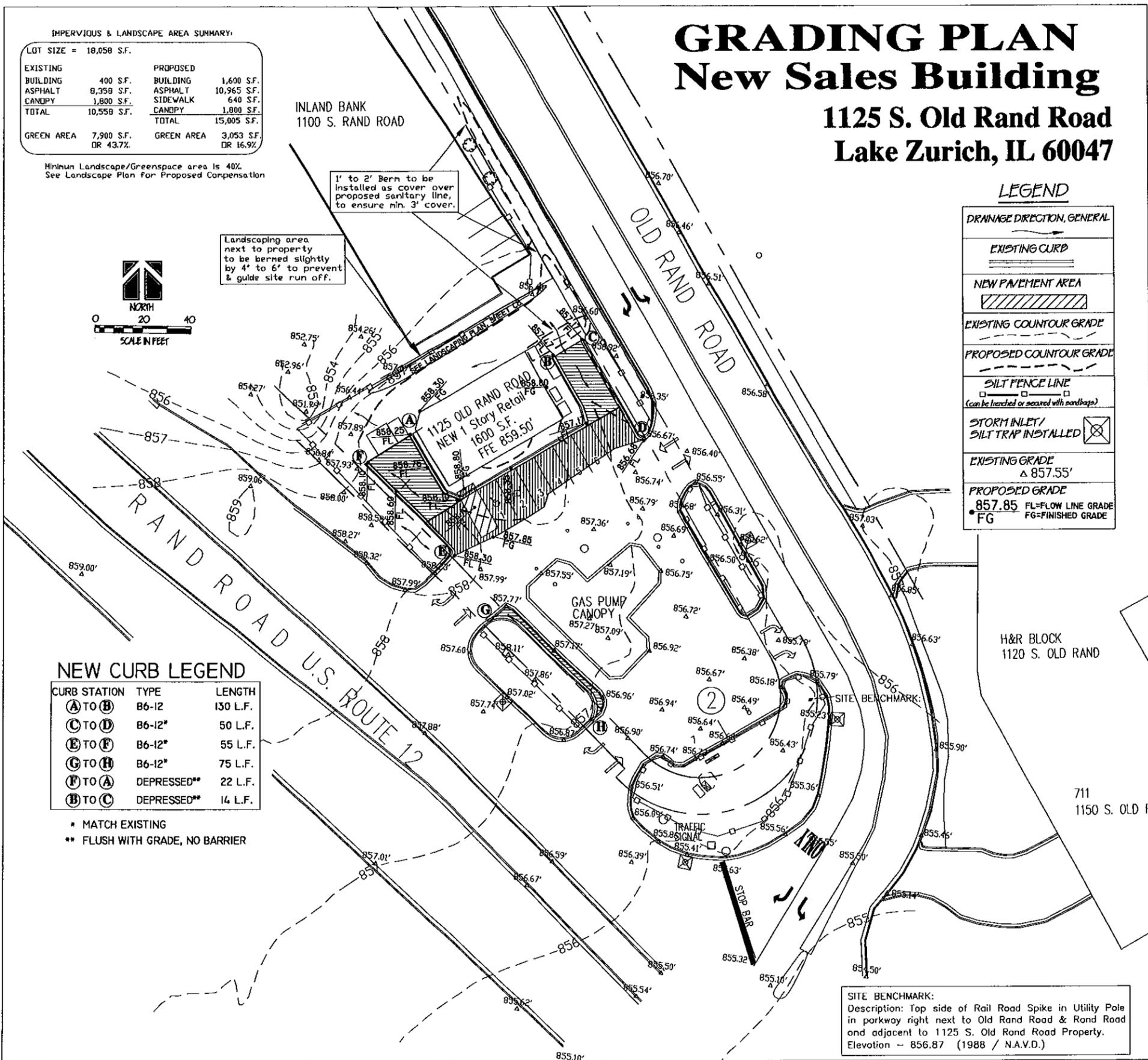
| EXISTING | | PROPOSED | |
|------------|------------------------|------------|------------------------|
| BUILDING | 400 S.F. | BUILDING | 1,600 S.F. |
| ASPHALT | 9,358 S.F. | ASPHALT | 10,965 S.F. |
| CANOPY | 1,800 S.F. | SIDEWALK | 640 S.F. |
| TOTAL | 10,558 S.F. | CANOPY | 1,800 S.F. |
| | | TOTAL | 15,005 S.F. |
| GREEN AREA | 7,900 S.F. DR 43.7% | GREEN AREA | 3,053 S.F. DR 16.9% |

Minimum Landscape/Greenspace area is 40%.
See Landscape Plan For Proposed Compensation



Landscaping area next to property to be bermed slightly by 4' to 6' to prevent & guide site run off.

1' to 2' Berm to be installed as cover over proposed sanitary line, to ensure min. 3' cover.



SOIL EROSION NOTES

SEDIMENT AND EROSION CONTROL

The following measures are included as part of the Sediment and Erosion Control Plan for the proposed development, as indicated on the proposed Site Plan. Control methods that meet the standards of Sections 4 and 7 of the Illinois Urban Manual.

Sediment and erosion control devices shall be functional before land is otherwise disturbed on site.

Silt fence to be placed downstream of all disturbed areas.

A 50 foot long stabilized construction entrance constructed of 2 inch diameter stone will be provided to prevent soil being tracked on public or private roadways. Any soil tracking on public or private roadway will be removed before the end of each day.

Topsoil stockpiles will be located as determined by the Contractor. Silt fence will be provided around the perimeter of any stockpile which is to remain in place more than three days.

Storm sewer inlets will be protected with sediment trapping devices during construction.

The surface of all disturbed areas will be permanently or temporarily protected from soil erosion with temporary seeding and mulching or soil within 15 days after grade is reached. Disturbed areas that will remain undisturbed for more than 15 days after initial disturbance will be protected with temporary seeding and mulching.

BEST MANAGEMENT PRACTICES

The following Best Management Practices have been incorporated into the site design.

Existing drainage patterns are maintained.

Site runoff will be directed to a dry bottom detention basin.

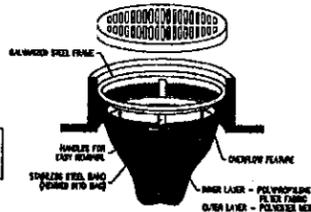
Erosion control measures will be used on site including:

- A stabilized construction entrance.
- Silt fence will be placed downstream of all disturbed areas and around topsoil stockpiles to remain longer than three days.
- Soil protection will be provided at all proposed inlets.

MAINTENANCE SCHEDULE FOR EROSION CONTROL

Maintenance of erosion control measures will be performed by the Contractor. Maintenance will consist of the following:

- Initial erosion control measures to be constructed prior to other on site construction. Install silt fence downstream of disturbed areas. Install construction access drive.
- Repair or remove and replace all fences damaged by contractor operations daily.
- After rain events, or no later than bi-weekly, inspect all erosion control measures and replace or repair as necessary.



CATCH-ALL INLET PROTECTOR
FOR ROUND, RECTANGULAR, BEE-HIVE OR ROLL-TYPE CURB INLETS

SILT FENCE PLAN

SILT FENCE

EROSION BLANKET PLAN

EROSION BLANKET PLAN

SECRET
C6

PROJECT: NEW SALES BUILDING FOR:
MR. JASSI SANDHU
1125 S. OLD RAND ROAD
LAKE ZURICH, IL 60047

PROPOSED GRADING PLAN

Architect:
Joe Meyer & Associates
130 Park Avenue
Barrington, IL 60010
(847) 382-0200
joe@jmsa.com

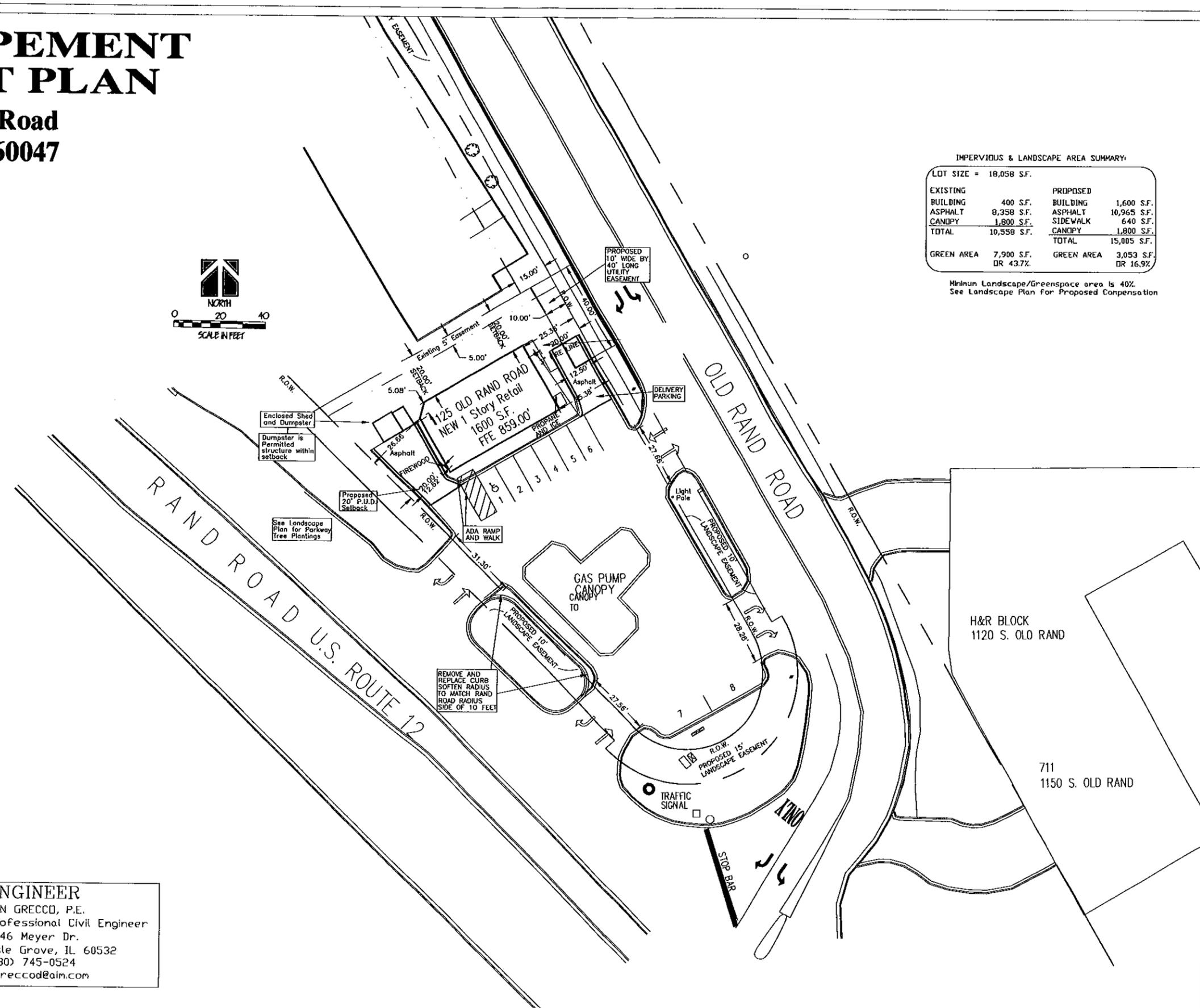
Civil Engineer:
Don Grecco, P.E.
5248 Meyer Drive
Lake, IL 60052
830-745-0224
dgrecco@aol.com

SCALE: AS SHOWN
SHEET: C6
Date: FEBRUARY 13, 2011

SITE BENCHMARK:
Description: Top side of Rail Road Spike in Utility Pole
in parkway right next to Old Rand Road & Rand Road
and adjacent to 1125 S. Old Rand Road Property.
Elevation - 856.87 (1988 / N.A.V.D.)

DEVELOPEMENT CONCEPT PLAN

1125 S. Old Rand Road
Lake Zurich, IL 60047



IMPERVIOUS & LANDSCAPE AREA SUMMARY:

| | | | |
|------------------------|-------------|------------|-------------|
| LOT SIZE = 18,058 S.F. | | | |
| EXISTING | | PROPOSED | |
| BUILDING | 400 S.F. | BUILDING | 1,600 S.F. |
| ASPHALT | 8,358 S.F. | ASPHALT | 10,965 S.F. |
| CANOPY | 1,800 S.F. | SIDEWALK | 640 S.F. |
| TOTAL | 10,558 S.F. | CANOPY | 1,800 S.F. |
| | | TOTAL | 15,005 S.F. |
| GREEN AREA | 7,900 S.F. | GREEN AREA | 3,053 S.F. |
| | DR 43.7% | | DR 16.9% |

Minimum Landscape/Greenspace area is 40%.
See Landscape Plan for Proposed Compensation

OWNER
Attn:
Mr. Jassi Sandhu
1125 S. Old Rand Road
Lake Zurich, IL 60047
(847) 254-1782

ENGINEER
DAN GRECCO, P.E.
Professional Civil Engineer
5246 Meyer Dr.
Lisle Grove, IL 60532
(630) 745-0524
dgreccod@aig.com

PROJECT: NEW SALES BUILDING FOR MR. JASSI SANDHU 1125 S. OLD RAND ROAD LAKE ZURICH, IL 60047

ARCHITECT: Joe Meyer & Associates 135 Park Avenue Barrington, IL 60010 (847) 886-0800 jmeyer-wichman@jebglobal.net

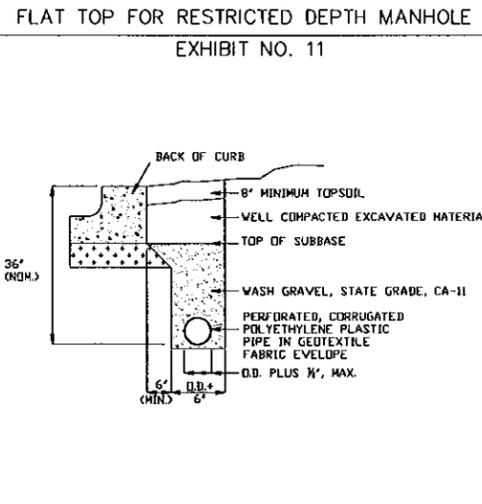
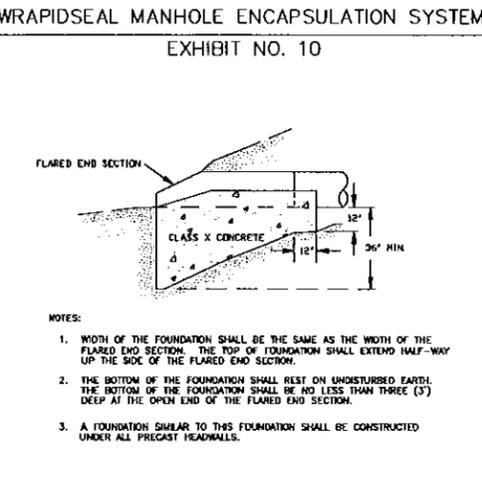
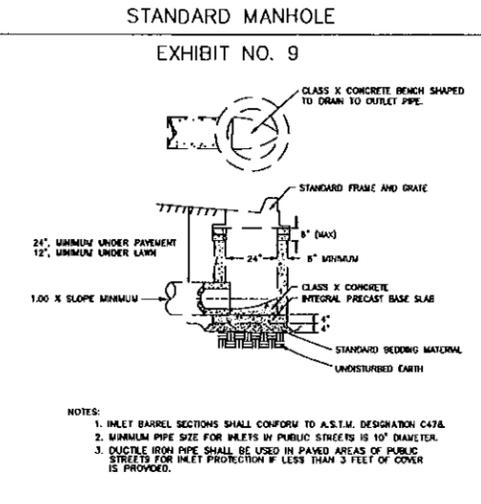
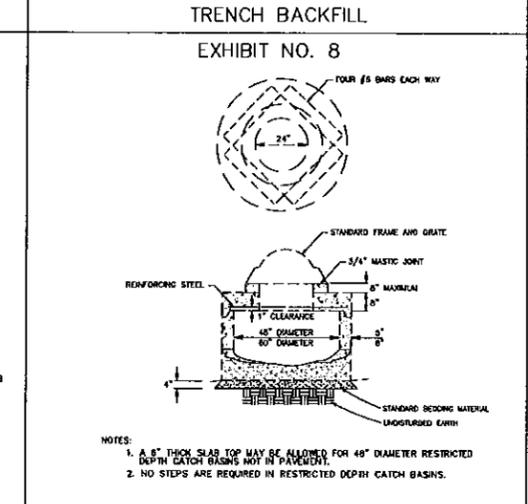
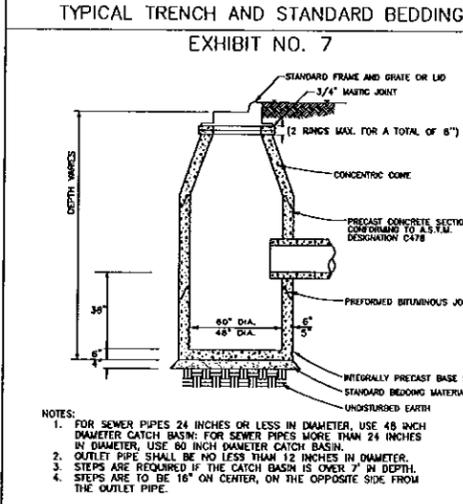
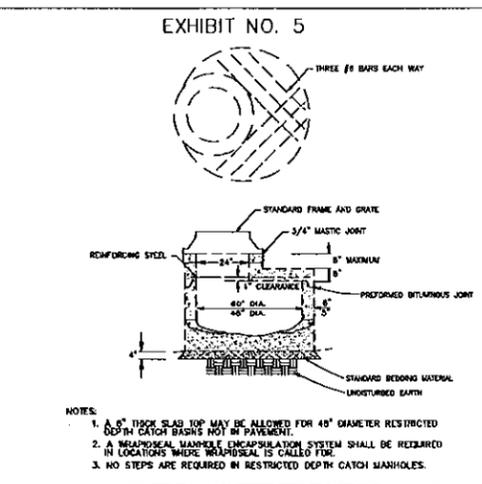
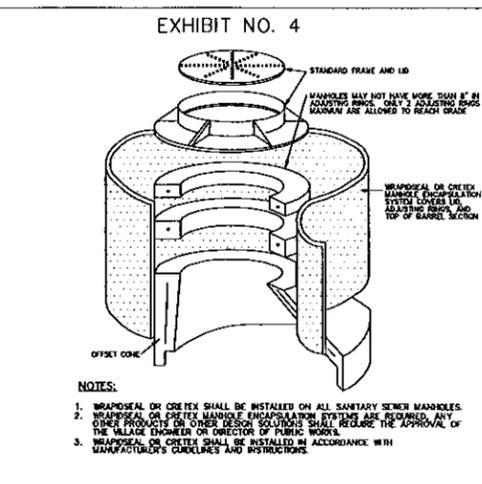
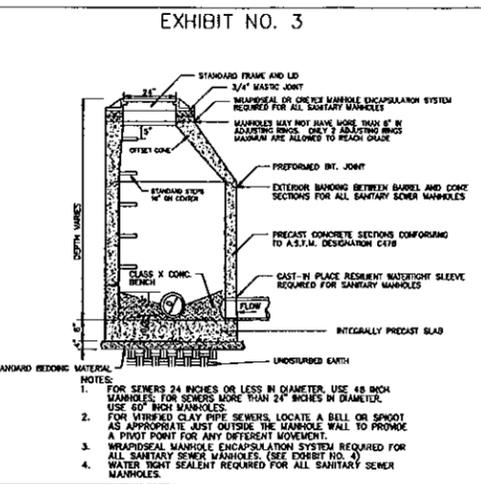
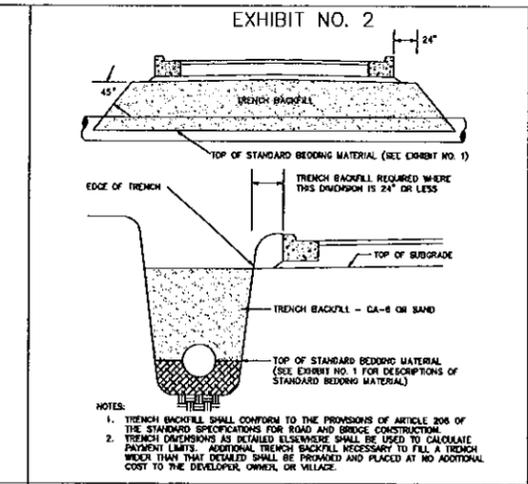
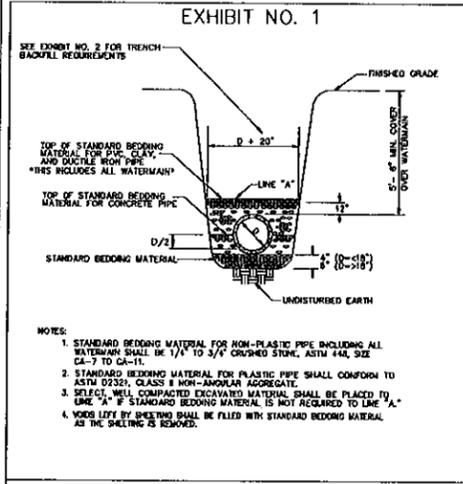
ENGINEER: Dan Grecco, P.E. 5246 Meyer Drive Lisle, IL 60532 (630) 745-0524 dgreccod@aig.com

SCALE: AS SHOWN

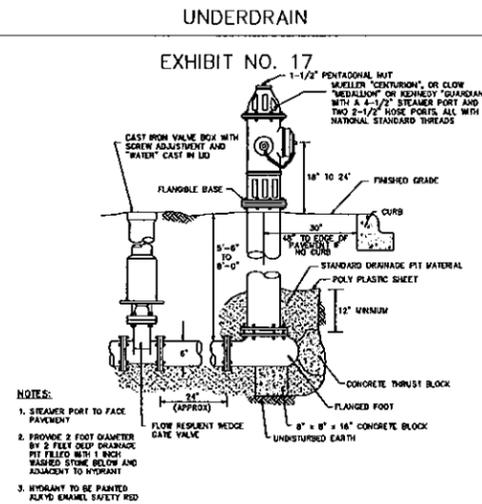
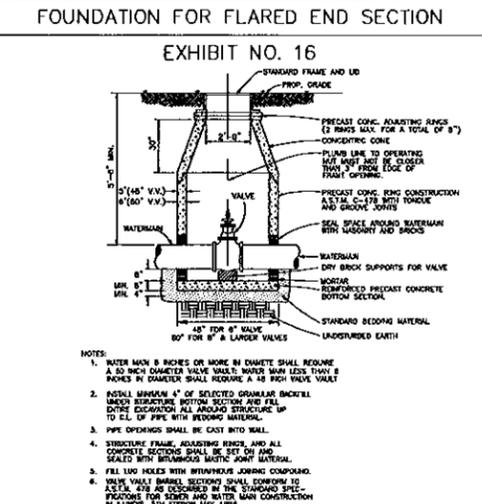
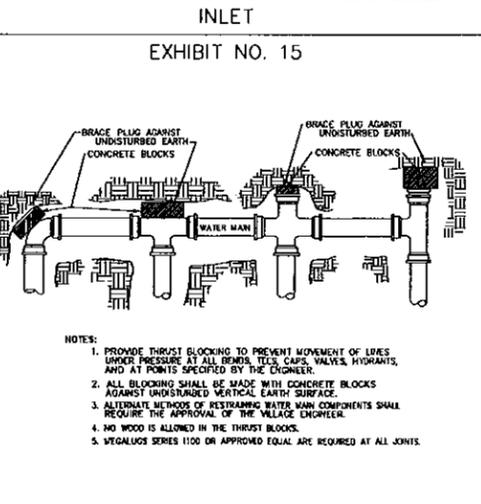
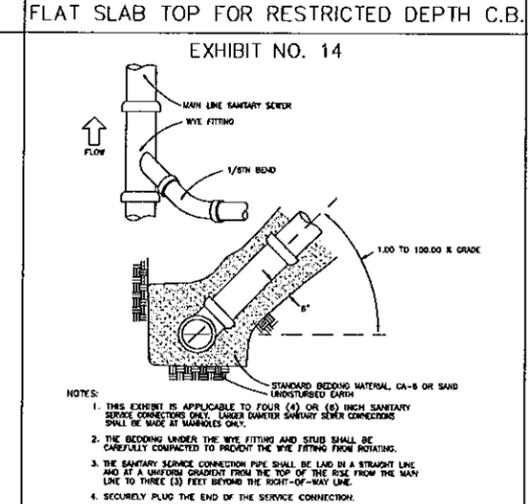
SHEET: C7

Date: FEBRUARY 17, 2011

NOTE: DETAILS ARE NOT TO BE CHANGED IN ANY WAY. LEAVE ALL DETAILS ON SHEET EVEN IF THEY DO NOT APPLY TO CURRENT IMPROVEMENTS. CHANGING OF DETAILS DOES NOT CHANGE REQUIREMENTS.



| STREET | PAVEMENT DESIGN |
|--------------------------------------|--|
| MAJOR | 4" GRANULAR SUB-BASE 9" BITUMINOUS AGGREGATE MIXTURE 2" BITUMINOUS BINDER COURSE 2" BITUMINOUS SURFACE COURSE |
| COLLECTOR | 3" GRANULAR SUB-BASE 6" BITUMINOUS AGGREGATE MIXTURE 2" BITUMINOUS BINDER COURSE 1 1/2" BITUMINOUS SURFACE COURSE |
| MINOR | 3" AGGREGATE BASE COURSE 5" BITUMINOUS AGGREGATE MIXTURE 2" BITUMINOUS BINDER COURSE 1 1/2" BITUMINOUS SURFACE COURSE |
| CUL-DE-SAC | SAME AS MINOR |
| MARGINAL ACCESS | SAME AS MINOR |
| IN BUSINESS AND INDUSTRIAL DISTRICTS | 3" GRANULAR SUB-BASE 8" BITUMINOUS AGGREGATE MIXTURE 3" BITUMINOUS CONCRETE |



MINIMUM STANDARDS FOR STREET DESIGN
 VILLAGE OF LAKE ZURICH
 70 EAST MAIN STREET
 LAKE ZURICH, IL 60047
 (847) 540-1694

| REVISIONS | |
|-----------|--|
| | |
| | |
| | |

VILLAGE OF LAKE ZURICH DETAILS

VALVE VAULT

FIRE HYDRANT

SHEET: C9
 PROJECT: NEW SALES BUILDING FOR MR. JASSI SANDHU 112 S. OLD RAND ROAD LAKE ZURICH, IL 60047

DETAIL SHEET 1

VILLAGE OF LAKE ZURICH DETAILS
 SHEET 1
 PROJECT NO. _DETAILS_
 DATE 1/10/03
 SCALE NTS
 DESIGNED BY DESIGN
 DRAWN BY DTM
 CHECKED BY EL
 SHEET 1
 DATE FEBRUARY 17, 2014

NOTE: DETAILS ARE NOT TO BE CHANGED IN ANY WAY. LEAVE ALL DETAILS ON SHEET EVEN IF THEY DO NOT APPLY TO CURRENT IMPROVEMENTS. CHANGING OF DETAILS DOES NOT CHANGE REQUIREMENTS.

EXHIBIT NO. 13

THESE STANDARDS SUPERCEDE ALL OTHER STANDARDS
LAKE ZURICH UTILITY MATERIAL STANDARDS

SAVARY SEWER
 Pipe: PVC, SDR - 26, meeting requirements of ASTM - 3034
 Depth over 15 feet - SDR 12 or 18
 Service laterals: PVC SDR 40 or better, SDR 35 or 28
 1/4" to 3/4" crushed stone, size CA-7 to CA-11, 1/2" over the top of pipe
 Pre-Cast Concrete with Bands and Rubber Boots
 Coal Iron Frames and Lids: Ranch Type 1 self-sealing Marked "Sanitary Sewer"
 Wrought-Steel Manhole Encapsulation System is required on all sanitary manholes
 Contractor shall be qualified by manufacturer's rep. to install Wrought-Steel
 Enclosure bonding between barrel and cone sections is required
 Manhole must be water tight and sealed from the outside
 Fiberglass steps

Coating
 The coating must be ductile iron or steel
 Manufactured pipe checks must be used between the pipe and coating
 Pipe grommet must be pulled through the coating with concrete mortar on the ends
 Coating to be installed as required by the "Standard Specifications for Water and
 Sewer Construction in Illinois, 5th Edition, 1998, with all services considered as mains
 If PVC pipe (C900) is used, #8 solid copper tracing wire is required for locating purposes

Force Main
 Down Modulus 5 1/4" with Auxiliary Valve
 Kennedy Capeton, 5 1/4" with Auxiliary Valve
 Weather Protection 4 - 612 with Auxiliary Valve
 5 1/4" three-way (2 hose nozzles and 1 jumper nozzle)
 Partial Seal Box
 Class 52 Ductile Iron, cement lined, Neoprene Series 1100 required at all fittings
 Wrapping the watermain with polyethylene film is not permitted
 1/4" to 3/4" crushed stone, size CA-7 to CA-11, 1/2" over the top of pipe
 Clear, American Flow Control
 Kennedy Flashed Wedge
 American Flow Control APC series 500 MPIS
 Resilient Wedge Valve (R/W) General
 Weather Resistant Wedge Valve
 Non-Rising Stem, Mechanical Joint
 Cast Iron Frames and Lids: Ranch Type 1 self-sealing Marked "Water"
 The coating must be ductile iron or steel
 Manufactured pipe checks must be used between the pipe and coating
 Pipe grommet must be pulled through the coating with concrete mortar on the ends
 Coating to be installed as required by the "Standard Specifications for Water and
 Sewer Construction in Illinois, 5th Edition, 1998, with all services considered as mains
 Manhole II - 15000 - 1" Size
 AT McDonald 4701
 Master II-15154 - 1" Stop, Minneapolis Pattern
 AT McDonald 6104
 Master II - 10300 Upper section inside diameter 1 1/4"
 Master II - 10302 Upper section inside diameter 1 1/2"
 Service Line
 Topsoil Sealing
 Manholes

WATERMAIN INSTALLATION SPECIFICATIONS
 1. Watermains shall not be exposed for any reason without the approval of the Superintendent - Utilities.
 2. Filling, miter, pressure connections, pressure tests, tie-ins, and alterations require 48-hour notification to the Superintendent - Utilities.
 3. Pressure connections and tie-ins to the Village systems will be scheduled and witnessed by the Utilities Division personnel.
 4. Once mains are tied to the Village system, no valves or hydrants shall be operated by anyone other than Village Division personnel.
 5. Filling and flushing will be done by the Utilities Division only.
 6. Water for pressure tests will be supplied by the Utilities Division, but it is the responsibility of the contractor to provide a backflow preventer or an approved anti-siphon method before the pump.
 7. Corporation cocks and 1" copper lines for the chlorination and sampling shall be installed at locations determined by the Utilities Division.
 8. Chlorination will not be performed on service lines until all first permanent water valves are installed.
 9. Water vaults for 6" valves and larger must have an inside diameter of 80".

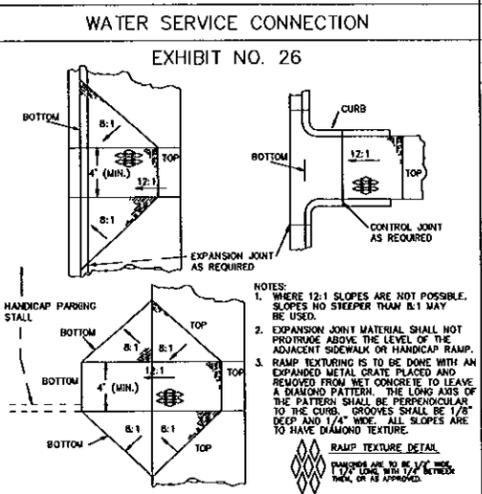
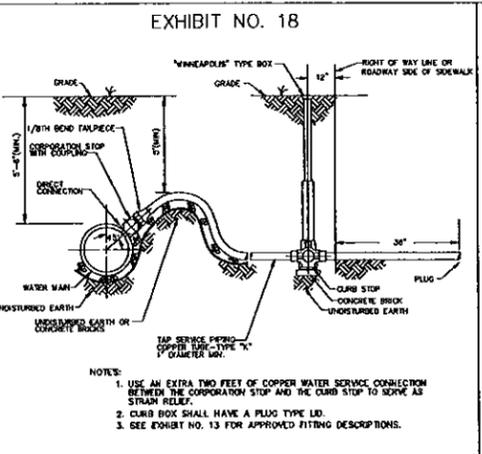
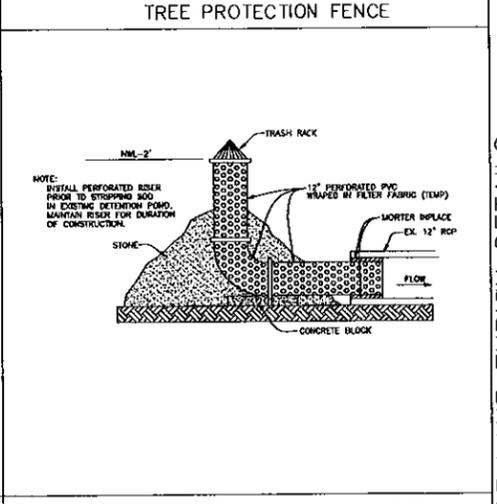
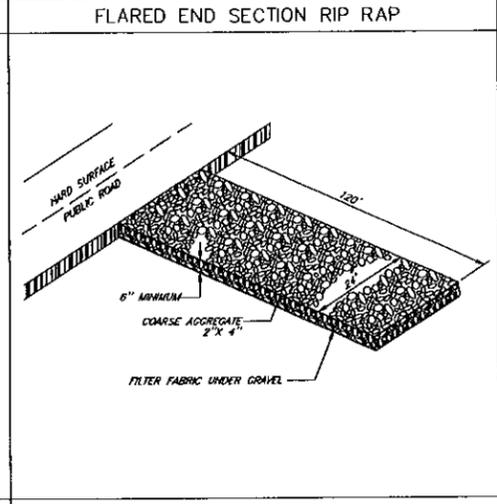
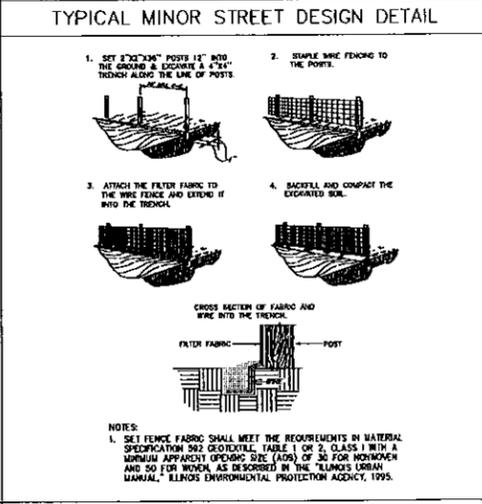
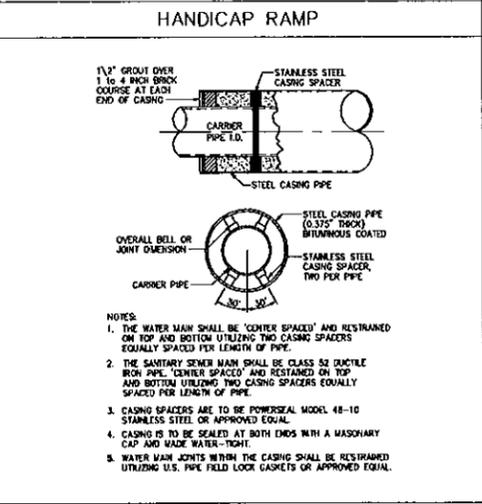
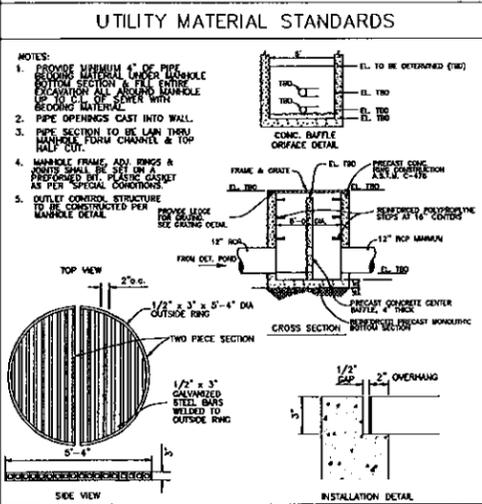
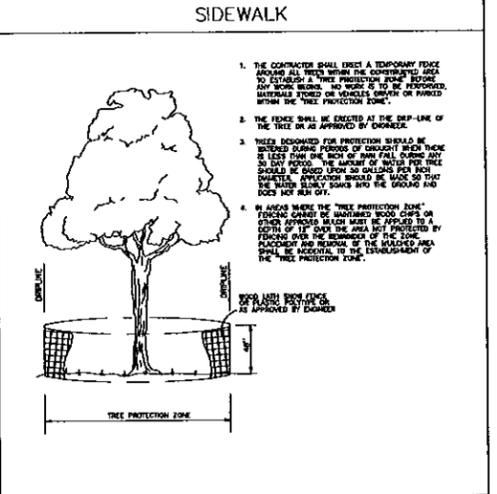
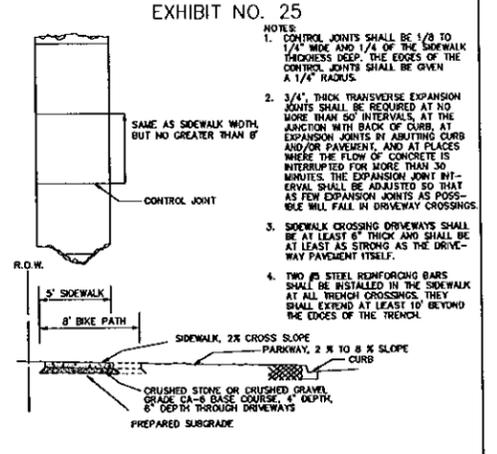
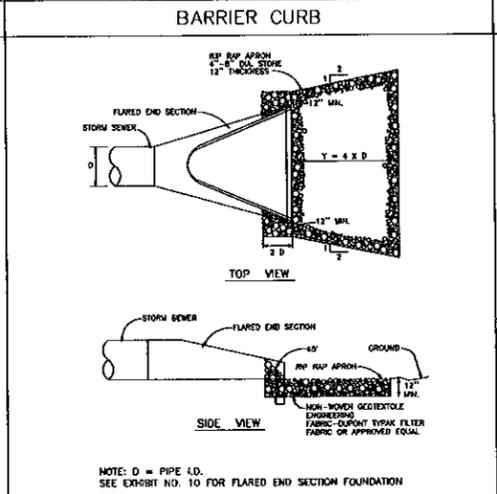
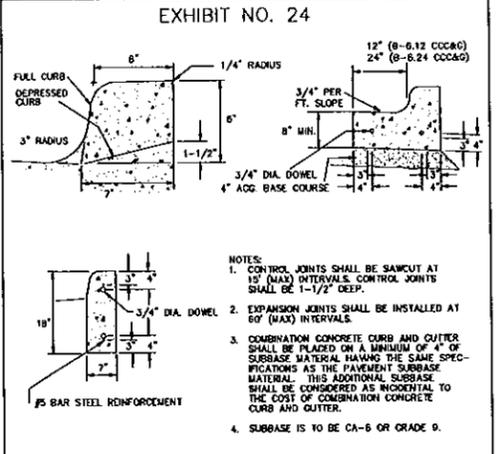
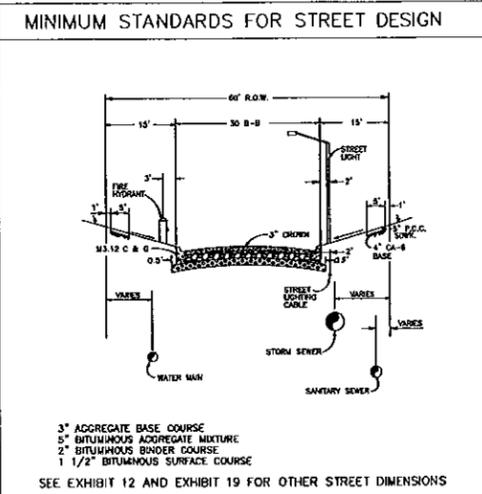


EXHIBIT NO. 19

| STREET | ROOF-OF-WAY WIDTH | PAVEMENT WIDTH | RADIUS OF CURVES | LENGTH OF CURVES | MINIMUM CURVE RADIUS | MAXIMUM GRADE | MINIMUM GRADE | CLEAR SIGHT DISTANCE |
|------------|-------------------|----------------|------------------|------------------|----------------------|---------------|---------------|----------------------|
| MAJOR | 100 FT. | 54 FT. | 500 FT. | 200 FT. | 200 FT. | 5% | 0.5% | 500 FT. |
| COLLECTOR | 80 FT. | 44 FT. | 400 FT. | 150 FT. | 200 FT. | 5% | 0.5% | 400 FT. |
| MAJOR | 60 FT. | 30 FT. | 150 FT. | 100 FT. | - | 6% | 0.5% | 300 FT. |
| COLLECTOR | 40 FT. | 20 FT. | 100 FT. | 75 FT. | - | 6% | 0.5% | 200 FT. |
| INDUSTRIAL | 80 FT. | 30 FT. | 400 FT. | 200 FT. | 100 FT. | 6% | 0.5% | 200 FT. |
| INDUSTRIAL | 80-100 FT. | 54 FT. | 500 FT. | 200 FT. | 200 FT. | 5% | 0.5% | 500 FT. |

PAVEMENT WIDTHS ARE MEASURED BACK OF CURB TO BACK OF CURB AND INCLUDE ADDITIONAL WIDTH FOR ON-STREET PARKING.
 (a) 200 FT. (50) FEET FOR EACH ONE (1) PERCENT AVERAGE DIFFERENCE OF GRADE BUT IN NO CASE LESS THAN TWO HUNDRED (200) FEET.
 (b) 400 FT. (60) FEET FOR EACH ONE (1) PERCENT AVERAGE DIFFERENCE OF GRADE BUT IN NO CASE LESS THAN ONE HUNDRED (100) FEET.



OUTLET CONTROL STRUCTURE
 VILLAGE OF LAKE ZURICH
 70 EAST MAIN STREET
 LAKE ZURICH, IL 60047
 (847) 540-1694

EXHIBIT NO. 18

PIPE CASING DETAIL

| NO. | REVISIONS |
|-----|-----------|
| | |
| | |
| | |
| | |

SILT FENCE DETAIL

GRAVEL CONSTRUCTION ENTRANCE

TEMPORARY PERFORATED RISER DETAIL

VILLAGE OF LAKE ZURICH DETAILS SHEET 2

PROJECT NO. DETAILS
 DATE 1/10/03
 SCALE NTS
 DESIGNED BY DESIGN
 DRAWN BY DTM
 CHECKED BY EL

SHEET 2 OF 3

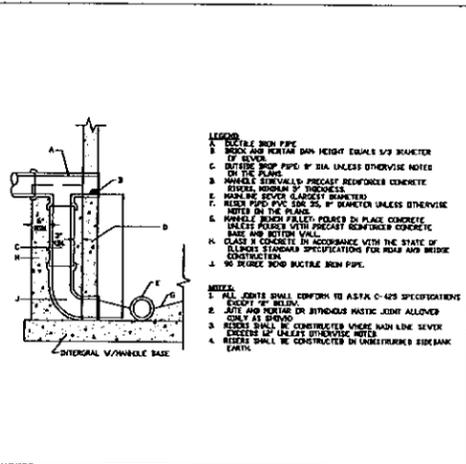
PROJECT NO. DETAILS
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 CHECKED BY EL

PROJECT NO. DETAILS
 DATE 1/10/03
 SCALE NTS
 DESIGNED BY DESIGN
 DRAWN BY DTM
 CHECKED BY EL

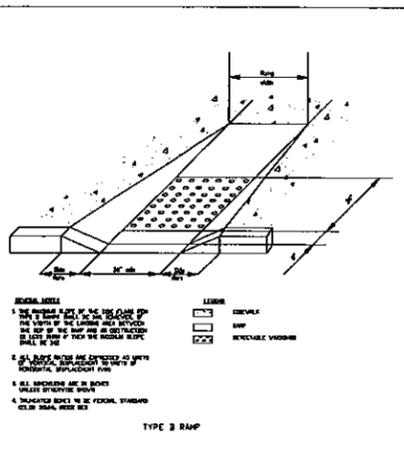
PROJECT NO. DETAILS
 DATE 1/10/03
 SCALE NTS
 DESIGNED BY DESIGN
 DRAWN BY DTM
 CHECKED BY EL

SHEET: C10
 PROJECT: NEW SALES BUILDING FOR MR. JASSI SANDHU 115 S. OLD RAND ROAD LAKE ZURICH, IL 60047
 DETAILS, 2 OF 3
 Architect: Joe Ayres & Associates 135 Park Avenue Barrington, IL 60010 (847) 382-0200
 Civil Engineer: Dan Gracco, P.E. 5260 Meyer Drive Lake, IL 60052 (847) 745-0504
 DATE: FEBRUARY 13, 2014

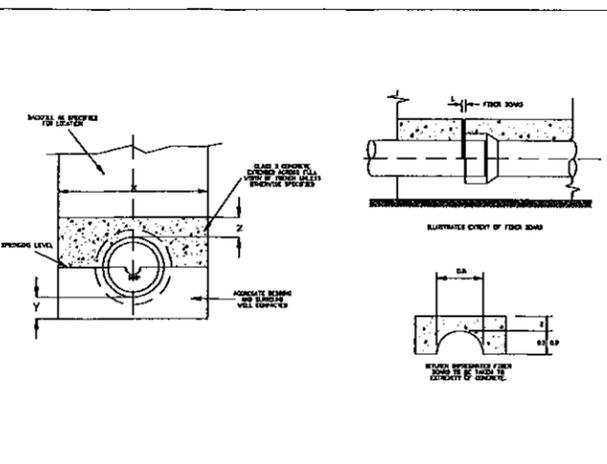
NOTE: DETAILS ARE NOT TO BE CHANGED IN ANY WAY. LEAVE ALL DETAILS ON SHEET EVEN IF THEY DO NOT APPLY TO CURRENT IMPROVEMENTS. CHANGING OF DETAILS DOES NOT CHANGE REQUIREMENTS.



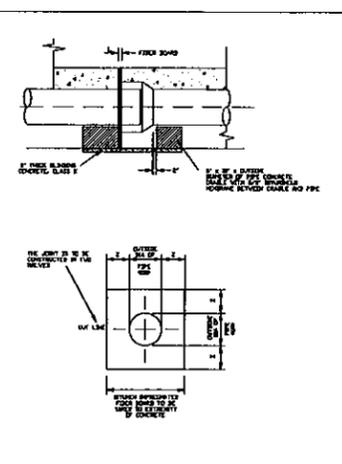
OUTSIDE DROP PIPE DETAIL



HANDICAP RAMP DETAIL



MASS CONCRETE ARCH



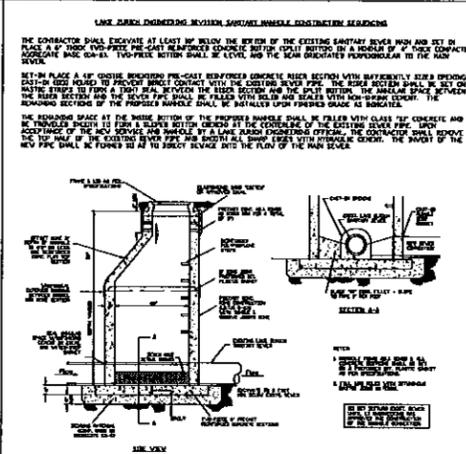
FLEXIBLE JOINT

| PIPE | 1 MIN | 2 MIN | 3 MIN | 4 MIN |
|------|-------|-------|-------|-------|
| 12" | 12" | 12" | 12" | 12" |
| 15" | 15" | 15" | 15" | 15" |
| 18" | 18" | 18" | 18" | 18" |
| 21" | 21" | 21" | 21" | 21" |
| 24" | 24" | 24" | 24" | 24" |
| 27" | 27" | 27" | 27" | 27" |
| 30" | 30" | 30" | 30" | 30" |
| 36" | 36" | 36" | 36" | 36" |
| 42" | 42" | 42" | 42" | 42" |
| 48" | 48" | 48" | 48" | 48" |
| 54" | 54" | 54" | 54" | 54" |
| 60" | 60" | 60" | 60" | 60" |
| 66" | 66" | 66" | 66" | 66" |
| 72" | 72" | 72" | 72" | 72" |
| 78" | 78" | 78" | 78" | 78" |
| 84" | 84" | 84" | 84" | 84" |
| 90" | 90" | 90" | 90" | 90" |

NOTES

1. ALL DETAILS SHALL CONFORM TO ASPA C-105 SPECIFICATIONS EXCEPT AS NOTED
2. ALL JOINTS SHALL BE CONSTRUCTED WITH JOINTS ALLOWED ONLY AT MANHOLE
3. ALL JOINTS SHALL BE CONSTRUCTED WITH JOINTS ALLOWED ONLY AT MANHOLE
4. RINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION

BEDDING DETAILS: PIPES IN SINGLE TRENCHES



STANDARD MH CONSTR. OVER EXSTG SEWER

VILLAGE OF LAKE ZURICH
70 EAST MAIN STREET
LAKE ZURICH, IL 60047
(847) 540-1694

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |

VILLAGE OF LAKE ZURICH DETAILS

SHEET 3

| | | |
|-------------|---------|-------|
| PROJECT NO. | DETAILS | SHEET |
| DATE | 7/31/03 | 3 |
| SCALE | NTS | 3 |
| DESIGNED BY | RK | 3 |
| DRAWN BY | RK | 3 |
| CHECKED BY | EL | 3 |

VILLAGE OF LAKE ZURICH DETAILS

PROJECT: NEW SALES BUILDING FOR MR. JASSI SANDHU 1125 S. OLD RAND ROAD LAKE ZURICH, IL 60047

ARCHITECT: Joe Meyer & Associates 135 Park Avenue Barrington, IL 60010 (847) 385-0200 jmeyer-wichman@msaglobal.net

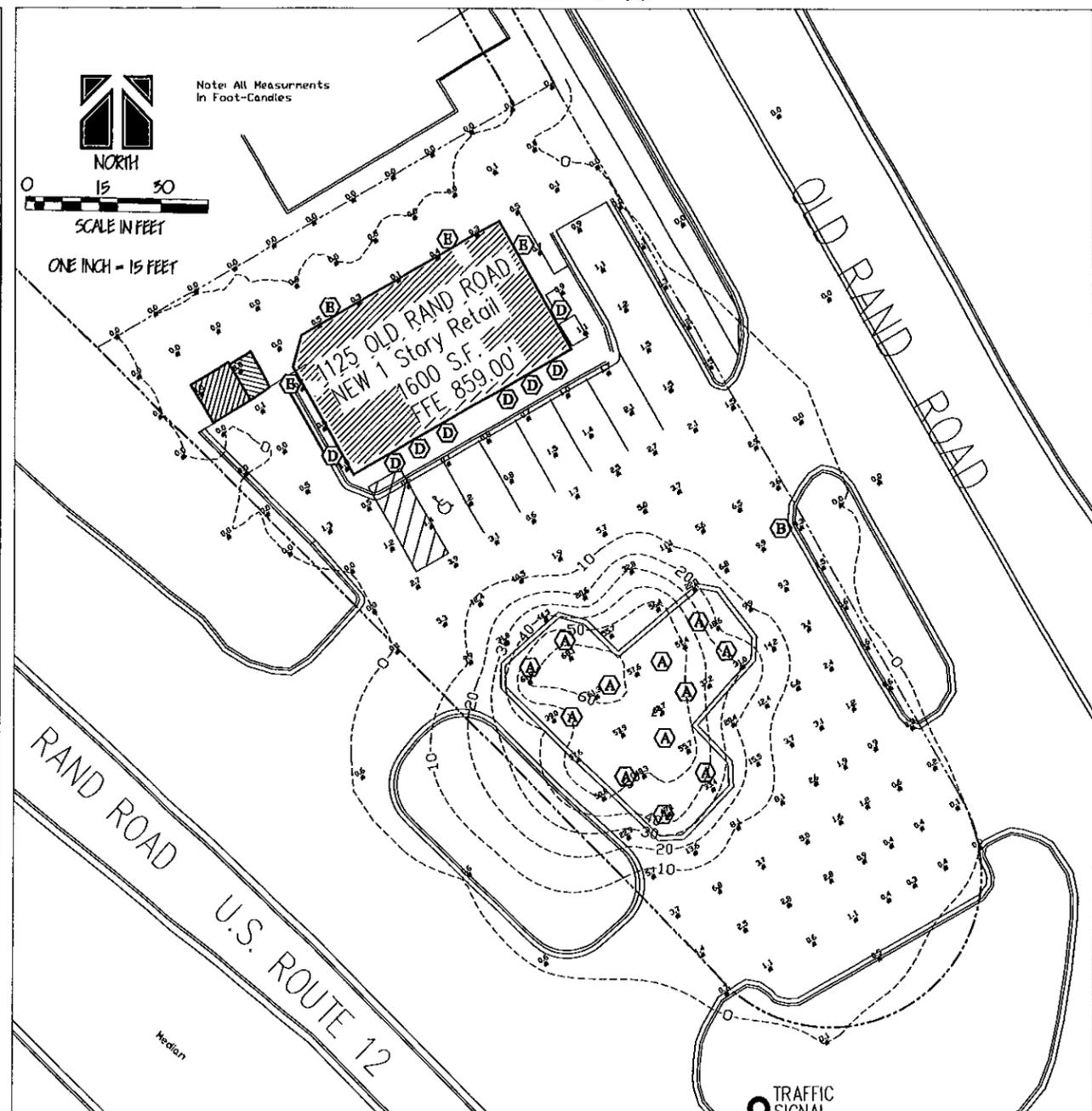
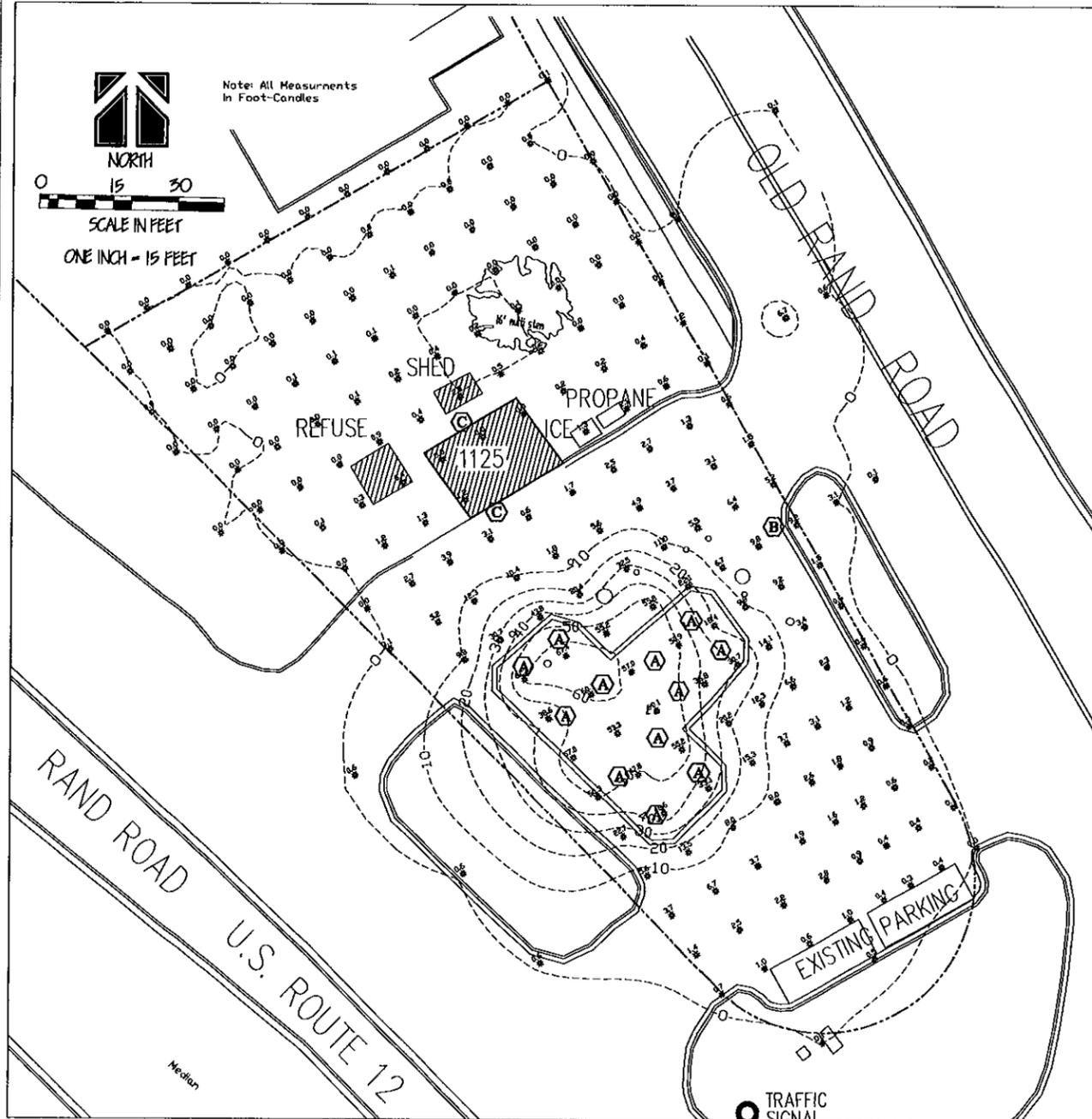
ENGINEER: Don Grecco, P.E. 6048 Meyer Drive Lake, IL 60032 810-745-0524 dgrecco@att.net

DATE: FEBRUARY 17, 2011

SHEET: C11

EXISTING SITE 1125 S. Old Rand Road PHOTOMETRICS Lake Zurich, IL 60047

PROPOSED SITE 1125 S. Old Rand Road PHOTOMETRICS Lake Zurich, IL 60047



Existing Lighting Summary⁺

Maximum: 68.3 F.C.*
Minimum: 0.0 F.C.
Average: 7.2 F.C.

Lighting Legend

- A** 127 Watt L.E.D, recessed within Canopy
- B** 300 Watt L.E.D, Pole Mounted Spot
- C** 300 WATT H.P.S., Spot Mounted on Building
- D** 8 Watt L.E.D, Gooseneck, shielded
- E** 8 Watt L.E.D, Wall mounted with cutoff optics

Proposed Lighting Summary⁺

Maximum: 68.3 F.C.*
Minimum: 0.0 F.C.
Average: 7.3 F.C.

ENGINEER

DAN GRECCO, P.E.
Professional Civil Engineer
5246 Meyer Dr.
Liste Grove, IL 60532
(630) 745-0524
dgrecco@aim.com

OWNER

Mr. Jassi Sandhu
1125 S. Old Rand Road
Lake Zurich, IL 60047
(847) 254-1782

⁺ Overall Lighting Levels reduced by 1/3 from previous submittal, due to recalibrating of digital light meter.

*Previous unconverted lux reading measurement corrected.

PROJECT: NEW SALES BUILDING FOIL
MR. JASSI SANDHU
1125 S. OLD RAND ROAD
LAKE ZURICH, IL 60047

EXISTING & PROPOSED
SITE PHOTOMETRICS

Architect:
Joe Meyer & Associates
135 Park Avenue
Barrington, IL 60010
(847) 382-0200
joe@jmea.com

Civil Engineer:
Dan Grecco, P.E.
5246 Meyer Drive
Liste, IL 60532
(630) 745-0524
dgrecco@aaim.com

SCALE: AS SHOWN

SHEET: C12

Date: FEBRUARY 11, 2014

DOOR SCHEDULE

| NO. | ROOM | SIZE | THICKNESS | STYLE | MATERIAL | FRAME | NOTES |
|-----|---------------|----------------------|-----------|-----------------------|--------------------|--------------|---|
| 1 | SALES | 6'-0" X 7'-0" | 1 3/4" | 1 3/4" | GLAZED W/ ALUMINUM | HOLLOW METAL | 1 1/2" PAIR BUTTS, LEVER HANDLE LOCKSET, CLOSER, PIANO HINGED |
| 2 | STORAGE | 3'-0" X 7'-0" | 1 3/4" | FLUSH PANEL | SOLID WOOD | WOOD | 1 1/2" PAIR BUTTS, LEVER HANDLE LOCKSET, CLOSER |
| 3 | ADA | 3'-0" X 7'-0" | 1 3/4" | FLUSH PANEL | SOLID WOOD | WOOD | 1 1/2" PAIR BUTTS, LEVER HANDLE, PRIVACY LOCK, CLOSER |
| 4 | MEDIA/STORAGE | 3'-0" X 7'-0" | 1 3/4" | FLUSH W/ VISION GLASS | SOLID WOOD | WOOD | 1 1/2" PAIR BUTTS, LEVER HANDLE LOCKSET, DEADBOLT, CLOSER |
| 5 | COOLER | BY MANUF. 3'-0" MAX. | 1 3/4" | BY MANUF. | BY MANUF. | BY MANUF. | BY MANUF. |
| 6 | SPRINKLER | 3'-0" X 7'-0" | 1 3/4" | FLUSH PANEL | HOLLOW METAL | HOLLOW METAL | 1 1/2" PAIR BUTTS, LEVER HANDLE LOCKSET, DEADBOLT, CLOSER |
| 7 | CASHER | 3'-0" X 3'-6" | 1 3/4" | FLUSH (GATE) | SOLID WOOD | WOOD | HINGED CLOSER, SLIDE BOLT |

ROOM FINISH SCHEDULE

| NO. | ROOM | FLOOR | BASE | WALLS | CEILING | HEIGHT | NOTES |
|-----|---------------|-----------------|---------|----------------|---------------|-----------|---------------------|
| 100 | SALES | CERAMIC TILE | 4" VYNL | GYPSUM PAINTED | 2X2 SUSPENDED | 10'-0" | NON-SLIP FLOOR TILE |
| 101 | CASHER | CERAMIC TILE | 4" VYNL | GYPSUM PAINTED | 2X2 SUSPENDED | 10'-0" | |
| 102 | STORAGE | SEALED CONCRETE | 4" VYNL | FRP BOARD | 2X2 SUSPENDED | 10'-0" | |
| 103 | ADA | CERAMIC TILE | 4" VYNL | FRP PANELS | 2X2 SUSPENDED | 10'-0" | FRP PANEL WALLS |
| 104 | MEDIA/STORAGE | SEALED CONCRETE | 4" VYNL | FRP BOARD | 2X2 SUSPENDED | 10'-0" | CLEAN CEILING |
| 105 | COOLER | SEALED CONCRETE | NONE | BY MANUF. | BY MANUF. | BY MANUF. | |
| 106 | SPRINKLER | SEALED CONCRETE | NONE | GYPSUM PAINTED | NONE | VARIABLE | |

ALL WALL AND CEILING FINISHES SHALL HAVE A CLASS C RATING PER ASTM E 84 WITH A FLAME SPREAD RATING OF 10-200 AND A SMOKE DEVELOPED RATING OF 0-450.

FRP - FIBERGLASS REINFORCED POLYESTER PANELS BY KE-LITE OR EQAL.

MASONRY

1. CLAY BRICK AND CONCRETE MASONRY CONSTRUCTION SHALL CONFORM TO THE AMERICAN STANDARD BUILDING CODE REQUIREMENTS FOR MASONRY AS ADOPTED BY THE U.S. DEPARTMENT OF COMMERCE, LATEST EDITION, AND TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, ISSUED BY THE AMERICAN CONCRETE INSTITUTE/AMERICAN SOCIETY OF CIVIL ENGINEERS (ACI 308-BRIDGE 8-88).

2. GIVEN DESIGN DATA ASSUMES THE EXISTENCE OF ADEQUATE FIELD TESTS AND SUPERVISION OF CONSTRUCTION, FULFILLING THE "WITH INSPECTION" CRITERIA OF THE CODE.

3. MASONRY MATERIALS SHALL CONFORM TO THE LATEST EDITIONS OF THE SPECIFICATIONS:

- A. FACING BRICK, ASTM C76, TYPE F88, GRADE 8J WITH AN "N" RATING OF ABSORPTION BETWEEN 10 AND 25 (PERVAZ 60). MINIMUM COMPRESSIVE STRENGTH SHALL BE 3000 PSI.
- B. HOLLOW LOAD-BEARING CONCRETE BLOCK, ASTM C90, GRADE N. MINIMUM COMPRESSIVE STRENGTH SHALL BE 2000 PSI (NET AREA OF UNIT). CONCRETE MASONRY UNITS SHALL BE OF MODULI HEIGHT 165-175 PCF.
- C. PORTLAND CEMENT, PORTLAND CEMENT, TYPE 1.
- D. METAL WIRES USED AS TIES AND ANCHORS, ASTM A62, GALVANIZED IN ACCORDANCE WITH ASTM A65 CLASS B2 (1.5 OZ. PER SQ. FT.). PROVIDE CERTIFICATION OF GALVANIZATION.
- E. REINFORCEMENT, WHEN INDICATED, SHALL BE ASTM A65, GRADE 60.

4. PRIOR TO DELIVERY OF MASONRY UNITS TO THE JOB SITE, FURNISH THE ARCHITECT WITH AFFIDAVITS FROM AN APPROVED TESTING LABORATORY CERTIFYING THAT ALL UNITS CONFORM TO THEIR RESPECTIVE ASTM REQUIREMENTS.

5. PORTLAND CEMENT SHALL BE TESTED BY AN APPROVED TESTING LABORATORY IN ACCORDANCE WITH ASTM C70. TWO SETS OF THREE PORTLAND CEMENT SHALL BE TAKEN AT RANDOM FOR EACH DAY OF MASONRY WORK. TEST ONE CUBE OF EACH SET AT 1 DAY AND 28 DAYS. THE THIRD CUBE TO BE TESTED AT 56 DAYS, ONLY IF REQUIRED BY THE DUNER'S MATERIALS TESTING AGENCY.

6. AIR TREATMENT, CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING SALT SHALL NOT BE INCLUDED IN PORTLAND CEMENT.

7. NO EXTERIOR MASONRY SHALL BE Laid WHEN OUTSIDE AIR TEMPERATURE IS LESS THAN 40 DEGREES F, UNLESS ADEQUATE PROTECTION IN ACCORDANCE WITH SECTION 23.7.2, "COLD WEATHER CONSTRUCTION," OF ACI 308-BRIDGE 8-88, SPECIFICATIONS FOR MASONRY STRUCTURES, IS PROVIDED.

8. MASONRY WALLS SHALL BE ADEQUATELY BRACED DURING THEIR ERECTION AND UNTIL THEIR DESIGN SUPPORTS ARE IN PLACE TO WITHSTAND A HORIZONTAL LOAD OF 20 PER.

9. TYPICAL JOINT REINFORCING SHALL BE #3 GA. CONTINUOUS BARS WITH #3 GA. CROSS TIES, AND SHALL BE INSTALLED AT 16" VERTICAL SPACINGS. IN ADDITION, ONE LAYER OF REINFORCING SHALL BE LOCATED AT EACH FLOOR SLAB LEVEL, AND ONE AT THE FIRST COURSE ABOVE ALL WINDOW OPENINGS.

10. BRICK VENEER SHALL BE TIED TO BACKUP WALL WITH TIES AT MAXIMUM 16" X 24" SPACINGS. TIES SHALL BE #3 GA. WIRE HOT DIP GALVANIZED. IF ADJUSTABLE WALL TIES ARE USED, MAXIMUM TIE SPACING SHALL BE REDUCED TO 16" X 16" OR 24" X 12".

11. MASONRY WALLS SHALL BE TIED TO STEEL/CONCRETE FRAME USING FLEXIBLE ANCHORS, 3/4" VERTICAL SPACINGS AT ALL COLUMNS, 12" HORIZONTAL SPACINGS AT ALL BEAMS. FOR CONCRETE FRAME, PROVIDE DOVETAIL AND NOTCHES.

12. PORTLAND GROUT USED FOR REINFORCED MASONRY CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF ASTM SPECIFICATIONS C796, STANDARD SPECIFICATIONS FOR PORTLAND GROUT FOR REINFORCED MASONRY, EXCEPT THAT PORTLAND SHALL ALSO COMPLY WITH THE REQUIREMENTS OF ASTM SPECIFICATION C770.

13. MINIMUM COMPRESSIVE STRENGTH FOR PORTLAND AT 28 DAYS SHALL BE AS FOLLOWS: TYPE 8.....3500 PSI

14. MINIMUM COMPRESSIVE STRENGTH FOR GROUT AT 28 DAYS SHALL BE 3000 PSI UNLESS NOTED ON DRAWINGS.

15. USE OF ADMIXTURES IN GROUT AND MORTAR IS NOT PERMITTED UNLESS ACCEPTED BY STRUCTURAL ENGINEER.

16. SUBMIT TYPE AND PROPORTIONS OF THE INGREDIENTS COMPOSING THE GROUT MIXTURES TO BE USED, INCLUDE A LETTER CERTIFYING COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ALSO, SUBMIT LETTERS AT THE TIME OF DELIVERY.

17. SLUMP OF GROUT SHALL BE BETWEEN 8 IN. AND 11 IN.

18. GROUT LIFT HEIGHT SHALL NOT EXCEED 4 FT. IN WALLS OR PERS, TERMINATE GROUT POINTS APPROXIMATELY 1 IN. BELOW TOP OF MASONRY.

19. CONSOLIDATE GROUT AT TIME OF PLACEMENT. FOR GROUT POURS LESS THAN 9 IN. IN HT., GROUT SHALL BE CONSOLIDATED BY MECHANICAL VIBRATION OR BY POUNDING. FOR GROUT POURS EXCEEDING 9 IN. IN HT., CONSOLIDATE GROUT BY MECHANICAL VIBRATION AND RECONSOLIDATE BY MECHANICAL VIBRATION AFTER INITIAL WATER LOSS AND SETTLEMENT HAS OCCURRED.

20. FINE GROUT SHALL BE USED IN GROUT SPACES OF 2 IN. OR LESS. OTHERWISE COARSE GROUT MAY BE USED. IN GROUT SPACES EXCEEDING WIDTH OF 8 IN., COARSE GROUT USING 3/4" AGGREGATE MAY BE USED.

21. LAP SPACES FOR REINFORCEMENT USED IN REINFORCED MASONRY CONSTRUCTION SHALL BE 50 BAR DIAMETERS.

22. REINFORCEMENT SHALL BE SUPPORTED AND SECURED AGAINST DISPLACEMENT BEFORE GROUTING. NO REINFORCEMENT MAY BE INSTALLED AFTER GROUT IS PLACED.

SPRINKLER NOTE:

PRIOR TO THE ISSUANCE OF A BUILDING PERMIT THE SPRINKLER CONTRACTOR MUST BE ON FILE WITH THE BUILDING DEPARTMENT. SPRINKLER CONTRACTOR TO PROVIDE FINAL SPRINKLER DRAWINGS FOR SUBMITTAL AND REVIEW BY BUILDING AND FIRE AUTHORITIES.

THE BUILDING IS TO BE CONSTRUCTED WITH AN APPROVED AUTOMATIC FIRE SUPPRESSION SYSTEM THAT MEETS THE STANDARDS OF NFPA 13 OR OTHER NFPA STANDARDS SPECIFIED BY THE FIRE CODE.

THE BUILDING FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL BE ELECTRICALLY MONITORED WITH THE ALARM TRANSMITTED TO THE LAKE ZURICH DISPATCH CENTER IN ACCORDANCE WITH NFPA 72 FOR RETIRED STATIONS. ALL NEW CONTROL VALVES, INCLUDING REQUIRED ZONE VALVES SHALL BE INSTALLED THREE TO FIVE FEET IN HEIGHT ABOVE THE FLOOR.

ALL FIRE SUPPRESSION, DETECTION AND ALARM SYSTEMS SHALL BE MONITORED WITH THE ALARM BEING TRANSMITTED TO THE LAKE ZURICH DISPATCH CENTER IN ACCORDANCE WITH NFPA 72 FOR RETIRED STATIONS. ALL SUCH NEW CONNECTIONS SHALL BE MADE BY WIRELESS TRANSMISSION, COMPATIBLE WITH THE VILLAGE'S WIRELESS ALARM NETWORK, UNLESS BECAUSE OF EXCEPTIONAL CIRCUMSTANCES, PRIOR WRITTEN APPROVAL OF A TELEPHONIC CONNECTION IS GRANTED BY THE LAKE ZURICH FIRE CHIEF.

WALL ASSEMBLY SCHEDULE:

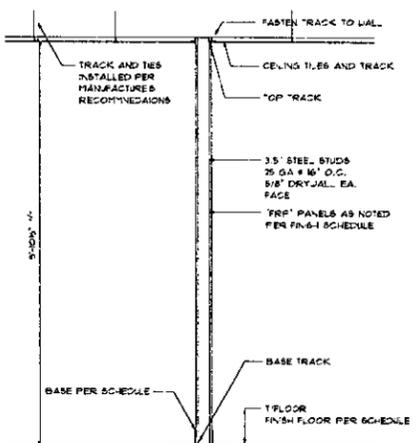
- A. 4" FACE BRICK 6" CMU BLOCKS TIED WITH HORIZONTAL REINFORCING 16" O.C. VERTICALLY, CONTINUOUS BRASS FLASHING WITH WEBS 1/4" O.C. VAPOR BARRIER AND RGD INSULATION (R 14.0) 2" CHANNEL HURRING TO BLOCK, 5/8" DRYWALL (STANDARDS U. 263 DESIGN NO. 514)
- B. 10" 8" FACE CONCRETE BLOCK (CMU) WITH HORIZONTAL REINFORCING 16" O.C. VERTICALLY, CONTINUOUS BRASS FLASHING WITH WEBS 1/4" O.C. VAPOR BARRIER AND RGD INSULATION (R 14.0) 2" CHANNEL METAL FLASHING TO BLOCK WITH 5/8" DRYWALL (STANDARDS U. 263 DESIGN NO. 514)
- C. 3 1/2" 16 GA. ST. WALL WITH 5/8" DRYWALL EACH FACE GUE AND BOBBI.
- D. COOLER WALLS BY MANUFACTURER.

WINDOW NOTE:

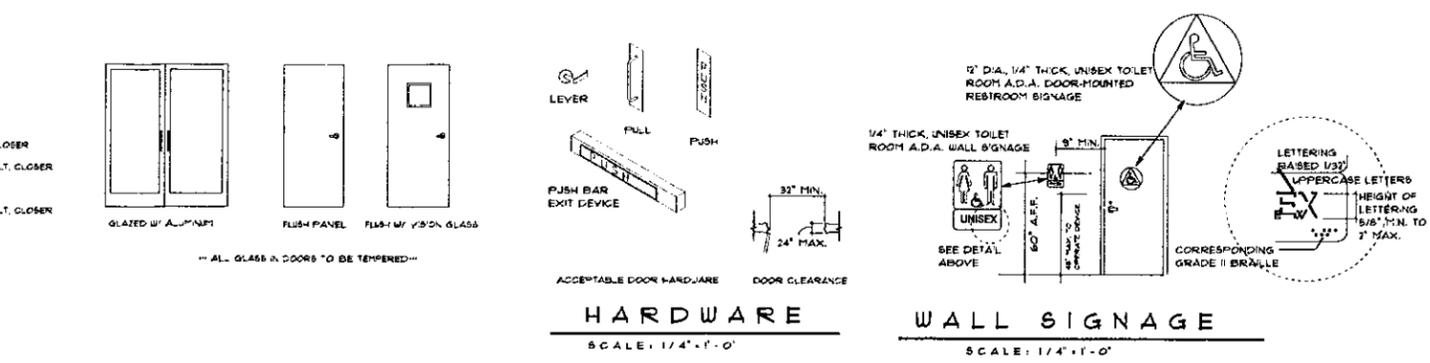
ALL WINDOWS ARE TO BE CONSTRUCTED OF ALUMINUM FRAMES WITH FIXED TYPED DOUBLE GLASS. PROVIDE FLANGE EXTENSION TO MEET STONE SILL.

REQUIRED U-FACTOR: 0.38 FIXED PENETRATION, 0.45 OPERABLE PENETRATION, 0.11 ENTRANCE DOORS

REQUIRED SHGC: 0.40

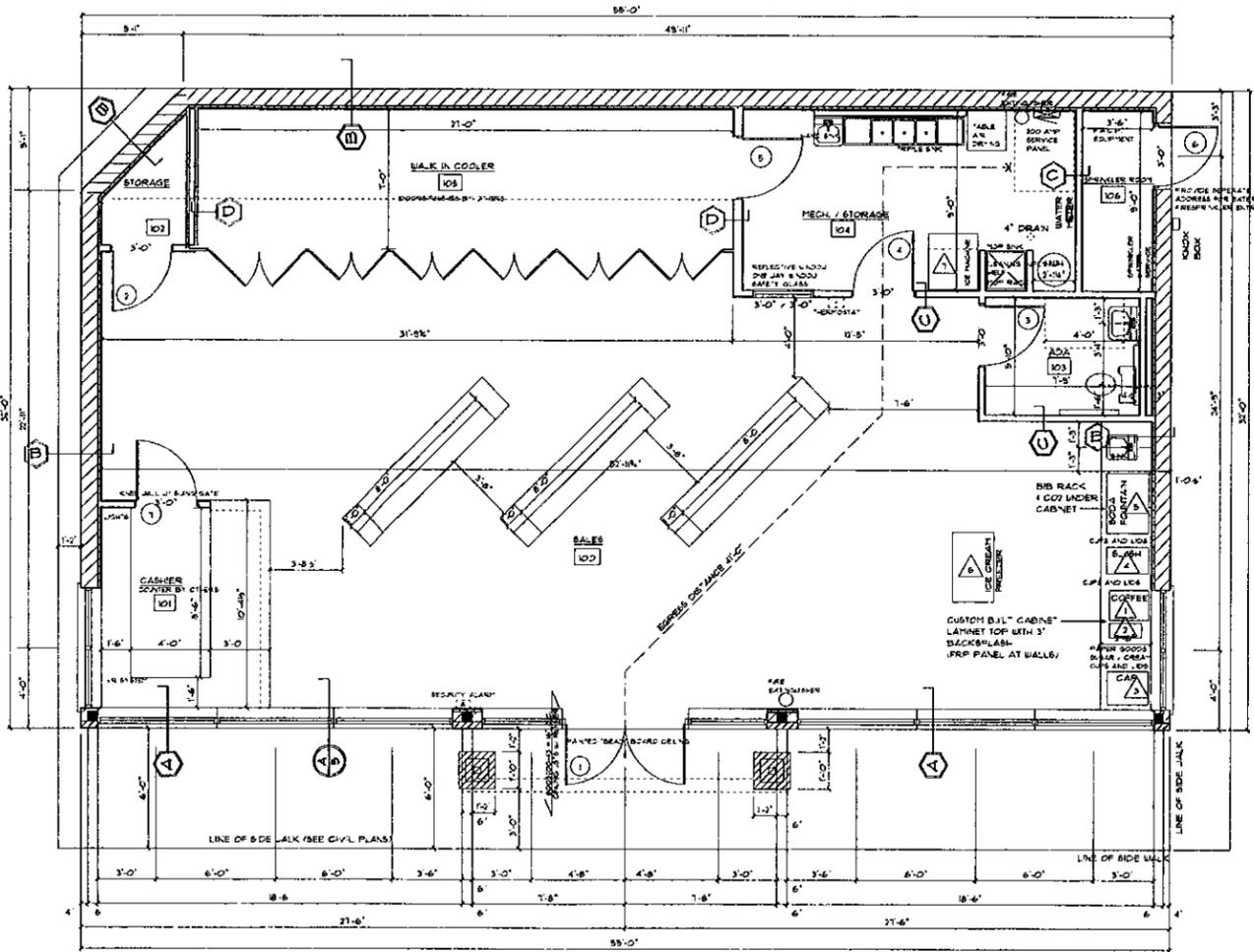


PARTITION SECTION



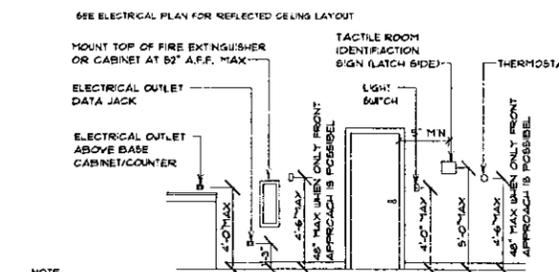
HARDWARE
SCALE: 1/4" = 1'-0"

WALL SIGNAGE
SCALE: 1/4" = 1'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"



NOTE: ALL DOOR HARDWARE MOUNTED MAXIMUM 48" A.F.F. ALL MOUNTING HEIGHTS TO COMPLY WITH A.D.A. ILLINOIS ACCESSIBLE CODE 4 A.N.B.I.

MOUNTING HEIGHTS

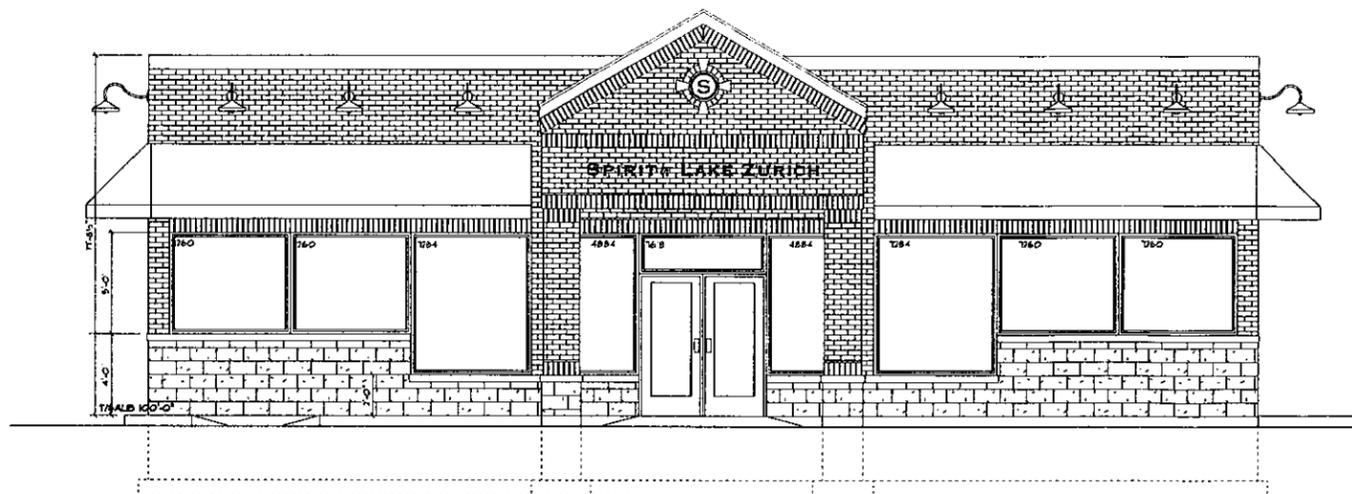
JOSEPH A. MEYER
STRUCTURAL & PROFESSIONAL ENGINEER
135 PARK AVE. BARRINGTON, ILL. 60010 847-352-0200

NEW SALES BUILDING FOR:
MR. JASSINDER SANDHU
1125 S. OLD RAND ROAD LAKE ZURICH, ILLINOIS 60047

DATE
JULY 23, 2013
AUG 9, 2013
OCT 10, 2013

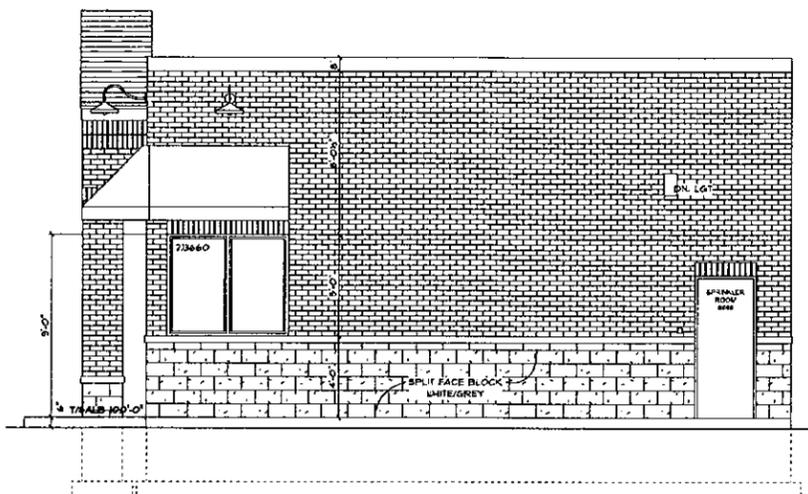
REVISION
DEC 4, 2013

JOB #
SHEET #
2



FRONT ELEVATION

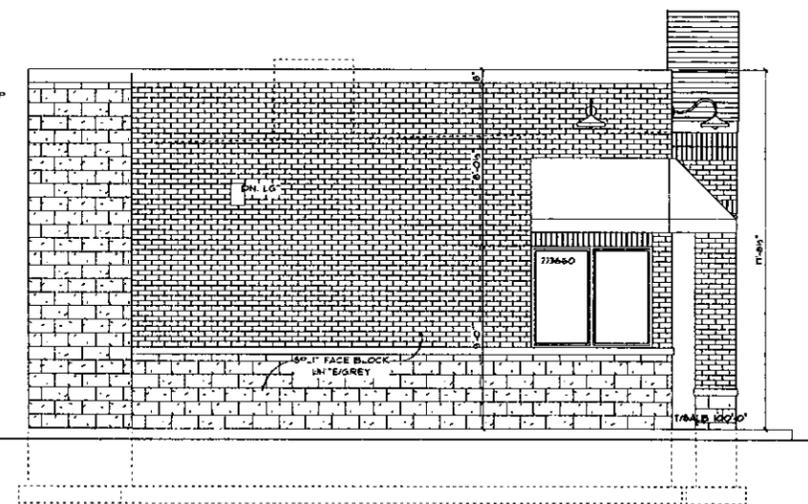
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

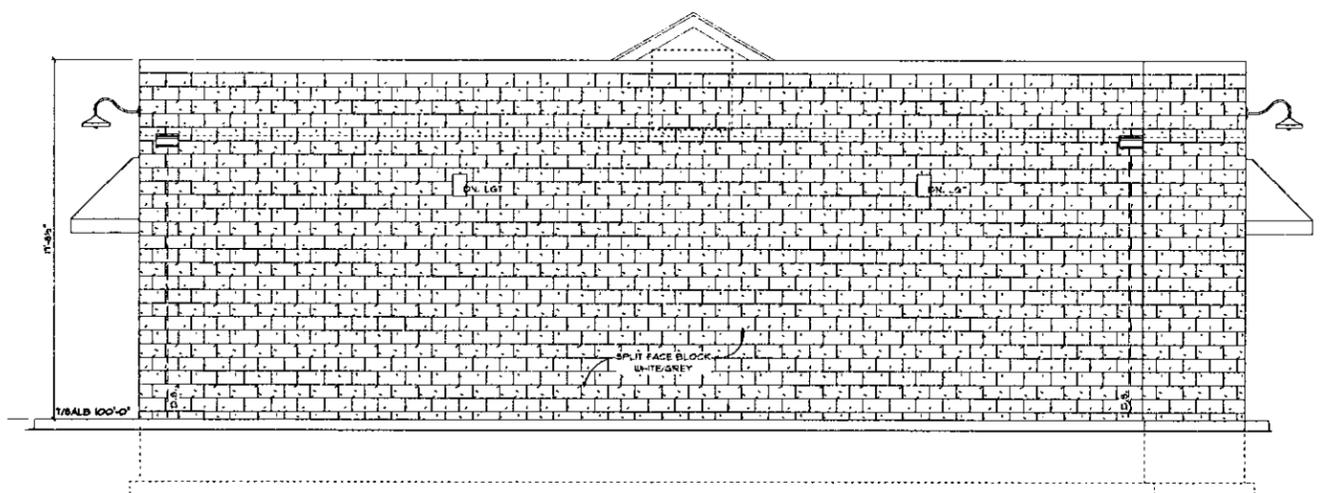
SCALE: 1/4" = 1'-0"

DASHED LINES SHOW ROOF TOP JNT AND ROOF SLOPE. ROOF TOP JNT WILL BE SCREENED BY WAKAPRET WALL ON LOOKER SHOULD HAVE TO BE STANDING UPWARDS OF 300'-0" AWAY TO VIEW THE TOP MOST EDGE OF THE R.T.U.



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

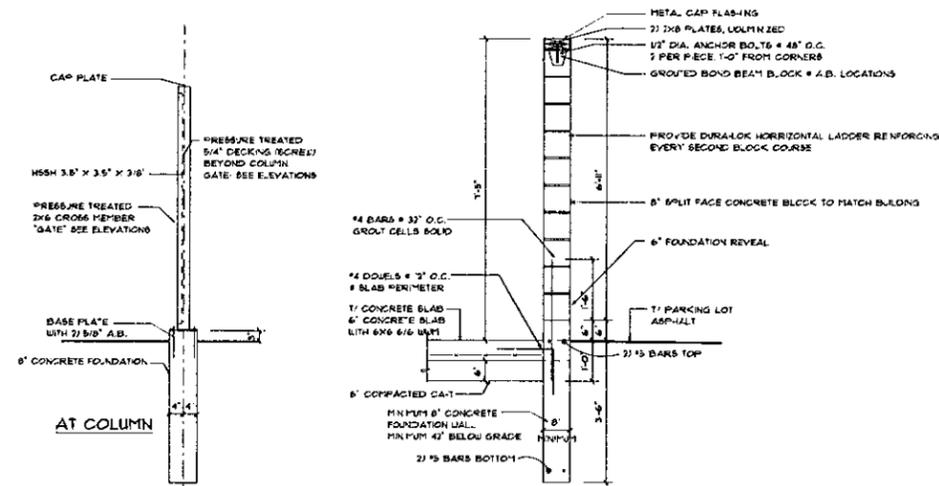
SCALE: 1/4" = 1'-0"

JOSEPH A. MEYER
 STRUCTURAL & PROFESSIONAL ENGINEER
 135 PARK AVE. BARRINGTON, IL. 60010 847-382-0200

NEW SALES BUILDING FOR:
MR. JASSWINDER SANDHU
 1125 S. OLD RAND ROAD LAKE ZURICH, ILLINOIS 60047

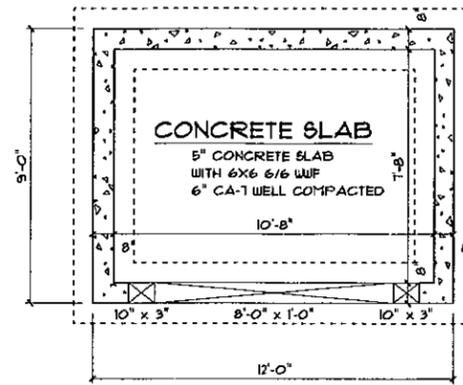
DATE
 JULY 23, 2013
 AUG 9, 2013
 OCT 13, 2013
REVISION
 DEC 4, 2013
 JAN 28, 2014

JOB #
SHEET #
 4



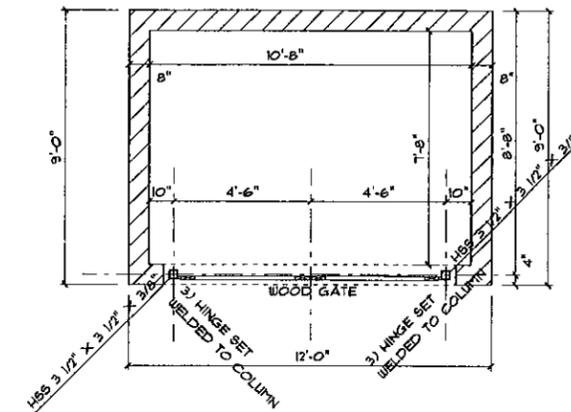
TYPICAL SECTION

SCALE: 1/2" = 1'-0"



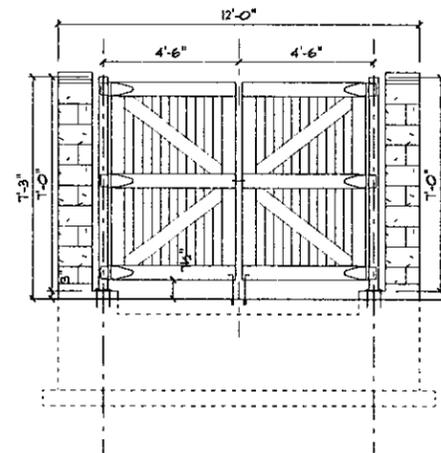
FOUNDATION PLAN

SCALE: 3/8" = 1'-0"



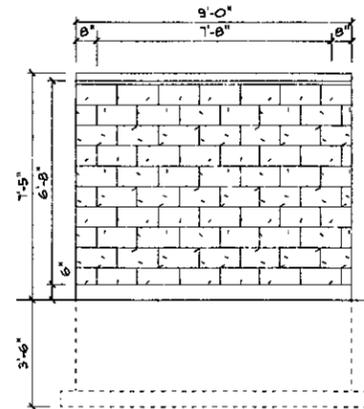
ENCLOSURE PLAN

SCALE: 3/8" = 1'-0"



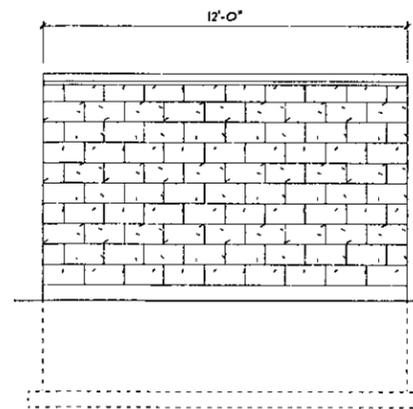
FRONT

SCALE: 3/8" = 1'-0"



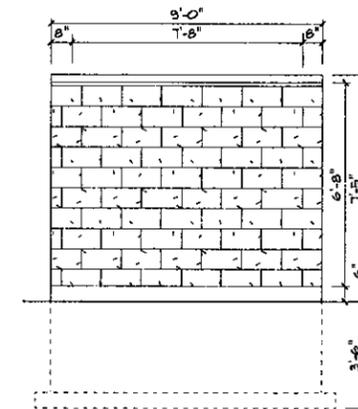
LEFT

SCALE: 3/8" = 1'-0"



REAR

SCALE: 3/8" = 1'-0"



RIGHT

SCALE: 3/8" = 1'-0"

ZONING REVIEW

PROJECT: MARATHON GAS STATION REDEVELOPMENT
SPECIAL USE PERMIT, SITE PLAN, EXTERIOR APPEARANCE,
PLANNED UNIT DEVELOPMENT (PUD)
LOCATION: 1125 S. OLD RAND ROAD
REVIEWED BY: MARY MEYER
DATE: MARCH 11, 2014
**DOCUMENTS
REVIEWED:** APPLICATION DATED 12/16/13 WITH A TTACHMENT RESPONSE LETTER
RECEIVED FEBRUARY 21, 2014, PLANS C, 2, 4, C1-C10 OF 10, L LANDSCAPING
PLAN, ZONING CODE, LAND DEVELOPMENT CODE (SHEET C3 SHOWN AT 1"
= 20', SCALES AT 1" = 15')

Marathon gas station has existed at the 1125 S. Old Rand Road for decades, previously known as the Clark gas station. Marathon applied for and received approval in 2007 to redevelop the site keeping the gas pumps and adding an expanded 1,800 square foot convenient store and Dunkin Donuts drive-thru; this project was not constructed and is null and void. The new proposal eliminates the Dunkin Donuts and drive-thru, but also seeks to keep the pumps as-is, and demolish the small kiosk building to allow an expanded 1,600 square foot convenient store. Review is as follows:

- 1) **Zoning:** B-1 Local and Community Business.
- 2) **Lot Area:** Required: 20,000 square feet with allowed reduction to 13,000 square feet for existing lots.
Existing: +/- 18,058 sq.ft.
- 3) **Minimum Lot Width:** Required: 100 feet.
Existing: 178.26 feet.
- 4) **Use/s:** Gasoline Service Stations (SIC #554): permitted via Special Use permit (existing use)
Convenient Store (SIC #5411): permitted use
- 5) **Maximum Height:** Allowed: 35 feet or 2 stories, whichever is less.
Proposed: 17.75 feet, 1 story proposed.
- 6) **Minimum Front Yard (Rand-Double Frontage):** Required: 25 feet, increased to 50 feet due to Rand Road frontage.
Proposed: Building: 20 feet; 30 foot relief sought via PUD;
Proposed: pavement: +/- 2 feet (existing/proposed); 48 foot relief sought via PUD.
- 7) **Minimum Front Yard (Old Rand-Double Frontage)** Required: 25 feet.
Proposed: Building: 25.38 feet
Proposed: Pavement: +/- 2 feet; 23 foot relief sought via PUD.
- 8) **Minimum Interior Side Yard:** Required: 10 feet
Proposed: 20 feet
- 9) **Maximum Floor Area Ratio:** Allowed: .18

Memo

To: Sam Hubbard, Village Planner
From: Betty Harrison, EQC Supervisor
CC:
Date: March 10, 2014
Re: Staff Review – March 19th Plan Commission Meeting

1. Marathon Gas Station – 1125 S. Old Rand Rd. No concerns with the concept; numerous items need to be addressed with the submittal. This list is not all inclusive.
 - Domestic service coming off the riser must be 2-inch.
 - Plumbing plan must be submitted.
 - Existing ¾-inch service must be removed prior to demolition.
 - Existing water service line needs to be abandoned at the connection point to the water main. Method of abandonment to be determined by Public Works at the time of excavation.
 - Scale not provided on C4 and C5; appears to be one inch = 10 feet
 - An irrigation system is required on all commercial properties.
 - Existing meter will be collected by Public Works for final reading.
 - Size of new water meter to be determined by Plumbing Inspector. Cost for meter based on size of new meter.
 - Backflow protection required on domestic water service and fire protection service.
 - Backflow devices must be certified upon installation and annually thereafter. Certification results to be submitted to Public Works.
 - Sanitary sewer service from building cannot connect into a manhole. Connection must be made downstream of the manhole.
 - Septic tank required to be completely pumped out. At a minimum, the floor and walls need to be cracked or crumbled so the tank will not hold water and the tank need to be filled with sand. An inspection by Public Works is required prior to backfill.
 - Lake County Health Department will inspect the septic abandonment. A septic abandonment form must be submitted to the Village.
 - Non-shear mission couplings to be used.
 - A performance bond based on engineering estimate of cost will be required.
 - Design plan must be submitted to Lake County for assessment for the Lake County connection fee.
 - Connection fee for a 2-inch domestic service line is \$ 24,000.00. Credit for the existing ¾-inch water service will be \$ 1,875. Connection fee due is \$ 22,125.00 (\$ 8,125 water connection fee, \$ 14,000 sewer connection fee.

Proposed: .09

10) Minimum Landscaped

Surface Area: Required: 40%
Proposed: 18%; relief sought via PUD.

11) Trash Enclosure: Shall not be located closer to the street than the principal structure; relief sought via PUD to have enclosure within front yard (to remain at Rand). The proposed trash enclosure is noted to response letter to match the materials of the building.

12) Rooftop Mechanical

Equipment: Rooftop mechanical equipment appears full screened by parapet walls.

13) Lighting:

Exterior lighting maximum footcandles allowed is 10.0 on site and 0.5 at property lines. Additionally, lighting shall not produce glare onto roadways. Lighting is proposed with a maximum 68.3 footcandles and 9.3 at property line (at entrance at Old Rand Road). Relief is sought via PUD for lighting levels substantially higher than maximum allowed.

14) Parking:

Utilizing retail use and based on 1,600 square feet, 8 parking spaces are required and provided.

15) Parking Space

Sizes: Standard parking spaces shall be 9X20; 20 feet may be reduced to 18 when an overhang is provided. Handicapped spaces shall be 16 wide. Spaces appear to comply with size restrictions.

16) Landscaping:

Landscaping to be reviewed by Village Planner.

17) Elevations:

Elevations/material details are indicated as split faced block with brick accent at the front and side elevations. Colors appear to be gray block with tan/brown mix brick accent and blue awnings.

18) Exterior Use/s:

At Rand Road, the trash enclosure is proposed to remain. Other structures intended to remain include shed, display of ice chest, propane and firewood. Relief is sought via PUD for noted exterior display on permanent basis.

19) Sidewalks:

Relief is sought via PUD for elimination of public sidewalk installation.

20) Compensating

Amenity: Compensating amenities of cash contribution discussed with Village Planner for public improvements including Village entrance signage and/or landscaping.

Conclusion

- Special Use permit, Site Plan, Exterior Appearance and Planned Unit Development approvals shall be based on zoning code standards.
- Relief is sought via Planned Unit Development for reduced front yards, reduced landscaped surface area, elimination of sidewalk installation, exterior display, and increased lighting levels.



VILLAGE OF LAKE ZURICH FIRE RESCUE DEPARTMENT
FIRE PREVENTION BUREAU
1075 OLD MCHENRY ROAD, LAKE ZURICH, ILLINOIS 60047
PHONE: 847.540.5073 • WWW.LZFIRERESCUE.ORG
JOHN M. BZDUSEK SR., DEPUTY FIRE MARSHAL

March 4, 2014

Sam Hubbard
Village Planner.
505 Telser Rd.
Lake Zurich, IL 60047

Re: PR14-046 Marathon Gas Station-Preliminary Review #2

The Fire Prevention Bureau has conducted a second preliminary review of the proposed Marathon Gas Station remodel/new Bldg. in Lake Zurich. This review is based on the 2006 International Building and Fire Prevention Codes and Local Code amendments. The following items have been noted in this review.

1. The computed Design Flow for the building is 1500 gpm.

L.Z. Municipal Code 10-6-7B

2. A permit for the installation of an automatic fire suppression system (sprinkler system) is required as specified in the Lake Zurich Building Code. The installation shall be in accordance with NFPA 13 and Local Code requirements. Request written response be submitted verifying that the sprinkler protection will be provided. **ADDRESSED**

225 ILCS 325 3d
LZBC 8-9-2: 903.2

3. A permit for the installation of an automatic fire detection system (fire alarm system) is required as specified in the Lake Zurich Building Code. The installation shall be in accordance with NFPA 72 and Local Code requirements. Request written response be submitted verifying that the fire alarm system will be provided. **ADDRESSED**

LZBC 8-9-2: 903.4.2

4. Every structure that does not have common areas shall be provided with a sprinkler room. The room shall be provided with a separate street address and label on the exterior access door stating "SPRINKLER ROOM." The exterior access door shall swing out. The interior dimension of the room shall be minimally 50 square feet with any dimension not being less than five feet in any commercial structure. An approved sidewalk or paved area shall be provided

VILLAGE OF LAKE ZURICH FIRE RESCUE DEPARTMENT
321 S. BUESCHING ROAD, LAKE ZURICH, ILLINOIS 60047-3226
PHONE: 847.540.5070 • WWW.LZFIRERESCUE.ORG
DAVID P. WHELOCK, FIRE CHIEF/DIRECTOR

leading from a common way to the entrance of the sprinkler room. The interior shall be provided with adequate illumination and emergency lighting. The exterior area adjacent to the sprinkler room door shall be provided with adequate illumination. A separate approved electrical service panel shall be provided within the room. Every sprinkler room shall contain only approved fire protection equipment or mechanical equipment specified in this Section. No other mechanical equipment or storage will be allowed. Every commercial sprinkler room shall be insulated according to the Building Code and provided with a heater that is designed to maintain the temperature of the entire room above 60 degrees Fahrenheit. A low temperature alarm device shall be connected to the fire alarm system that initiates a supervisory signal when the temperature reaches forty degrees Fahrenheit. The Fire Alarm Control Panel shall be located within this room. It shall be mounted on the wall with the top of the panel no higher than six feet above the floor of the room. It shall be clearly accessible with no obstructions nearer than eighteen inches from any edge of the panel. The panel shall be mounted in a manner that protects it from water damage. A manual pull station shall be mounted next to the alarm panel. All portions of the sprinkler system shall drain into the drain located in the sprinkler room or directly outside. Any drain that terminates outside shall not cause water to collect within five feet of electrical equipment, discharge within five feet of electrical equipment, or cause other hazardous conditions to mechanical equipment or public or private areas. All drain valves for common systems including the dry system drain for the common attic area shall be located in the sprinkler room. A sanitary floor drain shall be installed in the room sufficiently sized to meet the flow rate of any device, including the backflow device. All interior walls within a sprinkler room shall use water resistant gypsum backing board. **ALL ITEMS HAVE BEEN ADDRESSED**

LZBC 8-9-2:903.7

5. Fire Hydrants shall be provided as specified in the Village of Lake Zurich Municipal Code. Fire hydrants will be provided no less than 50 and no more than 200 feet from the fire department connection. **HYDRANT LOCATION IS SLIGHTLY OUT OF REQUIREMENT BUT ALLOWED.**

L.Z. Municipal Code 10-6-7

6. Access shall be provided to the sprinkler system fire department connection. Ingress and egress portions of the driveway shall be thirty feet wide. **ADDRESSED**

LZBC 8-9-2: 503.7

7. A supervised key box (Knox Box 4400 Series) shall be provided. The key box will be used for emergency access only. Key boxes shall contain two sets of keys to locked points of ingress, whether on the interior or the exterior of the structure, and to locked mechanical, electrical, and elevator control rooms, and other areas

as directed by the Fire Chief. All exterior doors that access areas common to the overall structure for each structure are required to have hardware that will allow exterior access into the building with use of a single master key whenever possible. The exterior doors that access an individual retail or commercial occupant are required to have hardware that will allow exterior access into the occupancy with use of a single master key whenever possible that is different than the common key. **ADDRESSED**

LZBC 8-9-2: 506.1

8. It is required that the finished building plans be provided in a CAD format. The drawings will be used in the fire departments emergency pre-plan design.

LZBC 8-9-2: 404.5.1

Based on the information provided, the building plans **COMPLY AS NOTED**

Please contact the Bureau office at (847) 540-5073, if you have any questions or comments.

Sincerely,

John M. Bzdusek Sr.
Deputy Fire Marshal
Fire Prevention Bureau



Civil Engineering
Surveying
Water Resources Management
Water Wastewater Engineering
Supply Chain Logistics
Construction Management
Environmental Services
Transportation Services
Land Planning

March 10, 2014

Mr. Sam Hubbard
Village Planner
Village of Lake Zurich
505 Telser Road
Lake Zurich, Illinois 60047

Engineering – Review #2

DEVELOPMENT: Marathon Gas Station – 1125 S. Old Rand Road

DEVELOPER: S.S.B. Petro Inc.

ITEMS RECEIVED:

- 1) Village of Lake Zurich Memorandum Re: Second Zoning & Preliminary Plan Review for Plan Commission, Dated February 25, 2014
- 2) "1st Review Comments, Updated Second Response by Applicant February 21, 2014" Dated February 25, 2014 from Daniel J. Grecco Addressed to Mr. Sam Hubbard – Village Planner, Village of Lake Zurich
- 3) "Supplemental Lighting Report for Marathon Gas Station Improvements, 1125 S. Old Rand Road" Dated February 18, 2014 Addressed to Mr. Sam Hubbard – Village Planner, Village of Lake Zurich
- 4) Traffic Impact Analysis with Exhibits Dated December 10, 2013 and February 18, 2014 Prepared by Dan Grecco, P.E.
- 5) "Existing & Proposed Site Photometrics" Plan Dated December 15, 2013 Prepared by Dan Grecco, P.E.
- 6) "Final Engineers Opinion of Probable Construction Cost for Site Development" Dated February 21, 2014 Prepared by Dan Grecco, P.E.
- 7) Geotechnical Investigation Dated December 30, 2013 Prepared by Soil and Material Consultants, Inc.
- 8) "Civil Engineering Plans for: New Sales Building – Marathon Gas Station" Consisting of Sheets C1 through C12 Prepared by Dan Grecco, P.E. Dated Revised February 13, 2014

On behalf of the Village of Lake Zurich, Manhard Consulting, Ltd. has completed a review of the above referenced materials for conformance with the Village ordinances and general accepted engineering practices. We reserve the right to generate additional comments on future submittals. By copy of this letter we request that the Developer address all comments in a response letter and submit the appropriate revisions for further review.

- 1) The Civil Engineering Plans should be plotted to a consistent standard engineering scale and each sheet should include a note identifying the scale. Acceptable standard engineering drawing scales are 1"=5', 1"=10', 1"=20', 1"=30', 1"=40', 1"=50' and 1"=60'.
- 2) Per Section IV.A.1.h of the Watershed Development Ordinance (WDO), "Any development which hydrologically disturbs 5,000 square feet or more" requires a Watershed Development Permit (WDP) to be submitted for review of soil erosion and sediment control performance standards.

Manhard Consulting, Ltd.

900 Woodlands Parkway • Vernon Hills, Illinois 60061

tel: (847) 634-5550 • fax: (847) 634-0095 • www.manhard.com

ARIZONA • CALIFORNIA • COLORADO • GEORGIA • ILLINOIS • INDIANA • MARYLAND • NEVADA • VIRGINIA

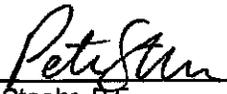
The WDP can be found and printed from <http://www.lakecountyil.gov/Stormwater/FloodplainStormwaterRegulations/PermitsApprovals/Pages/WDOPermitApplication.aspx>.

- 3) A concrete washout area has been added to Sheet C2 located within the IDOT's right-of-way; this will not be permitted. The concrete washout should be relocated within the property limits of the site.
- 4) The proposed sanitary sewer along Old Rand Road has less than 3-feet of cover. The 3-feet of cover is measured from the top of pipe to the finished grade. The design of the sanitary sewer shall follow the minimum requirements of the Illinois Administrative Code (Title 35, Section 370.320) which requires that "The minimum cover of sewers shall be no less than 3 feet unless special structural protection is provided." An approved IEPA permit will be required for the sewer extension. As discussed during our meeting on January 17, 2014, the Village's requirement of "sanitary sewers shall be constructed at a minimum depth of six feet" could be waived as long as the design meets the IEPA's minimum design standards. If the minimum design standards cannot be met, further discussion with the Village's Utilities Department may be warranted concerning alternative sewer connection locations.
- 5) A "Pavement Section" detail shall be added to the plans to show the proposed pavement section including thicknesses of the various proposed courses.
- 6) Regarding sidewalk construction along the Rte. 12 frontage, we concur with the assessment that "Connection to Rand Road, or along Rand Road could be considered hazardous, as no other systems currently exist to connect to." The developer has suggested previously in his cover letter that "Additional compensating amenities in the form of monetary contributions to the village to maintain sidewalks and for the planting and care of parkway trees can be discussed to further compensate the Village for approval of our proposed PUD development." An estimate for sidewalks along each street abutting the PUD should be prepared and submitted for further consideration of a fee-in-lieu of agreement.
- 7) The unit costs for Item 15 - "Sidewalk Removal & Replacement", Item 19 - "36" Dia. Manhole", Item 20 - "48" Dia. Manhole", and Item 21 - "60" Dia. Manhole" as shown on the "Final Engineers Opinion of Probable Construction Cost for Site Development" appear to be lower than costs typically experienced in the Village; costs typically experienced are approximately \$6.50, \$1,500, \$2,500 and \$3,200, respectively.
- 8) An IDOT permit will be necessary to perform work within their right-of-way. A copy of obtained permits shall be provided to the Village.
- 9) Please refer to the Public Works - Utilities Division memo for further comments.

Our review did not include the review of the submitted Traffic Impact Analysis.

If you should have any questions, please do not hesitate to contact me at (847) 325-7318.

Respectfully,
MANHARD CONSULTING, LTD.


Peter Stoehr, P.E.
Municipal Project Manager

ROLF C. CAMPBELL & ASSOCIATES

A MANHARD CONSULTING DIVISION 

910 Woodlands Parkway, Vernon Hills, IL 60061
Ph: (847) 735-1000 Fax: (847) 735-1010 www.rccai.com

Consultant Memorandum Via Email

To: Sam Hubbard, Village Planner
Village of Lake Zurich, Illinois

Fr: Rolf C. Campbell & Associates

Date: March 12, 2014

Re: **Sandhu Property - 1125 S. Old Rand Road
2nd Landscape Plan Review and Comments**

Pursuant to your request Rolf C. Campbell & Associates (RCCA) reviewed the following revisions for the referenced project : A four (4) page 2nd Response Letter by the Applicant dated Feb. 21, 2014, Four (4) Plans – all date referenced are “last revised”; A Landscape Plan (labeled Sheet C8) dated 2/17/14; An Existing Conditions, Demo & Erosion Control Plan (labeled Sheet C2) dated 2/13/14 and a Proposed Site Plan (labeled Sheet C3) dated 2/13/14. Also attached was a Trash Enclosure sheet (labeled Sheet 6) with a date of 1/28/14.

The following comments are offered for your consideration:

1. The three (3) Plan Exhibits, including the “Existing Conditions, Demo & Erosion Control Plan” (Sheet C2), the ‘Proposed Site Plan’, (Sheet C3) and the “Landscape Plan” (Sheet C8) are labeled as having a scale of “One Inch = 15 Feet” however, the bar scale appears to calculate to a scale of one (1) inch equals 10 feet on the Proposed Landscape Plan (Sheet C8). Also, by applying a scale to some of the labeled dimensions on the Proposed Landscape Plan (Sheet C8) it appears that this plan also calculates to a scale of one (1) inch equals +/-13.5 feet. We suggest that the Applicant be requested to review this apparent inconsistency and correct the submissions as may be appropriate.
2. According to the Landscape Plan, it appears a portion of the Plant List and Seed Mix information were cut off on the layout sheet, including the plant quantity information and the plant sizes. While we assume that the plant sizes were the same as the previous plan dated February 10th, 2014, the Applicant is requested to adjust this information and confirm on the revised Landscape Plan.
3. The “Existing Conditions, Demo & Erosion Control Plan” indicates an existing tree to be removed that is labeled “16” multi stem” (shown as 16’ on the Existing Condition Exhibit) however, there does not appear to be an indication of the type or condition of this existing tree. The Applicant noted in his response letter of 2/21/14, that they “shall await Village appraisal of the 16” Multi-stem.” (Note: The reference to 16” Multi-stem in the letter should reference the 16’ Multi-stem per the Existing Condition Exhibit. The reference to the 16’ or 16” Multi-stem tree should be clarified.) Sam, please confirm that the “Village” is planning an “appraisal” of this 16” Multi-stem tree.
4. Pursuant to Title 9, Chapter 8, Section 8-103 of the Village of Lake Zurich Zoning Ordinance, landscaping is required along the lot lines. The amount of landscaping to be provided is established in Sections 8-104; 8-105 and 8-106 of the Zoning Ordinance. Section 8-104 establishes “standard plant units”; Section 8-105 establishes specific “Opacity Values” based upon surrounding zoning abutting the subject site; and, Section 8-106 establishes the required minimum number of standard plant units.

The following Tables below identify and compare the number of plantings required to the planted in the buffer yards, as well as the additional number of plants needed to be in compliance with the Village Zoning Ordinance. Parkway trees are not included in these Tables regarding buffer yards, but Parkway trees are addressed in a section following these Tables.

| Northeast Lot Line Landscape Area - (Old Rand Road) | | |
|--|---|-------------------------------|
| 30% Opacity Required | 10' Width Min. | 2 Plant Units per 100' |
| +/- 180 Linear Feet* | 4 Plant Units Required Based on Unit C | |
| 4 Plant Units Required | | |
| | Revised Plan dated 2-17-14 | Required |
| Types of Plants | | |
| 3" Cal. Shade Trees | 4** | 4 |
| 3' Evergreen Shrubs | 8 | 8 |
| 36" Shrubs | 20 | 20 |

| Northwest Lot Line Landscape Area - (B-1 -- Local and Community Business) | | |
|--|---|------------------------------|
| 10% Opacity Required | 3' Width Min. | 1 Plant Unit per 100' |
| +/- 109 Linear Feet* | 1.5 Plant Units Required Based on Unit C | |
| 1.5 Plant Units Required | | |
| | Revised Plan dated 2-17-14 | Required |
| Types of Plants | | |
| 3" Cal. Shade Trees | 2** | 2 |
| 3' Evergreen Shrubs | 8 | 3 |
| 36" Shrubs | 10 | 8 |

| Southwest Lot Line Landscape Area - (Rand Road -- US Rt. 12) | | |
|---|---|-------------------------------|
| 30% Opacity Required | 10' Width Min. | 2 Plant Units per 100' |
| +/- 192 Linear Feet* | 4 Plant Units Required Based on Unit C | |
| 2 Plant Units Required | | |
| | Revised Plan dated 2-17-14 | Required |
| Types of Plants | | |
| 3" Cal. Shade Trees | 4** | 4 |
| 3' Evergreen Shrubs | 10 | 8 |
| 36" Shrubs | 28 | 20 |

| Southeast Lot Line Landscape Area - (Old Rand Road) | | |
|--|---|-------------------------------|
| 30% Opacity Required | 10' Width Min. | 2 Plant Units per 100' |
| +/- 95 Linear Feet* | 2 Plant Units Required Based on Unit C | |
| 2 Plant Units Required | | |
| | Revised Plan dated 2-17-14 | Required |
| Types of Plants | | |
| 3" Cal. Shade Trees | 2 | 2 |
| 3' Evergreen Shrubs | 17 | 4*** |
| 36" Shrubs | 7 | 10*** |

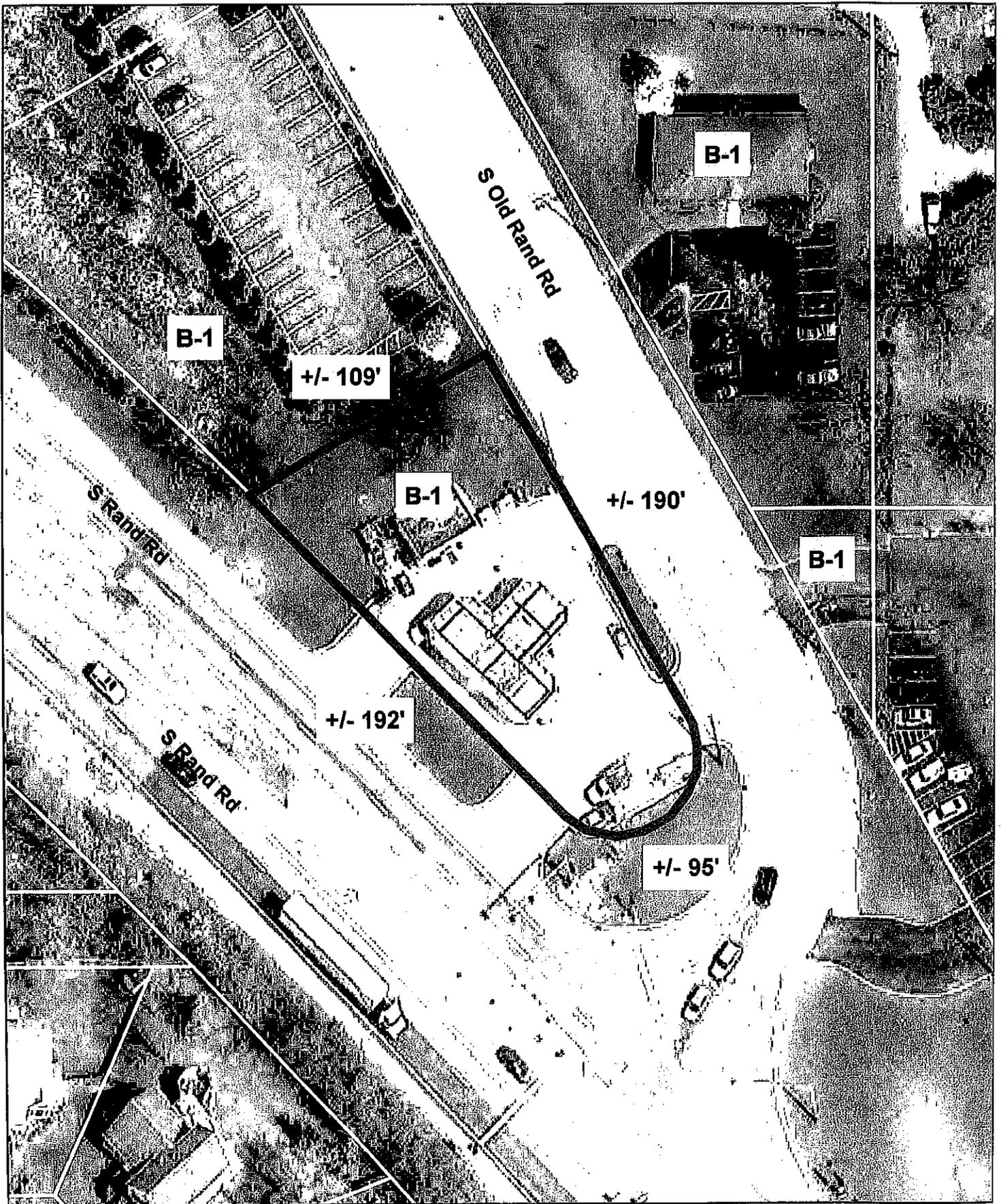
* Based on Tax Map

** We recommend including these Shade Trees/Parkway Trees in the Parkway Tree Requirements (See Comment #5 as follows) due to the existing conditions of the site with limited on-site buffer area in comparison to the available Parkway Area available for planting of these Shade Trees.

*** We recommend accepting the increase in Evergreen Shrubs with the Deciduous Shrubs.

4. Comparing the Landscape Plan to the Site Plan, the landscape buffer area along the Northeast (Old Rand Road) and Southwest (Rand Road) Property Lines/Road Right-of- Way Lines (R.O.W.) appears to be an approximately 3' wide landscape buffer area, when not including the area within the road R.O.W. Section 8-106 of the Zoning Ordinance indicates that both of these landscape buffers widths should be 10' to the property line. In the Applicant's response letter of 2/21/14, he indicates that they are requesting a variance for this landscape buffer area. The existing conditions provides for a varied landscape buffer width that when included with the parkway area this varied width exceeds the 10' min. in these areas. Again condering the existing conditions in this area, we recommend finding this condition appropriate from a landscape review perspective.
5. In addition to the above lot line landscape requirements Title 7, Chapter 6, Section 7-6-2-3 of the Village Code requires parkway trees be provided at a rate of one (1) large shade tree per 50' at 3" Caliper. The Applicant appears to have indicated the required amount of parkway trees, which is 7 parkway trees; however, again, the Village may want to review these proposed plantings with the jurisdictions controlling these road R.O.W.'s.
6. According to the Zoning Ordinance, under Chapter 8-111, all trash enclosures must be screened with solid opaque fence or evergreen hedge. The Landscape Plan indicates a fence (or screening) detail on the plan; however, there is not a label on the plan to indicate the proposed location of the fence or wooden screen. A separate sheet (Sheet 6) has now been provided with the revised submissions and a trash enclosure detail has been provided and it appears to be constructed of concrete block to match the building with a wood swinging gate. In the response letter of 2/21/14, the Landscape Comments, the Applicant explains that the trash enclosure is screened by an opaque fence. The Applicant is requested to clarify if the trash enclosure will be made of an opaque fence material as referenced in the 2/21/14 response letter, or of the concrete block as indicated on the separate Sheet 6 submissions.
7. Title 9, Chapter 4, Section 4-110, Letter E., Number 1. Retail Uses, indicates a minimum landscape surface area in the B1 Zoning District of 40 (percent) and the "Impervious & Landscape Area Summary" Table on the Landscape Plan indicates that the existing "green area" is 43.7 percent and the proposed "green area" is 16.9 percent. The Previous Plan dated December 13th, 2013 noted this "green area" as 17.6 percent, however it appears that the amount of green space has not been reduced to 16.9 percent on the revised plan. The Applicant has requested relief, to adjust the green space from 17.6 percent to 16.9 percent in his response letter of 2/21/14 Zoning Review Response Number 10. As previously noted the Landscape Plan indicates some of the proposed landscaping to be on public property within the abutting roads R.O.W.'s, and it is indicated on the Landscape Plan that this additional landscape area represents more area than is required to meet the minimum 40 percent landscape surface area. As we also previously indicated, we suggest that the Village review these proposed plantings and landscape area with the jurisdictions controlling the road R.O.W.'s.
8. According to Title 10 Chapter 6, Section 10-6-18-A1 of the Village Code, the Landscape Architect or other qualified professional that prepared the Landscape Plan is to sign and seal the Landscape Plan. The Applicant was previously requested to identify the professional who designed the Landscape Plan and we did not find the information in the 2/21/14 Applicants response letter.

If you have any questions or comments, please contact our office



**Existing Conditions Aerial Photograph/
Village of Lake Zurich Zoning Information**

Sandu Property 1125 S. Old Rand Rd.

 **Subject Site**

Lot Line Dimensions based on
Lake County Tax Map
and Parcel Data

Source: 2010 Lake County GIS Data.

Rev. Date: 03/12/14 1"=50'

0 25 50
Feet



ROLF C. CAMPBELL & ASSOCIATES
A MANHARD CONSULTING DIVISION

Village of Lake Zurich

**Kevin Finlon
Chief of Police**



Serving with Pride

**Interdepartmental Memorandum
Commander David M. Bradstreet**

Police Department

Support Services Division

March 11, 2014

To: Sam Hubbard
Subject: Marathon Gas Station

Representatives from the police department have reviewed the plans and recommend the following:

-Narrow the double exit drive to a single lane.

Respectfully

A handwritten signature in black ink, appearing to read "db 1/14".

**David M. Bradstreet
Commander of Administration**



To: Sam Hubbard, Village Planner
Village of Lake Zurich

From: Kathleen M. Meyerkord, PE, PTOE

Date: March 10, 2014

Subject: Lake Zurich Marathon Station Site Plan and Traffic Study Review

DLZ Illinois has performed a review of the updated document package submitted by the owner of the Marathon Station located at the intersection of Rand Road (U.S. Route 12) and Old Rand Road. The revised traffic study is not dated but was received by DLZ on February 15, 2014. Revised exhibits, crash diagrams and intersection capacity analyses were also received and reviewed.

Based on our review, the consultant has substantially addressed our comments. His revised report, exhibits and accompanying analyses show that the modifications to the convenience store on the property and resulting increase in traffic will have minimal impact on the operation of the existing driveways. He has also recommended additional site modifications along the Rand Road side of the property which will improve circulation within the site. Based on the modified study and site plan, we are recommending approval of the traffic study.

Community Services Dept.

- Building & Zoning
- Public Works

505 Telser Road
Lake Zurich, IL 60047



AGENDA ITEM

8E

Phone: (847) 438-5141

Fax: (847) 540-1768

Web: www.LakeZurich.org

MEMORANDUM

Date: March 31, 2014

To: Jason T. Slowinski, Village Administrator

From: Sam Hubbard, Village Planner

Cc: Michael J. Earl, Director of Community Services
Daniel A. Peterson, Manager of Building and Zoning

Subject: Zoning Application for a Special Use Permit, Site Plan approval, Exterior Appearance approval, and Variance to allow the construction of a new industrial building at 1375 Ensell Rd.

Issue: Kelly Sheehan of Flex Construction (the "Applicant") has submitted a zoning application for approval of a Special Use Permit to land-bank 26.92% of the required on-site parking, Site Plans, Exterior Appearance plans, and a Variance to reduce the rear yard setback from 50' to 33' to the construction of a new 34,768 sq. ft. industrial building on a vacant piece of land located at 1375 Ensell Rd. The Application has been heard by both the Zoning Board of Appeals and the Plan Commission, and is now before the Village Board for final approval.

Analysis: On March 19th, the Plan Commission held a public meeting to consider the application and all of the facts and circumstances affecting the application, including the staff report and recommendations. The Plan Commission voted 5-0 in favor of recommending approval of the Exterior Appearance plans, 4-1 in favor of recommending approval of the Special Use Permit for land-banked parking, and 3-2 in favor of recommending approval of the Site Plan. However, recommendations of approval need a minimum of 4 votes to pass, so even though a majority of the Plan Commission voted for approval of the Site Plans, their recommendation moves forward as a recommendation of denial of the Site Plans. Their concerns with the Site Plans centered on potential drainage issues and the setback Variance, which had not yet appeared before the ZBA for vote. No conditions were attached to their approvals.

Of note, the rear yard of the proposed development abuts a residential zoning district. The resident of that property attended the Plan Commission hearing and voiced his concern over the proximity of the proposed structure to the rear yard property line, and the potential for the development to create water runoff on his property.

The Zoning Board of Appeals held a public hearing on March 20th to consider the request for a Variance to reduce the required transitional rear yard setback from 50' to 33'. The Zoning Board of Appeals voted 1-3 with regards to the variation as requested, and therefore did not make a positive recommendation of approval. However, the Zoning Board voted on an alternative to reduce the required rear yard setback from 50' to 45', which was a 70% reduction from the original request. This motion moved forward with a unanimous 4-0 vote in favor of a recommendation of approval. The ZBA asked that the Applicant revise the site plans to reflect the approved 45' rear yard setback.

The Applicant has revised their site plans to reflect the ZBA decision. In addition, staff has contacted the property owner who lives to the rear of the proposed industrial building, and he has expressed his satisfaction with the reduced request for a 45' rear yard setback. The plans before the Village Board for approval are the original Exterior Appearance plans, the original request for a land-banked parking Special Use Permit, and revised Site Plans and a revised Variance request.

Recommendation: Staff concurs with both the recommendation of Exterior Appearance approval and approval for a Special Use Permit for land-banked parking that was made by the Plan Commission. Staff also supports the revised Variance request for a 45' rear yard setback that received unanimous support from the Zoning Board of Appeals. In light of the ZBA's support for the 45' setback and the neighboring property owner's satisfaction with the revised plan, staff recommends approval of the revised Site plans as well.

w/ Attachments:

1. Approval Ordinance (including the Staff Report from the 3/19/14 Plan Commission Meeting as an exhibit)
2. Site Plans
3. Village Review comments from:
 - a. Zoning, dated 3/13/2014
 - b. Public Works, dated 3/4/2014
 - c. Fire Department, dated 3/4/2014
 - d. Rolf Campbell & Associates (Landscape Consultant), dated 3/7/2014
 - e. Manhard Engineering, dated 3/7/2014
 - f. Police Department, dated 3/11/2014

ORDINANCE NO. 2014-_____

**AN ORDINANCE APPROVING A SPECIAL USE, SITE PLANS AND
EXTERIOR APPEARANCE AND GRANTING A VARIATION
(PF Ventures and Flex Construction – 1375 Ensell Road)**

WHEREAS, Kelly Sheehan of Flex Construction (“Applicant”) filed an application with the Village of Lake Zurich dated February 19, 2014, and amended on March 14, 2014 (“PC 2014-03 #1”) for the property known as Lot 1 of the Lake Zurich Corporate Park Unit II Subdivision, located at 1375 Ensell Road (“Property”), said Property legally described in Exhibit A, for certain zoning approvals for a special use to allow the land banking of its parking on a portion of its site, a variation to the rear yard setback requirement and site and exterior appearance plan approvals; and

WHEREAS, said Property is located within the I Industrial District in the Village; and

WHEREAS, the Applicant has filed requests for zoning relief which were heard by the Plan Commission and by the Zoning Board of Appeals; and

WHEREAS, the Property was previously granted a variance to reduce the transitional rear yard setback from 100 feet to 50 feet on November 15, 1999 by Ordinance number 99-11-999; and

WHEREAS, the Applicant seeks a further reduction of the minimum transitional rear yard setback distance from the previously approved 50 feet to 33 feet, pursuant to Subsection 17-103(A)(1) and the standards outlined at Section 17-104 of the Zoning Code; and

WHEREAS, the Applicant presented information to show the need for a variation, but not that would support the extent of the variation requested, a 17 foot reduction in the rear yard; and

WHEREAS, Section 17-105 of the Lake Zurich Zoning Code authorizes a variation less than or different from that requested and such a variation may be granted when the record supports the Applicant's right to some relief but not to the relief requested; and

WHEREAS, the Lake Zurich Zoning Board of Appeals conducted a public hearing on March 20, 2014, to consider the Applicant's request for a variation to allow a reduction in the minimum transitional setbacks from the previously approved 50 feet to 33 feet, and did consider the application, documentation submitted and all of the facts and circumstances affecting the application, with the minutes of the Zoning Board of Appeals March 20, 2014 public hearing on this matter reflecting the Board findings and its recommendation to deny the Applicant's requested variation of 17 feet, and instead the Board has recommended approval of a variation to allow a reduction in the minimum transitional setback from 50 feet to 45 feet, the Zoning Board relying on the information and findings contained in the STAFF REPORT dated March 13, 2014, but

reaching its own conclusion to deny the requested variation, resulting in the need for an amended site plan, to show a rear yard setback of 45 feet instead of 33 feet; and

WHEREAS, at its April 7, 2014 meeting, the Mayor and Board of Trustees considered the findings and recommendations of the Zoning Board of Appeals, the amended site plan to reflect the recommendation for approval of the Zoning Board of Appeals and all facts and circumstances affecting this application for a variance, and they have determined that the application satisfies the applicable standards in the Lake Zurich Zoning Code.

WHEREAS, the Applicant's request for approval of a special use permit to land bank a portion of its required parking spaces, a new site plan and for exterior appearance approval, was presented to the Plan Commission on March 19, 2014; and

WHEREAS, the Plan Commission held a public meeting on March 19, 2014 to consider this application for a special use permit, site plans approval and exterior appearance approval, along with all of information presented by the Applicant and staff regarding the application, and recommended adoption and approval of PC 2014-03 #1 for the special use and exterior appearance approvals, but did not recommend the approval of the site plan (since it was subject to change due to the recommendations of the Zoning Board of Appeals) as described in the staff reports and recommendations set forth in the March 14, 2014 STAFF REPORT, consisting of 14 pages, and said STAFF REPORT, information, findings and recommendations provided therein was adopted by the Plan Commission as its own at its March 19, 2014 meeting, all 12 pages of said STAFF REPORT attached hereto as **Exhibit B**, except as otherwise provided herein; and

WHEREAS, at its April 7, 2014 meeting, the Mayor and Board of Trustees have considered the findings and recommendations of the Plan Commission and have considered all of the facts and circumstances affecting the application, and have determined that the application satisfies the applicable standards in Sections 19-103, 20-102(D), 20-103 (Site Plans) and 21-103 (Exterior Appearance) of the Lake Zurich Zoning Code for the Property.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

SECTION 1: ADOPTION AND INCORPORATION OF RECITALS. The foregoing recitals, recommendations, drawings, exhibits and plans are incorporated herein as findings and requirements of the Mayor and Board of Trustees, and all Exhibits referenced herein are made a part of and incorporated into this Ordinance and related approvals, except of otherwise provided below.

SECTION 2: GRANT OF VARIATION IN LIEU OF VARIATION SOUGHT AND CONDITIONS. The Mayor and Board of Trustees do hereby accept and adopt the recommendation of the Zoning Board of Appeals to deny the variation requested by Applicant for a reduction in the transitional rear yard setback from the required 50 feet

to 33 feet, and, based upon all information and evidence presented to the Zoning Board of Appeals, approve and adopt the Zoning Board of Appeals recommendation to grant a variation for the Property to permit a reduction in the minimum transitional setback from 50 feet to 45 feet, pursuant to Section 17-105 of the Lake Zurich Zoning Code which authorizes a variation less than or different from that requested and such a variation may be granted when the record supports the Applicant's right to some relief but not to the relief requested, subject to the following terms and conditions:

- A. This grant of variation does not authorize any work on the Subject Property, but rather merely authorizes the filing and processing of permits that may be required for such work. The Applicant shall submit all applicable building plans, and all other required materials, in a timely manner to the appropriate parties, which materials shall be prepared in compliance with all applicable Village codes and ordinances.
- B. The building plan and rear yard separation shall be as depicted on the amended site plan attached hereto as **Exhibit C**.

SECTION 3: FINDINGS IN SUPPORT OF VARIATION. The findings and recommendation of the Zoning Board of Appeals, based upon its consideration of staff reports and filings provided to the Zoning Board of Appeals, are hereby accepted by the Board and adopted as its own, based upon all available information from both the Zoning Board of Appeals hearing and the discussions taking place at the April 7, 2014 Board meeting and shall be made a part of the official record for the application.

SECTION 4: GRANT OF APPROVAL OF SPECIAL USE PERMIT, SITE PLANS AND EXTERIOR APPEARANCE PLAN AND CONDITIONS. The Mayor and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Chapters 19, 20 and 21 of the Lake Zurich Zoning Code, hereby approve a special use permit to allow the Applicant to landbank 26.92% of its required parking for the site, as depicted on the plan attached hereto as **Exhibit D**, deny approval of the site plan submitted to the Plan Commission by the Applicant, and in its place approve the amended site plans submitted to this Board of Trustees and attached to this Ordinance, as **Exhibit E** and approve the exterior appearance plans attached to this Ordinance as **Exhibit F**. The approvals and modifications granted in this Section are granted expressly subject to, and are at all times subject to, the following conditions:

- A. All development within the Subject Property must be undertaken in strict compliance with the special use permit, the site plans and exterior appearance plans approved pursuant to this Ordinance.
- B. The site plan has been amended since the Plan Commission and Zoning Board of Appeals meeting to reflect the recommendation from the Zoning Board of Appeals to permit a 5 foot reduction in the rear yard transitional setback, instead of the 17 feet requested. The Board has considered this amended plan and approves the plan, as reflecting the recommended 5 foot rear yard setback variation. All findings and recommendations from the Plan Commission are

made subject to this change and the finding of the Board of Trustees that the amended site plan meets the standards of Section 20-103 of the Zoning Code of Lake Zurich.

- C. Prior to commencing any work on the Subject Property, the Owner must submit all required building permit applications and other materials in a timely manner to the appropriate parties, which materials should be prepared in compliance with all applicable Village codes and ordinances.

SECTION 5: FINDINGS IN SUPPORT OF APPROVAL OF GRANT OF SPECIAL USE PERMIT, SITE PLANS AND EXTERIOR APPEARANCE PLAN. The findings, conditions and recommendations of the Plan Commission and the staff reports and filings provided to the Plan Commission are hereby accepted as the Board's own and shall be made a part of the official record for the application and are attached hereto as **Exhibit B**, provided however that the findings related to the amended site plan approved herein are qualified by the Board to reflect that the site plan was amended following the Plan Commission and Zoning Board of Appeals meetings in this matter, and has been considered by the Board of Trustees pursuant to its authority under Subsection 20-102(D) of the Village of Lake Zurich Zoning Code. Subsection 20-102(D) authorizes the Board of Trustees, following receipt of the recommendation of the Plan Commission, to either approve the site plan as submitted, or to review and approve modifications acceptable to the Applicant and approve such modified site plan.

SECTION 6: COMPLIANCE WITH ORDINANCE AND ALL CODES. Except as otherwise specifically provided in writing in advance by the Village, no work may be commenced on the Subject Property pursuant to the approvals granted in this Ordinance until all conditions precedent of this Ordinance to such work have been fulfilled and after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.

SECTION 7: SEVERABILITY. If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 8: CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 9: EFFECTIVE DATE. This Ordinance shall be in full force and effect upon its passage and approval and publication, as provided by law.

PASSED THIS _____ day of _____,
2014.

Ayes:

Nays:

Absent:

Abstain:

APPROVED this ____ day of _____, 2014.

Mayor Tom Poynton

ATTEST:

Village Clerk
Kathleen Johnson

Exhibit A
Legal Description of "Property"

LOT 1, IN LAKE ZURICH CORPORATE PARK, UNIT 2 BEING A SUBDIVISION OF PART OF SECTION 15, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 25, 2002 AS DOCUMENT 5015224 IN LAKE COUNTY, ILLINOIS.

Exhibit B

The March 14, 2014 STAFF REPORT, consisting of 13 pages, along with the additions, changes and modifications to said STAFF REPORT adopted by the Plan Commission in its one-page written approval dated March 19, 2014, all 14 pages.

APPLICATION PC 2014-03 #1

AGENDA ITEM 3B

Community Services Dept.

- Building & Zoning
- Public Works

505 Telser Road
Lake Zurich, IL 60047



Phone: (847) 540-1696
Fax: (847) 726-2182
Web: www.LakeZurich.org

STAFF REPORT

To: Chairperson Jackson and Members of the Plan Commission
From: Sam Hubbard, Village Planner
CC: Daniel A. Peterson, Manager of Building & Zoning
Date: March 14, 2014
Re: **PC 2014-03 #1 Zoning Application for Flex Construction/PF Ventures, Lot 1 of Lake Zurich Corporate Park Unit II Subdivision**

Summary: Kelly Sheehan (the "Applicant") of Flex Construction is the Applicant for the property commonly known as Lot 1 of the Lake Zurich Corporate Park Unit II Subdivision legally described in **Exhibit A** attached hereto (the "Subject Property").

The Applicant filed an application with the Village of Lake Zurich dated February 19, 2014, (the "Application") seeking the following approvals:

- (i) Special Use Permit to land bank 26.92% of the required parking.
- (ii) A Variance to reduce the rear yard setback (to be heard by the Zoning Board of Appeals).
- (iii) Exterior Appearance plans.
- (iv) Site plans.

The Subject Property is located within the I Industrial District.

Pursuant to public notice published on February 27, 2014, in the *Lake Zurich Courier*, a public hearing was scheduled with the Lake Zurich Plan Commission for March 19, 2014, to consider the Application. The Village posted a public hearing sign on the Subject Property (**Exhibit B**).

The Zoning Board of Appeals has the authority to review Variance requests. The ZBA is scheduled to meet on March 20th to discuss their recommendation to the Village Board regarding the setback Variance request.

Background: When final subdivision approval was received in 1999, the Village Board granted several Variances that are applicable to the Subject Property and current development Application. These Variances are summarized below:

- Variance to reduce the "Transitional Rear Yard Setback" (required because the property abuts a residential property to the south), from 100' to 50'.
- Variance to reduce the landscape unit count required along the southern lot line from 5 units per 100' to 3 units per 100', and to reduce the unit count required along all other property lines from 1.5 units per 100' to 1 unit per 100'.

Additional Variances relating to FAR, landscape surface area, and disturbance of conservancy soils were also approved, however, when the I Industrial District was created earlier this year, the FAR Variance became obsolete.

Although several conditions of approval were included relative to the Variance approvals, none of these conditions are relevant to the present request.

Preliminary Findings: Detailed staff reviews from the Building and Zoning Division, Public Works, Police Department, Fire/Rescue Department, Manhard Engineering, and Rolf Campbell & Associates are attached. In addition, the Applicant has included a response to these staff reviews, which is included within the Plan Commission packet.

The Applicant is proposing construction of a 34,768 sq. ft. industrial office and warehouse to be occupied by Performance Contracting, Inc., which is a construction contractor that specializes in interior building finishes such as insulation, fireproofing, soundproofing, acoustical ceilings, etc.

The Applicant has amended their original Application since submitting on February 19th. The amended application was received on 3/14/14 and includes:

- Revised Site Plan, dated 3/12/14
- Revised building elevations, dated 2/10/14
- Revised landscape plan, dated 3/13/14
- Revised geometric and utilities plan
- Color renderings and lighting details

The revised plans address many of the concerns raised in the detailed staff reviews.

Subject Property abuts a residential property located in unincorporated Lake County to the south, with the residence on that property sitting on the eastern side close to Quentin Road. Staff notes that the Village's Comprehensive Plan has designated this residential property for future industrial use. In addition, due to poor soils, the proposed building has been shifted to the west of the site with the loading dock and truck bays located along the western elevation which will isolate truck noise away from the residence.

Recommendation: Your recommendations should be based on the standards included in Section 19-103 Standards for Special Use Permits, Section 20-103 Standards for Site Plan Disapproval, and Section 21-103 Standards and Considerations for Exterior Appearance Approval.

Please refer to Exhibit C for Staff's responses to these zoning standards. The Zoning Code requires that a recommendation should be made only after the standards of approval have been met. Based on Staff's review, all of the standards for approval have been met and therefore staff recommends that the Plan Commission approve the Application and make these standards a part of the official record for the Application.

Should you have any questions, please call me at 847-540-1759.

EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY

LOT 1, IN LAKE ZURICH CORPORATE PARK, UNIT 2 BEING A SUBDIVISION OF PART OF SECTION 15, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 25, 2002 AS DOCUMENT 5015224 IN LAKE COUNTY, ILLINOIS.

**EXHIBIT B
PUBLIC HEARING SIGN ON SUBJECT PROPERTY**



1275 Ensell Rd.

EXHIBIT C
REVIEW OF COMPLIANCE WITH ZONING STANDARDS
FOR LOT 1 OF THE LAKE ZURICH CORPORATE PARK UNIT II SUBDIVISION

19-103

STANDARDS FOR SPECIAL USE PERMITS

A. General Standards. No special use permit shall be recommended or granted pursuant to this Chapter unless the applicant shall establish that:

1. Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the official Comprehensive Plan.

Staff Response: Standard met. The use of the property falls under the permitted use category in the zoning code and is not subject of this Application. The land banked parking is appropriate given the traffic and parking needs of the tenant. If future parking spaces are need their location is preserved through the land banking of the parking areas.

2. No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

Staff Response: Standard met. There will be no adverse impact by the land banked parking area.

3. No Interference With Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

Staff Response: Standard met. The property development and placement of the structure and loading areas is arranged to provide as little interference as possible to surrounding properties.

4. Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

Staff Response: Standard met. Adequate public facilities exist and additional public facilities will not be needed in association with this development.

5. No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through the surrounding streets.

Staff Response: Standard met. The use will generate minimal traffic counts and the existing street network has been designed to accommodate the traffic load generated by this development.

6. No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

Staff Response: Standard met. The current lot is a vacant field with no existing trees. The development on this lot will not result in the destruction, loss, or damage to any natural, scenic, or historic features.

7. Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

Staff Response: Standard met. There are no additional standards imposed on this type of use.

8. Positive Effect. The proposed special use creating a positive effect for the zoning district, its purpose, and adjacent properties shall be placed before the benefits of the petitioner.

Staff Response: Standard met. The use, as an industrial office and warehouse with land banked parking areas, is compliant with the purpose of the I Industrial District.

- B. Special Standards for Specified Special Uses. When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district, a permit for such use in such district shall not be recommended or granted unless the applicant shall establish compliance with such special standards.

Staff Response: Not applicable. There are not special standards that are required for this type of use.

- C. Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Board of Trustees shall consider:

1. Benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Staff Response: Standard met. The proposed use and development of the property will create jobs that contribute to the general welfare of the community.

2. Alternative Locations. Whether the purposes of the zoning code can be met by the location of the proposed use and development in some other area or zoning district that may be more appropriate than the proposed site.

Staff Response: Standard met. The use is only appropriate in the district where it is proposed. No alternative district is more appropriate.

3. Mitigation of Adverse Impacts. Whether all steps possible have been taken to minimize any substantial or undue adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Staff Response: Standard met. The layout of the development, with loading docks and truck bays facing away from residential areas, has taken into consideration the neighboring properties and satisfactorily mitigates potential adverse effects.

*** *** ***

20-103

STANDARDS FOR SITE PLAN DISAPPROVAL

- A. Standards. The Board of Trustees shall not disapprove, and the Plan Commission shall not recommend disapproval of, a site plan submitted pursuant to this Chapter except on the basis of specific written findings directed to one or more of the following standards:

1. Application Improper. The application is incomplete in specified particulars or contains or reveals violations of this Code or other applicable regulations that the applicant has failed or refused to supply or correct.

Staff Response: Standard met. The application is complete.

2. Failure of Condition Precedent. The application is submitted in connection with another application, the approval of which is a condition precedent to the necessity for site plan review, and the applicant has failed to secure approval of that application.

Staff Response: Standard met. The Applicant has applied to receive the necessary SUP approval, Variance, and Exterior Appearance approval that is necessary to proceed with the development.

3. Failure to Meet Standards. The site plan fails to adequately meet specified standards required by this Code with respect to the proposed use or development, including special use standards where applicable.

Staff Response: Standard met. The proposed site plan meets the standards as required by Code.

4. Interference With Right-Of-Way. The proposed site plan interferes with easements or rights-of-way.

Staff Response: Standard met. The proposed site plan does not interfere with easements or rights-of-ways.

5. Interference with Features. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

Staff Response: Standard met. There are no significant natural, topographical, or physical features on the site that warrant preservation. The existing site is a vacant field with no trees and little to no vegetation,

6. Traffic Problems. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably create hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off site.

Staff Response: Standard met. The existing street network is designed to accommodate a development of this capacity and therefore the proposed development will not create undue traffic congestion or hazards.

7. Inadequate Screening. The screening of the site does not provide adequate shielding from or for nearby uses.

Staff Response: Standard met. The proposed screening conforms to code requirements and is adequate.

8. Lacking Amenity. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

Staff Response: Standard met. Landscaping will conform to all code requirements and the building will be constructed of a material appropriate for the industrial character of the area.

9. Lack of Open Space. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

Staff Response: Standard met. The land banking of parking area preserves open space to the maximum extent possible until it is needed to ease parking congestion.

10. Drainage or Erosion Problems. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned drainage system serving the Village.

Staff Response: Standard met. The proposed building will comply with all drainage and engineering requirements.

11. Burdens on Utilities. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility systems serving the Village.

Staff Response: Standard met. Adequate utilities exist in the area to accommodate the proposed development and it therefore will not create a burden on utilities.

12. Lack of Public Uses. The proposed site plan does not provide for required public uses designated on the Official Map.

Staff Response: Not applicable. The Official Map does not require public uses on the Subject Property.

13. Other Adverse Effects. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

Staff Response: Standard met. The addition will not adversely affect the public health, safety, or general welfare.

- B. Alternative Approaches. In citing any of the foregoing standards, other than those of Paragraphs A1 and A2, as the basis for disapproving a site plan, the Plan Commission or the Board of Trustees shall suggest alternate site plan approaches that could be developed to avoid the specified deficiency or shall state the reasons why such deficiency cannot be avoided consistent with the applicant's objectives.

Staff Response: Not applicable as no basis for disapproval has been found.

*** **

21-103 STANDARDS AND CONSIDERATIONS FOR EXTERIOR APPEARANCE APPROVAL

In their consideration of applications for exterior appearance approval, the Plan Commission and the Board of Trustees shall consider and evaluate the propriety of granting the approval in terms of the effect of the application on the purposes for which exterior appearance approval is required. In addition, the Plan Commission and the Board of Trustees shall be guided by the following standards and considerations:

- A. General Quality of Design and Site Development. New and existing buildings and structures and appurtenances thereof which are constructed, reconstructed, materially altered, repaired, or moved shall be evaluated under the following quality of design and site development guidelines:

1. Open Spaces. The quality of the open spaces between buildings and in setback spaces between street and facade.

Staff Response: Standard met. The proposed building, by utilizing land banked parking areas, preserves open space.

2. Materials. The quality of materials and their relationship to those in existing adjacent structures.

Staff Response: Standard met. The proposed building will be of similar materials to neighboring industrial buildings in the vicinity.

3. General Design. The quality of the design in general and its relationship to the overall character of neighborhood.

Staff Response: Standard met. The proposed building is not out of character with the surrounding industrial properties.

4. **General Site Development.** The quality of the site development in terms of landscaping, recreation, pedestrian access, automobile access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

Staff Response: Standard met. The proposed development will provide landscaping to meet code requirements. Pedestrian access is not an issue as the area is built for automobile access to be the primary means of access. The existing street network will accommodate and provide for adequate automobile access. There are no trees or shrubs on site so their preservation is not applicable.

- B. **General Standards for Visual Compatibility.** New and existing buildings and structures, and appurtenances thereof, which are constructed, reconstructed, materially altered, repaired, or moved shall be visually compatible in terms of the following guidelines:

1. **Height.** The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

Staff Response: Standard met. The height of the building is consistent with neighboring structures.

2. **Proportion of Front Facade.** The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

Staff Response: Standard met. This relationship is compatible to neighboring buildings, public ways, and places to which it is visually related.

3. **Proportion of Openings.** The relationship of the width to height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

Staff Response: Standard met. The window sizes are consistent with other industrial buildings in the vicinity.

4. **Rhythm of Solids to Voids in Front Facades.** The relationship of solids to voids in the front facade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

Staff Response: Standard met. Although the proposed building façade is flat with no voids and all solids, this is consistent with other industrial buildings in the vicinity.

5. **Rhythm of Spacing and Buildings on Streets.** The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

Staff Response: Standard met. The proposed structure conforms to all required setbacks and the rhythm of the spacing is within the character of the neighborhood.

6. **Rhythm of Entrance, Porch, and Other Projections.** The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

Staff Response: Standard met. The proposed building and entrance is compatible with other buildings, public ways, and places to which it is visually related.

7. **Relationship of Materials and Texture.** The relationship of the materials and texture of the facade shall be visually compatible with the predominant materials used in the buildings and structures to which it is visually related.

Staff Response: Standard met. The proposed addition will match the existing materials on the building and is compatible with other buildings and structures within the immediate vicinity.

8. **Roof Shapes.** The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

Staff Response: Standard met. The proposed building has a flat roof, which is the predominate roof style within the vicinity.

9. **Walls of Continuity.** Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

Staff Response: The façade, at 47' setback from the street, forms a cohesive wall when compared to the building directly to the west and is therefore visually compatible with buildings, public ways, and places to which it is visually related.

10. **Scale of Building.** The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

Staff Response: Standard met. The size and mass of the buildings is consistent with buildings on similar sized properties within the industrial park. There are no porches or balconies proposed with this development.

11. **Directional Expression of Front Elevation.** A building shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or non-directional character.

Staff Response: The proposed building is horizontal in character. This is consistent with other buildings in the vicinity.

- C. **Additional Standards Applicable to Development in the B-2 Central Business District.** New and existing buildings and structures and appurtenances thereof in the B-2 Central Business District which are constructed, reconstructed, materially altered, or moved shall be evaluated

under the following quality of design and site development guidelines in addition to the standards set in Subsections A and B of this Section:

1. Overall Compatibility. The proposed improvements should be compatible with adjacent structures and with the overall redevelopment strategy for the B-2 District set forth in the Official Comprehensive Plan.
2. Building Frontage Lines. Buildings along Main Street and Old Rand Road should have frontage directly adjacent to the sidewalk right-of-way line. Building setbacks may be permitted if the area between the building face and the sidewalk is used for outdoor retailing, seating, or usable public-access open space and is compatible with adjacent properties.
3. Principal Entrance. Buildings along Main Street and Old Rand Road should have the principal store entrance accessible directly from the public sidewalk. A short private walkway to the entrance may be permissible if it is consistent with the character of the building and adjacent properties.
4. Entrance Highlights. Store entrances should be highlighted with architectural features compatible with the overall building design.
5. Windows. Windows should be subdivided to emphasize vertical proportions.
6. Story Distinctions. The first story of the building should be distinguished from the second story by means of a horizontal lintel, second floor overhang or setback, or similar detail.
7. Building Materials. Exterior building materials should be any of the following: brick, masonry, stucco, cementitious products, wood-like vinyl siding, and/or natural wood siding.
8. Signs. Sign materials, forms, and designs shall be integral with the building architecture. Custom designed individual letters, carved wood, or etched metal signs will be strongly encouraged. Perpendicular signs extending over the sidewalk may be permitted if limited in size and if compatible with adjacent properties and safety concerns. Back-lighted fluorescent box signs shall be prohibited.

Staff Response: Not applicable as this property is not within the B-2 District.

D. Additional Standards Applicable to Development in the LP Lake Protection District. New and existing buildings and structures and appurtenances thereof in the LP Lake Protection District which are constructed, reconstructed, materially altered, repaired, or moved shall be evaluated under the following development guidelines in addition to the standards set in Subsections A, B, and, if applicable, C of this Section:

1. No Adverse Impact on Views. The proposed development should create no undue adverse impact on existing views of the lake, subject to the other guidelines in this Subsection D.
2. Diminution of value. Impacts on existing views of the lake may be offset by the degree to which the value of the subject property would be diminished by avoidance or elimination of such impacts on existing views.

3. Protection of Lake Features. Such diminution in value may be offset, however, by the protection of a valuable existing feature of the lake.
4. Value of Adjacent Properties. The use and enjoyment, or value, of adjacent properties should not be adversely affected by the proposed use or development.

Staff Response: Not applicable as this property is not located within the Lake Protection District.

- E. Special Considerations for Existing Buildings. For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

Staff Response: Not applicable as this is a new building.

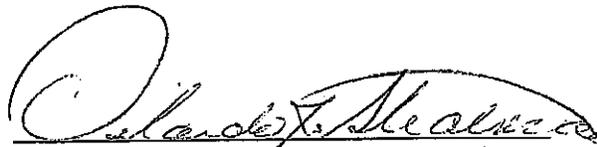
**LAKE ZURICH PLAN COMMISSION
FINAL FINDINGS & RECOMMENDATIONS
FOR LOT 1 IN THE LAKE ZURICH CORPORATE PARK UNIT II SUBDIVISION
MARCH 19, 2014**

The Plan Commission recommended approval of portions of Application PC 2014-03 #1, subject to and including the terms, conditions, and findings contained within the Staff Report dated March 14, 2014 for the Application, and without any further additions, changes and modifications. Specifically, that portions that received a recommendation of approval were:

1. Special Use Permit to land-bank 26.92% of the required on-site parking.
2. Exterior Appearance approval.

The Plan Commission recommended denial of one part of Application PC 2014-03 #1. Specifically, the part that received a recommendation of denial was:

1. Site Plan approval.



Orlando Stratman, Vice-Chairperson

Exhibit C

The building plan and rear yard separation shall be as depicted on the amended site plans.

L O T 1 /
Lake Zurich, Corporate Park
Lake Zurich, Illinois

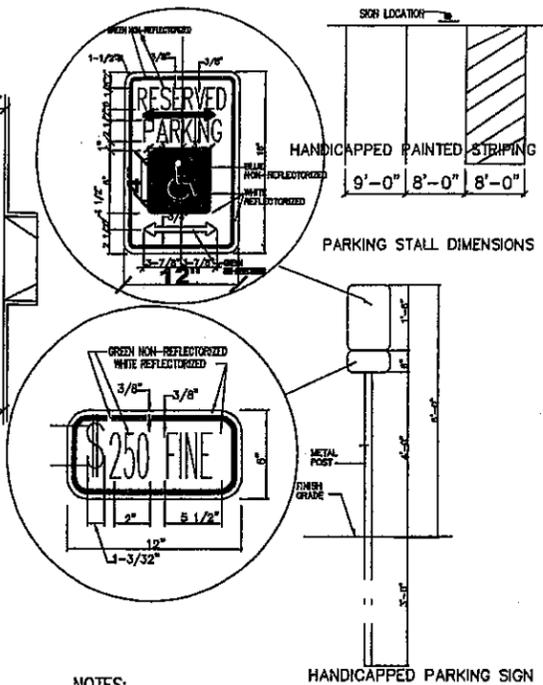
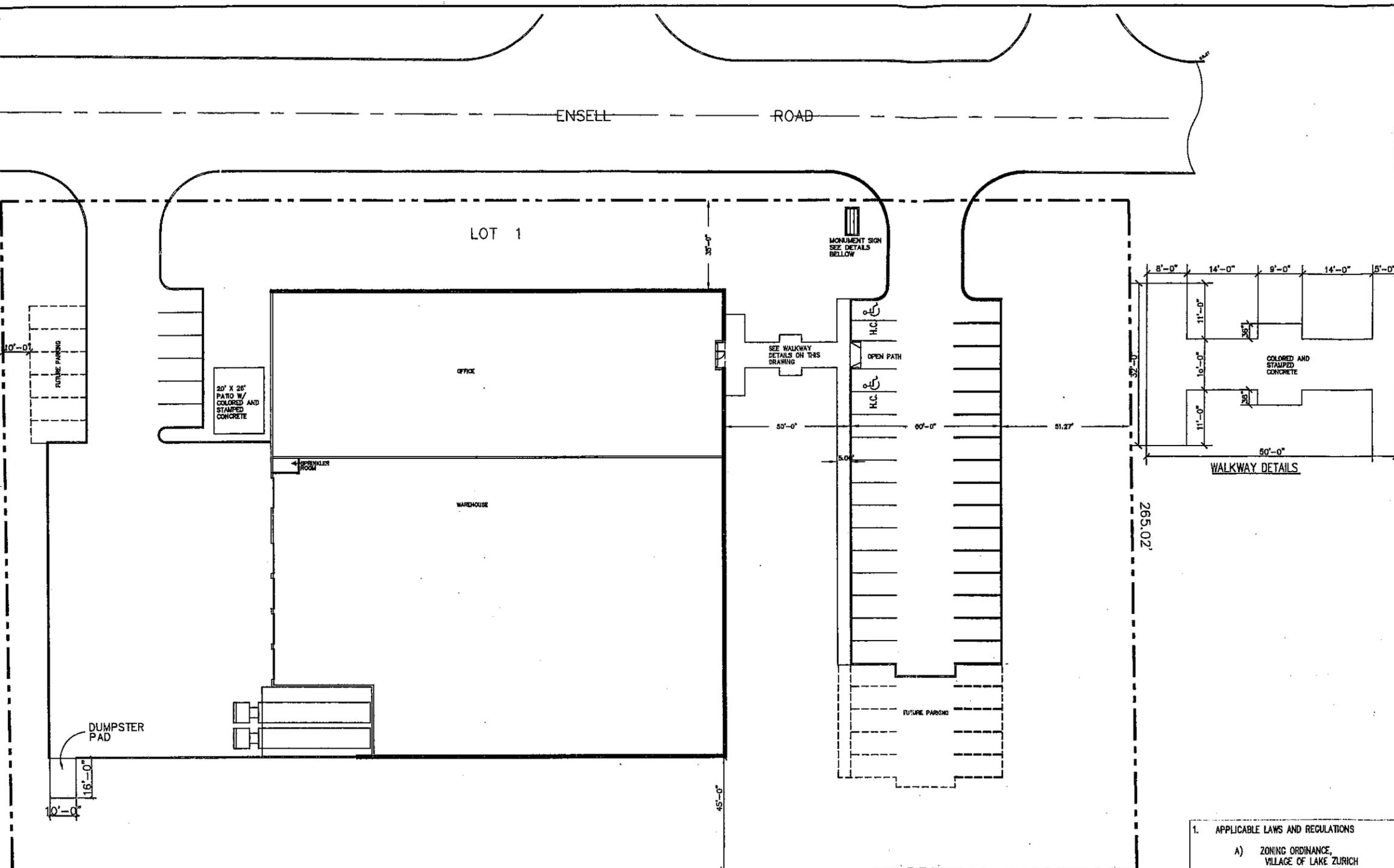
REVISIONS

Office - Warehouse Facility for PF Ventures, LLC
LOT ONE, LAKE ZURICH CORPORATE PARK
LAKE ZURICH, ILLINOIS

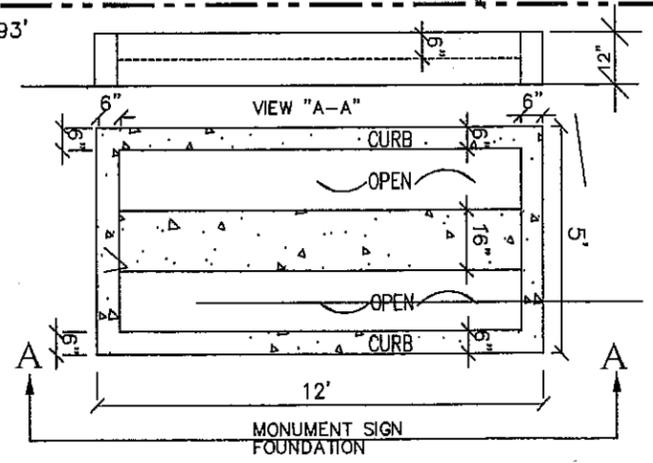
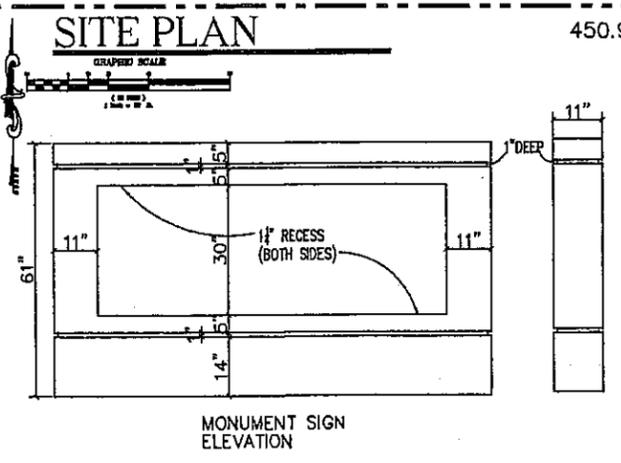
244 TELSER ROAD
LAKE ZURICH IL 60047
(847) 540-0200

MPLEX
CONSTRUCTION CORPORATION

DATE 3-28-14
SCALE N.T.S.
DRAWN RW
JOB
ST-1

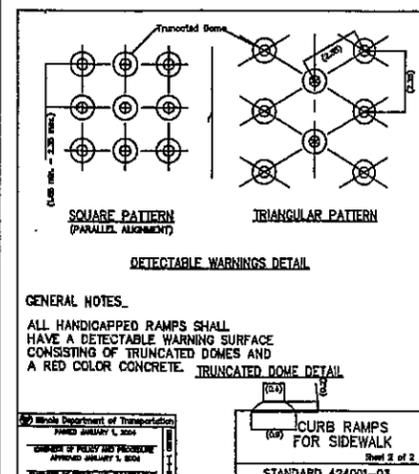


- NOTES:**
1. A HANDICAPPED PARKING SIGN (SEE STANDARD DETAIL SHEET) IS TO BE INSTALLED AT EACH HANDICAPPED PARKING SPACE JUST BEHIND THE CONCRETE WALK AS SHOWN ON THIS PLAN.
 2. A HANDICAPPED RAMP ACCESS (SEE STANDARD DETAIL SHEET) IS TO BE PROVIDED AT EACH HANDICAPPED PARKING SPACE AS SHOWN ON THIS PLAN.
 3. ALL PROPOSED PAINT MARKINGS ON THIS PLAN WILL BE DONE WITH A HIGH QUALITY YELLOW PAINT SUITABLE FOR STRIPING.
 4. ALL RADII ARE TO BACK OF CURB.



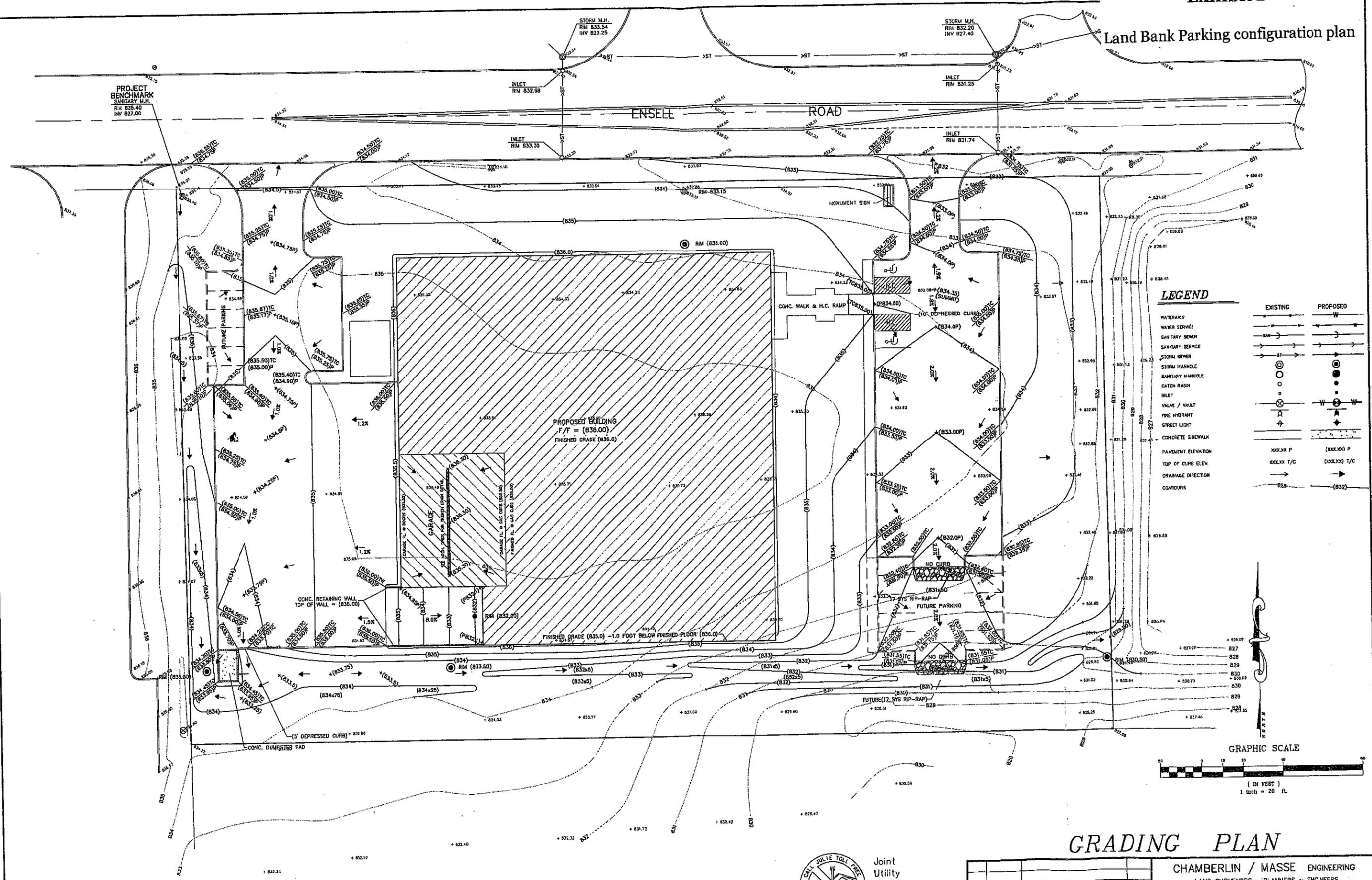
| ZONING & PARKING DATA | |
|---------------------------------------|--|
| REQUIRED | ACTUAL |
| MAX. FLOOR AREA 40% RATIO | LAND AREA 2.74 ACRES 119,496 S.F. ALLOWABLE BLDG. AREA 47,787 S.F. PROPOSED BLDG. AREA 34,768 S.F. TOTAL F.A.R. = .30 % |
| MIN. LANDSCAPE AREA 30% (35,848 S.F.) | LANDSCAPE AREA 58,472 S.F. = 48.93 % |
| PARKING SPACE REQUIREMENTS | |
| OFFICE (12,854 S.F.) / 275 | 48.74 |
| WAREHOUSE (21,914 S.F.) / 6,000 | 3.65 |
| NO. OF WAREHOUSE EMPLOYEES = | 1 |
| REQUIRED | 51.39 SPACES |
| ACTUAL | 36 REGULAR SPACES 2 HANDICAPPED |
| FUTURE | 16 SPACES |

1. APPLICABLE LAWS AND REGULATIONS
 - A) ZONING ORDINANCE, VILLAGE OF LAKE ZURICH
 - B) BUILDING CODE: 2006 INTERNATIONAL BUILDING CODE
 - C) MECHANICAL CODE: THE 2006 INTERNATIONAL MECHANICAL CODE
 - D) ELECTRICAL CODE: 2005 NATIONAL ELECTRICAL CODE
 - E) PLUMBING CODE: 2004 ILLINOIS STATE PLUMBING CODE
 - F) 2006 INTERNATIONAL FIRE CODE
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 - H) 2012 INTERNATIONAL ENERGY CONSERVATION CODE
 - I) 1997 ILLINOIS ACCESSIBILITY CODE
2. OCCUPANCY CLASSIFICATION: INDUSTRIAL
3. TYPE OF CONSTRUCTION: 2B UNPROTECTED
4. FIRE PROTECTION REQUIREMENTS: BUILDING SHALL BE EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM



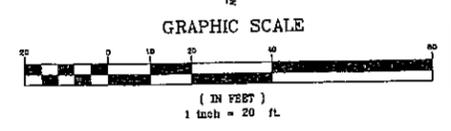
STANDARD 424001-03

Land Bank Parking configuration plan



LEGEND

| | EXISTING | PROPOSED |
|--------------------|------------|--------------|
| WATERMAIN | — | — |
| WATER SERVICE | — | — |
| SANITARY SEWER | — | — |
| SANITARY SERVICE | — | — |
| STORM SEWER | — | — |
| STORM MANHOLE | ⊙ | ⊙ |
| SANITARY MANHOLE | ⊙ | ⊙ |
| CATCH BASIN | ⊙ | ⊙ |
| INLET | ⊙ | ⊙ |
| VALVE / VAULT | ⊗ | ⊗ |
| FIRE HYDRANT | ⊕ | ⊕ |
| STREET LIGHT | ⊕ | ⊕ |
| CONCRETE SIDEWALK | — | — |
| PAVEMENT ELEVATION | XXX.XX P | (XXX.XX) P |
| TOP OF CURB ELEV. | XXX.XX T/C | (XXX.XX) T/C |
| DRAINAGE DIRECTION | → | → |
| CONTOURS | — | (---) |



GRADING PLAN

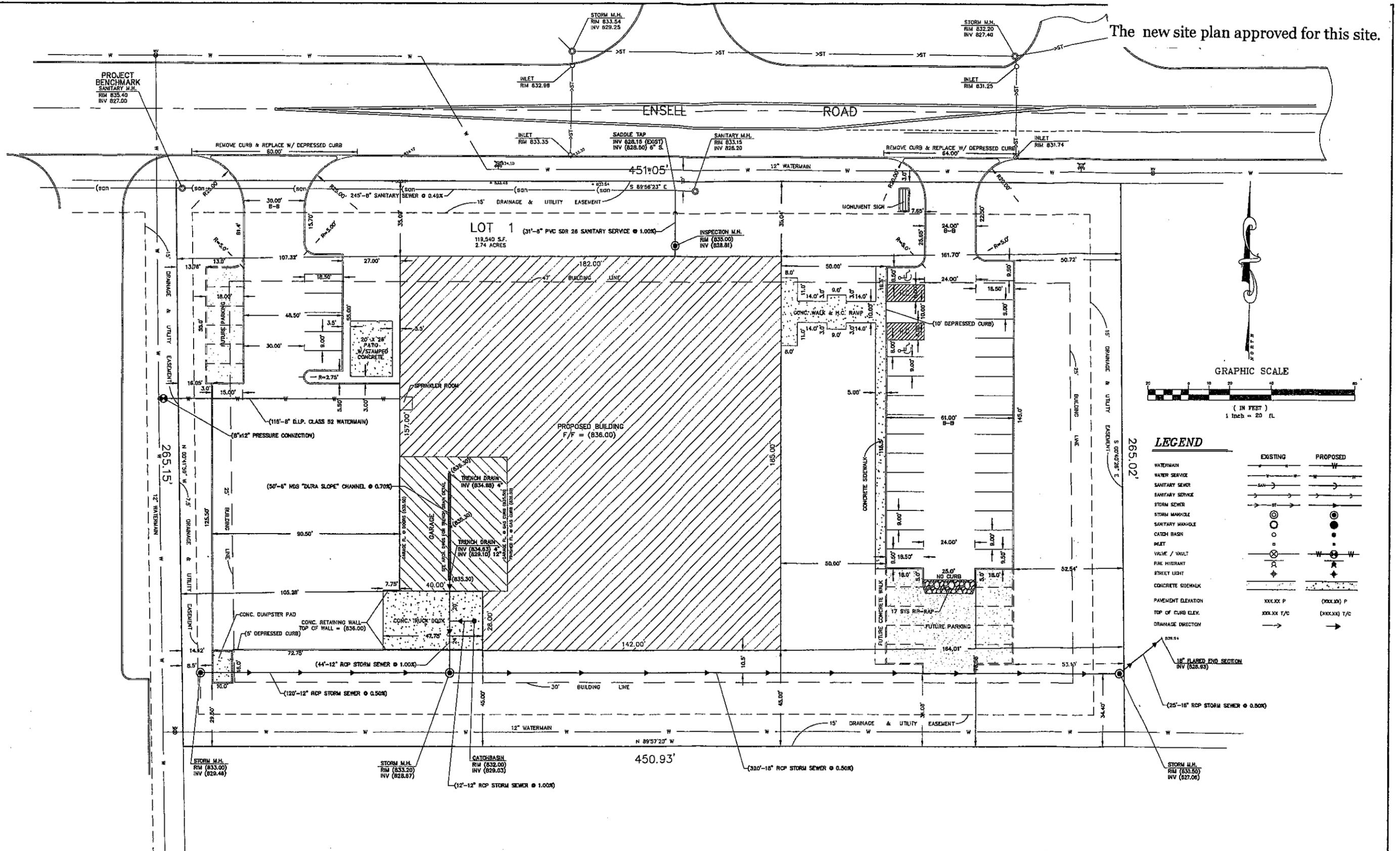


Joint Utility Locating Information for Excavators

Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

| | | | |
|--|---------|-------------------------|------------------|
| CHAMBERLIN / MASSE ENGINEERING LAND SURVEYORS ~ PLANNERS ~ ENGINEERS 14044 W. PETRONELLA DRIVE, SUITE 2 LIBERTYVILLE, ILLINOIS 60048 (847) 362-8444 FAX 362-9350 | | | |
| NO. | DATE | DESCRIPTION | BY |
| 3 | 3/28/14 | OWNER/VILLAGE COMMENTS | JRK |
| 2 | 3/17/14 | OWNER/VILLAGE COMMENTS | JRK |
| 1 | 2/17/14 | PRELIMINARY ENGINEERING | JRK |
| DRAWN BY: V.J.M. | | JOB # 213113 | DRAWING # 6 OF 9 |
| CHECKED BY: V.J.M. F.B. | | PG. | |

The new site plan approved for this site.



IMPERVIOUS COVERAGE (S.F.)

| | PROPOSED | FUTURE |
|-------------------------|--------------------|--------------------|
| BUILDING AREA | 32,550 S.F. | 32,550 S.F. |
| WALK & PATIO | 1,910 S.F. | 2,135 S.F. |
| DRIVEWAY/PARKING | 26,990 S.F. | 30,708 S.F. |
| TOTAL IMPERVIOUS | 61,450 S.F. | 65,393 S.F. |
| LOT AREA | 119,540 S.F. | 119,540 S.F. |
| % IMPERVIOUS | 51.41% | 54.70% |

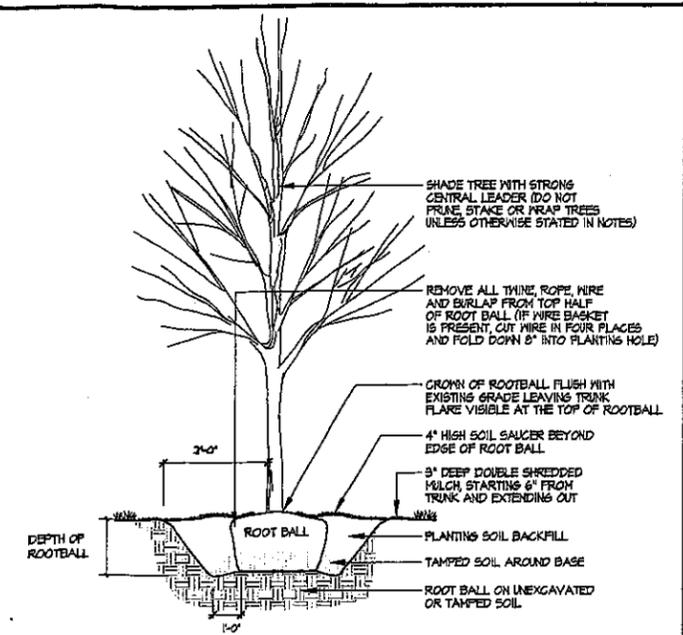
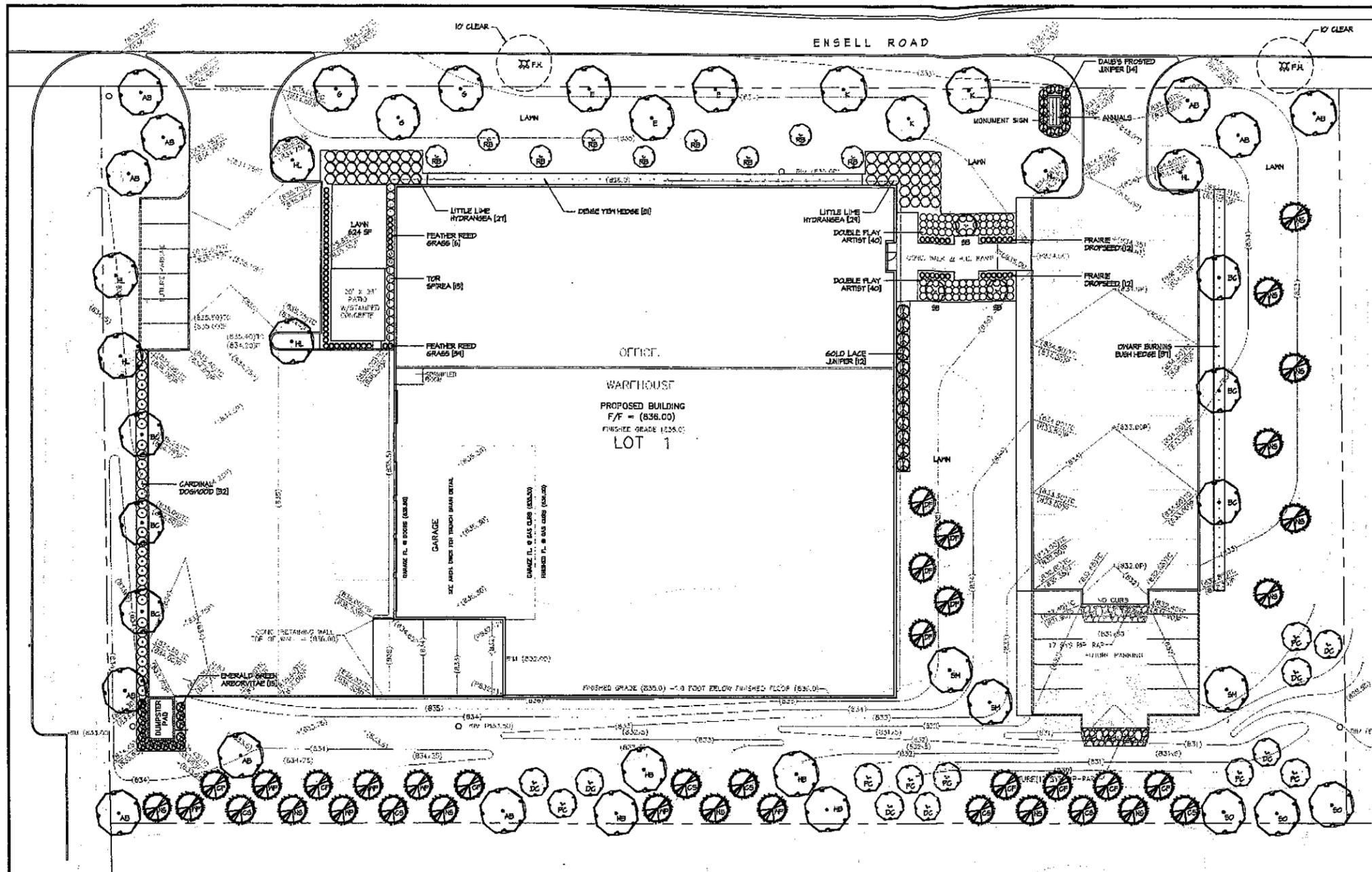


Joint Utility Locating Information for Excavators

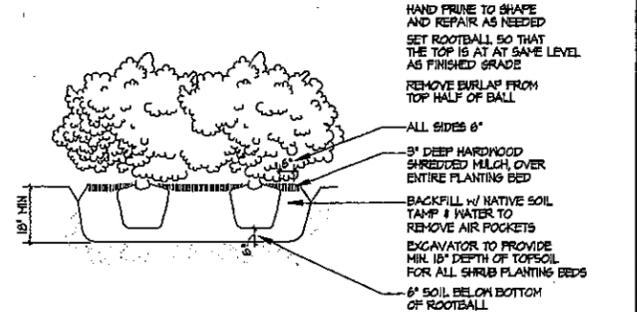
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

GEOMETRIC & UTILITY PLAN

| CHAMBERLIN / MASSE ENGINEERING | | | |
|---------------------------------------|---------|-------------------------|-----------|
| LAND SURVEYORS ~ PLANNERS ~ ENGINEERS | | | |
| 14044 W. PETRONELLA DRIVE, SUITE 2 | | | |
| LIBERTYVILLE, ILLINOIS 60048 | | | |
| (847) 362-8444 FAX 362-9350 | | | |
| 3 | 3/28/14 | OWNER/VILLAGE COMMENTS | JRK |
| 2 | 3/13/14 | OWNER/VILLAGE COMMENTS | JRK |
| 1 | 2/17/14 | PRELIMINARY ENGINEERING | JRK |
| NO. | DATE | DESCRIPTION | BY |
| DRAWN BY: V.J.M. | | JOB # 213113 | DRAWING # |
| CHECKED BY: V.J.M. | | F.B. | PG. |
| | | | 5 OF 9 |



1 SHADE TREE NOT TO SCALE



2 SHRUB PLANTING DETAIL NOT TO SCALE

LANDSCAPE PLAN SCALE 1"=20'-0"

VILLAGE REQUIREMENTS: PER VILLAGE OF LAKE ZURICH ORDINANCE 99-1-1991, PAGE 4, PARAGRAPH C, LOT 1 RECEIVED VARIANCE WITH THESE REDUCED PLANT UNITS

NORTH LOT LINE LANDSCAPE AREA ZONED I-1
10% OPACITY REQUIRED, 3' WIDTH MINIMUM, 1 PLANT UNIT / 100 LF

| 480.0' LF 4.5 PLANT UNITS REQUIRED (UNIT ALTERNATIVE A) 3' WIDTH PROVIDED | REQUIRED | PROPOSED |
|---|----------|----------|
| STREET TREES, 3" CAL | 10 | 10 |
| CANOPY TREES, 3" CAL | 5 | 5 |
| UNDERSTORY TREES, 6' HT | 4 | 4 |
| SHRUBS, 36" HT | 41 | 41 |

EAST LOT LINE LANDSCAPE AREA ZONED I-1
10% OPACITY REQUIRED, 3' WIDTH MINIMUM, 1 PLANT UNIT / 100 LF

| 225.0' LF 3 PLANT UNITS REQUIRED (UNIT ALTERNATIVE D) 3' WIDTH PROVIDED | REQUIRED | PROPOSED |
|---|----------|----------------------|
| EVERGREEN TREES, 6' HT | 4 | 5 CANOPY & EVERGREEN |
| SHRUBS, 36" HT | 15 | 15 |

SOUTH LOT LINE LANDSCAPE AREA CURRENTLY ZONED LAKE COUNTY R-1 WITH PLANS BY LAKE ZURICH TO BE ANNEXED 1
40% OPACITY REQUIRED, 20' WIDTH MINIMUM, 3 PLANT UNITS / 100 LF

| 450.0' LF 9.5 PLANT UNITS REQUIRED (UNIT ALTERNATIVE B) 20' WIDTH PROVIDED | REQUIRED | PROPOSED |
|--|----------|----------|
| CANOPY TREES, 3" CAL | 14 | 14 |
| UNDERSTORY TREES, 6' HT | 14 | 14 |
| EVERGREEN TREES, 6' HT | 21 | 21 |

WEST LOT LINE LANDSCAPE AREA ZONED I-1
10% OPACITY REQUIRED, 3' WIDTH MINIMUM, 1 PLANT UNIT / 100 LF

| 205.0' LF 3 PLANT UNITS REQUIRED (UNIT ALTERNATIVE E) 3' WIDTH PROVIDED | REQUIRED | PROPOSED |
|---|----------|----------|
| CANOPY TREES, 3" CAL | 6 | 6 |
| SHRUBS, 36" HT | 21 | 21 |

PLANT LIST

| Quantity | Botanic Name | Common Name | Qty | Size | Spacing | Remarks |
|----------|--|---------------------------|-----|--------|----------|--|
| 10 | Acer Fraxinifolium Autumn Blaze | Autumn Blaze Maple | 10 | 3" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| 3 | Acer rubrum 'Horton' | Black Street Norway Maple | 3 | 3" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| 4 | Celtis occidentalis | Hickberry | 4 | 3" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| 3 | Shinkgo bioba 'Autumn Gold' | Autumn Gold Shinkgo | 3 | 3" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| 6 | Bleditalia triacanthos Skulpte | Rhynchospora | 6 | 3" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| 3 | Quercus alata | Kentucky Coffeetree | 3 | 3" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| 3 | Quercus bicolor | Swamp White Oak | 3 | 3" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| 6 | Toxocarpus deltoideum | Red Dogwood | 6 | 3" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| 3 | Ulmus Morton | Acropolis Elm | 3 | 3" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| 3 | Amelanchier canadensis | Serviceberry | 3 | 6' ht | as shown | Specimen, multi-stem, min. 5-7 stems |
| 4 | Cercis canadensis | Redbud | 4 | 6' ht | as shown | Specimen, multi-stem, min. 5-7 stems |
| 7 | Nalis Donald Human | Donald Human Crabapple | 7 | 6' ht | as shown | Specimen, multi-stem, min. 5-7 stems |
| 7 | Nalis Pratinette | Pratinette Crabapple | 7 | 6' ht | as shown | Specimen, multi-stem, min. 5-7 stems |
| 1 | Aloes concolor | Concolor Fir | 1 | 6' ht | as shown | Specimen, symmetrical, full branching to ground |
| 12 | Picea abies | Norway Spruce | 12 | 6' ht | as shown | Specimen, symmetrical, full branching to ground |
| 7 | Picea canadensis | Canada Spruce | 7 | 6' ht | as shown | Specimen, symmetrical, full branching to ground |
| 7 | Pinus strobus | White Pine | 7 | 6' ht | as shown | Specimen, symmetrical, full branching to ground |
| 5 | Pseudotsuga menziesii | Douglas Fir | 5 | 6' ht | as shown | Specimen, symmetrical, full branching to ground |
| 32 | Cornus sericea Cardinal | Cardinal Dogwood | 32 | 36" | 42" | Fill branching to ground, symmetrical |
| 31 | Buxomus glabris Compactus | Compact Burning Bush | 31 | 36" | 42" | Fill branching to ground |
| 56 | Hydrangea paniculata Lane | Little Line Hydrangea | 56 | 36" | 42" | Fill branching to ground, symmetrical |
| 3 | Spiraea batifolia Tor | Brilliant Spiraea | 3 | 24" | 30" | Fill branching to ground, symmetrical |
| 20 | Salix integra Dan's Frost | Dan's Frost Willow | 20 | 18" | 30" | Fill branching to ground, symmetrical |
| 14 | Ulmus chinensis Dan's Frost | Dan's Frost Elm | 14 | 36" | 42" | Fill branching to ground, symmetrical |
| 12 | Ulmus chinensis Gold Lace | Golden Lace Elm | 12 | 30" H | 36" | Fill branching to ground, symmetrical |
| 31 | Taxus media Denstomile | Denise Yew | 31 | 30" H | 36" | Fill branching to ground, symmetrical |
| 15 | Thuja occidentalis Emerald | Emerald Green Arborvitae | 15 | 5' ht | 3' | Specimen, full branching to ground |
| 45 | Calamagrostis canadensis Karl Forester | Feather Reed Grass | 45 | 1 cal | 2' | Cut to ground in March/April |
| 24 | Sporobolus heterostachys | Prairie Dropseed | 24 | 1 cal | 2' | Cut to ground in March/April |

LEGEND

EXISTING PROPOSED

WATER MAIN W

WATER SERVICE W

SANITARY SEWER S

SANITARY SERVICE S

STORM SEWER S

STORM MANHOLE S

SANITARY MANHOLE S

CATCH BASIN S

BLLET S

VALVE / VAULT W

FIRE HYDRANT F

STREET LIGHT L

CONCRETE SIDEWALK S

PAVEMENT ELEVATION XXXXX P

TOP OF CURB ELEV. XXXXX T/C

DRAINAGE DIRECTION

CONTOURS

PAMELA Self
Landscape Architect

One Arno Court
Northbrook, Illinois 60061
ph: 847.488.4422
fx: 847.488.3444

Project: LOT 1 FLEX CONSTRUCTION
1975 ENSELL ROAD LAKE ZURICH, IL 60047

Title: LANDSCAPE PLAN

REVISIONS:

| no. | date | issue |
|-----|---------|-----------|
| 1 | 3/24/14 | REVISIONS |
| 2 | 3/30/14 | REVISIONS |
| 3 | 2/26/14 | REVISIONS |
| 4 | 2/14/14 | SUBMITTAL |

Start Date: 2/12/2014

design: PKS
drawn by: JRA

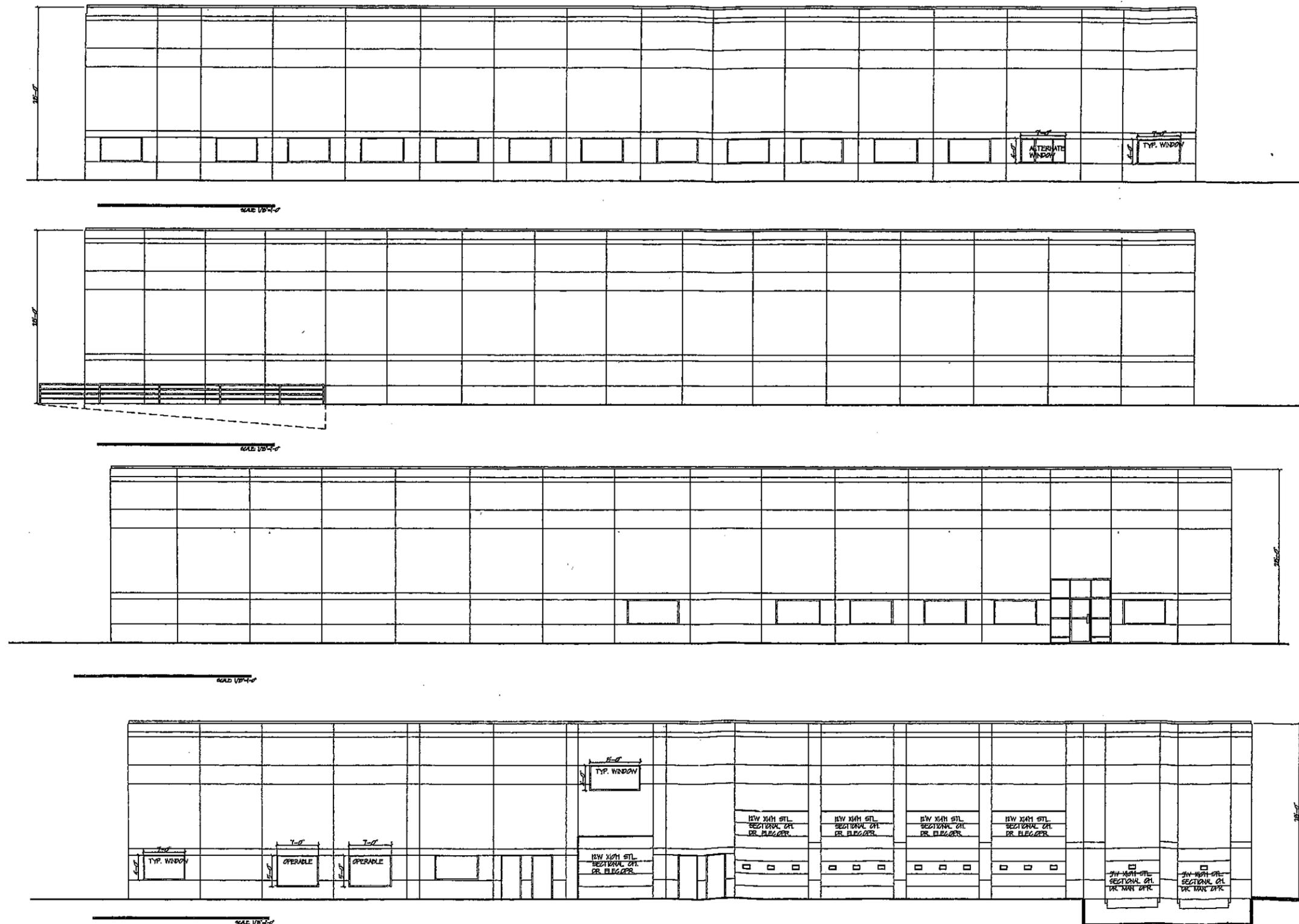
sheet: L-1 of 1

THESE PLANS AND ANY INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COPYRIGHT LAW AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF PAMELA SELF LANDSCAPE ARCHITECTURE, LTD.



Exhibit F

Exterior Appearance Plan



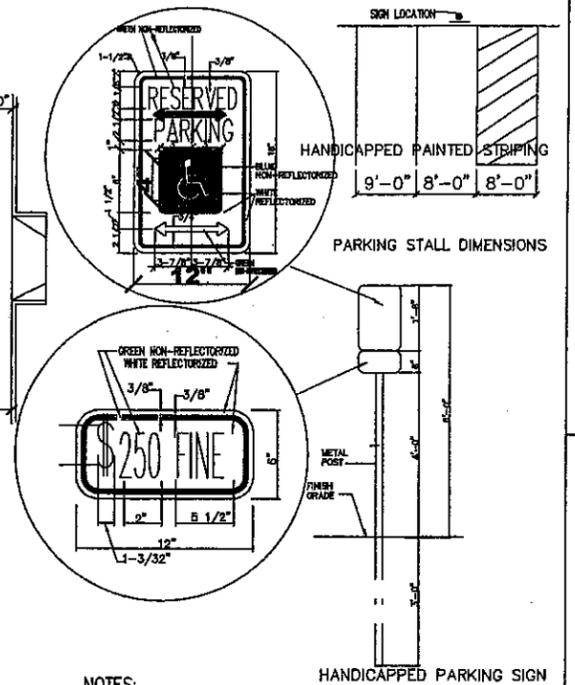
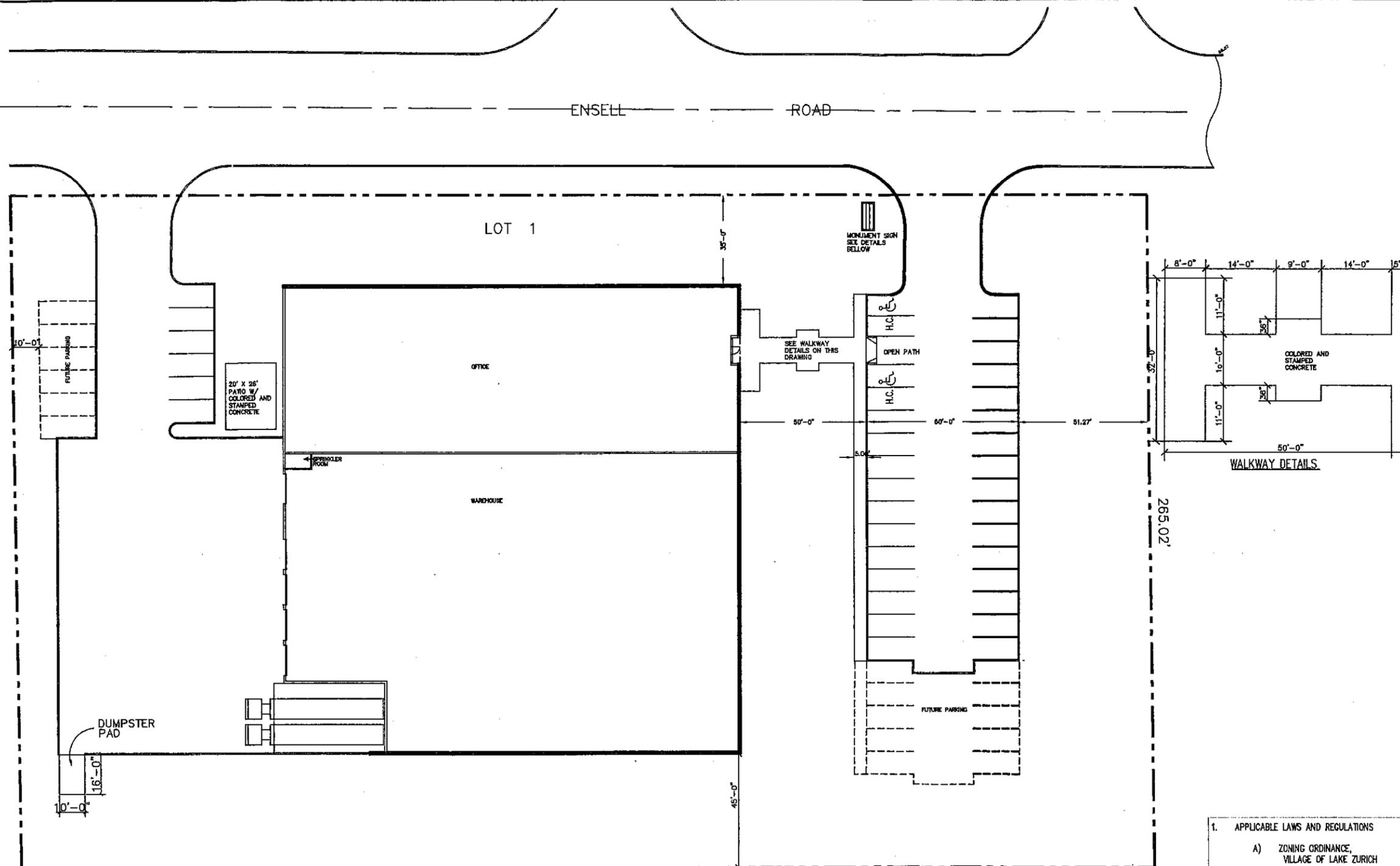
244 TELSER ROAD
LAKE ZURICH IL. 60047
(847) 540-0200

IMFLEX
CONSTRUCTION CORPORATION

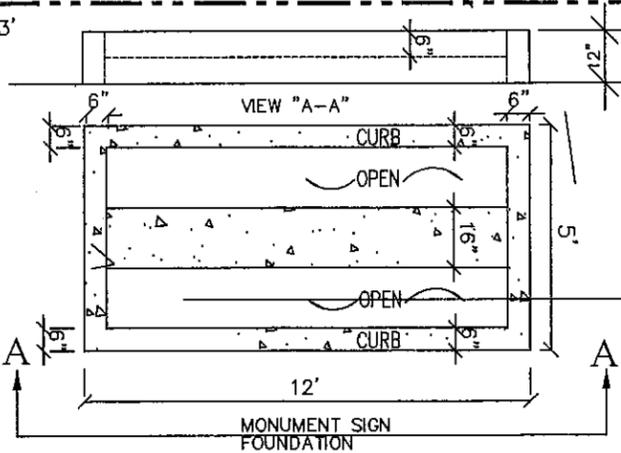
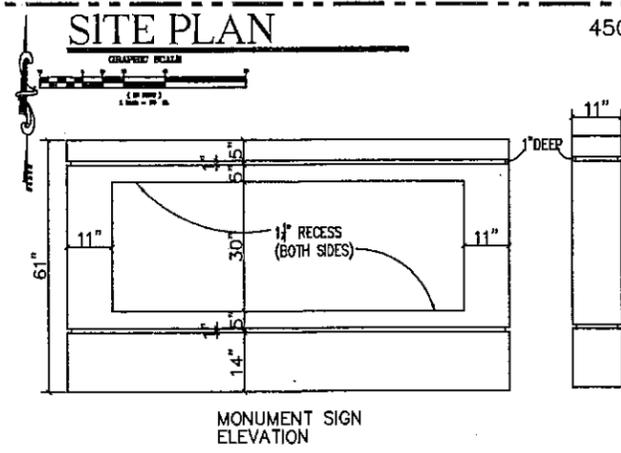
2-10-14
1/16"=1'-0"
RW

PF Ventures LLC
LOT (1)
Lake Zurich, Corporate Park
Lake Zurich, Illinois

Office - Warehouse Facility for PF Ventures, LLC
 LOT ONE, LAKE ZURICH CORPORATE PARK
 LAKE ZURICH, ILLINOIS

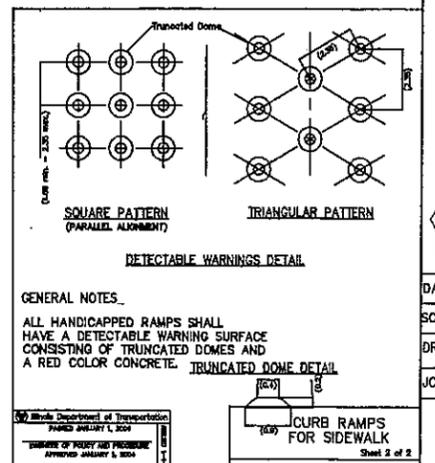


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 4. ALL RADII ARE TO BACK OF CURB.



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|---------------------------------------|---|
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3. TYPE OF CONSTRUCTION: 2B UNPROTECTED
4. FIRE PROTECTION REQUIREMENTS: BUILDING SHALL BE EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM



GENERAL NOTES:
 ALL HANDICAPPED RAMPS SHALL HAVE A DETECTABLE WARNING SURFACE CONSISTING OF TRUNCATED DOMES AND A RED COLOR CONCRETE. TRUNCATED DOME DETAIL

STANDARD 424001-03

244 TELSER ROAD
 LAKE ZURICH IL 60047
 (847) 540-0200

PLEX
 CONSTRUCTION CORPORATION

DATE 3-28-14
 SCALE N.T.S.
 DRAWN RW
 JOB
ST-1

LIMITATION OF WARRANTY OF ENGINEERS INSTRUMENTS OF SERVICE
 THE ENGINEER AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT OF THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

ENGINEERING IMPROVEMENT PLANS FOR

P-F VENTURES, LLC

1375 ENSELL ROAD
 LAKE ZURICH, ILLINOIS



Joint
 Utility
 Locating
 Information for
 Excavators

Call 48 hours before you dig
 (Excluding Sat., Sun. & Holidays)

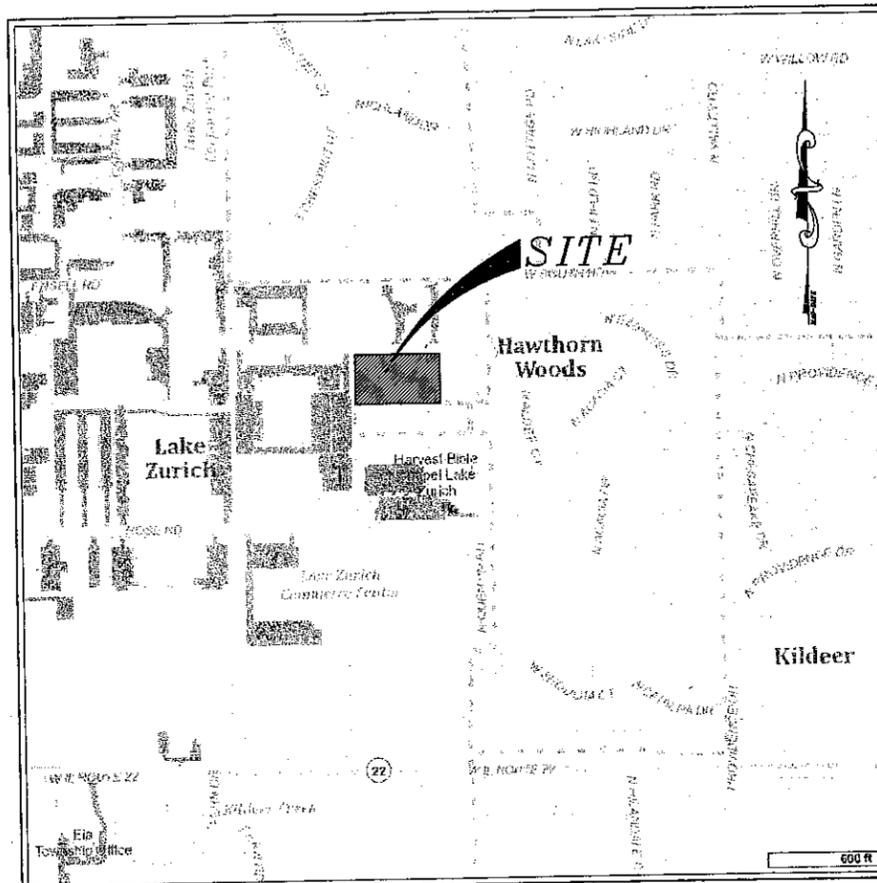
INDEX OF SHEETS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 S.W.P.P.P.
- 4 S.W.P.P.P. NOTES & DETAILS
- 5 GEOMETRIC & UTILITY PLAN
- 6 GRADING PLAN
- 7 CONSTRUCTION DETAILS
- 8 CONSTRUCTION DETAILS
- 9 CONSTRUCTION DETAILS

BENCHMARK

SOURCE BENCHMARK: EAST FLANGE BOLT ON FIRE HYDRANT LOCATED AT THE WEST SIDE OF INTERSECTION OF FLEX COURT AND TELSER ROAD.
 ELEVATION = 859.84 (U.S.G.S. DATUM).
 (TO CONVERT TO NAVD83 DATUM SUBTRACT 0.253' FROM ELEVATIONS SHOWN)

PROJECT BENCHMARK: RIM OF SANITARY MANHOLE LOCATED NEAR THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.
 ELEVATION = 835.40 (U.S.G.S. DATUM).



LOCATION MAP

N.T.S.

LEGEND

| | EXISTING | PROPOSED |
|--------------------|------------|--------------|
| WATERMAN | — W — | — W — |
| WATER SERVICE | — W — | — W — |
| SANITARY SEWER | — SAN — | — SAN — |
| SANITARY SERVICE | — SAN — | — SAN — |
| STORM SEWER | — ST — | — ST — |
| STORM MANHOLE | ⊙ | ⊙ |
| SANITARY MANHOLE | ⊙ | ⊙ |
| CATCH BASIN | ○ | ○ |
| INLET | ○ | ○ |
| VALVE / VAULT | ⊗ | ⊗ |
| FIRE HYDRANT | ⊙ | ⊙ |
| STREET LIGHT | ⊕ | ⊕ |
| CONCRETE SIDEWALK | — | — |
| PAVEMENT ELEVATION | xxx.xx P | (xxx.xx P) |
| TOP OF CURB ELEV. | xxx.xx T/C | (xxx.xx T/C) |
| DRAINAGE DIRECTION | → | → |

PRELIMINARY
 DO NOT USE FOR
 CONSTRUCTION

DRAINAGE STATEMENT

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS ___ DAY OF _____ A.D., 20__

BY: _____ OWNER BY: JOHN R. KRZYZANOWSKI
 ILL. PROF. ENG. #082-040870
 CHAMBERLIN/MASSE ENG.

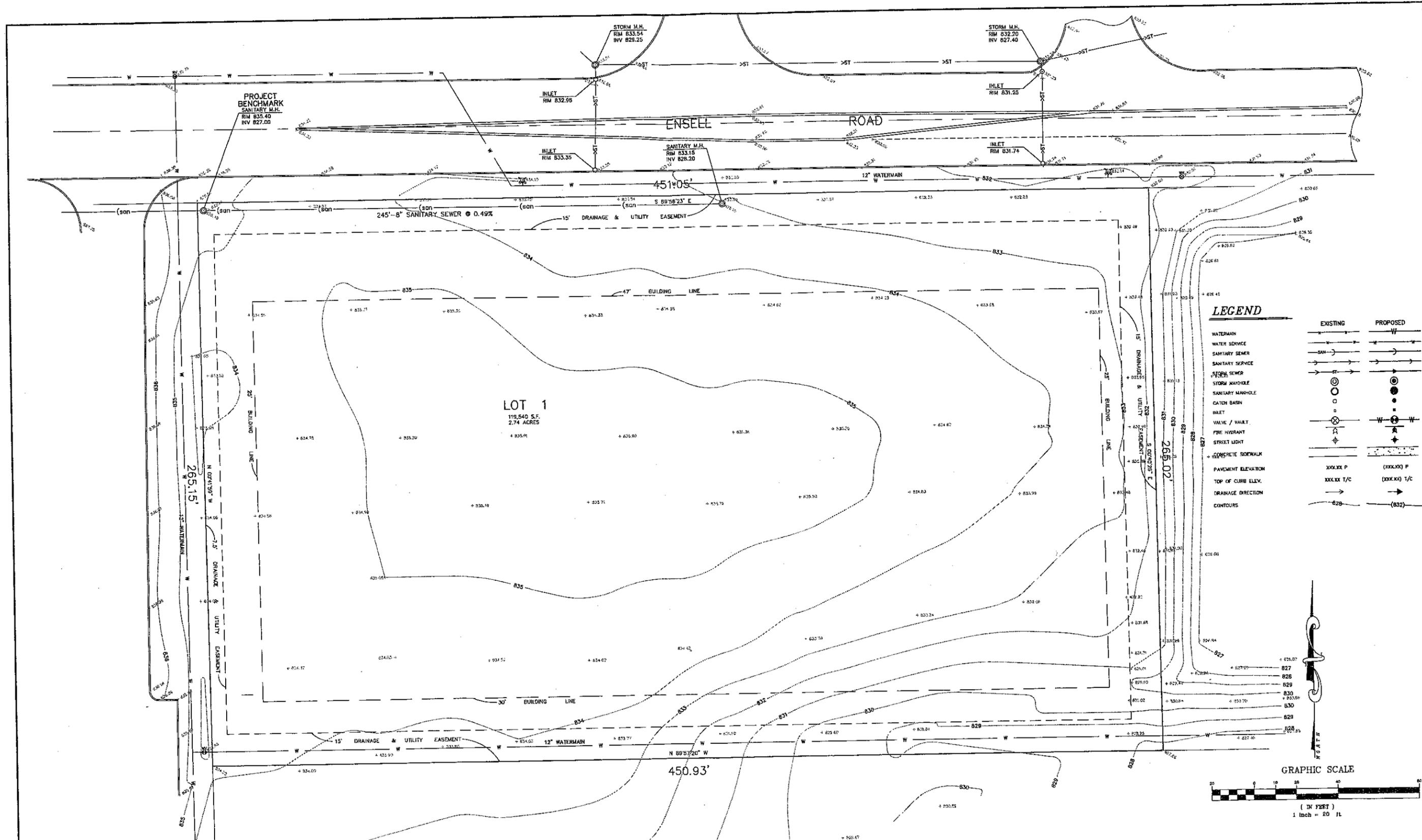


PRINTED NAME / TITLE

GENERAL NOTES

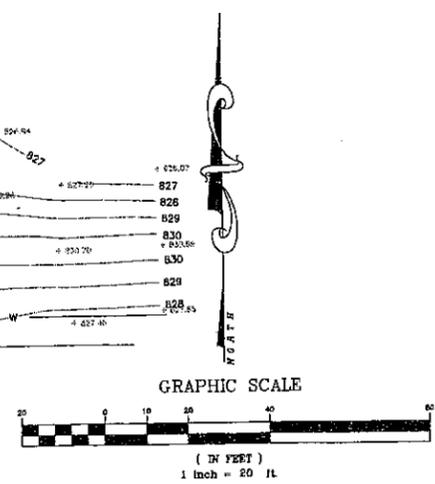
- ALL WORK HEREIN PROPOSED SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, THE LAKE ZURICH SUBDIVISION ORDINANCE, AND ALL PERTINENT LAWS, DIRECTIVES, ORDINANCES AND THE UKE SHALL BE CONSIDERED TO BE A PART OF THESE PLANS AND SPECIFICATIONS.
- ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO U.S.G.S. DATUM.
- ALL CONSTRUCTION SHALL CONFORM WITH THE PERMIT PLANS AND REVISIONS THERETO APPROVED BY THE VILLAGE OF LAKE ZURICH, ILLINOIS ENGINEERING DEPARTMENT.
- THE CONTRACTOR SHALL CONTACT JULLIE, (1-800-892-0123) PRIOR TO ANY WORK IN THE RIGHT OF WAY OR EASEMENTS TO LOCATE UTILITIES AND CONTACT THE OWNER'S REPRESENTATIVE SHOULD ANY PUBLIC UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS.
- PROPER STEPS SHALL BE TAKEN TO CONTROL EROSION DURING THE COURSE OF CONSTRUCTION. REFER TO THE "ILLINOIS URBAN MANUAL", LATEST EDITION, FOR EROSION CONTROL PRACTICES AND DETAILS.
- ALL FIELD TILES ENCOUNTERED SHALL BE RECONNECTED OR CONNECTED TO THE STORM SEWER AT THE DIRECTION OF THE ENGINEER. FIELD TILES DAMAGED OR REPLACED SHOULD BE REPLACED WITH PVC SDR-26 AT THE ORIGINAL LINE AND GRADE. ALL FIELD TILES ENCOUNTERED, REPAIRED OR REPLACED SHALL BE NOTED ON THE CONSTRUCTION PLANS AND THE PLANS TURNED OVER TO THE VILLAGE ENGINEER UPON COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC. THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AS ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, CURRENT EDITION, SHALL BE CONSULTED. APPROPRIATE CONTROL METHODS SHALL BE APPLIED TO THE SPECIFIC SITUATIONS AND TYPES OF CONSTRUCTION OPERATIONS BEING PERFORMED.
- THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIALS AND DEBRIS FROM THE PROJECT SITE AND MAINTAIN A CLEAN, SAFE WORK AREA.
- THE CONSTRUCTION, INCLUDING MATERIALS USED, OF THIS UTILITY AND FACILITY SHALL BE IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF THE MOST RECENT EDITIONS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", "SUPPLEMENTAL SPECIFICATIONS AND REQUIRING SPECIAL PROVISIONS", "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", AND "STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS", INCLUDING ALL AMENDMENTS AND SUCCESSION DOCUMENTS TO THE AFORESAID DOCUMENTS AS PUBLISHED OR ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THESE ENGINEERING PLANS.
- THE PERMITTEE SHALL BE RESPONSIBLE FOR ANY ADDITIONAL WORK, AND ALL COSTS THERETO, REQUIRED BECAUSE OF ERRORS OR OMISSIONS IN THESE ENGINEERING PLANS AND FOR THE CORRECTION OF ANY CONSTRUCTION, MAINTENANCE, OR SAFETY PROBLEMS, WHICH BECAME APPARENT DURING CONSTRUCTION OR BY INSPECTIONS MADE BY THE PERSON IN CHARGE OF THE VILLAGE OF LAKE ZURICH.
- THE PERSON IN CHARGE SHALL NOTE ANY CHANGES FROM THESE ENGINEERING PLANS AND SHALL NOTIFY THE LAKE ZURICH ENGINEERING DEPARTMENT ABOUT ANY CHANGES THAT DEVIATE FROM THE INTENT OF THESE ENGINEERING PLANS.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED AGAINST ALL DEFECTS AND WORKMANSHIP BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER AND THE APPLICABLE AGENCIES.
- ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND THE APPLICABLE AGENCIES PRIOR TO APPROVAL AND FINAL PAYMENT.
- MATERIAL THAT IS DEPOSITED IN THE FLOW LINE OF THE GUTTER, DITCH, DRAINAGE STRUCTURES, ETC., SUCH THAT THE NATURAL FLOW OF WATER IS OBSTRUCTED, SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY OR SOONER IF A HAZARD IS PRESENT. ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE CLEANED AND FREE FROM ALL DIRT AND DEBRIS UPON COMPLETION OF THE CONTRACTOR'S WORK. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- OVERHANGING BRANCHES THAT INTERFERE WITH CONSTRUCTION OPERATIONS SHALL BE TRIMMED AND SEALED IN ACCORDANCE WITH DOT SPECIFICATIONS. TREES OR OTHER WOODY VEGETATION SHALL BE REMOVED ONLY UPON APPROVAL OF THE OWNER AND GOVERNING AGENCY. IT MAY BE NECESSARY TO ALTER THE ALIGNMENT OF IMPROVEMENTS TO PRESERVE EXISTING VEGETATION. ANY CONTRACTOR REMOVING VEGETATION WITHOUT APPROVAL OF THE OWNER AND GOVERNING AGENCY IS RESPONSIBLE FOR REPLACEMENT AT HIS OWN EXPENSE.
- EXISTING TRAFFIC CONTROL SIGNS WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED AND RESET BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER. THE TRAFFIC CONTROL SIGNS SHALL BE RESET SUCH THAT THE TRAVELING PUBLIC IS NOT CHANGED. THIS WORK SHALL BE CONSIDERED INCIDENTAL AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED. TRAFFIC CONTROL SIGNS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH NEW SIGNS AT NO ADDITIONAL COMPENSATION. MAILBOXES WHICH INTERFERE WITH CONSTRUCTION SHALL BE RELOCATED IN ACCORDANCE WITH DOT AND U.S. POSTAL SERVICE SPECIFICATIONS.
- THE CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE CONCLUSION OF EACH DAY. THE CONTRACTOR'S FAILURE TO PROVIDE POSITIVE SITE DRAINAGE SHALL PRECLUDE THE CONTRACTOR FROM RECEIVING ADDITIONAL COMPENSATION DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING FROM THE SITE ANY AND ALL DEBRIS WHICH RESULTS FROM HIS CONSTRUCTION OPERATIONS.
- THE ENGINEER AND THE OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY AND EXECUTION OF HIS WORK.
- THE CONTRACTOR SHALL KEEP A SET OF "FOR CONSTRUCTION" DRAWINGS ON THE JOB SITE AND SHALL MAINTAIN A RECORD OF ALL ALTERATIONS/MODIFICATIONS OF THE IMPROVEMENTS. AT A MINIMUM, THE FOLLOWING INFORMATION SHALL BE RECORDED BY THE CONTRACTOR: LOCATION AND ELEVATION OF UNDERGROUND ITEMS INCLUDING SEWER SERVICES, CONNECTION POINTS, AND STRUCTURES. THE PLANS WITH THE RECORDED INFORMATION SHALL BE TURNED OVER TO THE OWNER PRIOR TO FINAL PAYMENT.
- THE VILLAGE OF LAKE ZURICH MUST HAVE 48 HOURS NOTICE PRIOR TO THE COMMENCEMENT OF ANY APPROVED CONSTRUCTION ACTIVITY.
- WORK WITHIN THE PUBLIC RIGHT OF WAY IS SUBJECT TO THE SPECIFIC APPROVAL OF THE VILLAGE ENGINEER.
- ALL STRUCTURE ADJUSTMENTS SHALL BE ACCOMPLISHED USING ONLY CONCRETE RINGS NOT TO EXCEED 8" WITH APPROPRIATE MASTIC OR MORTAR.
- THE BUILDER SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS BEFORE AND AFTER FINAL INSPECTION, PRIOR TO FINAL ACCEPTANCE BY THE VILLAGE OF LAKE ZURICH.
- ALL UTILITY LINES SHALL BE ALIGNED UNDER STREET PAVEMENT UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE VILLAGE ENGINEER TO OPEN CUT THE STREET PAVEMENT. CONTRACTOR SHALL MAINTAIN PAVEMENT CROSSING CUTS UNTIL FINAL PAVEMENT RESTORATION IS ACCEPTED BY THE VILLAGE ENGINEER.

| CHAMBERLIN / MASSE ENGINEERING | | | |
|---------------------------------------|---------|-------------------------|-----|
| LAND SURVEYORS ~ PLANNERS ~ ENGINEERS | | | |
| P.O.F. #184-004041 | | | |
| 14044 W. PETRONELLA DRIVE, SUITE 2 | | | |
| LIBERTYVILLE, ILLINOIS 60048 | | | |
| (847) 362-8444 FAX (847) 362-9350 | | | |
| DRAWN BY: VJM/CAD | | JOB # 213113 | |
| DRAWING # | | PG. | |
| 1 OF 9 | | | |
| 3 | 3/28/14 | OWNER/VILLAGE COMMENTS | JRK |
| 2 | 3/17/14 | OWNER/VILLAGE COMMENTS | JRK |
| 1 | 2/17/14 | PRELIMINARY ENGINEERING | JRK |
| NO. | DATE | DESCRIPTION | BY |
| CHECKED BY: VJM/JRK | | F.B. | |



LEGEND

| | EXISTING | PROPOSED |
|--------------------|------------|--------------|
| WATERMAIN | — W — | — W — |
| WATER SERVICE | — W — | — W — |
| SANITARY SEWER | — S — | — S — |
| SANITARY SERVICE | — S — | — S — |
| STORM SEWER | — ST — | — ST — |
| STORM MANHOLE | ⊙ | ⊙ |
| SANITARY MANHOLE | ⊙ | ⊙ |
| CATCH BASIN | ⊙ | ⊙ |
| INLET | ⊙ | ⊙ |
| VALVE / VAULT | ⊙ | ⊙ |
| FIRE HYDRANT | ⊙ | ⊙ |
| STREET LIGHT | ⊙ | ⊙ |
| CONCRETE SIDEWALK | — | — |
| PAVEMENT ELEVATION | XXX.XX P | (XXX.XX) P |
| TOP OF CURB ELEV. | XXX.XX T/C | (XXX.XX) T/C |
| DRAINAGE DIRECTION | → | → |
| CONTOURS | 828 | (832) |



EXISTING CONDITIONS



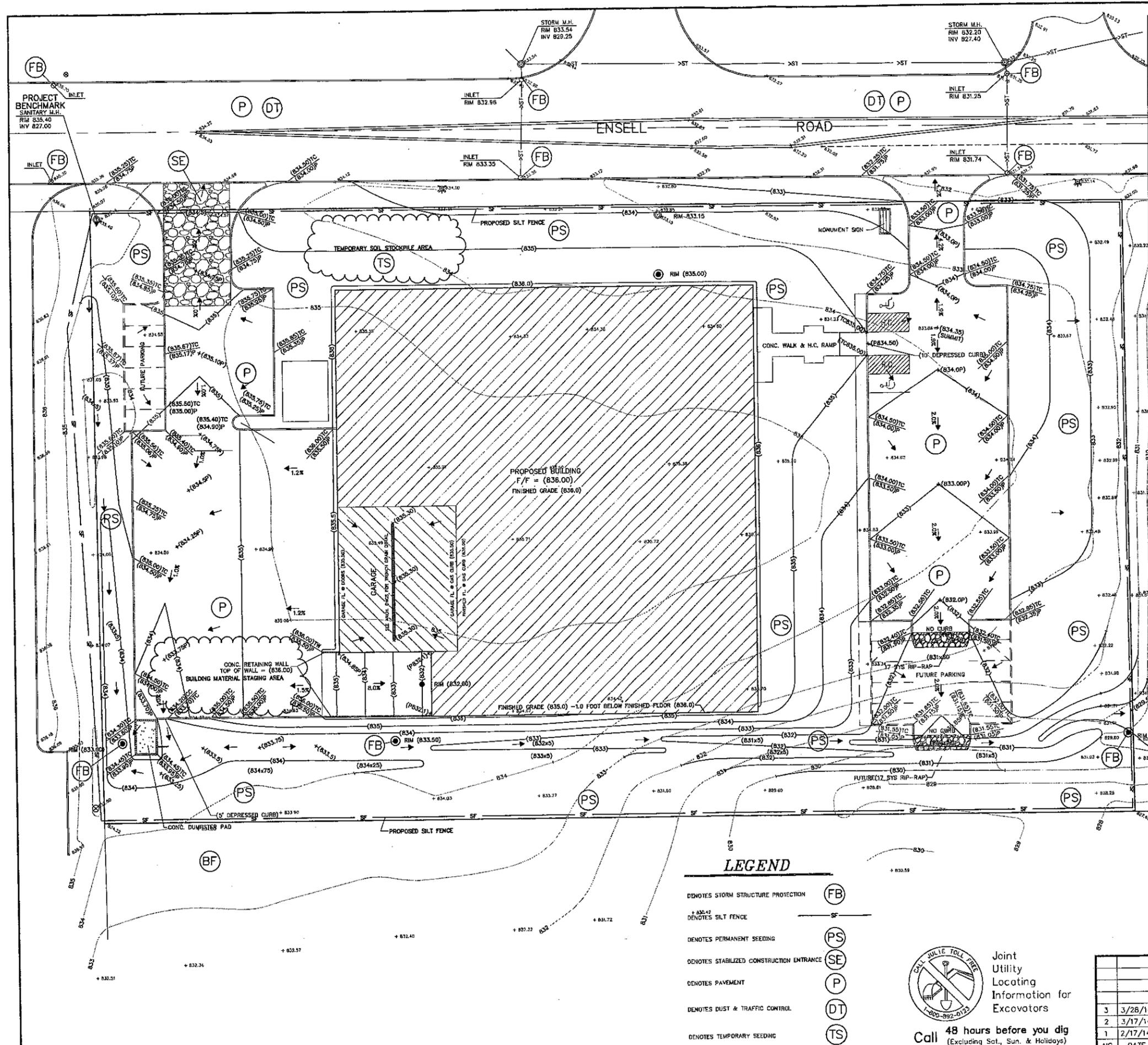
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

I, VINCENT J. MASSE, AN ILLINOIS REGISTERED LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THAT THE PLAT ABOVE IS A CORRECT REPRESENTATION OF SAID SURVEY.



VINCENT J. MASSE IL LAND SURVEYOR # 2854
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A TOPOGRAPHIC SURVEY.
 P.D.F. # 184-004041 LICENSE EXPIRES 11/30/14

| | | | |
|--|---------|-------------------------|--------|
| CHAMBERLIN / MASSE ENGINEERING LAND SURVEYORS ~ PLANNERS ~ ENGINEERS 14044 W. PETRONELLA DRIVE, SUITE 2 LIBERTYVILLE, ILLINOIS 60048 (847) 362-8444 FAX 352-9350 | | | |
| NO. | DATE | DESCRIPTION | BY |
| 1 | 2/17/14 | PRELIMINARY ENGINEERING | JRK |
| DRAWN BY: V.J.M. | | JOB # 213113 | |
| CHECKED BY: V.J.M. | | F.B. PG. | |
| DRAWING # | | | 2 OF 9 |

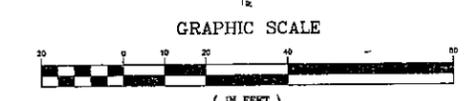


| CONTROL MEASURE GROUP | CONTROL MEASURE | CONTROL MEASURE CHARACTERISTICS | TEMPORARY / PERMANENT |
|---------------------------|--------------------------|---|-----------------------|
| VEGETATIVE SOIL COVER | TEMPORARY SEEDING | PROVIDES SOIL PROTECTION UNTIL PERMANENT SEEDING IS ESTABLISHED. USE OF MULCH IS RECOMMENDED TO MAINTAIN SOIL MOISTURE AND TEMPERATURE. | TEMPORARY |
| | PERMANENT SEEDING | PROVIDES LONG-TERM SOIL PROTECTION AND STABILIZATION. SEEDING SHOULD BE DONE IN ACCORDANCE WITH LOCAL AGRICULTURAL PRACTICES. | PERMANENT |
| | DORMANT SEEDING | USE OF PERMANENT SEEDING MIXTURES THAT CONTAIN DORMANT SEEDS. SEEDS WILL GERMINATE IN THE FOLLOWING YEAR. | PERMANENT |
| | SODDING | USE OF PRE-GROWN GRASS sods to provide immediate soil cover and stabilization. | PERMANENT |
| NON-VEGETATIVE SOIL COVER | MULCHING | USE OF ORGANIC OR SYNTHETIC MULCH TO PROTECT SOIL FROM EROSION AND MAINTAIN MOISTURE. | TEMPORARY |
| | AGGREGATE COVER | USE OF SAND, GRAVEL, OR OTHER AGGREGATE MATERIALS TO PROTECT SOIL SURFACE. | TEMPORARY |
| DIVERSIONS | RIDGE DIVERSION | USE OF RIDGES TO DIVERT RUNOFF AWAY FROM SENSITIVE AREAS. | TEMPORARY |
| | CHANNEL DIVERSION | USE OF CHANNELS TO DIVERT RUNOFF TO APPROPRIATE DRAINAGE AREAS. | TEMPORARY |
| | COMBINATION DIVERSION | USE OF COMBINED RIDGES AND CHANNELS FOR RUNOFF DIVERSION. | TEMPORARY |
| | CURB AND GUTTER | USE OF CURBS AND GUTTERS TO CONTROL RUNOFF AT STREET LEVELS. | PERMANENT |
| WATERWAYS | VEGETATIVE CHANNEL | USE OF VEGETATION TO STABILIZE CHANNELS AND REDUCE EROSION. | PERMANENT |
| | LINED CHANNEL | USE OF CONCRETE OR OTHER LINED CHANNELS FOR RUNOFF COLLECTION. | PERMANENT |
| | STORM SEWER | USE OF STORM SEWERS TO COLLECT AND REMOVE RUNOFF FROM THE SITE. | PERMANENT |
| | UNDERDRAIN | USE OF UNDERDRAINS TO REMOVE WATER FROM PAVEMENT SURFACES. | PERMANENT |
| SPILLWAYS | STRAIGHT PIPE SPILLWAY | USE OF STRAIGHT PIPE SPILLWAYS TO DIVERT EXCESS RUNOFF. | PERMANENT |
| | DROP INLET PIPE SPILLWAY | USE OF DROP INLET PIPE SPILLWAYS TO CONTROL EROSION AT INTAKE POINTS. | PERMANENT |
| | WIRE SPILLWAY | USE OF WIRE SPILLWAYS TO STABILIZE CHANNELS AND REDUCE EROSION. | PERMANENT |
| | BOX INLET WEIR SPILLWAY | USE OF BOX INLET WEIR SPILLWAYS TO CONTROL FLOW AND PREVENT EROSION. | PERMANENT |
| OUTLETS | LINED APRON | USE OF LINED APRONS TO PROTECT CHANNEL BEDS FROM EROSION. | PERMANENT |
| | EMBANKMENT SED. BASIN | USE OF EMBANKMENT SEDIMENT BASINS TO TRAP SEDIMENT FROM RUNOFF. | PERMANENT |
| | EXCAVATED SED. BASIN | USE OF EXCAVATED SEDIMENT BASINS TO TRAP SEDIMENT AND PREVENT EROSION. | PERMANENT |
| | COMBINATION SED. BASIN | USE OF COMBINATION SEDIMENT BASINS TO TRAP SEDIMENT AND PREVENT EROSION. | PERMANENT |
| SEDIMENT FILTERS | BARRIER FILTER | USE OF BARRIER FILTERS TO TRAP SEDIMENT AND PREVENT EROSION. | PERMANENT |
| | VEGETATIVE FILTER | USE OF VEGETATIVE FILTERS TO TRAP SEDIMENT AND PREVENT EROSION. | PERMANENT |
| MUD AND DUST CONTROL | STABILIZED CONST. ENT. | USE OF STABILIZED CONSTRUCTION ENTRANCES TO PREVENT MUD AND DUST FROM LEAVING THE SITE. | PERMANENT |
| | DUST AND TRAFFIC CONTROL | USE OF DUST AND TRAFFIC CONTROL MEASURES TO PREVENT POLLUTION. | PERMANENT |

LEGEND

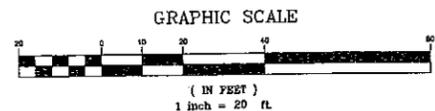
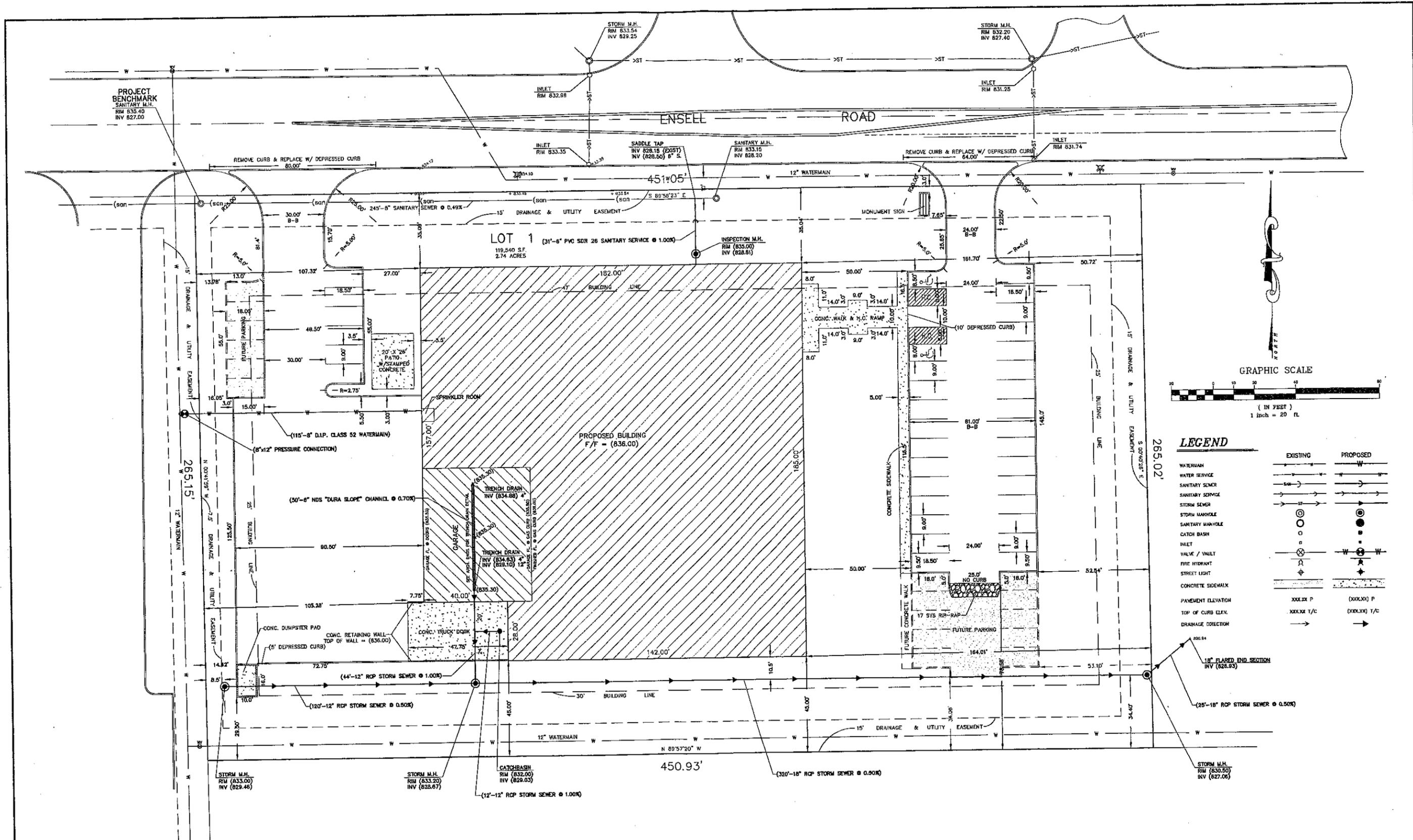
- (FB) DENOTES STORM STRUCTURE PROTECTION
- SF — DENOTES SILT FENCE
- (PS) DENOTES PERMANENT SEEDING
- (SE) DENOTES STABILIZED CONSTRUCTION ENTRANCE
- (P) DENOTES PAVEMENT
- (DT) DENOTES DUST & TRAFFIC CONTROL
- (TS) DENOTES TEMPORARY SEEDING

Joint Utility Locating Information for Excavators
 Call 48 hours before you dig
 (Excluding Sat., Sun. & Holidays)



S.W.P.P.P.

| | | | |
|------------------------------------|---------|---------------------------------------|--------------|
| CHAMBERLIN / MASSE ENGINEERING | | LAND SURVEYORS - PLANNERS - ENGINEERS | |
| 14044 W. PETRONELLA DRIVE, SUITE 2 | | | |
| LIBERTYVILLE, ILLINOIS 60048 | | | |
| (847) 362-8444 FAX 362-9350 | | | |
| NO. | DATE | DESCRIPTION | BY |
| 3 | 3/28/14 | OWNER/VLLAGE COMMENTS | JRK |
| 2 | 3/17/14 | OWNER/VLLAGE COMMENTS | JRK |
| 1 | 2/17/14 | PRELIMINARY ENGINEERING | JRK |
| | | DESIGNATION | BY |
| | | DRAWN BY: V.J.M. | JOB # 213113 |
| | | CHECKED BY: V.J.M. | F.B. PG. |
| | | DRAWING # | 3 OF 9 |



LEGEND

| | EXISTING | PROPOSED |
|--------------------|-----------|-------------|
| WATERMAIN | — | —W |
| WATER SERVICE | — | —W |
| SANITARY SEWER | —S | —S |
| SANITARY SERVICE | — | —S |
| STORM SEWER | — | —S |
| STORM MANHOLE | ⊙ | ⊙ |
| SANITARY MANHOLE | ⊙ | ⊙ |
| CATCH BASIN | ⊙ | ⊙ |
| INLET | ⊙ | ⊙ |
| WALK / VAULT | ⊗ | ⊗ |
| FIRE HYDRANT | ⊕ | ⊕ |
| STREET LIGHT | ⊕ | ⊕ |
| CONCRETE SIDEWALK | — | — |
| PAYEMENT ELEVATION | XXX.X P | (XXX.X) P |
| TOP OF CURB ELEV. | XXX.X T/C | (XXX.X) T/C |
| DRAINAGE DIRECTION | → | → |

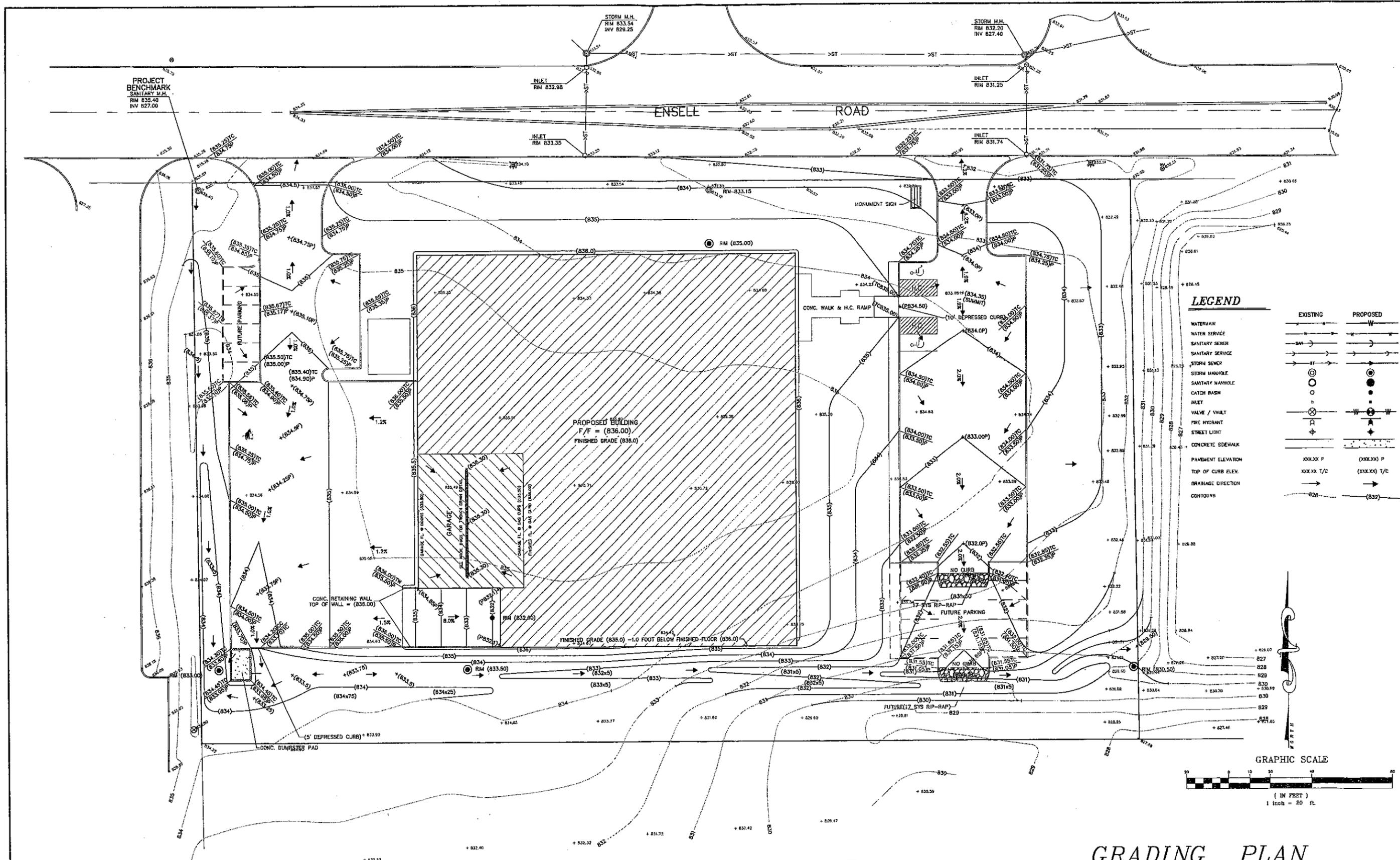
IMPERVIOUS COVERAGE (S.F.)

| | PROPOSED | FUTURE |
|------------------|--------------|--------------|
| BUILDING AREA | 32,550 S.F. | 32,550 S.F. |
| WALK & PATIO | 1,910 S.F. | 2,135 S.F. |
| DRIVEWAY/PARKING | 25,990 S.F. | 30,708 S.F. |
| TOTAL IMPERVIOUS | 61,450 S.F. | 65,393 S.F. |
| LOT AREA | 119,540 S.F. | 119,540 S.F. |
| % IMPERVIOUS | 51.41% | 54.70% |


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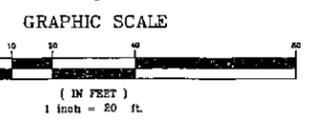
GEOMETRIC & UTILITY PLAN

| | | | |
|--|---------|-------------------------|-----------------------------|
| CHAMBERLIN / MASSE ENGINEERING LAND SURVEYORS - PLANNERS - ENGINEERS 14044 W. PETRONELLA DRIVE, SUITE 2 LIBERTYVILLE, ILLINOIS 60048 (847) 362-8444 FAX 362-9350 | | | |
| 3 | 3/28/14 | OWNER/VILLAGE COMMENTS | JRK |
| 2 | 3/13/14 | OWNER/VILLAGE COMMENTS | JRK |
| 1 | 2/17/14 | PRELIMINARY ENGINEERING | JRK |
| NO. | DATE | DESCRIPTION | BY |
| | | | CHECKED BY: V.J.M. F.B. PG. |
| | | | DRAWING # 5 OF 9 |



LEGEND

| EXISTING | PROPOSED |
|--------------------|--------------------|
| Watermain | Watermain |
| Water Service | Water Service |
| Sanitary Sewer | Sanitary Sewer |
| Sanitary Service | Sanitary Service |
| Storm Sewer | Storm Sewer |
| Storm Manhole | Storm Manhole |
| Sanitary Manhole | Sanitary Manhole |
| Catch Basin | Catch Basin |
| Inlet | Inlet |
| Valve / Vault | Valve / Vault |
| Fire Hydrant | Fire Hydrant |
| Street Light | Street Light |
| Concrete Sidewalk | Concrete Sidewalk |
| Pavement Elevation | Pavement Elevation |
| Top of Curb Elev. | Top of Curb Elev. |
| Drainage Direction | Drainage Direction |
| Contours | Contours |



GRADING PLAN



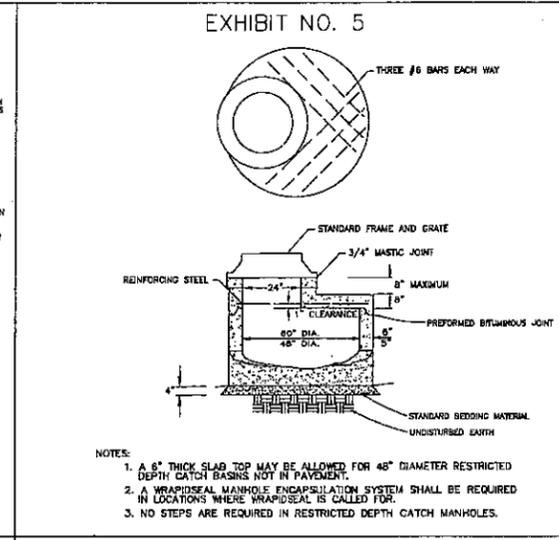
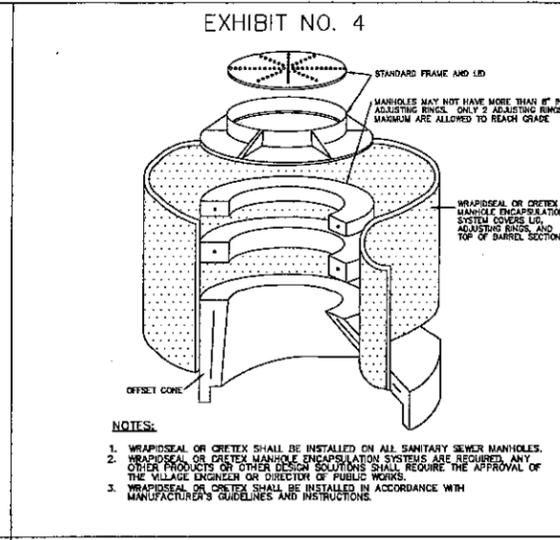
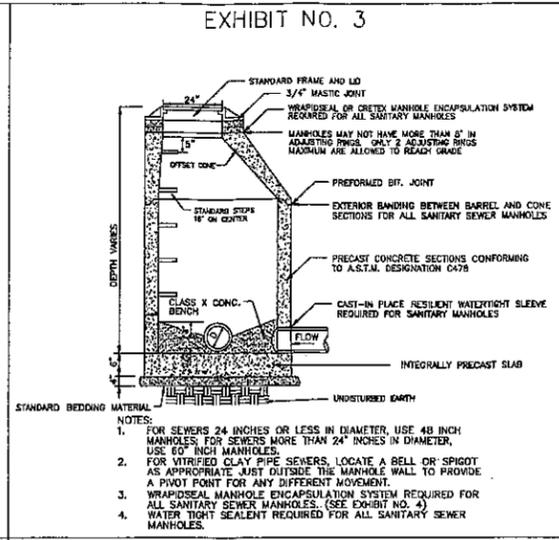
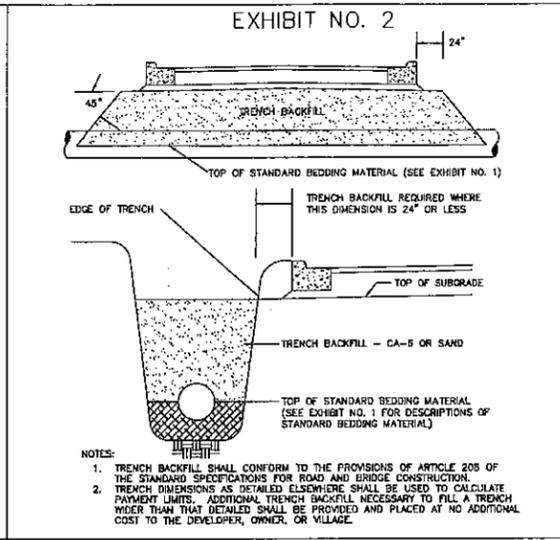
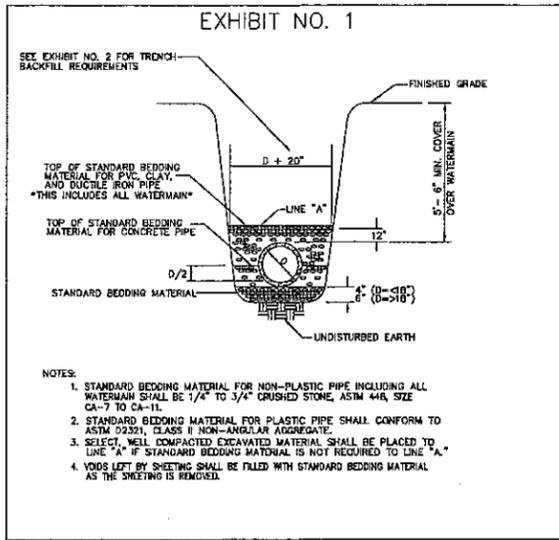
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|-----|---------|-------------------------|-----|
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| 1 | 2/17/14 | PRELIMINARY ENGINEERING | JRK |

| | | | |
|---------------------------------------|--------------|-----------|--|
| CHAMBERLIN / MASSE ENGINEERING | | | |
| LAND SURVEYORS ~ PLANNERS ~ ENGINEERS | | | |
| 14044 W. PETRONELLA DRIVE, SUITE 2 | | | |
| LIBERTYVILLE, ILLINOIS 60048 | | | |
| (847) 362-8444 FAX 362-9350 | | | |
| DRAWN BY: V.J.M. | JOB # 213113 | DRAWING # | |
| CHECKED BY: V.J.M. | F.B. PG. | 6 OF 9 | |

NOTE: DETAILS ARE NOT TO BE CHANGED IN ANY WAY. LEAVE ALL DETAILS ON SHEET EVEN IF THEY DO NOT APPLY TO CURRENT IMPROVEMENTS. CHANGING OF DETAILS DOES NOT CHANGE REQUIREMENTS.



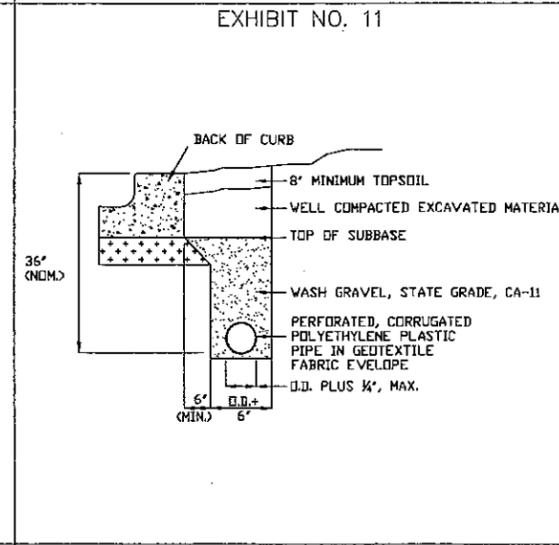
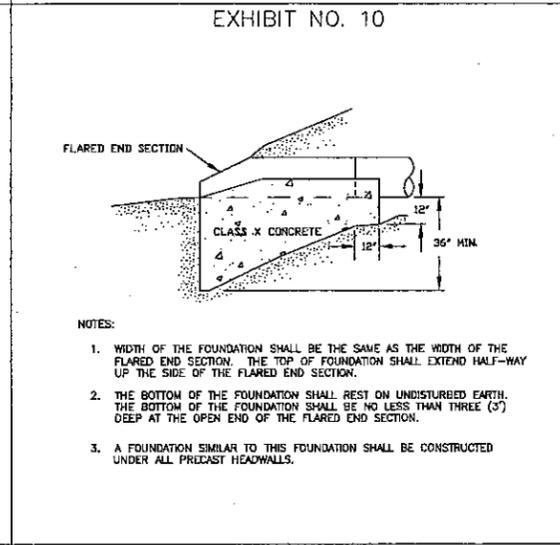
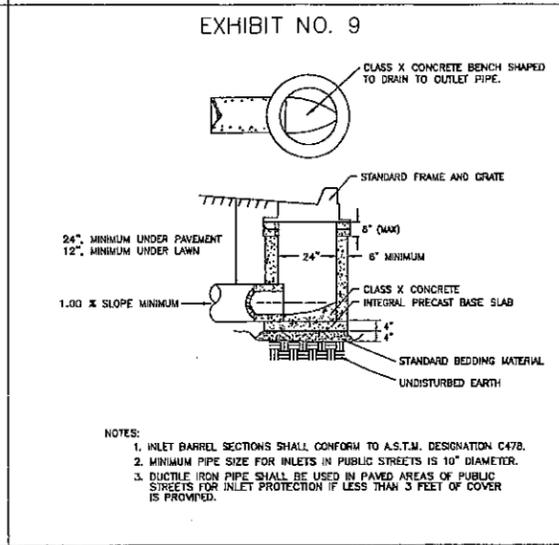
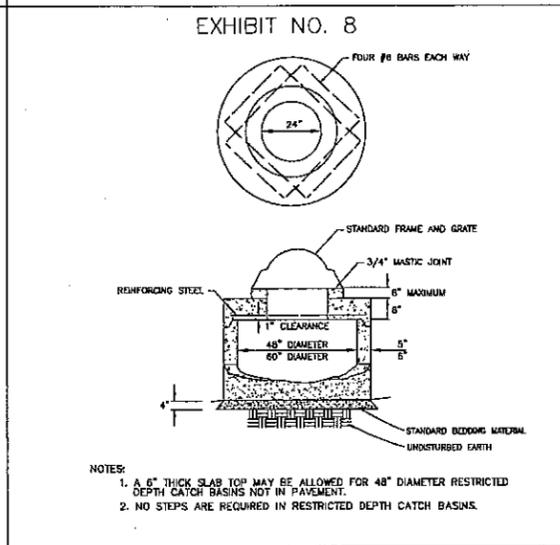
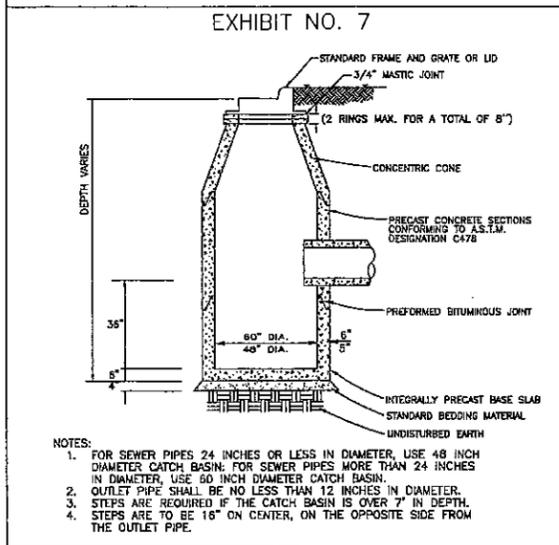
TYPICAL TRENCH AND STANDARD BEDDING

TRENCH BACKFILL

STANDARD MANHOLE

WRAPIDSEAL MANHOLE ENCAPSULATION SYSTEM

FLAT TOP FOR RESTRICTED DEPTH MANHOLE



CATCH BASIN

FLAT SLAB TOP FOR RESTRICTED DEPTH C.B.

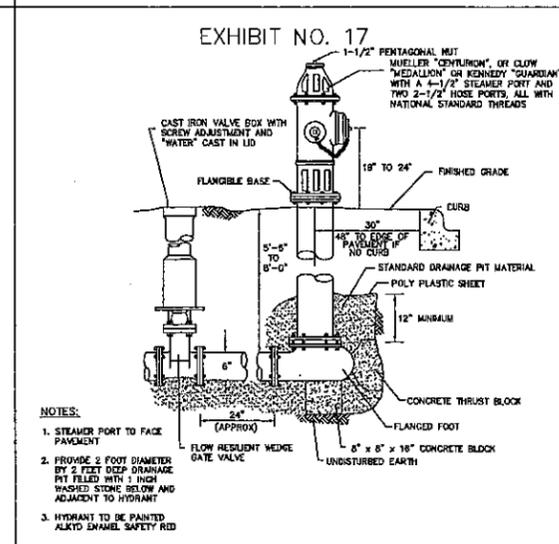
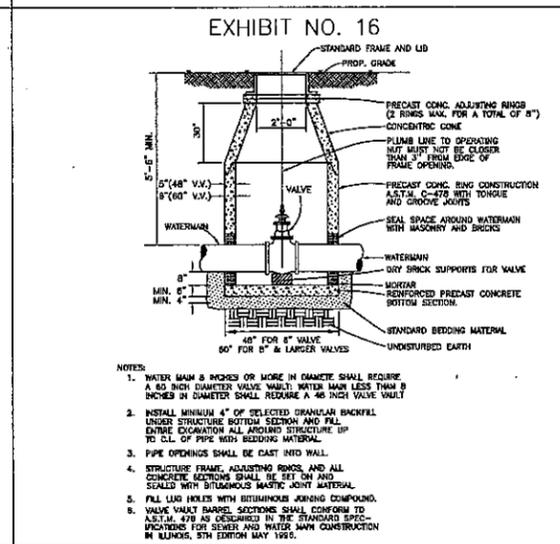
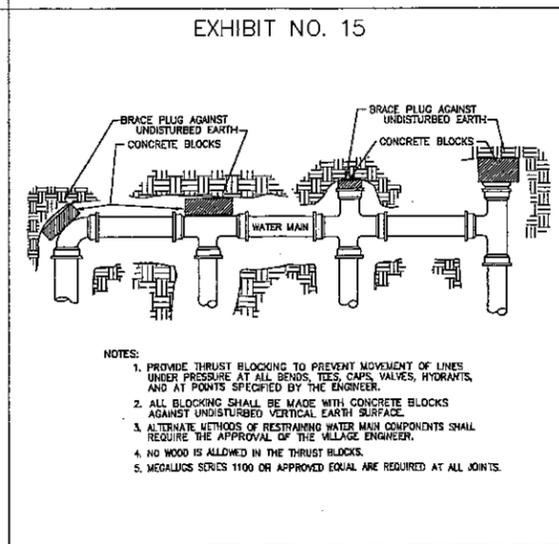
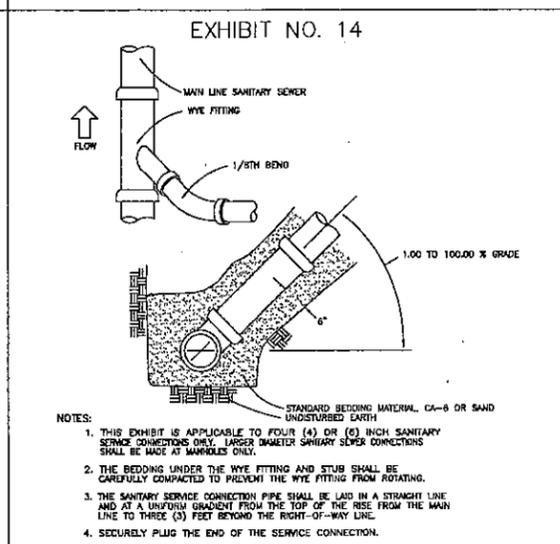
INLET

FOUNDATION FOR FLARED END SECTION

UNDERDRAIN

EXHIBIT NO. 12: MINIMUM STANDARDS FOR STREET DESIGN

| STREET | PAVEMENT DESIGN |
|--------------------------------------|--|
| MAJOR | 4" GRANULAR SUB-BASE 9" BITUMINOUS AGGREGATE MIXTURE 2" BITUMINOUS BINDER COURSE 2" BITUMINOUS SURFACE COURSE |
| COLLECTOR | 3" GRANULAR SUB-BASE 6" BITUMINOUS AGGREGATE MIXTURE 2" BITUMINOUS BINDER COURSE 1 1/2" BITUMINOUS SURFACE COURSE |
| MINOR | 3" AGGREGATE BASE COURSE 5" BITUMINOUS AGGREGATE MIXTURE 2" BITUMINOUS BINDER COURSE 1 1/2" BITUMINOUS SURFACE COURSE |
| CUIL-DE-SAC | SAME AS MINOR |
| MARGINAL ACCESS | SAME AS MINOR |
| IN BUSINESS AND INDUSTRIAL DISTRICTS | 3" GRANULAR SUB-BASE 8" BITUMINOUS AGGREGATE MIXTURE 3" BITUMINOUS CONCRETE |



MINIMUM STANDARDS FOR STREET DESIGN

SANITARY SERVICE CONNECTION

THRUST BLOCK

VALVE VAULT

FIRE HYDRANT

VILLAGE OF LAKE ZURICH
70 EAST MAIN STREET
LAKE ZURICH, IL 60047
(847) 540-1694

REVISIONS

| NO. | DESCRIPTION |
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VILLAGE OF LAKE ZURICH DETAILS SHEET 1

| | | |
|-------------|---------|-------|
| PROJECT NO. | DETAILS | SHEET |
| DATE | 1/10/03 | 1 |
| SCALE | NTS | 1 |
| DESIGNED BY | DESIGN | 3 |
| DRAWN BY | DTM | |
| CHECKED BY | EL | |

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NOTE: DETAILS ARE NOT TO BE CHANGED IN ANY WAY. LEAVE ALL DETAILS ON SHEET EVEN IF THEY DO NOT APPLY TO CURRENT IMPROVEMENTS. CHANGING OF DETAILS DOES NOT CHANGE REQUIREMENTS.

EXHIBIT NO. 13

THESE STANDARDS SUPERCEDE ALL OTHER STANDARDS

LAKE ZURICH UTILITY MATERIAL STANDARDS

SANITARY SEWER

Pipe
PVC, SDR - 26, meeting requirements of ASTM - 3034
Bolted Joint / Call Classification 12454 - B
Depth over 15 feet - SDR 12 or 18
Service laterals: PVC SDR 40 or better, SDR 35 or 26
1/4" to 3/4" crushed stone, size CA-7 to CA-11, 12" over the top of pipe

Bedding Materials
Pre-Coat Concrete with Bench and Rubber Boots
Cast Iron Frames and Lids: Neenah Type 1 self-sealing Marked "Sanitary Sewer"
WroptSeal Manhole Encapsulation System is required on all sanitary manholes
Contractor shall be qualified by manufacturer's rep. to install WroptSeal
Exterior bonding between barrel and cone sections is required
Manhole must be water tight and sealed from the outside

Manholes
Fiberglass steps
The casing must be ductile iron or steel
Manufactured pipe chocks must be used between the pipe and casing
Peg gravel must be jelled through the casing, with concrete mortar on the ends
Casing to be installed as required by the "Standard Specifications for Water and Sewer Construction in Illinois" 5th Edition, 1995, with all services considered as mains
If PVC pipe (3900) is used, #6 cold copper tracing wire is required for locating purposes

Casing

Foreman

Watermain

Fire Hydrants
Clow Medallion, 5 1/4" with Auxiliary Valve
Kennedy Guardian, 5 1/4" with Auxiliary Valve
Mueller Contorkon A - 423 with Auxiliary Valve
5 1/4" three-way (2 hose nozzles and 1 pumper nozzle)
Painted Safety Red

Pipe
Class 52 Ductile Iron, cement lined, Megalugs Series 1100 required at all fittings
Wrapping the watermain with polyethylene film is not permitted
1/4" to 3/4" crushed stone, size CA-7 to CA-11, 12" over the top of pipe

Bedding Materials
Clow, American Flow Control
Kennedy Resident Valve
American Flow Control KFC series 500 NRS
Resilient Wedge Valve 1/2" General
Mueller Resident Wedge Valve
Non-Rising Stem, Mechanical Joint

Manholes
Cast Iron Frames and Lids: Neenah Type 1 self-sealing Marked "Water"
The casing must be ductile iron or steel
Manufactured pipe chocks must be used between the pipe and casing
Peg gravel must be jelled through the casing, with concrete mortar on the ends
Casing to be installed as required by the "Standard Specifications for Water and Sewer Construction in Illinois" 5th Edition, 1995, with all services considered as mains

Corporation Stop
Mueller H - 15000 - 1" Size
AY McDonald 4701
Mueller H-15154 - 1" Stop, Minneapolis Pattern
AY McDonald 5104

Roundway
Mueller H - 10300 Upper section inside diameter 1 1/4"
Mueller H - 10302 Upper section inside diameter 1 1/2"
1" Type K Copper, or as required by plumbing code

B-Box
Double Bonded Stainless Steel Topping Sleeve with 1" corporation stop

Service Line
Topping Saddle

Hardware
All nuts and bolts below grade shall be stainless steel

WATERMAIN INSTALLATION SPECIFICATIONS

- Watermain shall not be exposed for any reason without the approval of the Superintendent - Utilities.
- Filling mains, pressure connections, pressure tests, fire-ins, and chlorinations require 48-hour notification to the Superintendent - Utilities.
- Pressure connections and tie-ins to the Village systems will be scheduled and witnessed by the Utilities Division personnel.
- Once mains are tied to the Village system, no valves or hydrants shall be operated by anyone other than Utility Division personnel.
- Filling and flushing will be done by the Utilities Division only.
- Water for pressure tests will be supplied by the Utilities Division, but it is the responsibility of the contractor to provide a backflow preventer or an approved anti-siphon method before the pump.
- Corporation cocks and 1" copper lines for the chlorination end sampling shall be installed at locations determined by the Utilities Division.
- Chlorination will not be performed on service lines until all permanent water valves are installed.
- Water vaults for 8" valves and larger must have an inside diameter of 80".

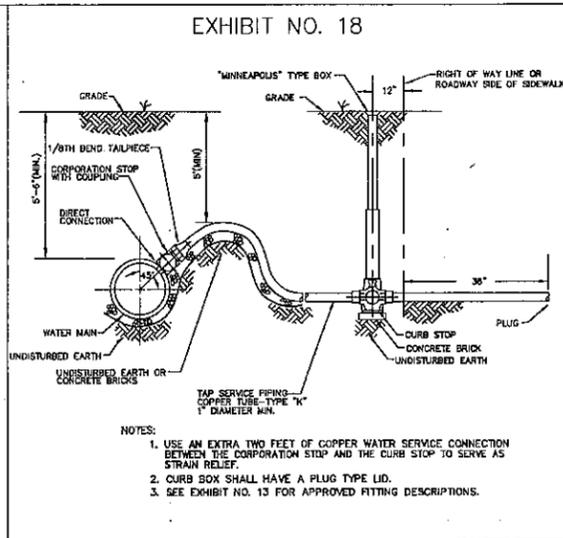


EXHIBIT NO. 19

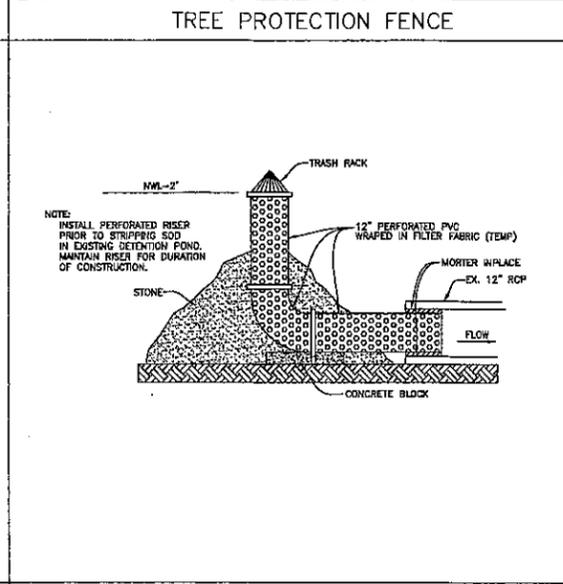
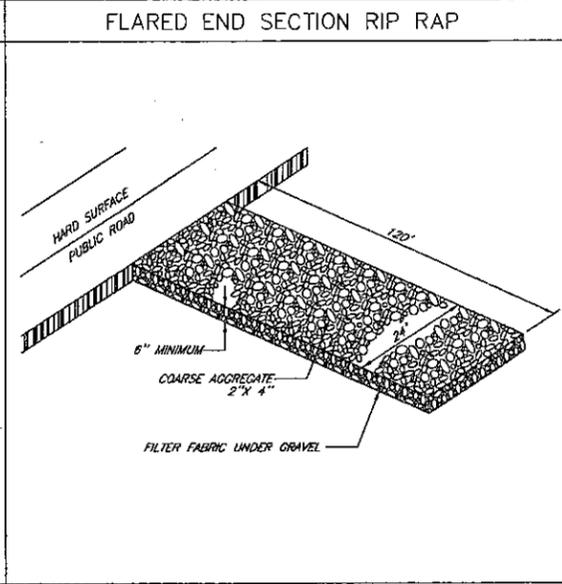
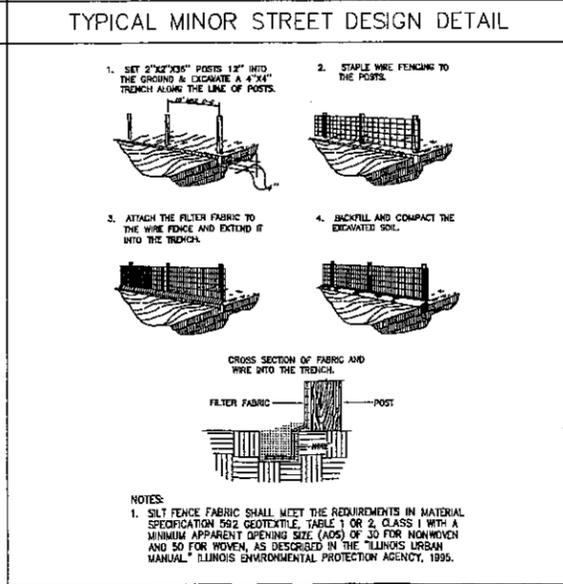
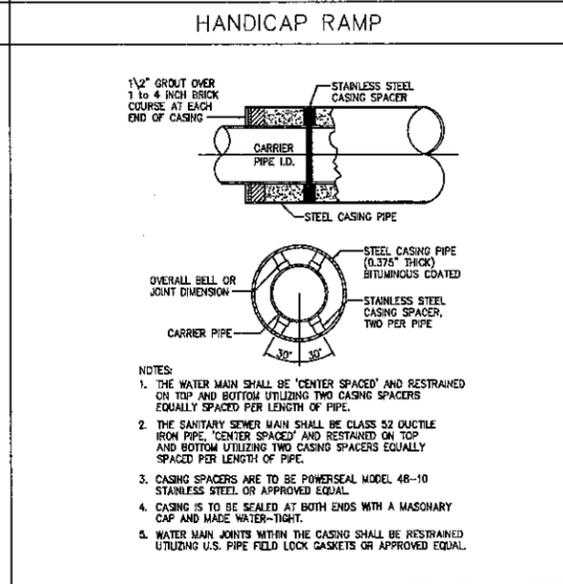
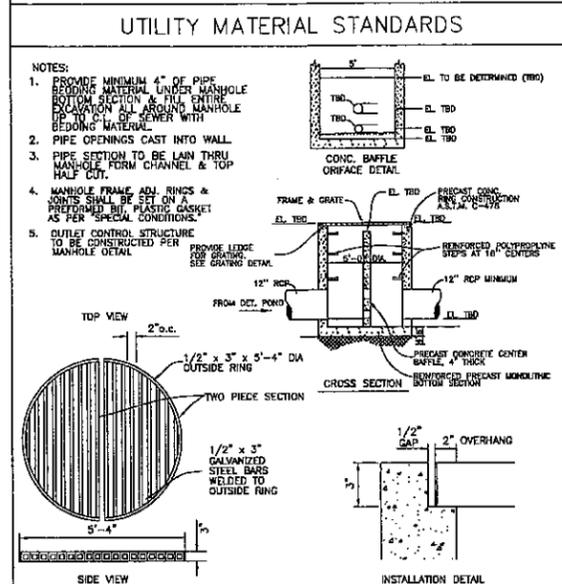
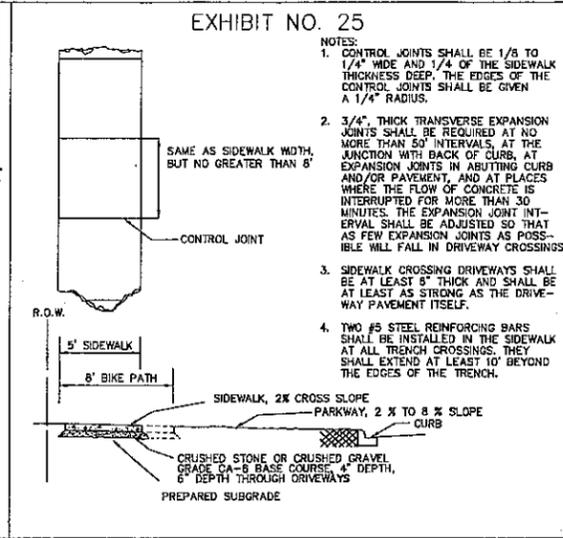
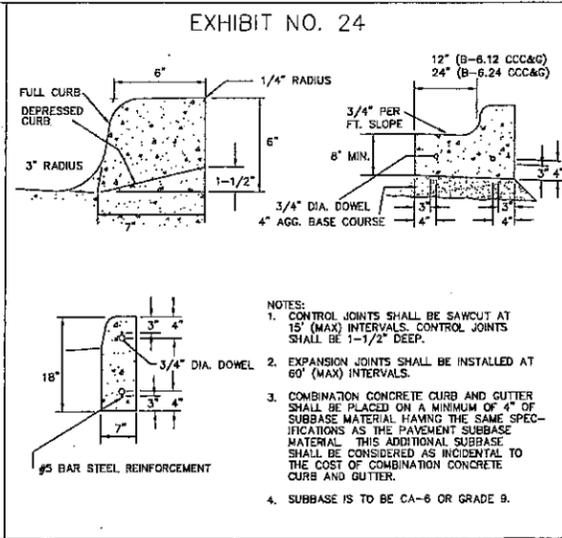
MINIMUM STANDARDS FOR STREET DESIGN

| STREET | RIGHT-OF-WAY WIDTH | PAVEMENT WIDTH | RADIUS OF HORZ. CURVES | LENGTH OF VERT. CURVES | TANGENT BETWEEN HORZ. CURVES | MAXIMUM GRADE | MINIMUM GRADE | CLEAR SIGHT DISTANCE |
|----------------------------------|--------------------|----------------|------------------------|------------------------|------------------------------|---------------|---------------|----------------------|
| MAJOR | 100 FT. | 54 FT. | 500 FT. | 200 FT. | 200 FT. | 5% | 0.5% | 500 FT. |
| COLLECTOR | 80 FT. | 44 FT. | 400 FT. | 200 FT. | 200 FT. | 5% | 0.5% | 400 FT. |
| MINOR | 60 FT. | 30 FT. | 150 FT. | 100 FT. | 100 FT. | 6% | 0.5% | 200 FT. |
| CUL-DE-SAC | 120 FT. | 86 FT. | 150 FT. | 100 FT. | - | 6% | 0.5% | 200 FT. |
| MARGINAL ACCESS | 60 FT. | 30 FT. | 400 FT. | 200 FT. | 100 FT. | 6% | 0.5% | 200 FT. |
| IN BUSINESS AND INDUSTRIAL DIST. | 80-100 FT. | 54 FT. | 500 FT. | 200 FT. | 200 FT. | 2% | 0.5% | 500 FT. |

*PAVEMENT WIDTHS ARE MEASURED BACK OF CURB TO BACK OF CURB AND INCLUDE ADDITIONAL WIDTH FOR ON-STREET PARKING.

(a) FIFTY (50) FEET FOR EACH ONE (1) PERCENT ALGEBRAIC DIFFERENCE OF GRADE BUT IN NO CASE LESS THAN TWO HUNDRED (200) FEET.

(b) FORTY (40) FEET FOR EACH ONE (1) PERCENT ALGEBRAIC DIFFERENCE OF GRADE BUT IN NO CASE LESS THAN ONE HUNDRED (100) FEET.



VILLAGE OF LAKE ZURICH
70 EAST MAIN STREET
LAKE ZURICH, IL 60047
(847) 540-1694

REVISIONS

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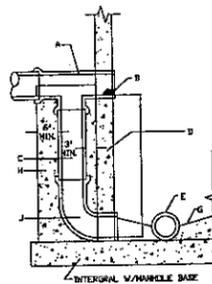
VILLAGE OF LAKE ZURICH DETAILS

SHEET 2

| | | |
|-------------|---------|-------|
| PROJECT NO. | DETAILS | SHEET |
| DATE | 1/10/03 | 2 |
| SCALE | NTS | 2 |
| DESIGNED BY | DESIGN | 3 |
| DRAWN BY | DTM | 3 |
| CHECKED BY | EL | 3 |

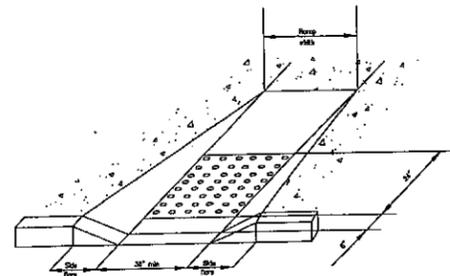
VILLAGE OF LAKE ZURICH DETAILS

NOTE: DETAILS ARE NOT TO BE CHANGED IN ANY WAY. LEAVE ALL DETAILS ON SHEET EVEN IF THEY DO NOT APPLY TO CURRENT IMPROVEMENTS. CHANGING OF DETAILS DOES NOT CHANGE REQUIREMENTS.



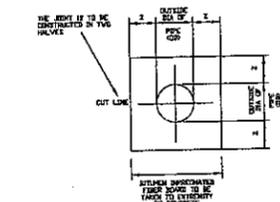
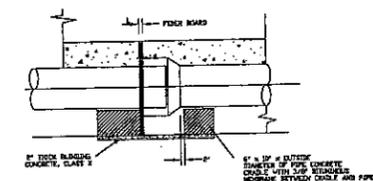
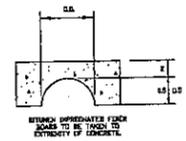
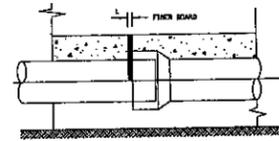
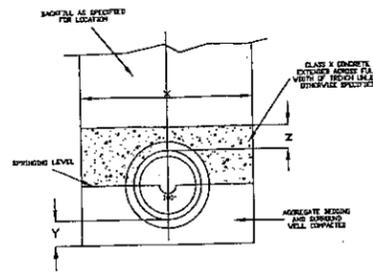
- LEGEND**
- DUCTILE IRON PIPE
 - JOINT AND MORTAR BAN HEIGHT EQUALS 1/3 DIAMETER OF SEWER
 - OUTSIDE DROP PIPE 6" DIA. UNLESS OTHERWISE NOTED ON THE PLANS
 - MANHOLE SIDEWALLS PRECAST REINFORCED CONCRETE RISERS, MINIMUM 4" THICKNESS
 - MANHOLE SEWER LARGEST DIAMETER
 - RISER PIPE PVC 30" DIA. 3/4" DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS
 - MANHOLE BENCH (FLEET) POURED IN PLACE CONCRETE UNLESS PRECAST WITH PRECAST REINFORCED CONCRETE BASE AND BOTTOM WALL
 - CLASS V CONCRETE IN ACCORDANCE WITH THE STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - SO GEORGE BOND DUCTILE IRON PIPE

- NOTES**
- ALL JOINTS SHALL CONFORM TO ASTM C-405 SPECIFICATIONS EXCEPT "E" BLDG.
 - JOINT AND MORTAR OR BITUMINOUS MASTIC JOINT ALLOWED ONLY AS SHOWN
 - RISERS SHALL BE CONSTRUCTED UNDER MAIN LINE SEWER EXCEPT BY LOCALS OTHERWISE NOTED
 - RISERS SHALL BE CONSTRUCTED IN UNDISTURBED SIDEWALK EXIST.



- GENERAL NOTES**
- THE MAXIMUM SLOPE OF THE SIDE FLARE FOR TYPE B RAMP SHALL BE AS INDICATED BY THE VERTICAL OF THE LANDING AND BETWEEN THE TOP OF THE RAMP AND IN CONSTRUCTION IS LESS THAN 1" PER THE MAXIMUM SLOPE SHALL BE 1/4"
 - ALL RAMP MATES ARE CONSTRUCTED AS SET BY VERTICAL ALIGNMENT TO UNITS OF HORIZONTAL ALIGNMENT OVER
 - ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SHOWN
 - UNGRADED JOINTS TO BE FEDERAL STANDARD COLOR STRIP MARKING

TYPE B RAMP



OUTSIDE DROP PIPE DETAIL

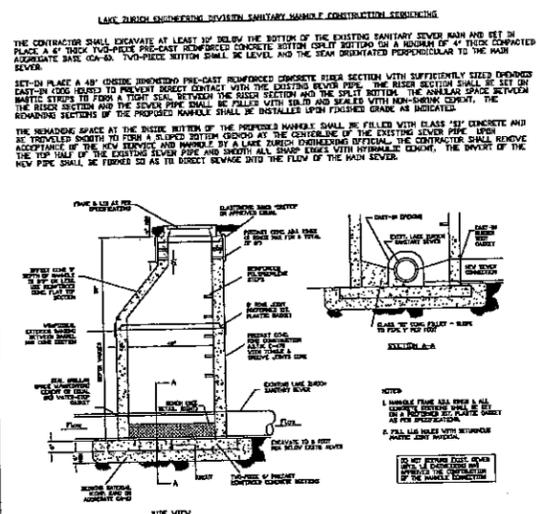
HANDICAP RAMP DETAIL

MASS CONCRETE ARCH

FLEXIBLE JOINT

| PIPE DIA. | Y MIN. | Z MIN. | SEWER TROUGH WIDTH RANGE | L |
|-----------|--------|--------|--------------------------|-----|
| 4" | 6" | 6" | 4" - 6" | 12" |
| 6" | 6" | 6" | 6" - 8" | 12" |
| 8" | 6" | 6" | 8" - 10" | 12" |
| 10" | 6" | 6" | 10" - 12" | 12" |
| 12" | 6" | 6" | 12" - 14" | 12" |
| 14" | 6" | 6" | 14" - 16" | 12" |
| 16" | 6" | 6" | 16" - 18" | 12" |
| 18" | 6" | 6" | 18" - 20" | 12" |
| 20" | 6" | 6" | 20" - 22" | 12" |
| 22" | 6" | 6" | 22" - 24" | 12" |
| 24" | 6" | 6" | 24" - 26" | 12" |
| 26" | 6" | 6" | 26" - 28" | 12" |
| 28" | 6" | 6" | 28" - 30" | 12" |
| 30" | 6" | 6" | 30" - 32" | 12" |
| 32" | 6" | 6" | 32" - 34" | 12" |
| 34" | 6" | 6" | 34" - 36" | 12" |
| 36" | 6" | 6" | 36" - 38" | 12" |
| 38" | 6" | 6" | 38" - 40" | 12" |
| 40" | 6" | 6" | 40" - 42" | 12" |
| 42" | 6" | 6" | 42" - 44" | 12" |
| 44" | 6" | 6" | 44" - 46" | 12" |
| 46" | 6" | 6" | 46" - 48" | 12" |
| 48" | 6" | 6" | 48" - 50" | 12" |
| 50" | 6" | 6" | 50" - 52" | 12" |
| 52" | 6" | 6" | 52" - 54" | 12" |
| 54" | 6" | 6" | 54" - 56" | 12" |
| 56" | 6" | 6" | 56" - 58" | 12" |
| 58" | 6" | 6" | 58" - 60" | 12" |
| 60" | 6" | 6" | 60" - 62" | 12" |

- NOTES**
- Y SHALL BE USED IN ALL EXISTING CONDUIT TO ONE TO BE SPECIFIED AS DIRECTED BY THE ENGINEER
 - Y SHALL BE USED IN ALL NEW PIPE TO ONE TO BE SPECIFIED AS DIRECTED BY THE ENGINEER
 - Y SHALL BE USED IN ALL NEW PIPE TO ONE TO BE SPECIFIED AS DIRECTED BY THE ENGINEER
 - Y SHALL BE USED IN ALL NEW PIPE TO ONE TO BE SPECIFIED AS DIRECTED BY THE ENGINEER
 - Y SHALL BE USED IN ALL NEW PIPE TO ONE TO BE SPECIFIED AS DIRECTED BY THE ENGINEER
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 - Y SHALL BE USED IN ALL NEW PIPE TO ONE TO BE SPECIFIED AS DIRECTED BY THE ENGINEER



BEDDING DETAILS: PIPES IN SINGLE TRENCHES

STANDARD MH CONSTR. OVER EXSTG SEWER

VILLAGE OF LAKE ZURICH
70 EAST MAIN STREET
LAKE ZURICH, IL 60047
(847) 540-1694

| NO. | DESCRIPTION | DATE |
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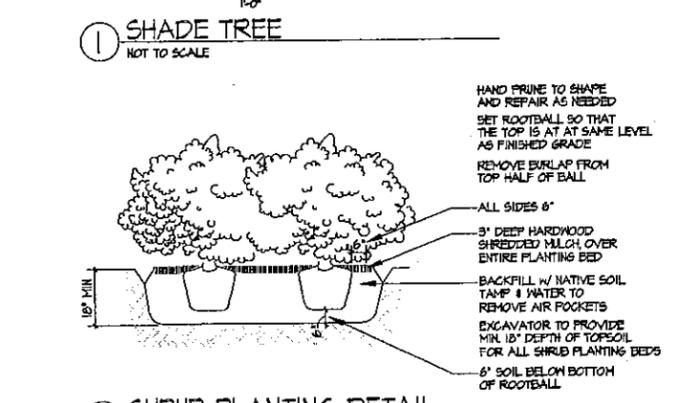
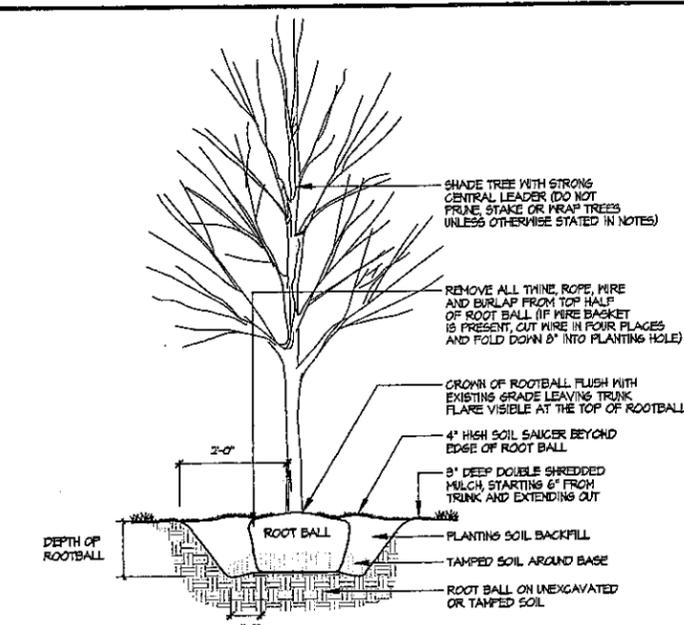
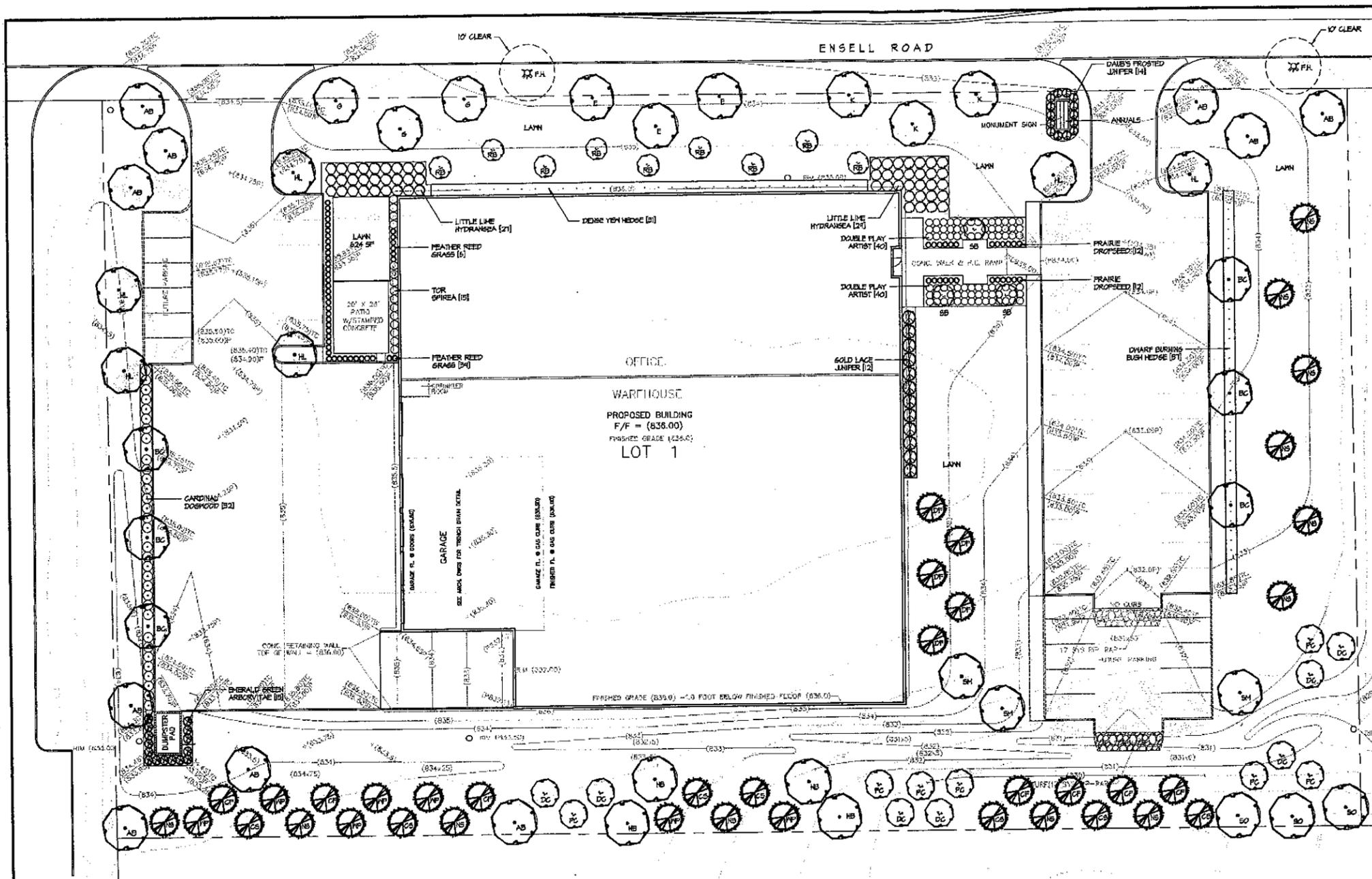
VILLAGE OF LAKE ZURICH DETAILS

SHEET 3

| | | |
|-------------|---------|-------|
| PROJECT NO. | DETAILS | SHEET |
| DATE | 7/31/03 | 3 |
| SCALE | NTS | 3 |
| DESIGNED BY | RK | 3 |
| DRAWN BY | RK | 3 |
| CHECKED BY | EL | 3 |

VILLAGE OF LAKE ZURICH DETAILS

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VILLAGE REQUIREMENTS:
 PER VILLAGE OF LAKE ZURICH ORDINANCE 99-11-199, PAGE 4, PARAGRAPH C, LOT 1 RECEIVED VARIANCE WITH THESE REDUCED PLANT UNITS

NORTH LOT LINE LANDSCAPE AREA ZONED I-1
 10% OPACITY REQUIRED, 3' WIDTH MINIMUM, 1 PLANT UNIT / 100 LF

| | REQUIRED | PROPOSED |
|-------------------------|----------|----------|
| STREET TREES, 3" CAL | 10 | 10 |
| CANOPY TREES, 5" CAL | 5 | 5 |
| UNDERSTORY TREES, 6" HT | 4 | 4 |
| SHRUBS, 36" HT | 41 | 41 |

EAST LOT LINE LANDSCAPE AREA ZONED I-1
 10% OPACITY REQUIRED, 3' WIDTH MINIMUM, 1 PLANT UNIT / 100 LF

| | REQUIRED | PROPOSED |
|------------------------|----------|-------------------------|
| EVERGREEN TREES, 6" HT | 4 | 6 CANOPY 6 EVERGREEN |
| SHRUBS, 36" HT | 15 | 15 |

SOUTH LOT LINE LANDSCAPE AREA CURRENTLY ZONED LAKE COUNTY R-1 WITH PLANS BY LAKE ZURICH TO BE ANNEXED I
 10% OPACITY REQUIRED, 20' WIDTH MINIMUM, 3 PLANT UNITS / 100 LF

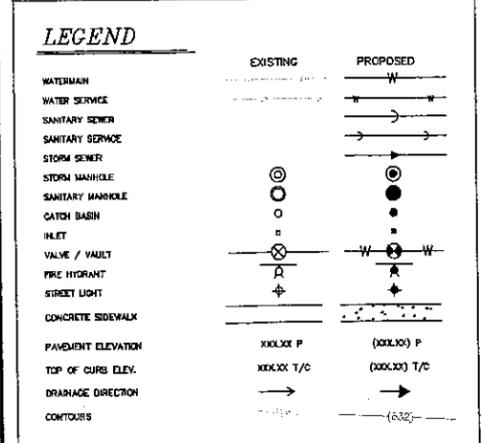
| | REQUIRED | PROPOSED |
|-------------------------|----------|----------|
| CANOPY TREES, 3" CAL | 14 | 14 |
| UNDERSTORY TREES, 6" HT | 14 | 14 |
| EVERGREEN TREES, 6" HT | 27 | 27 |

WEST LOT LINE LANDSCAPE AREA ZONED I-1
 10% OPACITY REQUIRED, 3' WIDTH MINIMUM, 1 PLANT UNIT / 100 LF

| | REQUIRED | PROPOSED |
|----------------------|----------|----------|
| CANOPY TREES, 3" CAL | 6 | 6 |
| SHRUBS, 36" HT | 21 | 21 |

PLANT LIST

| Category | Sym | Botanic Name | Common Name | Qty | Size | Spacing | Remarks |
|-----------------|-----------------------|--------------------------------|----------------------------|-------|----------|---|--|
| Deciduous Trees | AB | Acer thomsonii Autumn Blaze | Autumn Blaze Maple | 10 | 5" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| | SH | Acer rubrum 'Norway Spruce' | Blue Spruce Norway Maple | 3 | 5" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| | HB | Celtis occidentalis | Hickory | 4 | 5" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| | G | Ginkgo biloba 'Autumn Gold' | Autumn Gold Ginkgo | 3 | 5" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| | HL | Halesia triacanthos Skyline | Skyline Honey Locust | 6 | 5" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| | K | Quercus alba | Kentucky Coffeetree | 3 | 5" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| | SO | Sorbus bicolor | Swamp White Oak | 3 | 5" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| | T | Taxodium distichum | Bald Cypress | 3 | 5" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| | F | Ficus variegata | Acclade Elm | 3 | 5" cal | as shown | Specimen, symmetrical, branched at 6' above ground |
| | SB | Amelanchier grandiflora | Servicberry | 3 | 6" ht | as shown | Specimen, multi-stem, min. 5-T stems |
| | RD | Rosa canadensis | Rosaud | 4 | 6" ht | as shown | Specimen, multi-stem, min. 5-T stems |
| | DC | Malus Donald Lyman | Donald Lyman Crabapple | 1 | 6" ht | as shown | Specimen, multi-stem, min. 5-T stems |
| | PC | Malus Pringleana | Pringle's Crabapple | 1 | 6" ht | as shown | Specimen, multi-stem, min. 5-T stems |
| | CF | Ablea concolor | Concolor Fir | 7 | 6" ht | as shown | Specimen, symmetrical, full branching to ground |
| | NS | Pinus strobus | Colorado Spruce | 12 | 6" ht | as shown | Specimen, symmetrical, full branching to ground |
| NS | Pinus strobus | White Pine | 1 | 6" ht | as shown | Specimen, symmetrical, full branching to ground | |
| NS | Pseudotsuga menziesii | Douglas Fir | 3 | 6" ht | as shown | Specimen, symmetrical, full branching to ground | |
| Shrubs | RD | Cornus sericea Cardinal | Cardinal Dogwood | 32 | 36" | 42" | Full branching to ground, symmetrical |
| | EV | Evonymus alatus Compactus | Compact Burning Bush | 37 | 36" | 42" | Full branching to ground, symmetrical |
| | HY | Hydrangea paniculata Jane | Little Line Hydrangea | 56 | 36" | 42" | Full branching to ground, symmetrical |
| | SP | Spiraea pedunculata Tor | Double Play Artist | 5 | 24" | 3" | Full branching to ground, symmetrical |
| | SP | Spiraea japonica Golden | Double Play Artist Spiraea | 80 | 18" | 30" | Full branching to ground, symmetrical |
| | DF | Dirca palustris Dore's Frosted | Dore's Frosted Juniper | 14 | 36" | 3" | Full branching to ground, symmetrical |
| | DF | Juniperus chinensis Gold Lace | Golden Lace Juniper | 12 | 30" n | 3" | Full branching to ground, symmetrical |
| | DF | Taxus media Densiformis | Dense Yew | 31 | 30" n | 3" | Full branching to ground, symmetrical |
| | DF | Thuja occidentalis Emerald | Emerald Green Arborvitae | 48 | 3" cal | 3" | Specimen, full branching to ground |
| | DF | Calluna vulgaris Kari Forester | Feather Reed Grass | 24 | 1" cal | 2" | Put to ground in March/April |
| Grasses | DF | Sporobolus heterolepis | Prairie Dropped | 24 | 1" cal | 2" | Put to ground in March/April |



GENERAL NOTES:

- Contractor shall follow and conform to the city of Lake Zurich building codes.
- Site, walk, and parking shall be kept clean at all times and shall be thoroughly cleaned at the end of each working day.
- Determine and verify exact locations of all underground utilities in the field before work begins. Call JILLIE 1-800-842-0123 (48 hours) before you dig, avoiding Sat, Sun, and holidays.
- All plants shall be nursery grown and either balled and burlapped or container grown.
- The requirements for measurements, branching and ball size shall conform to the Code of Standards (Z60.1-1980) by The American Association of Nurserymen, Inc.
- Trees shall be installed a minimum of five feet horizontally from sanitary sewers, sanitary services, water mains, and from water services. Trees shall be installed a minimum of ten feet horizontally from utility structures and appurtenances, including but not limited to manholes, valve vaults, valve boxes, and fire hydrants.
- Seed, Supply and install new Hydroseeding with mat, Kentucky Bluegrass blend, a minimum 4" depth rolled, fine graded, pulverized topsoil (12' total). Topsoil to be supplied, placed, and graded by General Contractor.
- For location of all existing and proposed utilities and easements, see engineering drawings.

PAMELA Self
 Landscape Architecture
 One Anne Court
 Northbrook, Illinois
 60064
 Phone: 847.468.4922
 Fax: 847.498.9944
 Project: **LOT 1 FLEX CONSTRUCTION**
 1878 ENSELL ROAD
 LAKE ZURICH, IL 60047

LANDSCAPE PLAN

| REVISIONS: | no. | date | issue |
|------------|-----|---------|-----------|
| | 1 | 3/29/14 | REVISIONS |
| | 2 | 3/14/14 | REVISIONS |
| | 3 | 2/26/14 | REVISIONS |
| | 4 | 2/19/14 | SUBMITTAL |

Start Date: 2/12/2014
 design: PKS
 drawn by: JRA
 sheet: L-1 of 1

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ZONING REVIEW

PROJECT: PF VENTURES
SITE PLAN, EXTERIOR APPEARANCE, SPECIAL USE PERMIT
FOR LANDBANKING PARKING, VARIATION FOR REDUCTION IN
TRANSITIONAL SETBACK

LOCATION: LOT 1 ENSELL ROAD – ASSIGNED 1375 ENSELL ROAD

REVIEWED BY: MARY MEYER

DATE: MARCH 13, 2014

**DOCUMENTS
REVIEWED:** APPLICATION DATED 2/18/14, PLANS 1-6 OF 9 DATED 2/17/14
EXHIBIT SHEETS 1-3 OF 3 DATED 1/10/03-7/31/03, ST-1 DATED 2/10/14,
ELEVATIONS 2/10/14, SITE LINE 2/10/14, L-1 DATED 2/12/14, PHOTOMETRICS
2/11/14, ZONING CODE, LAND DEVELOPMENT CODE

PF Ventures proposes construction of a new single occupant 34,768 square foot industrial building. In addition to site plan and exterior appearance approvals, a Special Use permit is requested to land bank certain parking spaces, and a Variation to reduce the required transitional setbacks. Review is as follows:

- 1) Zoning: I Industrial.
- 2) Use: Clarify use of occupant.
- 3) Maximum Building Height:
Allowed: 35 feet as this property is adjacent to residential. Included with recent Zoning Code amendments: Notwithstanding any other provision of this Section, every building in any industrial district on a lot that directly abuts any residential zoning district shall not exceed a maximum height of 35 feet.
Proposed: 28 feet.
- 4) Minimum Lot Area:
Required: 20,000 sq.ft.
Proposed: 119,496 sq.ft. (2.74 acres)
- 5) Minimum Lot Width:
Required: 100 feet
Existing: 261.15 feet
- 6) Minimum Front Yards:
Required 35 feet
Proposed: 47 feet
- 7) Minimum Interior Side Yard:
Required: 20 feet which may be reduced to 10 feet for parking
Proposed: 15 feet to pavement; 10 feet to future (landbanked) parking. Note – the developer has indicated that they will remove encroachment from required yard and maintain 20 foot side yard.
- 8) Minimum Rear Yard:
Required: Transitional Setbacks Abutting Residential Districts:
Notwithstanding any other provision of this Section, every building in any industrial district shall be set back at least 100 feet from every lot line adjacent to any residential district, unless if land is to be used for boundary agreements.

Variation for industrial subdivision reduced transitional yard from 100 feet to 50 feet via Ordinance # 99-11-999. Further reduction is sought, to reduce transitional yard to 33 feet.

9) Maximum Floor
Area Ratio:

Allowed: .45 (included with recent Zoning Code amendments)
Proposed: .30

10) Minimum Landscaped

Surface Area:

Required: 20% Note – recent amendments allowed the landscaped surface area be reduced from code required 30% to 20% except for: Transitional Landscaped Surface Areas Abutting Residential Districts; Notwithstanding any other provision, every lot in any industrial district that directly abuts any residential zoning district shall provide a minimum of 30% landscaped surface area. However, 20% is authorized due to variation granting 20% via Ordinance #99-11-999.
Proposed: 49%

11) Number of Parking

Spaces:

Required: 55 (47 office/remaining warehouse/warehouse employees)
Proposed: 38 with remaining 17 spaces to be landbanked. Landbanking provides an alternate approval plan for installation of the required parking spaces should they be needed. The applicant feels they are not necessary based on their existing company needs. This area will be maintained as open green space unless and until the parking is needed.

According to Zoning Code 10-101E the applicant may seek Landbanking as a Special Use permit. The specific requirements for landbanking are attached.

12) Handicapped
Parking:

When 26-50 spaces are provided, at least 2 shall be handicapped.
2 handicapped spaces are provided. Details including ramping from both spaces and location of both signs shall be included with permit documents.

13) Landscaping:

Landscaping shall be reviewed by Village Planner.

14) Rooftop Mechanical

Units:

Site line details are included, however they indicate compliance at a 60 foot distance.
Provide 80 foot distance for site line.

15) Exterior Lighting: Provide exterior lighting details.

16) Exterior: Precast panels w/gray tinted glass.

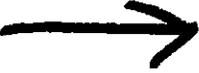
17) Trash Enclosure: No dumpster enclosure is indicated. Provide location and details for trash enclosure.

Conclusion

- Consideration for Site Plan and Exterior Appearance shall be based on standards outlined in Zoning Code 20-103 and 21-103. Consideration for Special Use permit to allow alternate plan for parking space landbanking shall be based on standards outlined in Zoning Code 19-103.
- Consideration for Variation to reduce the rear transitional yard from 50 feet (previous approval) to 33 feet shall be based on standards outlined in Zoning Code 17-104.
- Clarify proposed use, rooftop mechanical unit site line compliance, and trash enclosure details.

Parking and Loading

are located, whether located on or off the lot on which such units are located; provided, however, that no such required space shall be located farther than 300 feet, measured along an established pedestrian circulation route, from the unit it is required to serve.

- C. Design and Maintenance. Every parking area, lot, and garage shall be designed, constructed, and maintained in accordance with the standards and requirements herein set forth:
1. Location on Lot. Off-street parking spaces may be provided on surface areas or lots, underground, under a building, or in parking structures. Parking lots, areas, and garages shall comply with the yard requirements made applicable to them by the regulations of the district in which they are located. See Paragraph 9-101C4 for additional regulations concerning the off-street storage of vehicles in residential districts.
 2. Landscaping. All parking lots and garages shall comply with the landscaping requirements set forth in Chapter 8, Part I of this Code.
 3. Design. Design standards for all parking lots and garages are set forth in Title 10 of the Lake Zurich Municipal Code.
 4. Surface. Every parking lot shall be constructed with a paved asphaltic or cement surface.
- D. Use. No off-street parking area, lot, or garage shall be used for any purpose other than the temporary storage of motor vehicles related to the premises. No motor vehicle shall be so stored for longer than 72 hours or stored in violation of the provisions of Paragraphs 9-101C4 and 9-101C5 of this Code. The storage of merchandise in or outside of any motor vehicle, and the sale or commercial repair of vehicles, are prohibited.
-  E. Landbanking of Required Parking.
1. Landbanking Authorized. Notwithstanding any other provision of this Section, the Board of Trustees may reduce the total number of off-street parking spaces required to be paved pursuant to Subsection F of this Section or the stall length and width dimension required pursuant to Paragraph C3 of this Section, subject to acceptance by the property owner of the conditions set forth in Paragraphs E2 through E4 of this Subsection. The Board of Trustees may grant such reductions up to 10 percent of the required numbers as part of a site plan review pursuant to Chapter 20 of this Code and may grant such reductions to any extent by special use permit granted pursuant to Chapter 19 of this Code.

2. Termination of Landbanking. The Board of Trustees shall have the right, in its sole and absolute discretion, to require the property owner or his or her successor at any time to increase the stall length and width to the dimension required pursuant to Paragraph C3 of this Section or to increase the number of parking spaces provided to serve said development up to the maximum required pursuant to Subsection F of this Section for the property in question as if no special use permit for landbanking had been granted.
3. Alternate Plans Required. Every application for landbanking of required parking spaces shall be accompanied by alternate detailed parking plans. One plan shall show the full stall length and width required pursuant to Paragraph C3 of this Section and the full number of parking spaces required pursuant to Subsection F of this Section; the other plan shall show the reduced stall length and width or the reduced number of parking spaces or both, as the case may be, proposed to be provided pursuant to the special use permit being sought and also shall show the landscaping treatment of areas proposed to be reserved for future parking requirements. Both such plans shall show the location on the site of all parking areas, the exact number of parking spaces to be provided, and complete details for (a) wheel stops, (b) markings, (c) curbing, (d) surfacing, (e) screening and landscaping, (f) lighting, (g) signing, and (h) access. The design plans for such parking areas shall be subject to the approval of the Board of Trustees.
4. Open Space Covenant. As a condition of approval of any landbanking, the applicant shall file with the Village Administrator the applicants' unconditional agreement and covenant in form and substance satisfactory to the Village Attorney that areas reserved for future parking shall be maintained as landscaped open space until and unless required to be used for off-street parking pursuant to Paragraph E2 of this Subsection or until such covenant is released by the Board of Trustees. The ordinance approving landbanking, together with such agreement and covenant, shall be recorded with the Recorder of Deeds in Lake County, Illinois.

~~F~~ Required Spaces.

~~1. Computation of Required Spaces.~~

- ~~a. Fractional Spaces. When determination of the number of required parking spaces results in the requirement of a fractional space, any fraction shall require one additional parking space.~~
- ~~b. Capacity Calculations. When parking spaces are required on the basis of capacity, capacity shall be determined based on the~~

ORDINANCE NO. 99-11-999

**AN ORDINANCE APPROVING A PRELIMINARY PLAN OF SUBDIVISION
AND A FINAL PLAT OF SUBDIVISION FOR PHASE 2
OF THE LAKE ZURICH CORPORATE PARK SUBDIVISION**

**Published in pamphlet form
by the authority of the President and Board of Trustees
of the
Village of Lake Zurich
Lake County, Illinois**

Date of Publication: November 24, 1999

ORDINANCE NO. 99-11-999**AN ORDINANCE APPROVING A PRELIMINARY PLAN OF SUBDIVISION
AND A FINAL PLAT OF SUBDIVISION
FOR PHASE 2 OF THE LAKE ZURICH CORPORATE PARK SUBDIVISION.**

WHEREAS, Harris Bank Barrington, as Trustee under that certain Trust dated November 2, 1994, and known as Trust No. 11-5038 (the "Trustee"), and the Lake Zurich Corporate Park Joint Venture (collectively the "Owner"), are the owner of a certain tract of land located in the Village of Lake Zurich and legally described in Exhibit 1 attached hereto and by this reference incorporated herein and made a part hereof (the "Phase 2 Property"); and

WHEREAS, the Phase 2 Property is part of a larger tract of land (the "Corporate Park Property") for which a preliminary plan of subdivision, a general site plan, certain variations from requirements of the Lake Zurich Zoning Code, and certain modifications of requirements of the Lake Zurich Municipal Code were approved by the Village of Lake Zurich by its Ordinance No. 97-07-864, adopted on July 7, 1997; and

WHEREAS, the Village by said Ordinance No. 97-07-864 also approved a final plat of subdivision for the phase 1 development of the Corporate Park Property; and

WHEREAS, the approvals granted in said Ordinance No. 97-07-864 were granted subject to conditions stated in said Ordinance No. 97-07-864, certain of which also shall apply to the Phase 2 Property approvals sought now by the Owner, and

WHEREAS, the Owner filed applications with the Village of Lake Zurich seeking approval of a preliminary plan of subdivision and a final plat of subdivision for the Phase 2 Property, which preliminary plan of subdivision is attached hereto and by this reference incorporated herein and made a part hereof as Exhibit 2 (the "Phase 2 Preliminary Plan") and which final plat of subdivision is

attached hereto and by this reference incorporated herein and made a part hereof as Exhibit 3 (the "Phase 2 Final Plat"); and

WHEREAS, the Phase 2 Preliminary Plan and Phase 2 Final Plat provide for dividing the Phase 2 Property into 6 lots; and

WHEREAS, the Owner also filed with the Village landscaping plans for the Phase 2 Property, which landscaping plans are attached hereto and by this reference incorporated herein and made a part hereof as Exhibit 4 (the "Landscaping Plans"); and

WHEREAS, the Lake Zurich Plan Commission held a public hearing on October 6, 1999, to consider the Owner's applications, pursuant to proper notice thereof published on September 6, 1999, in the *Lake Zurich Courier*; and

WHEREAS, the Plan Commission, having fully heard and considered the testimony of all those present at the public hearing who wished to testify, made findings of fact as required by law and recommended that the President and Board of Trustees of the Village of Lake Zurich approve the Owner's applications, subject to certain conditions; and

WHEREAS, the President and Board of Trustees of the Village of Lake Zurich have considered the Owner's applications, the findings and recommendations of the Plan Commission, and all of the facts and circumstances affecting the Subject Property and the proposed subdivision of it, and they are fully advised in the premises;

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Lake Zurich, Lake County and State of Illinois, as follows:

Section 1. Recitals. The foregoing recitals are incorporated herein as findings of the President and Board of Trustees.

Section 2. Approval Of Phase 2 Preliminary Plan And Phase 2 Final Plat. The Phase 2 Preliminary Plan and the Phase 2 Final Plat shall be, and they hereby are, approved; provided,

however, that the approvals thereof shall be, and they hereby are, expressly made subject to certain of the conditions set forth in Sections 8 and 9 of said Ordinance No. 97-07-864, as follows:

- A. The Owner shall take such actions as may be necessary in the discretion of the Village Administrator to provide that the declaration of protective covenants provided for in Subsection 8(b) of said Ordinance No. 97-07-864 shall be fully and permanently applicable to the Phase 2 Property.
- B. The Owner shall submit final engineering plans to the Village for the Phase 2 Property in a form satisfactory to the Village Engineer prior to the issuance of any permit by the Village for any work, including without limitation any excavation or grading work, within the Phase 2 Property.
- C. The Owner shall execute, and file with the Village, a development agreement in form and substance satisfactory to the Village Administrator prior to the issuance of any permit by the Village for any work, including without limitation any excavation or grading work, within the Phase 2 Property. Such development agreement may provide that the required performance and payment letter of credit may be reduced not more than twice during its required term, once after not less than 50 percent of all work on required public improvements has been completed to an amount not less than 110 percent of the cost of all remaining work on required public improvements in the opinion of the Village Engineer, and once more after 75 percent of all work on required public improvements has been completed to an amount not less than 110 percent of the cost of all remaining work on required public improvements in the opinion of the Village Engineer.
- D. The Owner shall assure that the existing hedgerow along the lot lines of Lots 3, 4, and 6 within the Phase 2 Property shall be protected at all times during any and all development taking place at any time within the Phase 2 Property.
- E. Any required mitigation of wetland within the Phase 2 Property shall be accomplished only within the Phase 2 Property or on property within the corporate limits of the Village approved by the Village, and only in strict compliance with U.S. Army Corps of Engineers approvals and conditions therefor. No work of any kind shall commence within the Phase 2 Property until after all required permits therefor have been issued by the U.S. Army Corps of Engineers and all other governmental agencies with regulatory jurisdiction over the Phase 2 Property.
- F. The Owner shall grant to the Village permanent exclusive easements for public utilities of 15 feet in width along both sides of Ensell Road as determined by the Village Engineer.
- G. The Owner, at its sole cost and expense, shall satisfy all Lake County requirements for improvements to the intersection of Ensell Road and Quentin Road prior to the issuance of any permit by the Village for any work, including without limitation any excavation or grading work, within the Phase 2 Property.

- H. The Subject Property shall be developed, used, and maintained only in strict compliance with all of the terms, requirements, and obligations set forth in a Village-approved development agreement as required herein as stated in Subsection C of this Section, including without limitation the construction and installation of all of the public and private improvements and facilities necessary to serve the Phase 2 Property.
- I. The approval of the Phase 2 Final Plat shall not authorize the establishment or extension of any use nor the development, construction, reconstruction, alteration, or moving of any building or structure, but shall merely authorize the preparation, filing, and processing of applications for any permits or approvals that may be required by the codes and ordinances of the Village.
- J. No development of any lot within the Phase 2 Property shall be authorized or undertaken except after site plan review and approval and other required approvals in accordance with the Zoning Code and the Land Development Code.

Section 3. Zoning Code Variations. The variations from the requirements of the Lake Zurich Zoning Code granted in said Ordinance No. 97-07-864 shall continue to apply to the Corporate Park Property only as follows, subject to the conditions stated in said Ordinance No. 97-07-864 and in Section 2 of this Ordinance:

- A. A variation from the floor area ratio standard of Subsection 6-110D of the Zoning Code to increase the maximum permitted floor area ratio to 0.40 for Lots 1, 4, and 6 within the Phase 2 Property, but only so long as the maximum combined floor area ratio for Lots 1, 2, 3, 4, and 6 within the Phase 2 Property remains at all times less than or equal to 0.34, and only in strict compliance with Village-approved final engineering plans for development of the Phase 2 Property; and
-  B. A variation from the transitional setback requirement of Paragraph 6-110F4 of the Zoning Code to decrease such setback to 50 feet for Lots 1 and 6 within the Subject Property; and
- C. A variation from the plant unit standards of Section 8-106 of the Zoning Code to reduce the required minimum number of plant units as defined in the Zoning Code for perimeter landscaping to three units for Lots 1 and 6 within the Subject Property and to one unit for the other lot lines within the Subject Property abutting agricultural and residential uses.

Section 4. Lake Zurich Municipal Code Modifications. The following modification from the requirements of the Lake Zurich Municipal Code granted in said Ordinance No. 97-07-864 shall continue to apply to the Corporate Park Property, subject to the conditions stated in said Ordinance

No. 97-07-864 and in Section 2 of this Ordinance: a reduction in the required minimum right-of-way width within the Phase 2 Property to 66 feet.

Section 5. Execution And Certification Of Phase 2 Final Plat. Upon satisfaction of the conditions set forth in Subsections 2A, 2B, and 2C of this Ordinance, the Village President, Village Clerk, and all other necessary representatives of the Village shall be, and they hereby are, authorized and directed to execute, attest, certify, and seal, on behalf of the Village, the Phase 2 Final Plat; provided, however, that they shall neither execute, nor attest, nor certify, nor seal the revised Phase 2 Final Plat on behalf of the Village unless and until:

- A. The Owner shall have obtained all other required approvals, sworn statements, signatures, and certifications on the Phase 2 Final Plat; and
- B. The Owner shall have deposited with the Village Administrator the performance security required by the development agreement; and
- C. The Owner shall have paid all fees and charges due and arising from the approvals granted in this Ordinance and as required by the development agreement.

Section 6. Recording. Upon execution and certification of the Phase 2 Final Plat by the Village, the Village Clerk shall be, and hereby is, authorized and directed to promptly cause a certified copy of this Ordinance, the revised Phase 2 Final Plat, and the declaration of protective covenants referred to in Subsection 2A of this Ordinance, if necessary, to be properly recorded with the Lake County Recorder of Deeds, all at the Owner's sole cost and expense.

Section 7. Compliance. The failure or refusal of the Owner or its successors or assigns at any time in the future to comply with the terms of this Ordinance shall subject the Owner or such successors or assigns to the penalties set forth in the Lake Zurich Zoning Code and to termination of approval of the Phase 2 Final Plat after such notice and public hearing as may be required by state statute or the Lake Zurich Zoning Code and to any other penalties or legal action that may be authorized by law.

Section 8. Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as provided by law; provided, however, that this Ordinance shall be of no force or effect unless and until the Owner shall have authorized, executed, and delivered to the Village Clerk the Unconditional Agreement and Consent attached hereto and by this reference incorporated herein and made a part hereof as Exhibit 5.

PASSED this 15th day of November 1999.

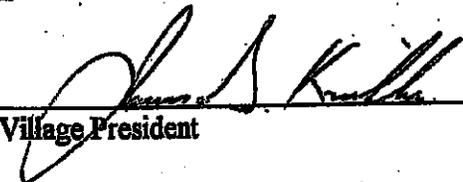
AYES: 6 *Trustees Byarmaty, Hutton, McQuay, Steffens,*
Talbot and Tolomei

NAYS: 0

ABSENT: 0

ABSTAIN: 0

APPROVED this 15th day of November 1999.



Village President

ATTEST:



Village Clerk

LEGAL RESERVATION

RESERVATION 2000 BY DEED OF LOT 1 AS DESCRIBED ABOVE...

PLANNING COMMISSION

PLANNING COMMISSION... I hereby certify that the members of the Planning Commission...

PLANNING COMMISSION

PLANNING COMMISSION... I hereby certify that the members of the Planning Commission...

PLANNING COMMISSION

PLANNING COMMISSION... I hereby certify that the members of the Planning Commission...

COUNTY CLERK CERTIFICATE

COUNTY CLERK CERTIFICATE... I hereby certify that the members of the Planning Commission...

COUNTY ENGINEER

COUNTY ENGINEER... I hereby certify that the members of the Planning Commission...

PLAT OF SUBDIVISION LAKE ZURICH CORPORATE PARK UNIT 2

DEVELOPER'S SERVICE WATER DRAINAGE CERTIFICATE

This is to certify that I, Richard A. Hinkle, as the holder of the fee simple...

Richard A. Hinkle, Developer

DEVELOPER'S CERTIFICATE

I, Richard A. Hinkle, as the holder of the fee simple...

Richard A. Hinkle, Developer

OWNER'S SERVICE WATER DRAINAGE CERTIFICATE

This is to certify that the North Fork of the River...

Richard A. Hinkle, Developer

CERTIFICATE AS TO SPECIAL ASSESSMENTS

This is to certify that the North Fork of the River...

Richard A. Hinkle, Developer

DEVELOPER'S PROVISIONS

PLANNING SERVICE AND UTILITY EASEMENT PROVISIONS

THE RIGHT OF ACCESS AND EGRESS IS HEREBY GRANTED TO THE VALUE OF...

PROVISIONS, HEREBY, THAT NO SERVICE SHALL BE USED FOR THE USE OF...

DEVELOPER'S PROVISIONS

DEVELOPER'S PROVISIONS... I hereby certify that the members of the Planning Commission...

Richard A. Hinkle, Developer



ENGINEER ADDRESS: RICHARD A. HINKLE, 201 SOUTH CROSS AVENUE...

THE PLAT OF SUBDIVISION SUBMITTED FOR RECORDING BY...

Memo

To: Sam Hubbard, Village Planner
From: Betty Harrison, EQC Supervisor
CC:
Date: March 4, 2014
Re: Staff Review – March 19th Plan Commission Meeting

1. Foglia YMCA Gymnasium Expansion

Water and Sewer main lines are outside of the area of the proposed expansion. No issues with the expansion.

2. PF Ventures/Flex Construction

Sanitary sewer service line cannot connect to manhole. Connection must be made downstream of the manhole.

The utility crossing between the sanitary sewer line and water service line must be addressed. It is denoted on plan but not how it will be addressed.

Connection to water main must be at least five (5) feet from the hydrant.

Water service alongside the building must be placed outside of the 45-degree bearing plane of the footing.

Water service connection could be made to the water main on the west side of the property.

All applicable fees apply.

There will be a \$1,000 refundable parkway opening bond required.



VILLAGE OF LAKE ZURICH FIRE RESCUE DEPARTMENT
FIRE PREVENTION BUREAU
1075 OLD MCHENRY ROAD, LAKE ZURICH, ILLINOIS 60047
PHONE: 847.540.5073 • WWW.LZFIRERESCUE.ORG
JOHN M. BZDUSEK SR., DEPUTY FIRE MARSHAL

March 4, 2014

Sam Hubbard
Village Planner.
505 Telser Rd.
Lake Zurich, IL 60047

Re: PR14-043 Lot 1 Ensell Road-Preliminary Review

The Fire Prevention Bureau has conducted a preliminary review of the proposed Lot 1 Development on Ensell Road in Lake Zurich. This review is based on the 2006 International Building and Fire Prevention Codes and Local Code amendments. The following items have been noted in this review.

1. The computed Design Flow for the building is 2500 gpm.

L.Z. Municipal Code 10-6-7B

2. A permit for the installation of an automatic fire suppression system (sprinkler system) is required as specified in the Lake Zurich Building Code. The installation shall be in accordance with NFPA 13 and Local Code requirements. Request written response be submitted verifying that the sprinkler protection will be provided.

225 ILCS 325 3d
LZBC 8-9-2: 903.2

3. A permit for the installation of an automatic fire detection system (fire alarm system) is required as specified in the Lake Zurich Building Code. The installation shall be in accordance with NFPA 72 and Local Code requirements. Request written response be submitted verifying that the fire alarm system will be provided.

LZBC 8-9-2: 903.4.2

4. A Class I standpipe system shall be provided with connections within 75 feet of any point in the common area of each floor.

LZBC 8-9-2: 905.3.1

VILLAGE OF LAKE ZURICH FIRE RESCUE DEPARTMENT
321 S. BUESCHING ROAD, LAKE ZURICH, ILLINOIS 60047-3226
PHONE: 847.540.5070 • WWW.LZFIRERESCUE.ORG
DAVID P. WHELOCK, FIRE CHIEF/DIRECTOR

5. Fire Hydrants shall be provided as specified in the Village of Lake Zurich Municipal Code. Fire hydrants will be provided no less than 50 and no more than 200 feet from the fire department connection. A minimum spacing of 300 feet on water mains is required.

L.Z. Municipal Code 10-6-7

6. Fire lanes shall be provided as specified in the Village of Lake Zurich Municipal Code. Access shall be provided to the sprinkler system fire department connection. Fire lanes shall have no obstructions to a smooth continuous path of travel. All fire lanes shall be properly marked with painted curbs and/or signs.

LZBC 8-9-2: 503.7

7. A supervised key box (Knox Box 4400 Series) shall be provided. The key box will be used for emergency access only. Key boxes shall contain two sets of keys to locked points of ingress, whether on the interior or the exterior of the structure, and to locked mechanical, electrical, and elevator control rooms, and other areas as directed by the Fire Chief. All exterior doors that access areas common to the overall structure for each structure are required to have hardware that will allow exterior access into the building with use of a single master key whenever possible.

LZBC 8-9-2: 506.1

8. This structure may, due to construction type, below-grade areas, or other conditions, need a bi-directional radio amplification system designed to provide effective communications by emergency response personnel. Upon completion of the building testing will be required to determine whether a BDA system will be required.

LZBC 8-9-2: 610.1

9. It is required that the finished building plans be provided in a CAD format. The drawings will be used in the fire departments emergency pre-plan design.

LZBC 8-9-2: 404.5.1

Based on the information provided, the building plans COMPLY AS NOTED.

A response letter for the above noted items shall be submitted for review and approval.

Please contact the Bureau office at (847) 540-5073, if you have any questions or comments.

Sincerely,

**John M. Bzdusek Sr.
Deputy Fire Marshal
Fire Prevention Bureau**

ROLF C. CAMPBELL & ASSOCIATES

A MANHARD CONSULTING DIVISION 

910 Woodlands Parkway, Vernon Hills, IL 60061
Ph: (847) 735-1000 Fax: (847) 735-1010 www.rccai.com

Consultant Memorandum Via Email

To: Sam Hubbard, Village Planner
Village of Lake Zurich, Illinois

Fr: Rolf C. Campbell & Associates

Date: March 7, 2014

Re: **Lot 1 – Flex Construction #15065-313**
Landscape Plan Review and Comments

Pursuant to your request Rolf C. Campbell & Associates (RCCA) has reviewed a Landscape Plan dated 2/19/14 for the subject property located on the south side of Ensell Road approximately 400 feet west of Quentin Road. The subject property is within Phase 2 of the Lake Zurich Corporate Park Subdivision that was addressed in Village of Lake Zurich Ordinance No. 99-11-999. Section 3. Zoning Code Variations, Letter C of this Ord. 99-11-999 provides as follows:

“A variation from the plant unit standards of Section 8-106 of the Zoning Code to reduce the required minimum number of plant units as defined in the Zoning Code for perimeter landscaping to three units for Lots 1 and 6 within the Subject Property and to one unit for the other lot lines within the Subject Property abutting agricultural and residential uses.”

At the time this Ord. was granted for these variations, the Village Zoning Code in Section 8-105 Opacity Values, provided that for the opacity value for perimeter landscaping along lot lines between an I-1 & I-1 District was 10, and then applying the Standards of Section 8-106 the required minimum number of plant units was a minimum of one plant unit per 100 feet. However, since the time of the granting of those variations, Section 8-105 Opacity Values, was amended and the required opacity value for perimeter landscaping along lot lines between an I & I District is now 20 and then applying the Standards of Section 8-106 the required minimum number of plant units is a minimum of 1.5 plant units per 100 feet. Our office was involved with the Village when this subdivision, zoning (in the I-1 District at that time) and the variations for this property were being considered; and it is my opinion that the intent of the variations were to provide for perimeter landscaping at the level of one plant unit per 100 feet along lot lines that were between an I-1 District and an I-1 District (that since the amendments would now be between an I District and an I District). The village may want to review this matter further with the Village Attorney. Based on our understanding of the intent of the variations that were granted we offer the following landscape review comments for your consideration.

1. Pursuant to Section 8-103 of the Zoning Ordinance, landscaping is required along the lot lines. The amount of landscaping to be provided is established in Sections 8-104; 8-105 and 8-106 of the Zoning Ordinance. Section 8-104 establishes "standard plant units"; Section 8-105 establishes specific "Opacity Values" with Letter A. being based upon surrounding zoning abutting the subject site, and Letter B. being based on the type of street that that property may be abutting; and, Section 8-106 establishes the required minimum number of standard plant units.

A) North, East, West Lot Line Landscaping:

The Summary Table for the North, East, and West Lot Lines on the Landscape Plan references the Opacity Value of 10 that reflects the intent of the variations as previously noted. The Summary Table also indicates the application of this opacity value to the minimum required number of plant units per 100 feet with a comparison to the number of plants provided and as indicated in the Table the landscape Plan meets the planting requirements.

B) South Lot Line Landscaping:

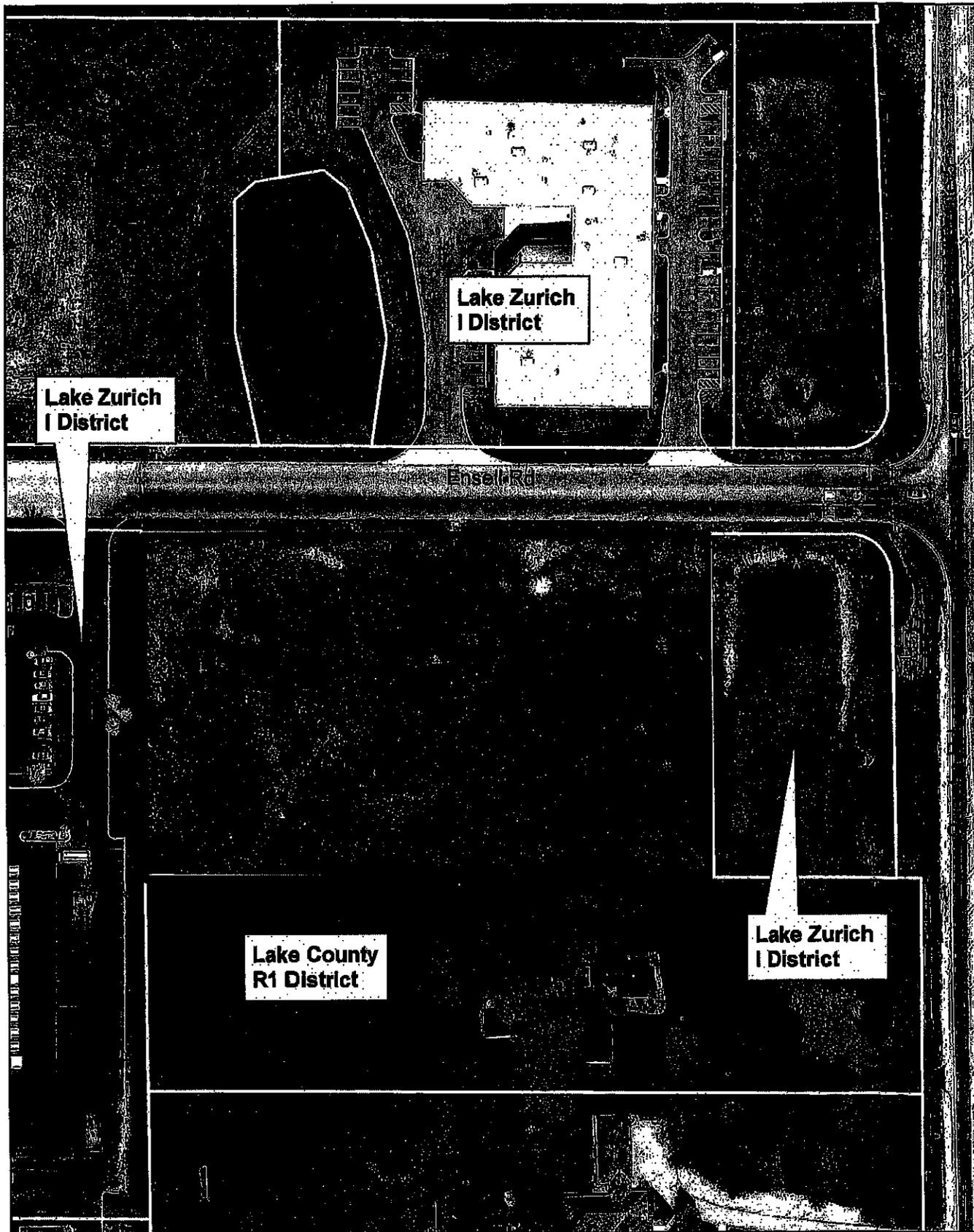
The Summary Table for the South Lot Line references the required minimum number of plant units per 100 feet as being 3 plant units per 100 feet that again reflects the intent of the variations as previously noted. The Summary Table also references an opacity value of 40 that is consistent with Section 8-106 of the Village Zoning Ord. for the provision of 3 plant units per 100 feet, however, with the Zoning Ord. text amendments as previously noted, a different opacity value is referenced in Section 8-105A. This inconsistency with the amended Section 8-105A is not considered applicable in consideration of the intent of the variations as previous noted.

2. Pursuant to Section 8-110 of the Zoning Ordinance parking lots shall also be buffered and screened by a peripheral landscape area having a width of at least 10 feet. While we find the parking areas to be appropriately buffered and screened per the Landscape Plan, we do note that the Site Plan (Sheet ST-1) has two areas shown on the Plan that are labeled for "Future Parking" (one area in the northwest portion of the site and one area toward the southeast area of the site). Comparing those areas labeled for "Future Parking" with the location of plant material shown on the Landscape Plan, there appears to be some inconsistencies. It may be appropriate to have the Applicants further review the location of these proposed plantings or of the proposed "Future Parking" to try to achieve between these plan details.
3. Section 8-111 of the Zoning Ordinance also requires screening of Refuse Containers and Outdoor Storage Areas, however, we did not find any information on the plans submitted to our office regarding any planned outside refuse containers or outdoor storage areas. These details may need further review by the Village.

In Summary, the Landscape Plans appear to provide for the minimum number of plants in consideration of the variations as previously granted.

If you have any questions or comments, please contact our office at your convenience.

Attachment: Aerial Photo Location Exhibit and Surrounding Zoning Labels.



Source: 2010 Lake County GIS Data.

Village of Lake Zurich

 Subject Site

Date: 03/07/14 1"=100'
 0 50 100 Feet

Lake Zurich Corporate Park
 Lot 1 Flex Construction

ROLF C. CAMPBELL & ASSOCIATES
 A MANHARD CONSULTING DIVISION



Civil Engineering
Surveying
Water Resources Management
Water & Wastewater Engineering
Supply Chain Logistics
Construction Management
Environmental Sciences
Landscape Architecture
Land Planning

March 7, 2014

Mr. Sam Hubbard, Village Planner
Village of Lake Zurich
505 Telser Road
Lake Zurich, Illinois 60047

PRELIMINARY ENGINEERING REVIEW

DEVELOPMENT: Lot 1 – Ensell Road
Flex Construction Corporation

ITEMS RECEIVED:

- 1) Engineering Improvement Plans for P-F Ventures, LLC. prepared by Chamberlin/Masse Engineering dated February 17, 2014.
- 2) Report of Soil Investigation prepared by Illinois Drilling & Testing Co. Inc. dated January 20, 2014.
- 3) Letter to Chairpersons Jackson and McCormack, prepared by Flex Construction Corporation, dated February 18, 2014.

On behalf of the Village of Lake Zurich, Manhard Consulting, Ltd. has completed a review of the above referenced material for conformance with the Village ordinances and general accepted engineering practices. We reserve the right to generate additional comments on future submittals. By copy of this letter we request that the Developer address all comments in a response letter and submit the appropriate revisions for further review.

GENERAL

- 1) Provide a stormwater narrative with a detailed description of the existing and proposed stormwater management system, including all discharge points, collection, conveyance, and storage facilities. The proposed development is required to meet the standards of the Watershed Development Ordinance as adopted by the Village of Lake Zurich.
- 2) A Watershed Development Permit application is required with submittal of final engineering.
- 3) The trash receptacle location must be shown on the plans, and must be in an enclosed area.
- 4) We recommend reconfiguring the H.C. stalls so that the access aisles are adjacent to one another (16 ft total) with a shared curb ramp to the building.
- 5) Please refer to the Utility Department's review for additional requirements.

Manhard Consulting, Ltd.

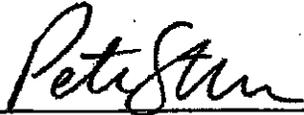
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If you should have any questions, please do not hesitate to contact me.

Yours truly,
MANHARD CONSULTING, LTD.

A handwritten signature in cursive script, appearing to read "Peter Stoehr", is written over a horizontal line.

Peter Stoehr, P.E.
Municipal Project Manager

LZLZ8/documents/FogliaYMCA/EngineeringApproval

cc: Dan Peterson, Building and Zoning Manager
Betty Harrison, EQC Supervisor

Village of Lake Zurich

Kevin Finlon
Chief of Police



Serving with Pride

Interdepartmental Memorandum
Commander David M. Bradstreet

Police Department

Support Services Division

March 11, 2014

To: Sam Hubbard
Subject: PF Ventures / Flex Construction

Representatives from the police department have reviewed the plans and recommend the following:

- Ensure stop signs are posted at all exits.
- Contact Crime Prevention if they would like to have a traffic enforcement contract with the village.
- Post no trespassing / loitering signs.
- Ensure parking lot is well lit.
- Ensure address is visible from the street.
- Ensure entrances and exits are not obstructed by landscaping.

Representatives of the police department reviewed the plans and do not have any recommendations at this time.

Respectfully

db 114

David M. Bradstreet
Commander of Administration

